

Agenda -Notice of Meeting

Polk City | City Council

June 28, 2021 | 6:00 pm

City Hall-Council Chambers | Electronic Meeting

Due to Covid-19 Mayor and Council will meet in person

Public Meeting participation via phone: Call in local 515-329-8019 Participant Code 593054

Public members can also provide comments directly to support@polkcityia.gov

**any comments received before the time of the meeting will be made a part of the public hearing*

Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

Jason Morse | Mayor

Mandy Vogel | Pro Tem

City Council Members: Jeff Walters | Dave Dvorak | Ron Anderson | Rob Sarchet

1. Call to Order

2. Roll Call

3. Approval of Agenda

4. Public Hearings:

- a. Public Hearing on proposal to enter into a General Obligation Corporation Purpose and Refunding Loan Agreement
 - i. Resolution 2021-61 taking additional action to enter into a General Obligation Corporate Purpose and Refunding Loan Agreement

5. Public Comments: *This is the time and place for comments for any item other than those that are a Public Hearing. If you wish to speak, please contact the City Clerk by 5pm on the date of the meeting by email at jgibbons@polkcityia.gov with your name and address for the record including the phone number you will be calling in with. The Mayor will recognize you for five minutes of comment during which time your line will be unmuted.*

6. Consent Items

- a. City Council Meeting Minutes for June 14, 2021
- b. City Council Work Session Meeting Minutes for June 14, 2021
- c. Receive and file P&Z Commission Meeting Minutes for June 21, 2021
- d. Claims listing June 28, 2021
- e. May 2021 Finance Report
- f. Resolution 2021-62 setting the date for a public hearing on proposal on the vacation of right-of-way easement in the SE ¼ of section 26-81-25 and the NE ¼ of Section 35-81-25
- g. Resolution 2021- 63 Updating and Confirming Staff Salaries for FY22
- h. Acknowledge Library Board approval of Resolution 2021-04L updating and confirming the salaries for the Library Staff
- i. Resolution 2021-64 approving FY21 year-end transfers
- j. Twelve-month Class B Beer Permit for Fenders with Outdoor Services and Sunday Sales effective July 14, 2021
- k. Twelve-month Tobacco Permit for Polk City Liquor effective July 1, 2021
- l. Twelve-month Tobacco Permit for TCI effective July 1, 2021
- m. Resolution 2021-65 appointing Polk City's representatives for ICAP
- n. Set pay for Samantha Scott at \$14 for the Public Works year-round part-time maintenance position
- o. Receive and file the Board of Adjustments Meeting Minutes for June 23, 2021
- p. Resolution 2021-68 approving Construction Drawings for Big Creek Commons Plat 1

7. Business Items

- a. Resolution 2021-66 approving Final Plat for Big Creek Commons Plat 1
- b. Resolution 2021-67 approving Site Plan for Lakes Early Learning Center
- c. Snyder & Associates, Inc. April 2021 Engineering Services invoice in the amount of \$43,574

8. Reports & Particulars

Mayor, Council, City Manager, Staff, Boards, and/or Commissions

9. Adjournment

--next meeting date July 12, 2021



City of Polk City, Iowa City Council Agenda Communication

Date: June 28, 2021 City Council Meeting
To: Mayor Jason Morse & City Council
From: Chelsea Huisman, City Manager

Subject: Public Hearing & Resolution to approve for the proposed issuance and refunding of General Obligation bonds, not to exceed \$3,500,000

BACKGROUND: On Monday, the City Council will have the public hearing for the issuance and refunding of General Obligation bonds, not to exceed \$3,500,000. After the public hearing, the Council will need to adopt a resolution to approve the City's intention of entering into the loan agreement.

Issuance for new projects include intersection improvements at 3rd & E. Vista Lake Dr. (Roundabout-estimated project cost of \$1,503,000), New water well project (estimated project cost of \$701,000), and Bridge Road Water main project (estimated project cost of \$58,000). In addition, we are taking the opportunity to refund and refinance our outstanding general obligation bonds from 2014 in the amount of \$1,000,000. This will save the City approximately \$50,000 on interest. Lastly, we will have the normal issuance fees-Bond counsel, financial advisor, and bond rating for this issuance.

A few items of note as we begin these proceedings, we are able to complete all of these projects with no increase to the city's debt service levy. With the exception of the roundabout project, the water projects and 2014 refunding payments will be made with water and sanitary sewer money. For the roundabout project we were also able to structure that accordingly with our cost-sharing between North Polk & Knapp Properties.

ALTERNATIVES: Do not approve the resolution

FINANCIAL CONSIDERATIONS: \$3,500,000 of proposed issuance and refunding of existing bonds.

RECOMMENDATION: It is my recommendation that the Council approve the resolution related to General Obligation Corporate Purpose and Refunding Loan agreement.

MINUTES FOR HEARING AND
ADDITIONAL ACTION ON ENTERING
INTO A LOAN AGREEMENT

511493-5

Polk City, Iowa

June 28, 2021

The City Council of the City of Polk City, Iowa, met on June 28, 2021, at 6 o'clock p.m., at the City Hall, Council Chambers in Polk City, Iowa.

The City Council provided access to the meeting electronically via Zoom, due to federal and state government recommendations in response to COVID-19 pandemic conditions, which was accessible at the following:

Public Call-In information 515-329-8019 code \$593054

Electronic access information was included in the posted agenda of this public meeting.

The Mayor presided and the roll was called showing the following members of the City Council present and absent:

Present: _____

Absent: _____.

This being the time and place specified for taking action on the proposal to enter into a General Obligation Corporate Purpose and Refunding Loan Agreement in a principal amount not to exceed \$3,500,000, the City Clerk announced that no written objections had been placed on file. Whereupon, the Mayor called for any written or oral objections, and there being none, the Mayor closed the public hearing.

After due consideration and discussion, Council Member _____ introduced the following resolution and moved its adoption, seconded by Council Member _____. The Mayor put the question upon the adoption of said resolution, and the roll being called, the following Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted, as hereinafter set out.

• • • • •

At the conclusion of the meeting, and upon motion and vote, the City Council adjourned.

Mayor

Attest:

City Clerk

RESOLUTION NO. 2021-61

Resolution taking additional action to enter into a General Obligation Corporate Purpose and Refunding Loan Agreement

WHEREAS, the City previously issued its \$1,720,000 General Obligation Capital Loan Notes, Series 2014, dated September 9, 2014 (the “2014 Notes”) a portion of which currently remains outstanding maturing on June 1 in each of the years and in such amounts as follows:

<u>Year</u>	<u>Principal Amount</u>	<u>Interest Rate Per Annum</u>	<u>Year</u>	<u>Principal Amount</u>	<u>Interest Rate Per Annum</u>
2022	\$110,000	2.00%	2026	\$120,000	2.55%
2023	\$115,000	2.20%	2027	\$125,000	2.70%
2024	\$115,000	2.30%	2028	\$130,000	2.80%
2025	\$120,000	2.40%	2029	\$135,000	2.90%

; and

WHEREAS, pursuant to the resolution (the “2014 Note Resolution”) authorizing the issuance of the 2014 Notes, the City reserved the right to call the 2014 Notes maturing in the years 2022 through 2029 (the “Callable 2014 Notes”) for optional early redemption on any date on or after June 1, 2021, subject to the provisions of the 2014 Note Resolution; and

WHEREAS, the City of Polk City (the “City”), in Polk County, State of Iowa, pursuant to the provisions of Section 384.24A of the Code of Iowa, heretofore proposed to enter into a General Obligation Corporate Purpose Loan Agreement (the “Loan Agreement”) and to borrow money thereunder in a principal amount not to exceed \$3,500,000 for the purpose of paying the costs, to that extent, of (1) constructing street, storm water drainage, sidewalk, sanitary sewer system and water system improvements; (2) acquiring and installing street signage, lighting and signalization (the “Projects”); and (3) current refunding the outstanding portion of the Callable 2014 Notes, and pursuant to law and duly published notice of the proposed action has held a hearing thereon on June 28, 2021;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Polk City, Iowa, as follows:

Section 1. The City Council hereby determines to enter into the Loan Agreement in the future. The City Council further declares that this resolution constitutes the “additional action” required by Section 384.24A of the Code of Iowa.

Section 2. Further action with respect to the Loan Agreement and the Bonds is hereby adjourned to the City Council meeting on July 12, 2021.

Section 3. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Section 4. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved June 28, 2021.

Mayor

Attest:

City Clerk

STATE OF IOWA
COUNTY OF POLK
CITY OF POLK CITY

SS:

I, the undersigned, City Clerk of the City of Polk City, do hereby certify that attached hereto is a true and correct copy of the proceedings of the City Council relating to a public hearing and additional action on a Loan Agreement as referred to herein.

WITNESS MY HAND this _____ day of _____, 2021.

City Clerk

MEETING MINUTES
The City of Polk City
City Council Meeting
6:00 p.m., June 14, 2021
City Hall – Council Chambers

Polk City, City Council held a meeting in the City Hall Council Chambers with public participation via phone at 6:00 p.m., on June 14, 2021. The Agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Mayor Morse called the meeting to order at 6:01 p.m.
2. **Roll Call** | Walters, Vogel, Anderson, Sarchet | In attendance
Dvorak | Absent
3. **MOTION:** A motion was made by Anderson and seconded by Sarchet to approve the agenda
MOTION CARRIED UNANIMOUSLY
4. **Presentation** | Police Chief Siepker and Fire Chief Mitchell presented Officer Matt Aicher with the Stork Award for successfully responding and delivering healthy baby girl Everly. They also recognized the response team, Firefighter/EMT Shawn Boots, Firefighter/Paramedic Gary Brooks, Officer Alex Delaney, Firefighter/Paramedic Michael Doyon, Firefighter/Paramedic Joe Mitchell, and Fire Captain John Mitchell, for their assistance after the delivery. Baby Everly was presented with an official Polk City Police Department onesie. Mayor and Council thanked the family for attending the meeting and thanked the Response Team for their efforts.
5. **Public Hearings:**
 - a. Mayor Morse opened the Public Hearing for the proposed Vacation of Drainage Easement in Big Creek Valley Plat 1 at 6:11 pm. City Clerk, Jenny Gibbons, said that the notice was published June 4, 2021 and no comments had been received for or against the proposed vacation of the said drainage easement. City Engineering Representative, Kathleen Connor provided a report. No one was present that wished to be heard for or against the proposal.
MOTION: A motion was made by Walters and seconded by Vogel to close the public hearing at 6:13 p.m.
MOTION CARRIED UNANIMOUSLY
 - i. **MOTION:** A motion was made by Walters and seconded by Vogel to approve the First Reading of Ordinance 2021-1500 Vacating Drainage Easement
MOTION CARRIED UNANIMOUSLY
 - a. **MOTION:** A motion was made by Anderson and seconded by Sarchet to waive the Second and Third Reading of Ordinance 2021-1500 Vacating Drainage Easement
MOTION CARRIED UNANIMOUSLY
 - ii. **MOTION:** A motion was made by Vogel and seconded by Walters to approve Resolution 2021-54 approving Plat of Survey 2021-55 for Lot 33 and 34 Big Creek Valley Plat 1
MOTION CARRIED UNANIMOUSLY
 - b. Mayor Morse opened the Public Hearing for the proposed amendment to the zoning restrictions for a portion of Lot 39 and Outlot Z of Crossroads at the Lakes Plat 2 to allow grocery stores as a permitted use at 6:15 p.m. City Clerk, Jenny Gibbons, said that the notice was published June 4, 2021 and no comments had been received for or against the proposed amendment to said zoning restrictions. City Engineering Representative, Kathleen Connor provided a report and Rob Wadle, Director of Real Estate for Hy-Vee was available for questions from Mayor and Council. No one was present that wished to be heard for or against the proposal.
MOTION: A motion was made by Sarchet and seconded by Vogel to close the public hearing at 6:18 p.m.
MOTION CARRIED UNANIMOUSLY
 - i. **MOTION:** A motion was made by Walters and seconded by Sarchet to approve the First Reading of Ordinance 2021-1600 amending zoning restrictions for a portion of Lot 39 and Outlot Z of Crossroads at the Lakes Plat 2 to allow grocery stores as a permitted use
MOTION CARRIED UNANIMOUSLY
 - a. **MOTION:** A motion was made by Sarchet and seconded by Walters to waive the Second and Third Reading of Ordinance 2021-1600
MOTION CARRIED UNANIMOUSLY
 - c. Mayor Morse opened the Public Hearing for the proposed amendment to the Comprehensive Plan from commercial to low density residential along E. Broadway at 6:20 p.m. City Clerk, Jenny Gibbons, said that the notice was published June 4, 2021 and no comments had been received for or against the proposed amendment to

the Comprehensive Plan. City Engineering Representative, Kathleen Connor provided a report. No one was present that wished to be heard for or against the proposal.

MOTION: A motion was made by Vogel and seconded by Anderson to close the public hearing at 6:22 p.m.

MOTION CARRIED UNANIMOUSLY

- i. **MOTION:** A motion was made by Vogel and seconded by Sarchet to approve Resolution 2021-55 amending the Comprehensive Plan from commercial to low density residential along E. Broadway

MOTION CARRIED UNANIMOUSLY

- d. Mayor Morse opened the Public Hearing for the proposed rezoning petition for 117 E Broadway at 6:25 p.m. City Clerk, Jenny Gibbons, said that the notice was published June 4, 2021 and no comments had been received for or against the proposed petition for rezoning. City Engineering Representative, Kathleen Connor provided a report and Developer, Kyle Hout was available for questions from Mayor and Council. No one was present that wished to be heard for or against the proposal.

MOTION: A motion was made by Anderson and seconded by Vogel to close the public hearing at 6:26 p.m.

MOTION CARRIED UNANIMOUSLY

- i. **MOTION:** A motion was made by Vogel and seconded by Walters to approve the First Reading of Ordinance 2021-1700 rezoning 117 E. Broadway from C-1 to PUD

MOTION CARRIED UNANIMOUSLY

- a. **MOTION:** A motion was made by Walters and seconded by Vogel to waive the Second and Third Reading of Ordinance 2021-1700

MOTION CARRIED UNANIMOUSLY

6. *Public Comments* | None

7. *Consent Items*

MOTION: A motion was made by Anderson and seconded by Vogel to approve the consent agenda items.

- a. City Council Meeting Minutes for May 24, 2021
- b. City Council Work Session Meeting Minutes for May 24, 2021
- c. Receive and file Parks Commission Meeting Minutes for June 7, 2021
- d. Claims listing June 14, 2021
- e. Set pay for new hire Police Officer Jeremy Burdess at a rate of \$27.91 per hour effective July 1, 2021
- f. Set pay for new Parks & Recreation seasonal employee, Sam Toomer, Recreation Assistant II at \$10.00 per hour, effective June 9, 2021
- g. Reappoint Lisa Mart to the Library Board term ending June 30, 2027
- h. Receive and file the May 2021 Parks & Recreation Department Report
- i. Budgeted Public Works purchase of a trash pump in the amount of \$14,710
- j. Budgeted Public Works purchase of a jet trailer in the amount of \$21,720
- k. Twelve-month Class C Liquor License for Waters Edge with Outdoor Services and Sunday Sales effective June 24, 2021
- l. Street Closure of 2nd Street between Broadway and Van Dorn from 4p-10:30p on June 25, 2021 for the Police Department Summer Kick-Off Event and Parks & Recreation Department Movie in the Park
- m. Receive and file the May 2021 Water Report
- n. Resolution 2021-56 setting the date for a public hearing on proposal to enter into a General Obligation Corporate Purpose and Refunding Loan Agreement and to borrow money thereunder in a principal amount not to exceed \$3,500,000
- o. Receive and file the May 3, 2021 Library Board Meeting Minutes
- p. Receive and file the May 2021 Library Stats Report
- q. Receive and file the May 2021 Library Director Report
- r. Receive and file the FY20 comparison of libraries in communities with a population of 4,000-5,999
- s. Receive and file the May 2021 Police Department report
- t. Resolution 2021-57 updating PA-27 Economic Development policy
- u. Resolution 2021-58 approving application to State Recreational Trails Grant Program
- v. Award Soil Quality Restoration contract to Lewis Lawn & Labor contingent on contract approval
- w. Special Event application including street closure on Sunset Street for block party August 21, 2021 from 1p to midnight
- x. Amend Resolution 2021-51 *Resolution approving the construction drawings for public improvements for four seasons Polk City Plat 1*

MOTION CARRIED UNANIMOUSLY

8. Business Items

a. 2021 Street Repairs Project

- i. **MOTION:** A motion was made by Anderson and seconded by Vogel to approve Resolution 2021-59 approving Change Order No. 1 in the amount of **-\$11,099.74**
MOTION CARRIED UNANIMOUSLY
- ii. **MOTION:** A motion was made by Vogel and seconded by Walters to approve Resolution 2021-60 approving Pay App No. 3 (Sub-final Retainage Held) in the amount of \$3,530.20 and accepting the Public Improvements
MOTION CARRIED UNANIMOUSLY

9. Reports & Particulars | Mayor, Council, City Manager, Staff, Boards, and/or Commissions

- City Council Member Walters gave a shout out to Jamie and Jason for their summer programming.
- City Council Member Vogel thanked Jason for tennis camp and other summer fun. She also thanked Jaime for the library video kiddos could share with their parents.
- City Manager Huisman shared Des Moines Water Works Press Release regarding the implementation of Stage 1 of their Water Shortage Plan and asking residents to reduce irrigation by 25%.
- City Council Member Anderson said more babies need to attend the beginning of Council Meetings, it was a cool way to start the meeting.
- City Council Member Sarchet said he enjoyed watching Aicher squirm from all the attention. He congratulated Ron on the Hall of Fame recognition from the previous meeting. He thanked staff for staying in front of the water shortage as things progress with the drought. Sarchet said the Metro Advisory Committee had an overview from the League on the American Rescue Act and he was glad to see City Manager Huisman was ahead of it and wanted to acknowledge all the work she has done to stay on top of everything. He thanked Jason for the expanded rec programming and has heard positivity across the board, he said job well done.
- Fire Chief Mitchell announced an Open House for Dan Gubbins retirement but will follow up with details of date and time for the public.

10. Adjournment

MOTION: A motion was made by Anderson and seconded by Vogel to adjourn at 6:38 p.m.
MOTION CARRIED UNANIMOUSLY

Next Meeting Date –June 28, 2021

Jason Morse, Mayor

Attest

Jenny Gibbons, City Clerk

MEETING MINUTES
The City of Polk City
Work Session
5:00 p.m., Monday, June 14, 2021
City Hall – Council Chambers

A Council Work Session was held on June 14, 2021 at 5:00 p.m. in the City Hall Council Chambers in Polk City, Iowa with public participation via phone.

<p><u>Mayor and City Council Members Present:</u> Jason Morse Mayor Mandy Vogel Pro Tem Jeff Walters City Council Member Ron Anderson City Council Member Robert Sarchet City Council Member – via phone</p> <p><u>City Council Members Absent:</u> Dave Dvorak City Council Member</p>	<p><u>Staff Members Present:</u> Chelsea Huisman City Manager Jenny Gibbons City Clerk/Treasurer Mike Schulte Public Works Director Jason Thraen Parks & Recreation Director Jeremy Siepker Police Chief Jamie Noack Library Director Jim Mitchell Fire Chief</p>
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Minutes

City Manager Huisman presented an overview of different bonding options and the pros and cons of each. Council discussed the options and asked for a follow up meeting with phasing outlining the Regional Park Project and timeframe of potential trail connections.

Adjournment – Meeting adjourned at 5:56 p.m.

Jason Morse, Mayor

Jenny Gibbons, City Clerk

MEETING MINUTES
The City of Polk City
Planning and Zoning Commission
6:00 p.m., Monday, June 21, 2021

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on June 21, 2021 in the City Hall Council Chambers with public participation via phone. The Agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Chair Bowersox called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Tripplett, Sires, Bowersox, Ohlfest, Dietz | In attendance
Bowersox, Vogel | Absent
3. **Approval of Agenda**
MOTION: A motion was made by Hankins and seconded by Tripplett to approve the agenda.
MOTION CARRIED UNANIMOUSLY
4. **Public Comments** | None
5. **Approval of Meeting Minutes**
MOTION: A motion was made by Hankins and seconded by Ohlfest to approve the May 17, 2021 meeting minutes.
MOTION CARRIED UNANIMOUSLY
6. **Wolf Creek Townhomes Plat 13** | Bob Gibson, Civil Design Advantage and Jamie Myers, Paramount Homes provided an overview of the proposed development. They reported they held a meeting with the Wolf Creek Townhomes Homeowner's Association, and discussed the round-about, trail location and landscaping buffers. They requested that the stone requirement on the rear of the units be waived.
 - a. **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend Council approval of the Amended Preliminary Development Plan subject to staff and engineering comments dated June 18, 2021 and waive the 15% stone requirement on the rear/side of unit 1, 22, and 24.
MOTION CARRIED UNANIMOUSLY
 - b. **MOTION:** A motion was made by Ohlfest and seconded by Dietz to recommend Council approval of the Preliminary Plat and Site Plan subject to staff and engineering comments dated June 18, 2021 and waive the 15% stone requirement on the rear/side of unit 1, 22, and 24.
MOTION CARRIED UNANIMOUSLY
7. **Plat of Survey for Parcel 2021-97 and Site Plan for HyVee Dollar Fresh** | Jeff Stein, HyVee reviewed the project including the recreation trail, buffers and stormwater.
MOTION: A motion was made by Hankins and seconded by Tripplett to recommend Council approval of the Plat of Survey for Parcel 2021-97 and the Site Plan subject to staff and engineering comments dated June 17, 2021.
MOTION CARRIED UNANIMOUSLY
8. **Final Plat for Big Creek Commons Plat 1** | Kathleen Connor, City Engineering Representative reviewed the Final Plat for Big Creek Commons Plat 1 including 23 single family lots and the City Park.
MOTION: A motion was made by Hankins and seconded by Tripplett to recommend Council approval of the Final Plat for Big Creek Commons Plat 1 subject to staff and engineering comments dated June 17, 2021.
MOTION CARRIED UNANIMOUSLY

9. **Site Plan for Lakes Early Learning Center** | Emily Feldman, Feldman Real Estate reviewed the project and requested P&Z consideration on the following items:
- allow a 5' sidewalk abutting the property in lieu of the 10' trail requirement for this parcel
 - waive the 200ft radius requirement for a hydrant
 - reduce required number of trees

Eric Thompson, Fox Engineering reviewed the items for consideration in depth.

MOTION: A motion was made by Sires and seconded by Hankins to recommend Council approval of the Site Plan for Lakes Early Learning Center with the requirement that a 10' trail would be constructed, the Fire Code stands and is not violated, and the elimination of 6 of the required trees subject to all staff and engineering comments dated June 17, 2021

MOTION CARRIED UNANIMOUSLY

10. Reports & Particulars

- City Council Member Sarchet shared that Officer Aicher and some of the response team were honored at the last Council Meeting for the successful delivery of a baby.
- P&Z Commission Member Sires asked for consideration of paper copy agenda packets in the future.
- P&Z Commission Member Dietz asked about the future connection to the trail abutting HyVee's property and the possibility of requiring Commercial properties to install bike racks if abutting trails.

11. Adjournment

MOTION: A motion was made by Tripplett and seconded by Dietz to adjourn at 7:40 p.m.

MOTION CARRIED UNANIMOUSLY

Next Meeting Date – Monday, July 19, 2021

Attest:

Jenny Gibbons - City Clerk

CLAIMS REPORT		
CITY OF POLK CITY	DATED	6/28/2021
VENDOR	REFERENCE	AMOUNT
A-D DISTRIBUTING CO. INC.	REPLACEMENT FLAGS	\$ 824.00
Amazon	LIBRARY BOOKS	\$ 698.08
AMAZON BUSINESS	PA MIC/MSC LIBRARY	\$ 474.45
AMERICAN HOME SERVICES	A/C CHECK	\$ 175.00
American Test Center	LADDER INSPECTION TESTING	\$ 246.00
ANKENY HARDWARE	SUPPLIES	\$ 100.93
AUTOMATED SYSTEMS COMPANY	GAS DETECTOR REPAIRS	\$ 322.00
BAKER & TAYLOR	LIBRARY BOOKS	\$ 523.46
BLANK PARK ZOO FOUNDATION	SPONSORED BY LUANA BANK 3/1/21	\$ 300.00
Bound Tree Medical	MEDICAL SUPPLIES	\$ 596.98
CANINE TACTICAL	JUNE K-9 TRAINING	\$ 150.00
CARROLL CONSTRUCTION SUPPLY	CONCRETE REPAIRS	\$ 809.44
CENTER POINT LARGE PRINT	LARGE PRINT BOOKS	\$ 42.54
CENTURY LINK	PHONE SERVICE	\$ 27.08
CHELSEA HUISMAN	REIMBURSEMENT METRO MNGR LUNCH	\$ 8.00
CHR TIRE AND AUTO	VEHICLE REPAIRS	\$ 482.18
CLARKE MOSQUITO CONTROL	MOSQUITO MITIGATION	\$ 1,961.52
CORE AND MAIN	MARKING FLAGS	\$ 277.95
Crystal Clear Water Co	PURCHASED WATER	\$ 51.00
CUSTOMIZED FIREFIGHTER TRAINING	FLASHOVER SIMULATOR TRAINING	\$ 1,900.00
RLC ENTERPRISES	PEST MANAGEMENT	\$ 194.00
D & K PRODUCTS	ROW WEED CONTROL	\$ 621.60
DENNISON RACING TEES LLC	QUILTED JACKETS	\$ 3,080.00
Des Moines Steel Fence Co	BEEBE CEMETERY FENCE	\$ 7,255.00
Des Moines Water Works	DMWW PROJECT #5	\$ 610,256.48
Ferguson Waterworks	METERS	\$ 10,610.13
Fire Service Training Bureau	FIRE INSTRUCTOR I TEST FEE	\$ 50.00
GAIL DUBBERKE-METER REIMBURSEMENT	ALREADY HAS IRRIGATION METER	\$ 455.00
GALL'S INC.	FIREFIGHTER BADGES	\$ 2,357.23
Gurnsey Electric Co	LIGHT BALLAST	\$ 530.46
HAWKINS INC	CHLORINE	\$ 316.00
IOWA LEAGUE OF CITIES	MEMBERSHIP DUES FY21-22	\$ 2,047.00
JASON THRAEN-REIMBURSEMENT	JESTER PARK MINI GOLF PASS #14	\$ 70.00
JENNY GIBBONS-REIMBURSEMENT	GCMOA ANNUAL MEETING MILEAGE	\$ 6.05
JOURNEYED.COM, INC	MICROSOFT OFFICE PRO PLUS 2019	\$ 178.32
KARL CHEVROLET	OIL CHANGE #22	\$ 78.77
Keck Energy	FUEL	\$ 1,146.26
KEYSTONE LABORATORIES INC.	WATER TESTING	\$ 75.00
KIMBALL MIDWEST	BLUE MARKING PAINT	\$ 540.48
MEDIACOM	INTERNET SERVICE	\$ 136.90
MENARDS	STORAGE SHED	\$ 1,939.19
MERAKI MAMAS BOUTIK	1000 BOOKS TSHIRTS	\$ 600.00
MERCYONE NORTH PHARMACY	RX SUPPLIES	\$ 641.28

METRO WASTE AUTHORITY	\$5 GARBAGE TAGS	\$ 250.00
MIDAMERICAN ENERGY	ELECTRIC CHARGES	\$ 10,641.55
MIDLAND POWER CO-OP	STREET LIGHTING	\$ 525.03
NELSON AUTOMOTIVE	MULE TIRE REPAIR	\$ 25.50
NICHOLS EQUIPMENT LLC	CONCRETE REPAIRS	\$ 388.60
PCC AMBULANCE BILLING	MAY ABULANCE BILLING FEE	\$ 634.42
POLK CITY ARBOR LEAGUE	TREES	\$ 1,500.00
PREMIER PLUMBING, INC.	HAND SINK CONCESSION STAND	\$ 1,200.00
PROQUEST LLC	ANCESTRY.COM	\$ 1,488.00
Qualification Targets	RANGE TARGETS	\$ 96.87
RACOM	HARRIS XL-185 PORTABLE RADIO	\$ 9,688.75
Sandry Fire Supply L.L.C.	BOX LIGHT REPLACEMENT BATTERY	\$ 34.95
Star Equipment Ltd	TRASH PUMP/SAW BLADE	\$ 3,753.00
STRUTHERS BROS. KAWASAKI	KAWASAKI MULE/ACCESSORIES	\$ 9,026.53
TNT LANDSCAPING & NURSERY	TREES AND PLANTING	\$ 1,219.98
TOTAL QUALITY INC.	IRRIGATION START UP	\$ 299.90
UPHDM OCCUPATIONAL MEDICINE	DOT TESTING PROGRAM	\$ 58.00
VERIZON WIRELESS	PHONE AND DATA PLAN	\$ 370.20
Walsh Door & Hardware Co	DOOR SECURITY SYSTEM	\$ 12,590.76
Accounts Payable Total		\$ 706,947.80
GENERAL		\$ 55,267.02
ROAD USE		\$ 4,372.13
CAPITAL IMPROVEMENTS		\$ 7,255.00
WATER		\$ 619,996.26
SEWER		\$ 19,807.39
SOLID WASTE/RECYCLING		\$ 250.00
TOTAL FUNDS		\$ 706,947.80



POLK CITY - A City For All Seasons -

Monthly Finance Report

May 2021

Prepared By:

Jenny Gibbons
City Clerk/Treasurer

ACCOUNT TITLE	LAST REPORT END BALANCE	RECEIVED	DISBURSED	CHANGE IN LIABILILTY	ENDING BALANCE
001 GENERAL	4,892,765.80	276,379.91	284,824.06	2.20	4,884,323.85
110 ROAD USE	204,045.61	34,828.12	24,267.76	1.50	214,607.47
111 I-JOBS	.00	.00	.00	.00	.00
121 LOCAL OPTION SALES TAX	.00	.00	.00	.00	.00
125 TIF	380,036.94	13,940.57	.00	.00	393,977.51
135 L.M.I	1,481,678.24	20,557.69	372.34	.00	1,501,863.59
167 PC COMM. LIB TRUST	13,874.34	.00	.00	.00	13,874.34
177 ASSET FORFEITURE	1,685.81	.00	.00	.00	1,685.81
200 DEBT SERVICE	453,221.86	18,721.74	460,560.00	.00	11,383.60
301 CAPITAL IMPROVEMENTS	347,334.81-	80,506.62	79,135.37	.00	345,963.56-
302 CAPITAL WATER PROJECT	1,183,633.20	.00	285,190.33	.00	898,442.87
303 CAPITAL EQUIPMENT/VEHIC	.00	.00	.00	.00	.00
600 WATER	1,178,249.01	44,490.32	83,406.62	2.64	1,139,335.35
610 SEWER	1,580,324.20	50,750.68	61,805.56	2.48	1,569,271.80
670 SOLID WASTE/RECYCLING	15,102.66	6,973.73	15,659.10	.00	6,417.29
740 STORM WATER UTILITY	6,953.60	2,444.94	.00	.00	9,398.54
920 ESCROW	.00	.00	.00	.00	.00
Report Total	11,044,236.46	549,594.32	1,295,221.14	8.82	10,298,618.46

BANK CASH REPORT
2021

BANK FUND	BANK NAME	APRIL CASH BALANCE	MAY RECEIPTS	MAY DISBURSMENTS	MAY CASH BALANCE	OUTSTANDING TRANSACTIONS	MAY BANK BALANCE	
Grinnell State Bank BK#1								
BANK 001	Grinnell State Bank						5,620,719.92	
001	CHECKING - GENERAL	834,761.05	278,017.80	288,201.33	824,577.52	52,991.78		
110	CHECKING - ROAD USE	204,045.61	34,828.12	24,266.26	214,607.47	5,097.41		
111	CHECKING - I-JOBS	0.00	0.00	0.00	0.00			
112	CHECKING - EMPLOYEE BENEFIT	0.00	0.00	0.00	0.00			
121	CHECKING - LOCAL OPTION	0.00	0.00	0.00	0.00			
125	CHECKING - TIF	380,036.94	13,940.57	0.00	393,977.51			
135	CHECKING - L.M.I.	762,635.38	20,557.69	372.34	782,820.73			
167	CHECKING - PC COMM. LIB TRUST	13,874.34	0.00	0.00	13,874.34			
177	CHECKING - FORFEITURE	1,685.81	0.00	0.00	1,685.81			
200	CHECKING - DEBT SERVICE	453,221.86	18,721.74	460,560.00	11,383.60			
301	CHECKING - CAPITAL PROJECT	347,334.81	80,506.62	79,135.37	345,963.56			
302	CHECKING - CAPITAL WATER PROJ	1,183,633.20	0.00	285,190.33	898,442.87			
303	CHECKING - CAP EQUIP/VEHICLE	0.00	0.00	0.00	0.00			
600	CHECKING - WATER UTILITY	1,178,248.01	52,538.22	91,451.88	1,139,334.35	15,994.24		
610	CHECKING - SEWER UTILITY	1,580,323.20	51,614.96	62,667.36	1,569,270.80	13,061.01		
670	CHECKING-SOLID WASTE/RECYCLING	15,102.66	7,008.01	15,693.38	6,417.29	15,659.10		
740	CHECKING	6,953.60	2,461.77	16.83	9,398.54			
920	CHECKING - ESCROW BANK ACCOUNT	0.00	0.00	0.00	0.00			
	DEPOSITS					2,256.83		
	WITHDRAWALS					345.94		
Grinnell State Bank TOTALS		6,267,186.85	560,195.50	1,307,555.08	5,519,827.27	100,892.65	5,620,719.92	

12/2021 Transaction cleared on statement was entered in a future period. 170,222.17
 5/28/2021 Calculated Statement Balance 5,790,942.09

LUANA SAV. BK MM BK#2								
BANK 001	LUANA SAV. BK MM						3,244,997.20	
001	Luana Savings Bank - M.M. Acco	2,524,213.76	1,741.58	0.00	2,525,955.34			
135	Luana Money Market Account	719,041.86	0.00	0.00	719,041.86			
LUANA SAV. BK MM TOTALS		3,243,255.62	1,741.58	0.00	3,244,997.20	0.00	3,244,997.20	

GRINNELL STATE BK- C.D. BK#3								
BANK 001	GRINNELL STATE BK- C.D.						1,080,521.37	
001	GRINNELL STATE BANK CD	1,080,521.37	0.00	0.00	1,080,521.37			
GRINNELL STATE BK- C.D. TOTALS		1,080,521.37	0.00	0.00	1,080,521.37	0.00	1,080,521.37	

GRINNELL STATE BK-MM BK#4								
BANK 001	GRINNELL STATE BK-MM						452,833.62	
001	SUPER MONEY MKT II	452,833.62	0.00	0.00	452,833.62			
GRINNELL STATE BK-MM TOTALS		452,833.62	0.00	0.00	452,833.62	0.00	452,833.62	

**BANK CASH REPORT
2021**

BANK NAME FUND GL NAME	APRIL CASH BALANCE	MAY RECEIPTS	MAY DISBURSMENTS	MAY CASH BALANCE	OUTSTANDING TRANSACTIONS	MAY BANK BALANCE
LUANA SAVINGS BANK CD BK#6						
----- BANK LUANA SAVINGS BANK CD BK#6 001 LUANA BANK C.D.-1.85%	0.00	0.00	0.00	0.00		
----- LUANA SAVINGS BANK CD TOTALS	0.00	0.00	0.00	0.00	0.00	0.00
=====						
TOTAL OF ALL BANKS	11,043,797.46	561,937.08	1,307,555.08	10,298,179.46	100,892.65	10,399,072.11
=====						

BUDGET REPORT
CALENDAR 5/2021, FISCAL 11/2021

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	GENERAL TOTAL	5,063,601.00	284,824.06	3,457,110.68	68.27	1,606,490.32
	ROAD USE TOTAL	444,573.00	24,267.76	384,315.63	86.45	60,257.37
	TIF TOTAL	335,461.00	.00	153,217.23	45.67	182,243.77
	L.M.I TOTAL	273,552.00	372.34	241,670.91	88.35	31,881.09
	ASSET FORFEITURE TOTAL	.00	.00	4,276.44	.00	4,276.44-
	DEBT SERVICE TOTAL	342,120.00	460,560.00	531,428.32	155.33	189,308.32-
	CAPITAL IMPROVEMENTS TOTAL	2,759,560.35	79,135.37	2,659,092.11	96.36	100,468.24
	CAPITAL WATER PROJECT TOTAL	2,254,476.00	285,190.33	1,340,017.53	59.44	914,458.47
	WATER TOTAL	1,138,867.00	83,406.62	1,026,497.11	90.13	112,369.89
	SEWER TOTAL	1,473,685.00	61,805.56	719,139.80	48.80	754,545.20
	SOLID WASTE/RECYCLING TOTAL	267,430.00	15,659.10	224,493.47	83.94	42,936.53
	TOTAL EXPENSES BY FUND	14,353,325.35	1,295,221.14	10,741,259.23	74.83	3,612,066.12

REVENUE REPORT
CALENDAR 5/2021, FISCAL 11/2021

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	BUDGET	MTD BALANCE	YTD BALANCE	PERCENT RECD	UNCOLLECTED
	GENERAL TOTAL	4,229,902.00	276,379.91	4,033,023.66	95.35	196,878.34
	ROAD USE TOTAL	445,000.00	34,828.12	467,111.34	104.97	22,111.34-
	TIF TOTAL	363,013.00	13,940.57	358,835.73	98.85	4,177.27
	L.M.I TOTAL	.00	20,557.69	57,814.52	.00	57,814.52-
	ASSET FORFEITURE TOTAL	.00	.00	1,636.00	.00	1,636.00-
	DEBT SERVICE TOTAL	339,525.00	18,721.74	522,892.57	154.01	183,367.57-
	CAPITAL IMPROVEMENTS TOTAL	2,698,573.35	80,506.62	2,205,882.01	81.74	492,691.34
	WATER TOTAL	1,174,000.00	44,490.32	1,291,091.19	109.97	117,091.19-
	SEWER TOTAL	1,475,360.00	50,750.68	1,452,027.78	98.42	23,332.22
	SOLID WASTE/RECYCLING TOTAL	267,430.00	6,973.73	230,910.76	86.34	36,519.24
	STORM WATER UTILITY TOTAL	.00	2,444.94	9,398.54	.00	9,398.54-
	TOTAL REVENUE BY FUND	10,992,803.35	549,594.32	10,630,624.10	96.71	362,179.25

BUDGET REPORT
CALENDAR 5/2021, FISCAL 11/2021

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	988,321.00	67,203.14	891,768.63	90.23	96,552.37
	CIVIL DEFENSE TOTAL	6,500.00	102.72	4,591.94	70.65	1,908.06
	FIRE TOTAL	745,658.00	33,095.82	631,390.14	84.68	114,267.86
	BUILDING/HOUSING TOTAL	594,361.00	38,695.38	517,759.47	87.11	76,601.53
	DOG CONTROL TOTAL	2,000.00	1,321.00	2,104.82	105.24	104.82-
	PUBLIC SAFETY TOTAL	2,336,840.00	140,418.06	2,047,615.00	87.62	289,225.00
	ROAD USE TOTAL	564,772.00	36,704.42	455,937.14	80.73	108,834.86
	STREET LIGHTING TOTAL	60,000.00	4,557.66	45,120.66	75.20	14,879.34
	PUBLIC WORKS TOTAL	624,772.00	41,262.08	501,057.80	80.20	123,714.20
	ENV.HEALTH SERVICES TOTAL	27,000.00	12,622.92	12,622.92	46.75	14,377.08
	HEALTH & SOCIAL SERVICES TOTA	27,000.00	12,622.92	12,622.92	46.75	14,377.08
	LIBRARY TOTAL	363,480.00	29,945.78	323,907.05	89.11	39,572.95
	PARKS TOTAL	469,518.00	26,428.83	277,761.27	59.16	191,756.73
	COMMUNITY CENTER TOTAL	15,000.00	237.34	11,042.70	73.62	3,957.30
	CULTURE & RECREATION TOTAL	847,998.00	56,611.95	612,711.02	72.25	235,286.98
	TIF/ECON DEV TOTAL	581,461.00	372.34	367,336.32	63.17	214,124.68
	COMMUNITY & ECONOMIC DEV TOTA	581,461.00	372.34	367,336.32	63.17	214,124.68
	MAYOR COUNCIL TOTAL	99,848.00	5,784.15	101,184.99	101.34	1,336.99-
	POLICY ADMINISTRATION TOTAL	285,411.00	8,595.03	243,943.13	85.47	41,467.87
	CITY ATTORNEY TOTAL	61,000.00	7,090.00	42,196.60	69.17	18,803.40
	CITY HALL TOTAL	919,650.00	4,762.83	75,786.99	8.24	843,863.01
	OTHER CITY GOVERNMENT TOTAL	305,655.00	31,944.80	208,584.30	68.24	97,070.70
	GENERAL GOVERNMENT TOTAL	1,671,564.00	58,176.81	671,696.01	40.18	999,867.99
	DEBT SERVICE TOTAL	342,120.00	460,560.00	531,428.32	155.33	189,308.32-
	DEBT SERVICE TOTAL	342,120.00	460,560.00	531,428.32	155.33	189,308.32-
	CAPITAL IMPROVEMENT TOTAL	2,759,560.35	79,135.37	2,659,092.11	96.36	100,468.24
	WATER UTILITY TOTAL	2,254,476.00	285,190.33	1,340,017.53	59.44	914,458.47
	CAPITAL PROJECTS TOTAL	5,014,036.35	364,325.70	3,999,109.64	79.76	1,014,926.71

BUDGET REPORT
CALENDAR 5/2021, FISCAL 11/2021

PCT OF FISCAL YTD 91.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	WATER UTILITY TOTAL	1,138,867.00	83,406.62	1,026,497.11	90.13	112,369.89
	SEWER UTILITY TOTAL	913,892.00	61,805.56	719,139.80	78.69	194,752.20
	RECYCLING TOTAL	267,430.00	15,659.10	224,493.47	83.94	42,936.53
	ENTERPRISE FUNDS TOTAL	2,320,189.00	160,871.28	1,970,130.38	84.91	350,058.62
	TRANSFER TOTAL	587,345.00	.00	27,551.82	4.69	559,793.18
	TRANSFER OUT TOTAL	587,345.00	.00	27,551.82	4.69	559,793.18
	TOTAL EXPENSES	14,353,325.35	1,295,221.14	10,741,259.23	74.83	3,612,066.12

BALANCE SHEET
CALENDAR 5/2021, FISCAL 11/2021

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING - GENERAL	10,183.53-	824,577.52
001-000-1725	ACCUM.DEPR. - LIBRARY BLDG	.00	.00
001-000-1745	ACCUM.DEPR. - PWD EQUIPMENT	.00	.00
001-000-1755	ACCUM.DEPR. - POLICE	.00	.00
001-000-1756	ACCUM.DEPR. - FIRE DEPT.	.00	.00
001-000-1805	ACCUM.DEPR. - SIDEWALKS	.00	.00
001-000-1806	ACCUM.DEPR.- PARKER BLVD	.00	.00
110-000-1110	CHECKING - ROAD USE	10,561.86	214,607.47
111-000-1110	CHECKING - I-JOBS	.00	.00
121-000-1110	CHECKING - LOCAL OPTION	.00	.00
125-000-1110	CHECKING - TIF	13,940.57	393,977.51
135-000-1110	CHECKING - L.M.I.	20,185.35	782,820.73
167-000-1110	CHECKING - PC COMM. LIB TRUST	.00	13,874.34
177-000-1110	CHECKING - FORFEITURE	.00	1,685.81
200-000-1110	CHECKING - DEBT SERVICE	441,838.26-	11,383.60
301-000-1110	CHECKING - CAPITAL PROJECT	1,371.25	345,963.56-
302-000-1110	CHECKING - CAPITAL WATER PROJ	285,190.33-	898,442.87
303-000-1110	CHECKING - CAP EQUIP/VEHICLE	.00	.00
600-000-1110	CHECKING - WATER UTILITY	38,913.66-	1,139,334.35
600-000-1805	ACCUM. DEPR. - WATER	.00	.00
610-000-1110	CHECKING - SEWER UTILITY	11,052.40-	1,569,270.80
610-000-1805	ACCUM. DEPR. - SEWER	.00	.00
670-000-1110	CHECKING-SOLID WASTE/RECYCLING	8,685.37-	6,417.29
740-000-1110	CHECKING	2,444.94	9,398.54
920-000-1110	CHECKING - ESCROW BANK ACCOUNT	.00	.00
	CHECKING TOTAL	747,359.58-	5,519,827.27
600-000-1111	WAT.SINKING/CKG	.00	.00
610-000-1111	SEWER SINKING FUND	.00	.00
	WATER SINKING TOTAL	.00	.00
600-000-1112	WATER TRUST CHECKING	.00	.00
610-000-1112	SEW.IMPR.CHECKING	.00	.00
	CHECKING TOTAL	.00	.00
600-000-1113	WAT.IMPR/CHECKING	.00	.00
610-000-1113	79 SANITARY SEWER DISTRICT	.00	.00
	CHECKING TOTAL	.00	.00
600-000-1115	Water Holding Account	.00	.00
	TOTAL	.00	.00

BALANCE SHEET
CALENDAR 5/2021, FISCAL 11/2021

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1120	LIBR. PETTY CASH	.00	35.00
600-000-1120	WATER PETTY CASH	.00	.00
	PETTY CASH TOTAL	----- .00	----- 35.00
001-000-1121	GENERAL PETTY CASH	.00	100.00
	PETTY CASH TOTAL	----- .00	----- 100.00
001-000-1122	PETTY CASH-POLICE	.00	300.00
	PETTY CASH-POLICE TOTAL	----- .00	----- 300.00
001-000-1150	GENERAL RESERVE IPAIT A/C	.00	1.00
125-000-1150	TIF RESERVE IPAIT A/C	.00	.00
135-000-1150	LMI - IPAIT Account	.00	1.00
200-000-1150	DEBT/TIF/CHECKING	.00	.00
301-000-1150	TIF SPECIAL REVENUES	.00	.00
600-000-1150	WATER FUND IPAIT A/C	.00	1.00
610-000-1150	SEWER FUND IPAIT A/C	.00	1.00
	CHECKING TOTAL	----- .00	----- 4.00
001-000-1151	GENERAL INVESTMENT	.00	.00
600-000-1151	WATER RESERVE INVESTMENT	.00	.00
610-000-1151	Sewer Fund CD	.00	.00
	SAVINGS TOTAL	----- .00	----- .00
600-000-1152	WATER TRUST INVESTMT.	.00	.00
	WATER TRUST INVESTMENT TOTAL	----- .00	----- .00
001-000-1160	SUPER MONEY MKT II	.00	452,833.62
110-000-1160	SAVINGS	.00	.00
125-000-1160	SAVINGS	.00	.00
	SUPER MONEY MKT II TOTAL	----- .00	----- 452,833.62
001-000-1161	GRINNELL STATE BANK CD	.00	1,080,521.37
610-000-1161	Polk County Bank CD	.00	.00
	GRINNELL STATE BANK CD TOTAL	----- .00	----- 1,080,521.37

BALANCE SHEET
CALENDAR 5/2021, FISCAL 11/2021

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1162	LUANA BANK C.D.-1.85%	.00	.00
	TOTAL	.00	.00
001-000-1163	Luana Savings Bank - M.M. Acco	1,741.58	2,525,955.34
135-000-1163	Luana Money Market Account	.00	719,041.86
600-000-1163	Luana Money Market Account	.00	.00
610-000-1163	Luana Money Market Account	.00	.00
	LUANA MONEY MARKET TOTAL	1,741.58	3,244,997.20
600-000-1220	ACCOUNTS RECEIVABLE	.00	.00
610-000-1220	ACCOUNTS RECEIVABLE	.00	.00
	TOTAL	.00	.00
	TOTAL CASH	745,618.00	10,298,618.46

RESOLUTION NO. 2021-62

RESOLUTION SETTING A PUBLIC HEARING ON THE VACATION OF RIGHT-OF-WAY EASEMENT IN THE SE 1/4 OF SECTION 26-81-25 AND THE NE 1/4 OF SECTION 35-81-25, POLK CITY.

WHEREAS, a proposal has been made for the City to vacate the Right-of-Way Easement on the following described real property:

A STRIP OF LAND IN THE SE 1/4 OF SECTION 26-81-25 AND THE NE 1/4 OF SECTION 35-81-25 POLK COUNTY, IOWA NOW IN AND FORMING A PART OF POLK CITY, IOWA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 26; THENCE ALONG THE WEST LINE OF SAID SE 1/4 NORTH 00°21'41" WEST, FOR A DISTANCE OF 43.08 FEET; THENCE SOUTH 72°59'34" EAST, FOR A DISTANCE OF 63.00 FEET; THENCE SOUTH 26°29'34" EAST, FOR A DISTANCE OF 183.57 FEET; THENCE SOUTH 50°07'40" WEST, FOR A DISTANCE OF 55.11 FEET TO A CURVE CONCAVE SOUTHWESTERLY WITH A RADIUS OF 580.00 FEET; THENCE ALONG SAID CURVE WITH A CHORD BEARING NORTH 42°08'30" WEST AND A CHORD LENGTH OF 45.93 FEET, FOR A DISTANCE OF 45.95 FEET; THENCE NORTH 26°29'34" WEST, FOR A DISTANCE OF 123.73 FEET; THENCE NORTH 72°59'34" WEST, FOR A DISTANCE OF 14.00 FEET; THENCE NORTH 00°21'41" WEST, FOR A DISTANCE OF 26.07 FEET TO THE POINT-OF-BEGINNING. CONTAINING 13,933 SQUARE FEET (0.320 ACRES) MORE OR LESS.

WHEREAS, the City Engineer has reviewed and approved said vacation; and

WHEREAS, the Code of Iowa provides that an easement may be vacated only after notice and hearing as provided by law.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Polk City, Iowa, that a public hearing before this Council on the proposal set forth in the preamble to this Resolution is set for 6:00 p.m., on the 12 day of July 2021. The City Clerk is directed to publish the Notice of said hearing at the time and in the manner required by law.

DATED at Polk City, Iowa, this 28 day of June 2021.

Jason Morse, Mayor

ATTEST:

Jenny Gibbons, City Clerk



City of Polk City, Iowa

City Council Agenda Communication

Date: June 28, 2021 City Council Meeting
To: Mayor Jason Morse & City Council
From: Chelsea Huisman, City Manager
Subject: Staff wage increases for FY22

BACKGROUND: On Monday, the City Council will review a resolution pertaining to wage increases for the City employees. Employees are scheduled to receive a 3% increase for July 1st.

ALTERNATIVES: Do not approve the resolution

FINANCIAL CONSIDERATIONS: This is a FY22 budgeted expense. When preparing the FY22 budget, we did include a 3% increase for the staff.

RECOMMENDATION: It is my recommendation that the Council approve the wage resolution for FY21-22.

RESOLUTION NO. 2021-63

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF POLK CITY IOWA:

The following persons and positions named shall be paid the salary or wages indicated and the City Clerk is authorized to issue warrants/checks/electronic payments, less legally required or authorized deductions from the amounts set out below, and make such contribution to I.P.E.R.S. and Social Security or other purposes as required by law or authorization of the Council, all subject to audit and review by the Council.

A RESOLUTION UPDATING AND CONFIRMING THE SALARIES FOR THE STAFF OF THE CITY OF POLK CITY

<u>Non-union Full time employees</u>	<u>Position</u>	<u>Hourly Rate</u>	<u>Salary</u>
Aswegan, Matt	Police Lieutenant		\$82,400.00
Franzen, Randall	Public Works Supervisor		\$84,872.00
Furness, Nick	Construction Observer/Public Works	\$24.51	\$50,980.80
Gibbons, Jenny	City Clerk		\$72,000.00
Godfrey, Dennis	Public Works	\$26.29	\$54,683.20
Kincart, Brittany	Deputy City Clerk	\$19.81	\$41,204.80
Mitchell, Jim	Fire Chief		\$88,267.00
Moeckly, Cody	Public Works	\$25.46	\$52,956.80
Ramsey, Toby	Public Works	\$21.73	\$45,198.40
Schulte, Mike	Public Works Director		\$95,481.00
Scott, Danae	Public Works	\$24.95	\$51,896.00
Siepker, Jeremy	Police Chief		\$95,481.00
Thornburg, Carol	Accounting Specialist	\$24.15	\$50,232.00
Thraen, Jason	Parks & Recreation Director	\$31.37	\$65,249.60

<u>Part time employees</u>	<u>Position</u>	<u>Hourly Rate</u>	<u>POC Rate</u>
Boots, Shawn	Firefighter/EMT	\$16.04	\$14.69
Bristle, Chrissy	Firefighter/EMT	\$15.08	\$14.14
Bristle, Ryan	Firefighter/EMT	\$15.08	\$14.14
Brooks, Cory	Firefighter/Paramedic	\$18.67	\$16.32
Brown, Jordan	Probationary	\$13.04	\$11.97
Burgod, Nathan	Firefighter/EMT	\$15.56	\$14.14
Doyon, Michael	Firefighter/Paramedic	\$18.67	\$16.32
Dunham, Zach	Firefighter/Paramedic	\$21.07	\$17.94
Feller, Jeff	Deputy Chief	\$16.53	\$15.22
Frank, Ross	Senior Firefighter/EMT	\$16.04	\$14.69
Guerdet, Matt	Senior Firefighter/EMT	\$16.04	\$14.69
Hanson, Brian	Lieutenant	\$16.53	\$15.22
Hibbing, Brice	Senior Firefighter/EMT Engineer	\$16.04	\$14.69
Hogrefe, Karla	Captain	\$21.07	\$17.94
Jacobson, Jane	Police Administrative Assistant	\$19.32	
Klatt, Nick	Lieutenant	\$16.53	\$15.22
Klinge, Joshua	Firefighter/Paramedic	\$18.67	\$16.32
Meiners, Matt	Firefighter/EMT	\$15.08	\$14.14

Mitchell, John	Captain	\$21.07	\$17.94
Mitchell, Joseph	Firefighter/Paramedic	\$19.26	\$16.32
Moore, Ryan	Firefighter/EMT	\$16.04	\$14.69
Noack, Steve	Senior Firefighter/EMT Engineer	\$16.04	\$14.69
Owen, Tanner	Firefighter/Paramedic	\$18.67	\$16.32
Palmer, Samuel	Firefighter/EMT	\$14.64	\$14.14
Parsons, Dottie	Paramedic	\$19.26	\$16.32
Pierre, Ben	Public Works	\$16.07	
Reis, Nathan	Firefighter/Paramedic	\$19.88	\$16.32
Rommel, Tyler	Deputy Chief	\$16.53	\$15.22
Sauers, Taylor	Firefighter/EMT	\$14.64	\$14.14
Sherzan, Jenna	Firefighter/Paramedic	\$19.26	\$16.32
Slagle, Landon	Firefighter/Paramedic	\$18.67	\$16.32
Sosby, Craig	Firefighter/Senior Paramedic	\$20.48	\$16.86
Wilkinson, Deb	Senior EMT	\$16.04	\$14.69
Winter, Steve	Firefighter/EMT	\$15.08	\$14.14

BY ORDER OF THE CITY COUNCIL, the new salaries as set above will go into effect July 01, 2021.
PASSED AND APPROVED this 28th day of June 2021.

Jason Morse, Mayor

ATTEST:

Jenny Gibbons, City Clerk

RESOLUTION 2021-04L

**BE IT RESOLVED BY THE BOARD OF TRUSTEES FO THE POLK CITY
COMMUNITY LIBRARY**

The following persons and positions named shall be paid the salary or wages indicated and the City Clerk is authorized to issue warrants/checks/electronic payments, less legally required or authorized deductions from the amounts set out below, and make such contribution to I.P.E.R.S. and Social Security or other purposes as required by law or authorization of the Council, all subject to audit and review by the Council.

**A RESOLUTIONS UPDATING AND CONFIRMING THE SALARIES FOR THE STAFF
OF THE POLK CITY COMMUNITY LIBRARY**

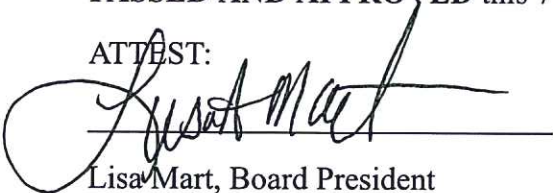
Full time employees	Position	Hourly Rate	Salary
Noack, Jamie	Library Director		\$65,257
Witt, Pamela	Adult Services Librarian/ Assistant Director	\$23.29	\$48,443
Ulbrich, Melissa	Youth Services Librarian	\$20.03	\$41,662

Part time employees	Position	Hourly Rate
Hall, Linda	Library Clerk	\$13.75
Fosselman, Ava	Library Page	\$9.27
Peer, Betty	Library Page	\$9.27
Pitcher, Kalynn	Substitute Library Page	\$9.27
Thompson, Addison	Library Page	\$9.27

BY ORDER OF THE BOARD OF TRUSTEES, the new salaries as set above will go into effect July 1, 2021.

PASSED AND APPROVED this 7th day of June 2021.

ATTEST:


Lisa Mart, Board President

RESOLUTION NO. 2021-64

A RESOLUTION APPROVING YEAR-END TRANSFERS FOR THE CITY OF POLK CITY

WHEREAS, as reflected in the FY20-21 budget, the City does need to transfer money between funds and these transfers are completed at the end of the year; and

WHEREAS, The City Council for the City of Polk City did approve a transfers resolution November 9, 2020; and

WHEREAS, the following transfers between funds need to be authorized for the budget year ending June 30, 2021:

<i>Amount</i>	<i>From Fund</i>	<i>To Fund</i>	<i>Purpose</i>
\$559,793	Sewer Fund 610-910-6910	Capital Projects 301-910-4830	Rock Creek Sanitary Sewer Annual Payment

NOW, THEREFORE BE IT RESOLVED, by the City Council of the City of Polk City, Iowa that the City Clerk is hereby authorized to make the fund transfers listed above.

PASSED AND APPROVED the 28 day of June 2021.

Jason Morse, Mayor

Attest:

Jenny Gibbons, City Clerk

RESOLUTION NO. 2021-65

**RESOLUTION APPOINTING POLK CITY'S REPRESENTATIVES TO IOWA
COMMUNITIES ASSURANCE POOL**

WHEREAS, the City of Polk City is a member of the Iowa Communities Assurance Pool (ICAP); and,

WHEREAS, ICAP requires the City of Polk City, Iowa to designate an individual and alternate representative to act as liaison with ICAP; and,

WHEREAS, the Member Proxy sets forth the process for the appointment of a primary and an alternate to serve as liaison between the City of Polk City, Iowa and ICAP for the purposes of relating risk reduction and loss control information.

NOW THEREFORE BE IT RESOLVED that the City Council of Polk City, Iowa hereby appoints Jenny Gibbons, City Clerk/Treasurer as primary representative to Iowa Communities Assurance Pool (ICAP) and Chelsea Huisman, City Manager as an alternate representative.

PASSED AND APPROVED this 28th day of June 2021.

Jason Morse, Mayor

Attest:

Jenny Gibbons, City Clerk



Member Proxy

Be it known, that the undersigned representative of the Governmental Sub-Division (hereafter referred to as MEMBER) by resolution of the governing body, a copy of which is attached hereto, hereby nominates and appoints the following individual and alternate to represent the MEMBER with the Iowa Communities Assurance Pool (hereinafter referred to as the POOL). The individual and alternate shall act as liaison between MEMBER and the POOL for the purposes of relating risk reduction and loss control information, and any other loss information or instructions concerning the obligations of the MEMBER imposed by signing the Iowa Risk Management Agreement and the rules and regulations established thereunder, to the same extent and with like effect as the undersigned thereunder, to the same extent as the undersigned could do if personally present and the undersigned does hereby ratify and confirm and adopt all action done or taken by the individual or alternate.

Primary Contact:	<u>Jenny Gibbons</u>	Alternate Contact:	<u>Chelsea Huisman</u>
Title:	<u>City Clerk</u>	Title:	<u>City Manager</u>
Address:	<u>PO Box 426</u>	Address:	<u>PO Box 426</u>
Address:	<u></u>	Address:	<u></u>
City, State, Zip:	<u>Polk City, IA 50226</u>	City, State, Zip:	<u>Polk City, IA 50226</u>
Email:	<u>ygibbons@polkcityia.gov</u>	Email:	<u>chuisman@polkcityia.gov</u>
Telephone:	<u>515-984-6233</u>	Telephone:	<u>515-984-6233</u>

In witness whereof, this proxy was executed on the _____ day of _____, in the year _____, by the undersigned duly authorized officers of the Governmental Subdivision indicated below:

Governmental Subdivision: City of Polk City

Member ICAP #: 0084

By: _____

Title: _____

By: _____

(City Clerk/County Auditor/Board Secretary)

MEETING MINUTES
The City of Polk City
Board of Adjustment
4:00 p.m., Wednesday, June 23, 2021
City Hall

Polk City, Board of Adjustment (BOA) held a meeting at 4:00 p.m., on June 23, 2021. **In addition to these published tentative minutes, there also may be additional meeting notes on file with the Polk City staff that are public records and available upon request as provided by law. These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Chair Bequeaith called the meeting to order at 4:00 p.m.

2. **Roll Call** | Morse, Calhoun, Chair Bequeaith, Bakken, Deason | In attendance

3. **Variance Request for Kwik Star – 1090 Parker Blvd.**

Wade Dumond, Kwik Trip reviewed the request from the neighbors for Kwik Star to increase the height of the fence from 6’ to 8’. City Clerk Gibbons shared an email chain between Kwik Star and one of the abutting neighbors requesting a better noise reducing buffer between the residential district and the car wash. Dumond reported the car wash would only have operations hours after 7am and before 10pm daily. He also confirmed trees would be planted along the fence, mainly on the residential side, but some on the car wash side as well. The BOA members asked why Kwik Star was doing this, Dumond said they didn’t want to spend the \$80k that it would take to install this type of a fence, but they do desire to be a good neighbor in Polk City and therefore are willing to install it as a way to work with the neighbors.

MOTION: A motion was made by Morse and seconded by Calhoun to grant variance for the installation of a 8-foot fence in lieu of the 6-foot fence on the approved Site Plan

YES: Calhoun, Bequeaith, Deason, Morse

NO: Bakken

MOTION CARRIED

4. **Adjournment**

MOTION: A motion was made by Deason and seconded by Morse to adjourn at 4:13 p.m.

MOTION CARRIED UNANIMOUSLY

Attest:

Jenny Gibbons –City Clerk

RESOLUTION NO. 2021-68

A RESOLUTION APPROVING THE CONSTRUCTION DRAWINGS FOR PUBLIC IMPROVEMENTS FOR BIG CREEK COMMONS PLAT 1

WHEREAS, Civil Engineering Consultants, on behalf of Knapp Properties, has submitted the Construction Drawings for Public Improvements associated with Big Creek Commons Plat 1, including but not limited to grading, street paving, assessable sidewalk ramps along with associated storm sewers, sanitary sewers, water main and services; and

WHEREAS, said Construction Drawings appear to be in general conformance with Polk City's Subdivision Regulations, SUDAS and the approved Preliminary Plat for Big Creek Commons Plat 1; and

WHEREAS, it shall be the Developer's responsibility to obtain approval for all necessary permits including the Iowa DNR permits for water main and sanitary sewer construction, and the NPDES Storm Water Discharge permit; and

WHEREAS, the Developer's Engineer remains solely responsible for their design and ensuring it is fully compliant with all applicable code requirements and permits; and

WHEREAS, the Developer's Engineer is also responsible for construction staking and ensuring all locations, grades and slopes are in conformance with said standards; and

WHEREAS, the City Engineer has reviewed said Construction Drawings for Public Improvements and recommended approval of same.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the City Engineer and do hereby approve the Construction Drawings for Public Improvements for Big Creek Commons Plat 1.

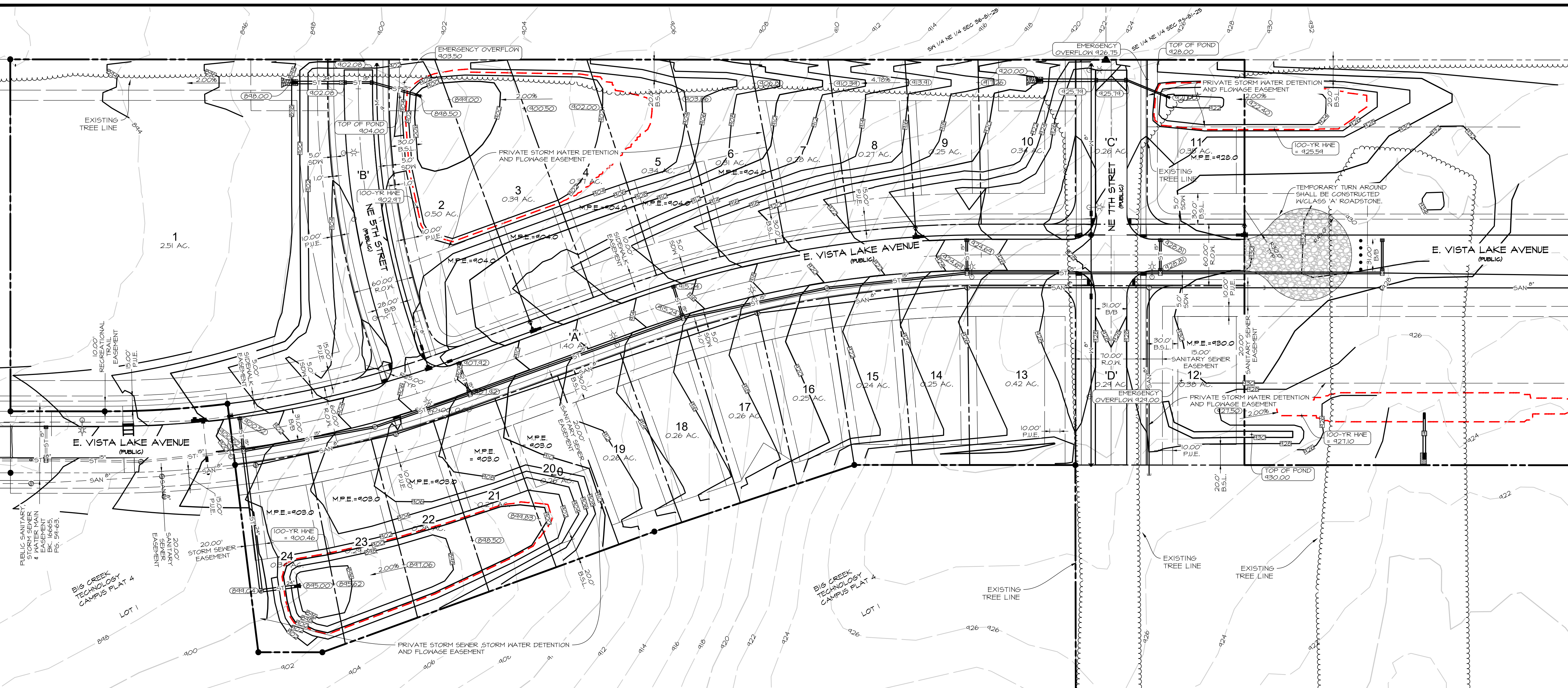
PASSED AND APPROVED the 28th day June 2021.

Jason Morse, Mayor

ATTEST:

Jenny Gibbons, City Clerk

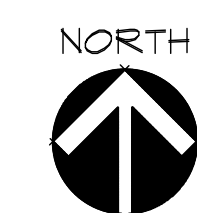
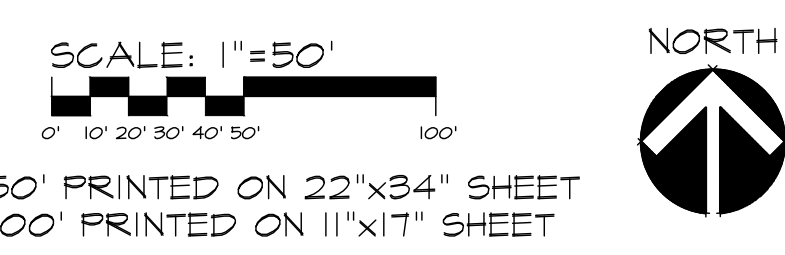
PLOT BY: PAUL CLAUSEN - 2021/06/22 - G:\E-FILES\B-0000\B4\PLA_CSD Drawings\Construction Documents\Public Improvements\B4\PLA_CSD GRADING.dwg - ANBI EXPAND D (B-600 X 22.00 INCHES) - AUTOCAD PLOT (GENERAL DOCUMENTATION\F63 - CEC-XEB TEST\CTB - PLOT SCALE = 1:1



GENERAL LEGEND	
	PROPOSED FLAT BOUNDARY
	SECTION LINE
	LOT LINE
	CENTERLINE
	EASEMENT LINE
	FLARED END SECTION
	DRAIN BASIN OR SEDIMENT RISER
	DRAIN BASIN WITH SOLID GRATE
	WATER VALVE
	FIRE HYDRANT ASSEMBLY
	BLOW-OFF HYDRANT
	SCOUR STOP MAT
	TURF REINFORCEMENT MAT
	STORM SEWER WITH SIZE
	SUBDRAIN
	WATER SEWER WITH SIZE
	WATER SERVICE
	PROPOSED CONTOUR
	SILT FENCE
	ADDRESS
	RIPRAP
	B.S.L. BUILDING SET BACK LINE
	P.U.E. PUBLIC UTILITY EASEMENT
	M.O.E. MINIMUM OPENINGS ELEVATION
	M.P.E. MINIMUM PROTECTION ELEVATION
	EXISTING LOT LINE
	SANITARY/STORM MANHOLE
	WATER VALVE
	FIRE HYDRANT
	STORM SEWER SINGLE INTAKE
	STORM SEWER DOUBLE INTAKE
	STORM SEWER ROUND INTAKE
	FLARED END SECTION
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB
	POWER POLE
	STREET LIGHT
	GUY ANCHOR
	ELECTRIC TRANSFORMER
	GAS METER
	TELEPHONE RISER
	SIGN
	CATV UNDERGROUND TELEVISION
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	SANITARY SEWER WITH SIZE
	STORM SEWER WITH SIZE
	WATER MAIN WITH SIZE
	EXISTING CONTOUR
	TREELINE

NOTES:

1. THE MINIMUM OPENING ELEVATION (M.O.E.) SHALL BE THE ELEVATION OF THE LOWEST OPENING IN THE FOUNDATION.
2. THE MINIMUM BASEMENT ELEVATION (M.B.E.) SHALL BE THE ELEVATION OF THE LOWEST FLOOR, INCLUDING BASEMENT.
3. THE MINIMUM PROTECTION ELEVATION (M.P.E.) SHALL BE THE PROTECTION ELEVATION OF THE LOWEST FOUNDATION OPENING.
4. AN ELEVATION CERTIFICATE SHALL BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ON ALL LOTS WITH A DESIGNATED M.B.E. OR M.O.E. OR M.P.E. TO DEMONSTRATE PROTECTION ELEVATION REQUIREMENTS HAVE BEEN MET.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PAUL J.D. CLAUSEN, IOWA REG. NO. 29112 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021 PAGES OR SHEETS COVERED BY THIS SEAL.

Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 Des Moines, Iowa 50322
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com

PUBLISH DATE: June 22, 2021

DATE OF SURVEY:	APRIL 02, 2020
DESIGNED BY:	PC
DRAWN BY:	REH

PRELIMINARY

BIG CREEK COMMONS PLAT 1
 400 EAST VISTA LAKE AVENUE, POLK CITY, IOWA

ENGINEERING EXHIBIT

SHEET
—
OF 01

E-8474



Civil Engineering Consultants, Inc.

June 22, 2021

Attn: Kathleen Connor, Senior Planner
Snyder & Associates, Inc.
27227 SW Snyder Boulevard
Ankeny, Iowa 50023

RE: Big Creek Commons Plat 1 – Final Plat

Dear Kathleen:

On behalf of William C. Knapp, L.C., we are submitting this response letter for the Big Creek Commons Plat 1 Final Plat. This submittal includes:

- Revised Final Plat
- Revised Engineering Exhibit
- PDFs of all submittals

The staff comments dated June 17, 2021 have been addressed as follows:

A. Final Plat Drawing. Based on our review of Submittal #2, the following comments will need to be addressed:

1. All storm sewer easements, storm water management facility easements, and drainage easements will need to be revised as necessary based on the revised Storm Water Management Plan and revised Construction Drawings; the concept for which will be discussed at a meeting planned for June 21, 2021. **We are currently addressing the construction plan comments.**
2. Provide MidAmerican Energy's layout for gas and electric so the PUE locations can be reviewed. Provide Midland Cooperative's layout if they will be serving any of the lots or streetlights. We question if a PUE is needed across Lot 25 for looping purposes since this lot appears to be near the limits of MidAmerican Energy's service area. **The entire plat is serviced by MidAmerican Energy. We have submitted a request for proposal to MidAmerican Energy. We will submit the utility layout upon receipt.**
3. For simplicity, rather than defining an irregular rear yard setback line on Lots 2-6 with bearings and distances, we recommend moving the setback line to the Private Storm Water Management Facility and Easement since the area to the north is not buildable anyway. **The building setbacks for lots 2-6 have been revised.**
4. Provide additional dimensions from lot corners, and bearings and distances as necessary to pin down the location of the rear yard setback on Lot 17, 22, 23 and 24. **The setback for lots 20-24 have been adjusted to the storm water management facility and easement. The setbacks for Lots 16 and 17 have been tied down to lot corners.**
5. Provide an updated Engineering Exhibit for review, revised if necessary based on the amended Storm Water Management Plan and Construction drawings. Revise Note #4 on the Engineering Exhibit to remove the last sentence, referencing legal descriptions for easements. **The exhibit has been revised. Note No. 4 has been updated.**
6. Add a note to the plat stating "The Temporary Public Facilities and Use Easement shall automatically be vacated when the public improvements on the plat immediately east of Big



Creek Commons Plat 1 are accepted by City Council.” **Note No. 16 has been added to the final plat.**

7. We will coordinate with the Public Works Director regarding the location of the siren for this area. Its location should be noted if it will be situated within this plat.
8. Add a note to the cover sheet stating “The Temporary Public Facilities and Use Easement shall be automatically vacated when the City of Polk City accepts the public improvements associated with the abutting plat to the east that includes the extension of E. Vista Lake Avenue.” **Note No. 17 has been added to the final plat. *Should the note read “... PLAT TO THE WEST...”?***
9. Once assigned by staff, add the addresses for each lot to the final plat. **The addresses have been added to the plat.**
10. Prior to this item being scheduled for the City Council agenda, provide legal description for all easements for review and inclusion in easement documents. **Please find the a Word document of the easement legal descriptions included with this submittal.**

B. Legal Documents. Prior to City Council consideration of this Final Plat, all legal documents, shall be reviewed and approved by the City Attorney prior to this item being placed on the Council agenda. These documents include:

1. *Easement documents* will be provided by the City Attorney on the city’s own forms for signature by the developer, and include:
 - a. Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement
 - b. Public Storm Sewer Easement
 - c. Public Sanitary Sewer Easement
 - d. Overland Flowage Easement
 - e. Public Recreational Trail Easement
 - f. Public Sidewalk Easement
 - g. Public Utility Easement
 - h. Temporary Easement to accommodate utilities that will be stubbed out for future extension, end-of-pavement markers, and snow removal.

OK
2. *Covenants and Homeowners Association*, required since the HOA will be responsible for maintenance of the Storm Water Management Facility as well as maintenance of the monument signs and associated lighting or landscaping, if any. **The Covenants and HOA documents will be submitted under separate cover.**
3. *Platting legal documents* including Title Opinion, Consent(s) to Plat, and Certificate of Treasurer. **The platting documents shall be submitted under separate cover.**
4. *Warranty Deed* for dedication of Lots A, B, C and D (Street) along with Groundwater Hazard Statement. **The Warranty deed shall be submitted under separate cover.**
5. *Engineering Exhibit* to establish MOE elevations for recordation with the Final Plat. **Please find the revised engineering exhibit included with this submittal.**
6. *Streetlights and Electrical Distribution*. Provide a pdf copy of the contract with Midland Cooperative, signed by the developer, for the installation of same; along with the provider(s) layout plan based on the approved streetlight design. CEC shall be required to stake the location of all streetlights, transformers, and similar equipment to ensure their locations are not within the 10’ wide recreational easement. **We are currently working with MidAmerican for an electric and gas distribution plan.**



Civil Engineering Consultants, Inc.

7. *Sidewalk Performance Bond* covering the developer's responsibility to pave any uncompleted sidewalks or trail that remain unpaved four years after final plat approval. **The bond shall be submitted under separate cover.**
8. *Subdivision bond or Letter of Credit* as surety to cover the cost of the public improvements. **The bond or letter of credit shall be submitted under separate cover.**

Please review this information at your earliest convenience. If you have any additional comments or questions do not hesitate to contact us.

Sincerely,
Civil Engineering Consultants, Inc.

A handwritten signature in blue ink that reads "Paul Clausen".

Paul Clausen, P.E.

Cc: Aimee Staudt; Tom Wittman; and Stuart Ruddy, Knapp Properties, Inc.

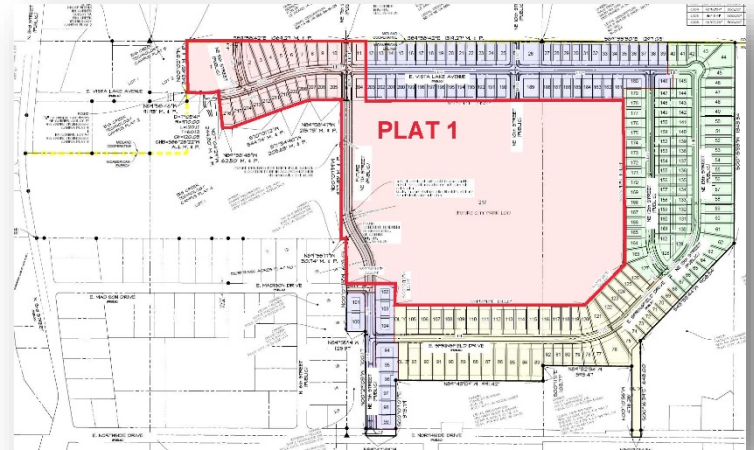
FINAL PLAT REVIEW

Date: June 17, 2021
 Project: Big Creek Commons Plat 1

Compiled by: Kathleen Connor
 Project No.: 121.0433.01

GENERAL INFORMATION:

Applicant: William C. Knapp, L.C.
 Request: Approval of Final Plat
 Location: East of Big Creek Technology Campus Plat 4
 Size: 139.02 Acres
 Zoning: R-1, R-1A. and M-1
 Proposed use: 1 light industrial lot
 23 single family lots
 1 lot for public park
 4 Lots – Public Right-of-way



*Big Creek Commons
 (Plat 1: Highlighted in Pink)*

BACKGROUND & DESCRIPTION:

The subject property represents the first phase of development of the Big Creek Commons. Plat 1 includes the lots described above and is consistent with the approved Preliminary Plat. The lots range in size from 10,517 square feet for a 70' wide lot to 21,942 square feet.

The Parkland Dedication for this subdivision is being fulfilled through the city's acquisition of Lot 25 for a regional park. The public improvements include paving of the extension of E. Vista Lake Avenue along with the associated water main, sanitary sewer, storm sewer and services. The improvements also includes detention basins on the rear of several single-family lots; these Private Storm Water Management Facilities will be maintained by the Homeowners Association. City staff is meeting with the developer, the developer's engineer, and the park's designer to resolve issues related to the proposed Storm Water Management Plan as it pertains to the conceptual plans for the city's park.

The developer proposes to obtain final plat approval prior to construction of the public improvements so the city can proceed with closing on the park property. A subdivision bond will be required to ensure construction of the required public improvements.

FINAL PLAT REVIEW COMMENTS:

A. **Final Plat Drawing.** Based on our review of Submittal #2, the following comments will need to be addressed:

1. All storm sewer easements, storm water management facility easements, and drainage easements will need to be revised as necessary based on the revised Storm Water Management Plan and revised Construction Drawings; the concept for which will be discussed at a meeting planned for June 21, 2021.
 2. Provide MidAmerican Energy's layout for gas and electric so the PUE locations can be reviewed. Provide Midland Cooperative's layout if they will be serving any of the lots or streetlights. We question if a PUE is needed across Lot 25 for looping purposes since this lot appears to be near the limits of MidAmerican Energy's service area.
 3. For simplicity, rather than defining an irregular rear yard setback line on Lots 2-6 with bearings and distances, we recommend moving the setback line to the Private Storm Water Management Facility and Easement since the area to the north is not buildable anyway.
 4. Provide additional dimensions from lot corners, and bearings and distances as necessary to pin down the location of the rear yard setback on Lot 17, 22, 23 and 24.
 5. Provide an updated Engineering Exhibit for review, revised if necessary based on the amended Storm Water Management Plan and Construction drawings. Revise Note#4 on the Engineering Exhibit to remove the last sentence, referencing legal descriptions for easements.
 6. Add a note to the plat stating "The Temporary Public Facilities and Use Easement shall automatically be vacated when the public improvements on the plat immediately east of Big Creek Commons Plat 1 are accepted by City Council."
 7. We will coordinate with the Public Works Director regarding the location of the siren for this area. Its location should be noted if it will be situated within this plat.
 8. Add a note to the cover sheet stating "The Temporary Public Facilities and Use Easement shall be automatically vacated when the City of Polk City accepts the public improvements associated with the abutting plat to the east that includes the extension of E. Vista Lake Avenue."
 9. Once assigned by staff, add the addresses for each lot to the final plat.
 10. Prior to this item being scheduled for the City Council agenda, provide legal description for all easements for review and inclusion in easement documents.
- B. Legal Documents.** Prior to City Council consideration of this Final Plat, all legal documents, shall be reviewed and approved by the City Attorney prior to this item being placed on the Council agenda. These documents include:
1. *Easement documents* will be provided by the City Attorney on the city's own forms for signature by the developer, and include:
 - a. Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement
 - b. Public Storm Sewer Easement
 - c. Public Sanitary Sewer Easement
 - d. Overland Flowage Easement
 - e. Public Recreational Trail Easement

- f. Public Sidewalk Easement
 - g. Public Utility Easement
 - h. Temporary Easement to accommodate utilities that will be stubbed out for future extension, end-of-pavement markers, and snow removal.
2. *Covenants and Homeowners Association*, required since the HOA will be responsible for maintenance of the Storm Water Management Facility as well as maintenance of the monument signs and associated lighting or landscaping, if any.
 3. *Platting legal documents* including Title Opinion, Consent(s) to Plat, and Certificate of Treasurer.
 4. *Warranty Deed* for dedication of Lots A, B, C and D (Street) along with Groundwater Hazard Statement.
 5. *Engineering Exhibit* to establish MOE elevations for recordation with the Final Plat.
 6. *Streetlights and Electrical Distribution*. Provide a pdf copy of the contract with Midland Cooperative, signed by the developer, for the installation of same; along with the provider(s) layout plan based on the approved streetlight design. CEC shall be required to stake the location of all streetlights, transformers, and similar equipment to ensure their locations are not within the 10' wide recreational easement.
 7. *Sidewalk Performance Bond* covering the developer's responsibility to pave any uncompleted sidewalks or trail that remain unpaved four years after final plat approval.
 8. *Subdivision bond or Letter of Credit* as surety to cover the cost of the public improvements.
- A. **Public Improvements Construction.** The developer is requesting approval of the Final Plat prior to commencing construction on the public improvements in order to close on the sale of property within this plat. The developer or his contractors will need to provide a Subdivision Performance Bond in an amount equal to 100% of the cost of construction prior to this item, including quantities and unit prices for all construction items. Prior to acceptance, construction will need to be completed and all punch list items will need to be addressed. The developer's contractors will need to provide four-year Maintenance bonds for the public improvements and service locates. The developer's engineer will need to provide as-built Record Drawings, certification letter that as-built grading conforms to the approved Storm Water Management Plan, and surveyor's certification that all property corners have been set prior to Council acceptance.

No Building Permits will be issued for any lot within this plat until the public improvements are accepted.

RECOMMENDATION:

Based on the foregoing, staff recommends P&Z approval of the Final Plat for Big Creek Commons Plat 1, subject to the following:

1. All of staff's review comments, including revisions to the Storm Water Management Plan shall be addressed prior to this item being placed on the City Council agenda for approval.

2. City Council approval of the Construction Drawings for Big Creek Commons Plat 1 prior to Council action on the Final Plat, with the stipulation that the public improvements for Big Creek Technology Campus Plat 4 shall be completed prior to or in conjunction with the public improvements for Big Creek Commons Plat 1.
3. City Attorney's review and approval of all legal documents associated with Big Creek Commons Plat 1 prior to this Final Plat being placed on the City Council agenda for approval.
4. No Building Permits shall be issued for any lot within Big Creek Commons Plat 1 until the public improvements have been accepted by City Council.
5. Payment in full of all fees to the City of Polk City.

RESOLUTION NO. 2021-66

**A RESOLUTION APPROVING THE FINAL PLAT FOR
BIG CREEK COMMONS PLAT 1**

WHEREAS, Civil Engineering Consultants, Inc, on behalf of Knapp Properties submitted a Final Plat for Big Creek Commons Plat 1; and

WHEREAS, on June 21 2021, the Polk City Planning and Zoning Commission met and recommended approval of the Final Plat for Big Creek Commons Plat 1 subject to completion of the City Engineer's review comments and recommendations being satisfactorily addressed; and

WHEREAS, Construction Drawings were approved by City Council on June 28, 2021; and

WHEREAS, the City Engineer and City Attorney have reviewed the Final Plat and all necessary legal documents including warranty deeds, subdivision bond, sidewalk bond, and easements and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Final Plat.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and deems it appropriate to approve the Final Plat for Big Creek Commons Plat 1; subject to Council's prior approval of the Construction Drawings for Big Creek Commons Plat 1.

PASSED AND APPROVED the 28th day June 2021.

Jason Morse, Mayor

ATTEST:

Jenny Gibbons, City Clerk

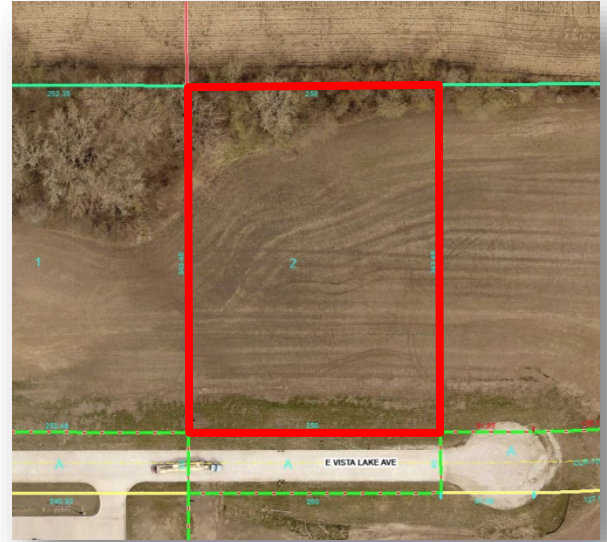
SITE PLAN REVIEW

Date: June 23, 2021
 Project: Lakes Early Learning Center

Compiled by: Kathleen Connor, Planner
 Project No.: 121.0562.01

GENERAL INFORMATION:

Applicant:	Feldman Real Estate, LLC
Owner:	Bruce Boland
Requested Action:	Approval of Site Plan
Location	Lot 2, BCTC Plat 5
Size:	1.97 acres
Zoning:	M-1
Propose Use:	Child Care Center



PROJECT BACKGROUND:

In March of 2009, the subject property was rezoned to M (Restricted) as part of the Big Creek Technology Campus development. The property was re-classified to M-1 in May of 2010 when the City updated their zoning ordinance to include two industrial zoning districts.

This property was platted as part of Big Creek Technology Campus Plat 5 in 2021 and the public improvements were completed in 2011.

PROJECT DESCRIPTION:

Feldman Real Estate, LC plans to purchase the subject property for use as a childcare facility. The developer intends to construction an 8,844 sf, single story structure, with a 6,100 sf playground area on the north side of the building. The building will have metal panel siding in multiple colors, with cultured stone around the entry, on the front corners, and as wainscoting on all sides of the building. The roof will have asphalt shingles. The architectural elevations have been revised as required by Knapp’s Design Review Committee to include additional stone.

The building will have a paved, PCC parking lot, with 47 paved parking stalls. The parking lot is configured to allow for the provision of the additional 14 parking stalls in the future if necessary. Staff proposes the developer enter into a deferral agreement in order to reduce the required parking stalls from the 62 stalls required by Polk City Code, to 47 stalls, which is consistent with parking requirements for childcare facilities in other cities in the metro area. Paving of the additional 14 stalls may be deferred by Agreement for no more than three years, per Section 165.16, paragraph 4-B of city code. The additional 14 stalls would then need to be paved, unless Polk City’s parking regulations have been amended or the use of the property has changed such that additional stalls are no longer required.

A 10' recreational trail will be paved along E. Vista Lake Avenue. Landscaping will be added, including street trees at 40' on center along the south property line and headlight screening around the parking lot.

Detention will be provided north of the building. An on-site hydrant will be provided. The building will not be sprinklered.

P&Z Recommendations: The applicant requested a waiver of the following requirements:

- A. **5' Sidewalk vs. 10' recreational trail.** P&Z concurred with staff's recommendation for a 10' trail which will be part of the continuous trail segment running along the north side of E. Vista Lake Drive; from N. 3rd Street to the crosswalk at the east entrance to North Polk Intermediate School.
- B. **Hydrant coverage based on a 250' radii.** P&Z concurred with staff's requirement for a 200' radii per Polk City Fire Code, Chapter 155.09, paragraph 13 which states "no part of a multi-family, commercial or industrial building shall be more than 200 feet from a fire hydrant unless said building is fully sprinklered". This building is not sprinklered.
- C. **Elimination of 6 open space trees.** P&Z agreed to waive the requirement for 6 of the 9 required open space trees in consideration of the wooded area on the northwest side of their site. The existing woods will also serve as the required buffer on the north side of the site.

REVIEW COMMENTS:

Submittal #5a addresses all of staff's review comments.

RECOMMENDATION:

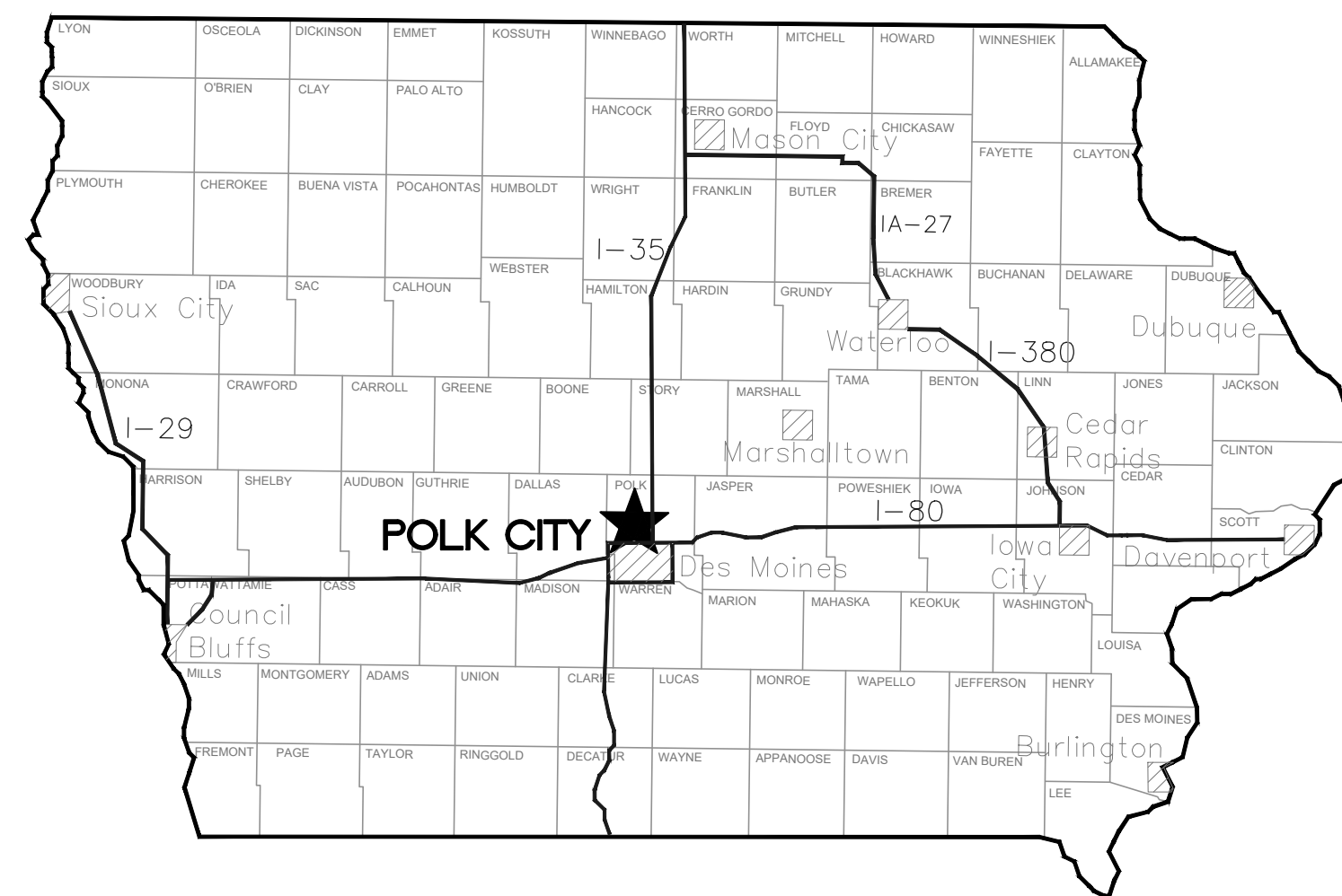
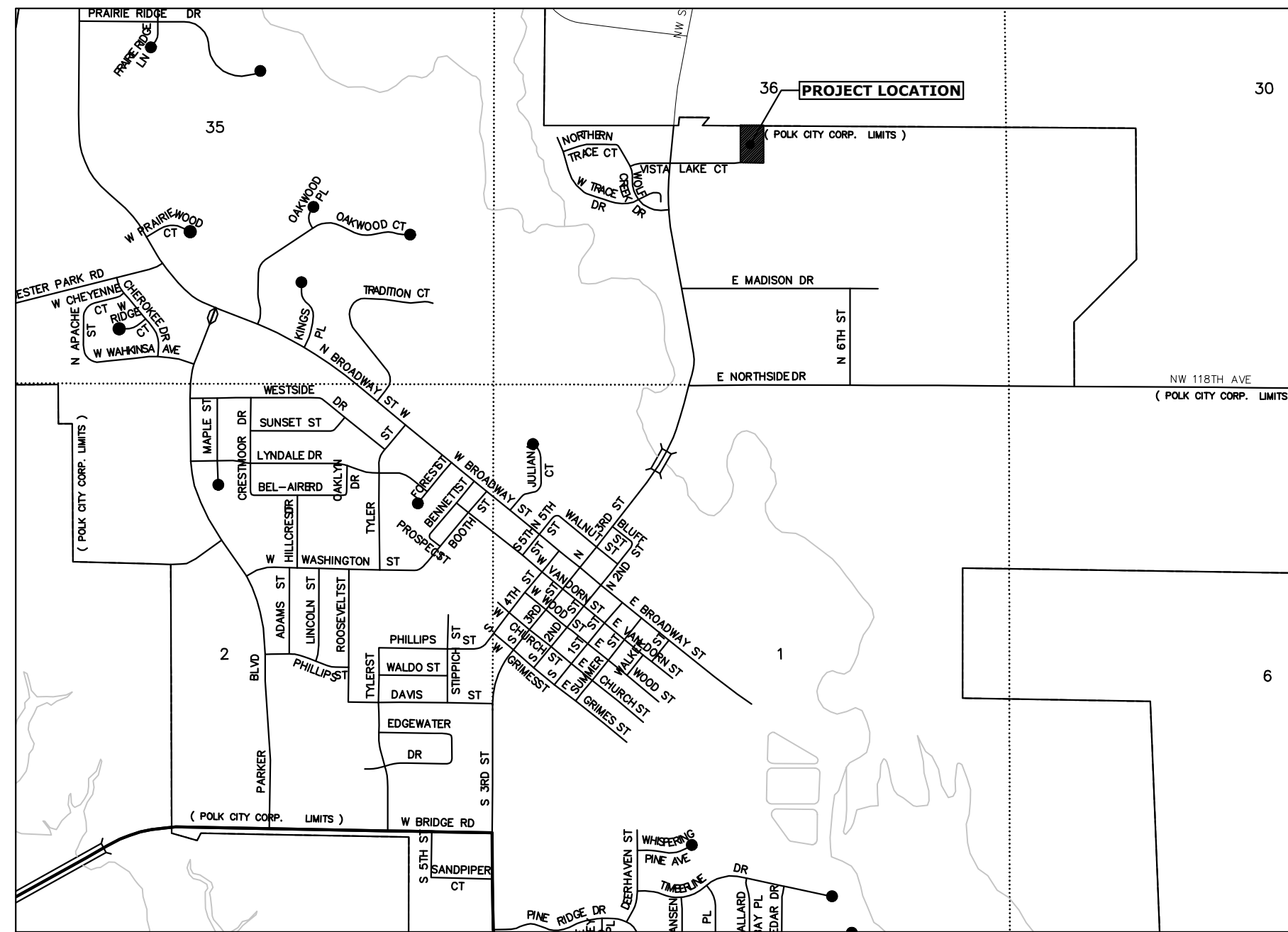
P&Z and staff recommend City Council approval of the Site Plan for Lakes Early Learning Center, subject to the following:

1. Prior to Council action, the applicant will need to sign an Agreement deferring the paving of 14 parking stalls for no more than three years, unless the Zoning Code requirement is changed prior to that time which requires fewer parking stalls for child care facilities or if the use of the property changes and there are sufficient parking stalls on site for said use.
2. Prior to Council action, payment in full of all fees to the City of Polk City.

LAKES EARLY LEARNING CENTER

POLK CITY, IOWA

LOCATION MAP



No.	Description
G1.1	COVER SHEET
G2.1	LEGEND / GENERAL NOTES
G3.1 - G3.2	TYPICAL DETAILS
G4.1 - G4.2	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C1.1	EXISTING CONDITIONS & REMOVALS
C2.1	SITE LAYOUT & DIMENSIONING PLAN
C2.2	PARKING LOT JOINTING PLAN
C3.1	SITE GRADING PLAN
C3.2	GRADING DETAIL VIEW
C4.1	UTILITY PLAN
C5.1	LANDSCAPING PLAN
C6.1	FIRE TRUCK FIGURE

SITE PLAN DATA

Site Address: 225 East Vista Lake Avenue
 Legal Description: Lot 2 Big Creek Technology Campus, Plat 5
 Owner: Bruce Boland, 3818 NW 92nd Place, Polk City, IA 50226
 Applicant: Feldman Real Estate, LLC, 1301 Boone Street, PO Box 34, Sheldahl, IA 50243
 Site Plan Prepared by: Eric Thompson, P.E., FOX Engineering Associates, 414 S. 17th Street, Suite 107, Ames, Iowa 50010, Phone: 515-233-0000, Email: ELT@foxeng.com

TRAFFIC ANALYSIS

Daily trips = 120 vehicles per day
 Peak Hour = 50 vehicles per hour (AM/PM)
 % Trucks = 0%

Utility Coordination

The Contractor is responsible to coordinate construction with the following utilities know to have services in the area:

Water and Sewer: Mike Schulte, City of Polk City (515) 208-1271
 Gas: Craig Ranfeld, MidAmerican (515) 252-6632
 Electric: Midland Cooperative (515) 386-4111
 Phone and Cable: Tim Adreon, Mediacom (515) 233-2318
 Tom Sturmer, Centurylink (303) 453-9927

THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2. THE CONTRACTOR SHALL CARRY OUT THE TERMS AND CONDITIONING OF GENERAL PERMIT NO. 2 AND STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THESE CONTRACT DOCUMENTS. REFER TO SECTION 2602 OF THE DOT STANDARD SPECIFICATION FOR ADDITIONAL INFORMATION.

THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS 2021) AND POLK CITY SUPPLEMENTAL SPECIFICATIONS; AND APPLICABLE SUPPLEMENTAL SPECIFICATIONS, DEVELOPMENTAL SPECIFICATIONS, AND SPECIAL PROVISIONS, AND ALL APPROPRIATE ADDENDUMS AND REVISIONS SHALL APPLY TO THE CONSTRUCTION WORK ON THIS PROJECT UNLESS NOTED ON THE PLANS OR IN THE CONTRACT.

Zoning (165.11)	M-1 Industrial	
Building requirements	Max Height	75 FT
Open Space	165.06,10	15 %
Building Setbacks	Front	30 FT
	Side Yard	0 FT
	Rear	40 FT

Building Use: Education - Child Care
 Employees: 17 - MAX per shift
 Fire: The building is not sprinkled

Survey Datum: All elevations are to NAV 88 unless otherwise noted

Flood Information: This site is not in a regulated floodplain

Lot 2, Site Area =	85,893 SF (1.97 AC)
Developed Site Area =	72,507 SF
New Building Area =	8,844 SF
Total Pavement Area =	30,128 SF
Total Hard Surface =	38,972 SF
Pervious Playground Area =	6,100 SF
Total Open Space	40,821 SF 47.5%
Required Open Space	12,884 SF 15.0%

Parking (165.16)

1 space per employee	17 Employees
(+) 1 space per 200 sf	44.22 #/200 SF
* 1 space per 300 sf	29.48 #/300 SF (deferral #)
Total Building Gross Floor Area =	8,844 SF
Employee Parking Required =	17 Spaces
Floor Area Parking Required =	45 SF
Total Spaced Required =	62 Spaces
Deferred Parking Stalls Shown	16 Spaces
Total Spaces Provided =	47 Spaces
Total Future Spaces Shown =	62 Spaces
Accessible Spaces Required =	3 Spaces (1 van)
Accessible Spaces Provided =	2 Spaces (1 van), (deferral #)

The City has entered into a deferral agreement on 16 stalls to be paved at a later date or waved at such time the code is revised. Total required stalls is 47 at time of construction, based on 1/300 SF + 17 employees. Note that 62 stalls require 1 additional accessible stall. The site would lose one existing stall due to striping to accommodate additional accessible stall.

Landscaping Requirements (165.17)

Open Space	
Developed Area =	72,507 SF
Open Space =	40,821 SF
Open Space Required =	12,884 SF
Trees =	9 EA
Shrubs =	26 EA

Parking Area

Vehicle Pavement Area =	21,012 SF
Plant Square Footage =	4,202 SF
No. of Trees Required =	6 EA

Construction

Start Date Fall 2021
 End Date Fall 2022

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Eric L. Thompson
 ERIC L. THOMPSON P.E.
 License number P21937
 My license renewal date is December 31, 2022.
 Pages or sheets covered by this seal:
 1/1

NOTE THE ONSITE HYDRANT IS PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.

OUTDOOR STORAGE IS PROHIBITED, UNLESS ITS LOCATION AND TYPE IS DEPICTED ON THE SITE PLAN

THE PROPERTY OWNER WILL BE RESPONSIBLE FOR OBTAINING WRA APPROVAL OF A FATS, OILS AND GREASE (FOG) PERMIT IN CONJUNCTION WITH THE BUILDING PERMIT

SITE NOTE:

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.



GENERAL NOTE: ALL UTILITIES ARE ONLY GENERALLY LOCATED. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION BEFORE CONSTRUCTION BEGINS.

LAKES EARLY LEARNING CENTER

DRAWING FILENAME: K:\pro\5000\5497-21A Lakes Early Learning Center\Drawings\General\5497-21A G Streets.dwg
 PLOT STYLE TABLE: FoxGrayScale.ctb
 LAYER: MNGR_NAME
 LAYOUT NAME: G1.1

DATE	BY	DESIGNED	ELT	DRAWN	SRS	CHECKED	LAST UPDATE
							06/22/23

FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103

COVER SHEET
 LAKES EARLY LEARNING CENTER
 225 EAST VISTA LAKES AVENUE
 POLK CITY, IOWA

PROJECT NO.
 5497-20A

SHEET
 G1.1

DRAWING FILENAME: C:\I:\proj\5000\5497-21A_Lakes Early Learning Center\Drawings\General\5497-21A_G_Sheets.dwg
 PLOT STYLE TABLE: FoxgrayScale.ctb
 LAYER MGR NAME: G2.1
 LAYOUT NAME: G2.1

CIVIL LEGEND		
LINework		
EXISTING	PROPOSED	
		BUILDING
		CONCRETE PAVING
		ASPHALT PAVING
		SIDEWALK
		PROPERTY LINE
		EASEMENT
		BUILDING SETBACK LINE
		FENCE - BARBED WIRE
		FENCE - CHAIN LINK
		FENCE - VINYL
		FENCE - WOOD
		FENCE - SILT
		WATER MAIN
		STORM SEWER / CULVERT
		STORM SEWER SUBDRAIN
		SANITARY SEWER
		FORCE MAIN
		ELECTRIC - OVERHEAD
		ELECTRIC - UNDERGROUND
		TELEPHONE - OVERHEAD
		TELEPHONE - UNDERGROUND
		FIBER OPTIC
		NATURAL GAS
		TREE LINE
		CROP LINE
		RAIL ROAD TRACK
		GROUND SURFACE CONTOURS
		LIMITS OF CONSTRUCTION

SYMBOLS		
EXISTING	PROPOSED	
		BOLLARD
		BUSH
		CABLE TV PEDESTAL
		CONTROL/ TRAVERSE POINT
		CURB STOP
		ELECTRICAL PEDESTAL
		ELECTRICAL MANHOLE
		ELECTRICAL TRANSFORMER
		FIBER OPTIC PEDESTAL
		GAS METER
		GAS VALVE
		FIRE HYDRANT
		JUNCTION BOX
		LIGHT POLE
		MAIL BOX
		MANHOLE (UNKNOWN)
		PROPERTY CORNER -FOUND
		POWER POLE
		RIGHT OF WAY RAIL
		SANITARY CLEANOUT
		SANITARY MANHOLE
		SECTION CORNER -FOUND
		SIGN
		STUMP
		TREE -DECIDUOUS
		TREE -EVERGREEN

ABBREVIATIONS		
FG - FORM GRADE (GUTTER)	FL - FLOWLINE	BOP - BEGINNING OF PROJECT
TOC - TOP OF CURB	INV - INVERT	EOP - END OF PROJECT
TOW - TOP OF WALK	PL - PROPERTY LINE	PC - POINT OF CURVATURE
PFE - FINISH FLOOR ELEVATION	ROW - RIGHT OF WAY	PT - POINT OF TANGENCY
TOB - TOP OF BANK	PUE - PUBLIC UTILITY EASEMENT	PI - POINT OF INTERSECTION
TOE - TOE OF SLOPE	CL - CENTER LINE	

Specifications and Notes

All work and materials shall conform to the 2020 Edition of the Iowa Statewide Urban Design and Specifications (SUDAS) except as modified in these notes and as modified by the City of Polk City.

Where referenced as "IDOT Spec", the Iowa Department of Transportation's 2015 Standard Specifications for Highway and Bridge Construction, Series 2019, plus all appropriate supplemental specifications shall apply to this project.

Sanitary Sewer and Water Specifications

All sanitary sewer and water utility and service work shall conform to the current edition of the Iowa Statewide Urban Design and Specifications (SUDAS) and City of Polk City Supplemental Conditions.

Pipe smaller than 4 inches in diameter shall conform to the International Plumbing Code and City of Polk City approved modifications to the Plumbing Code.

Work to be Completed Prior to Construction

* Joint utility locate meeting. Contractor shall set up a One-Call meeting. The Owner, City, Engineer, Testing Firm, and associated utility providers shall attend the meeting.

Utility Protection

Water, gas and electric must be maintained for the duration of the construction. Temporary shut downs are not allowed unless absolutely necessary and with a 7-day advance notice to those affected by the construction. The plans have been prepared so that no shutdown is required, but there may be unknown conflicts that develop during construction.

Land For Construction Purposes

Contractor will be permitted to use available land belonging to or leased by the Owner, on or near the site of the Work, for construction purposes and for the storage of materials and equipment. The location and extent of the areas available to the Contractor shall be as indicated on the Drawings. Any additional right-of-way desired by the Contractor shall be acquired at his expense, and the Contractor shall hold harmless the Owner and Engineer from claims for damages made by the owners of such additional right-of-way.

Construction Materials Storage

All construction materials, dumpsters, detached trailers or similar items are prohibited on the public streets or within the public right of way and any easement area.

Permits

The Owner has obtained the State and City erosion control permits. The Contractor shall co-sign all necessary documents with the permit. Construction monitoring of the erosion control permit is handled by the Owner. The Contractor will be copied all records and observation forms required for the permits.

Connections to Existing Facilities

Unless otherwise specified or indicated, Contractor shall make all necessary connections to existing facilities, including structures, drainlines, and utilities such as water, sewer, gas, telecommunications, and electric. In each case, Contractor shall receive permission from the Owner or the utility prior to undertaking connections. Contractor shall protect facilities against deleterious substances and damage.

Connections to existing facilities, which are in service, shall be thoroughly planned in advance, and all required equipment, materials, and labor shall be on hand at the time of undertaking the connections. Work shall proceed continuously if necessary to complete connections in the minimum time. Operations of valves, hydrants, or other appurtenances on existing utilities, when required, shall be by or under the direct supervision of the owning utility.

Notices

Contractor shall notify owners of adjacent properties and utilities when prosecution of the Work may affect them. When it is necessary to temporarily deny access by owners or tenants to their property, or when any utility service connection must be interrupted, the Contractor shall give notices sufficiently in advance to enable the affected persons to provide for their needs. Notices whether given orally or in writing shall include appropriate information concerning the interruption and instruction on how to limit their inconvenience.

Lines and Grades

All Work shall be done to the lines, grades, and elevations indicated on the Drawings. Construction staking is provided for the site and buildings by FOX Engineering. The Contractor shall preserve the stakes as restaking is \$200 per hour. A minimum 48 hours notice is required for construction staking. Contact Seth Polich, Construction Survey Manager, at 515-290-0802 for stakes. The Contractor shall verify all match points during the phasing of the work and maintain drainage paths during the work to prevent ponding of water.

Temporary Drainage

The Contractor shall have a plan for temporary drainage during construction of the storm sewer and related work. The temporary drainage shall not block drainage from existing offsite neighbors draining through the property. Erosion control features should not block flow and cause flooding.

Unfavorable Construction Conditions

During unfavorable weather, wet ground, or other unsuitable construction conditions, the Contractor shall confine his operations to work, which will not be affected adversely by such conditions. No portion of the Work shall be constructed under conditions, which would affect adversely the quality of efficiency thereof, unless special means or precautions are taken by the Contractor to perform the work in a proper and satisfactory manner.

Clean Up

Contractor shall keep the premises occupied by the Contractor free from accumulations of waste materials and rubbish at all times. Contractor shall provide adequate trash receptacles about the work site, promptly empty containers when filled, and properly dispose of waste materials at his expense. Wastes shall not be buried or burned on the site or disposed of in storm drains, sewer, streams, or waterways.

Construction materials such as forms and scaffolding shall be neatly stacked by Contractor when not in use. Contractor shall promptly remove splattered concrete, asphalt, oil, paint, corrosive liquids, and cleaning solutions from surfaces to prevent marring or other damage.

Geotechnical Engineering Report

A geotechnical report has not been completed for this site. The Contractor may elect to have one completed at their own expense.

Topsoil Areas

The Contractor shall place 8 inches of black topsoil on all areas of permanent vegetation. The Contractor is responsible for hauling in topsoil where needed to supplement available on-site top soil.

Excavation Quantities and Borrow Soils

The Contractor is responsible for determining the volume of cut and fill for the site. A digital copy of the grading plan will be provided to the Contractor on request. The request should be made to Eric Thompson at Fox Engineering Associates; Phone 515-233-0000 or by email at ELT@foxeng.com. The Owner reserves the right to review the material for acceptability for this project.

There is an area where numerous loads of waste soil have been stockpiled. The material is from many locations. This material can be used as fill under the parking areas and slope fills using IDOT Type 'A' compaction.

Rocks and Concrete Debris

Rocks and concrete debris larger than 4 inches in any dimension cannot be used in the fill for the project except as fill outside the edge of buildings or pavement by a minimum of 2 feet. The large material should not be used where settlement of materials could cause damage to the site.

Storm Sewer Pipe Materials

Reference the plans for the type of pipe allowed. Substitutions are not allowed unless requested in writing to the Engineer.

Contech A2000 PVC shall be used for PVC storm sewer unless otherwise specified. Utilize the standard gasketed joint for storm sewer. Substitution of other pipes can be allowed by the Engineer.

Storm Sewer Pipe Bedding

All plastic pipe shall be bedded in crushed stone to a minimum of 12 inches above the top of the pipe unless shown otherwise on the plan details. The top of the bedding shall be level across the top of the pipe. Humping of the bedding over the pipe is incorrect method of installation. It is recommended a concrete stinger probe be used to consolidate the rock under the pipe rather than relying completely on shoveling and hand work.

Pipe bedding for the RCP shall be as per SUDAS.

Required Separation Distances

Water main and water main services shall maintain 18 inches of separation between sanitary sewer and storm sewer. If the separation cannot be maintained, then water main grade pipe shall be used for the sanitary sewer or storm sewer for a minimum distance of 10 feet either side of the water main per SUDAS.

PCC Paving Specifications

All PCC paving shall be IDOT Class C pavement in accordance with the specifications. A jointing diagram has been provided in the plans. Alternate jointing plans shall be approved by the Engineer. The maximum joint spacing is 12 feet for concrete slabs and 15 feet for curb & gutter sections. Weight tickets shall be provided to the Owner and Owner reserves the right to request a core to confirm thickness at the rate of 1 core per 2,000 square feet at locations selected by the Owner or Engineer.

Erosion Control

The Erosion Control contractor shall install silt fence or equivalent device where soils may exit the site and around any intake or pipe opening. The silt fence shall be removed when the site is stabilized. The Contractor shall comply with all provisions of the NPDES permit and SWPPP. The Owner shall conduct the record keeping necessary to maintain the permit and SWPPP.

Each Contractor onsite shall be responsible for maintaining the erosion control impacted by their work including the repair, cleaning or replacement of the erosion control.

The Contractor is responsible for keeping tracked mud, debris and dust off adjacent streets and shall clean the streets daily. The construction entrance has already been constructed and will be maintained and cleaned by the Contractor using the site daily. Replacement stone, if necessary, will be provided by the Contractor using the site.

Locate Wires

Locate wires are required for all water services and storm sewer as shown in plans. Locate wires are not required for conduit, sanitary sewer or storm sewer. All pipe and services shall be buried with a locate wire as per the specifications and terminated in a testing box next to the building terminations.

Determination of Quantities

The Contractor shall determine his quantities for the project. The Contractor may request a digital copy of the plans by calling Eric Thompson at Fox Engineering at 515-233-0000 or by email at ELT@foxeng.com. The Engineer does not assume any liability for providing the digital drawing to the Contractor. The Contractor shall provide his quantities and a schedule of values at the preconstruction meeting for the project.

DATE	BY	DESIGNED	DRAWN	CHECKED	LAST UPDATE:
06/21	ELT		SRS		06/22/23

REVISION	DATE

FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103

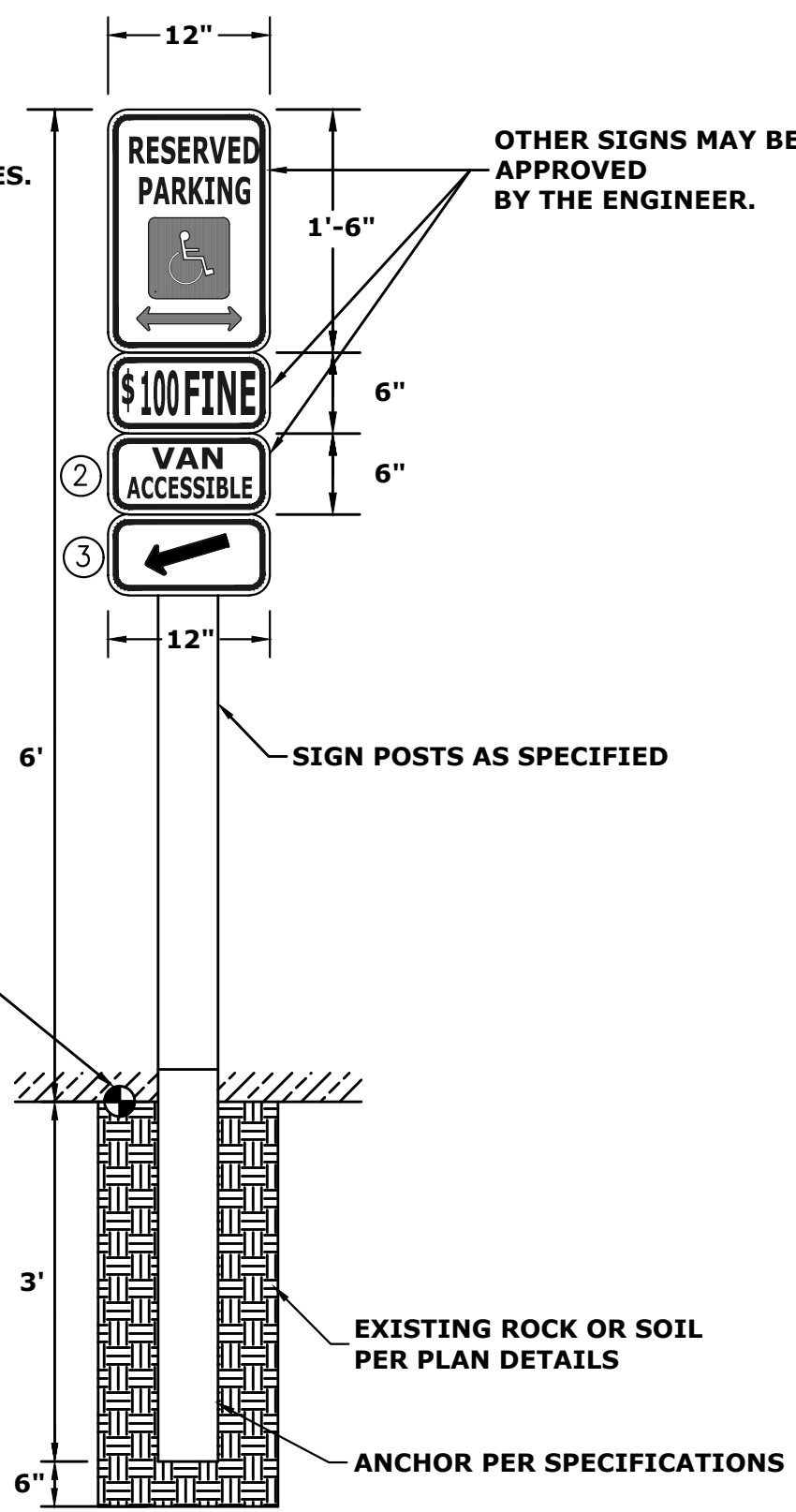
LEGEND / GENERAL NOTES
 LAKES EARLY LEARNING CENTER
 225 EAST VISTA LAKES AVENUE
 POLK CITY, IOWA

PROJECT NO.
 5497-20A

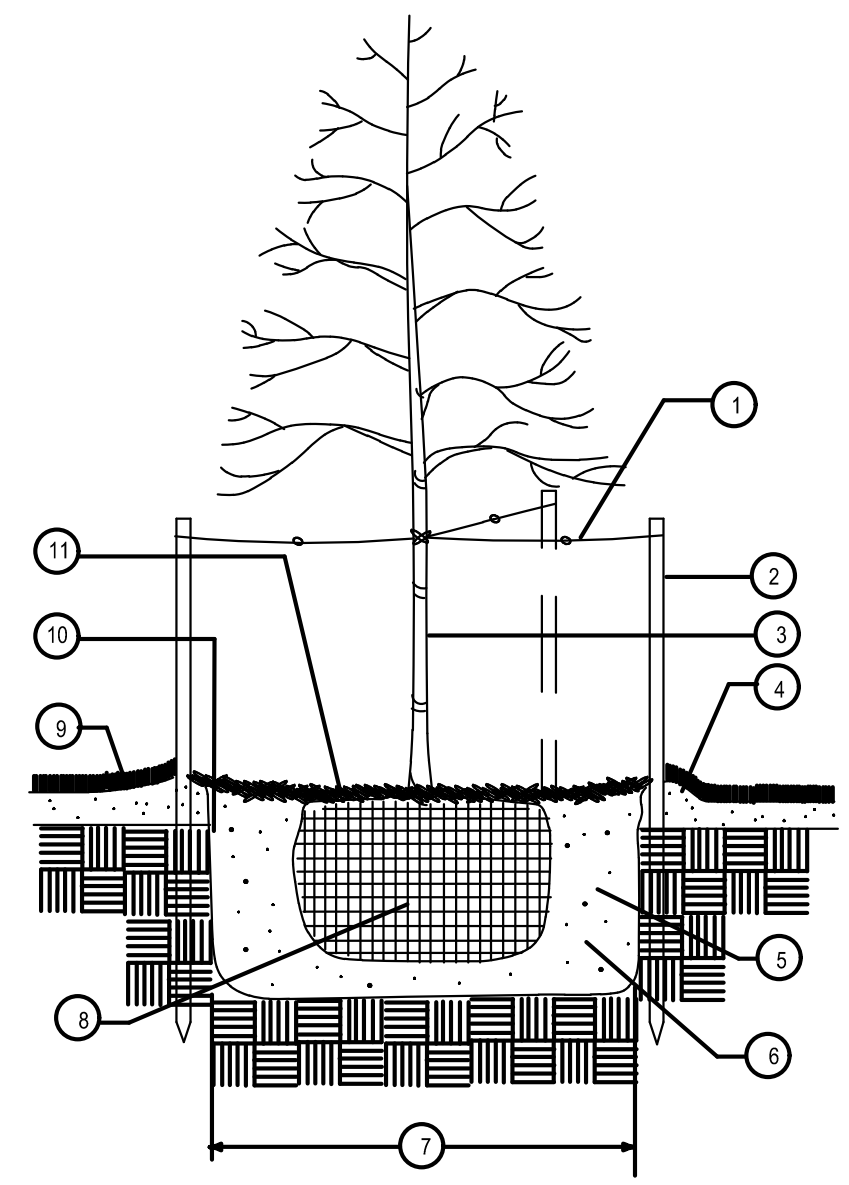
SHEET
 G2.1

SIGNAGE NOTES:

1. VERIFY THAT SIGNAGE PROVIDED COMPLIES WITH STATE AND LOCAL CODES.
2. VAN ACCESSIBLE PLACARD SHALL BE PLACED IN FRONT OF VAN ACCESSIBLE STALLS.
3. USE W16-7P SUPPLEMENTAL PLAQUE WHERE INDICATED ON THE PLANS.
4. FIELD VERIFY LOCATIONS OF SIGNS.



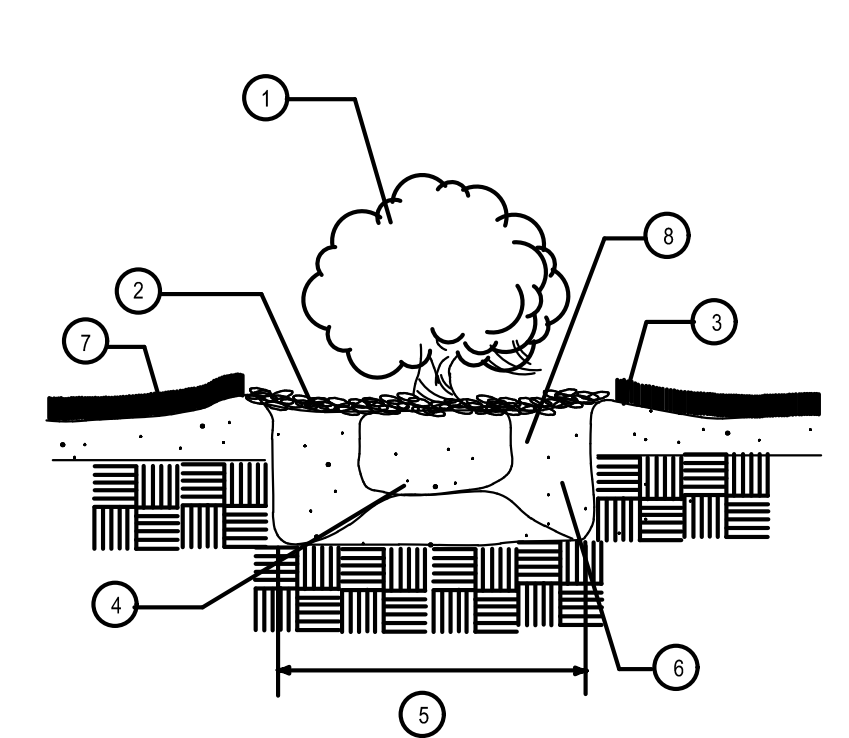
1 HANDICAP SIGN POST DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING DETAIL
NOT TO SCALE

- 1 TREE TIE - FASTEN TO TREE TRUNK W/ RUBBER HOSE ABOUT SCAFFOLD BRANCHES
- 2 WOOD STAKE OR WOOD DEADMEN (8-10" EXPOSED) STAKE ON THREE SIDES SPACED 120 DEGREES APART
- 3 TREE TRUNK W/ WRAP
- 4 5" WATERING BASIN
- 5 FERTILIZER TABLETS (3" DEEP)
- 6 PLANTING BACKFILL
- 7 THREE TIMES ROOTBALL DIAMETER (MINIMUM)
- 8 ROOTBALL
- 9 FINISH GRADE
- 10 PLANT PIT W/ ROUGHENED SIDES
- 11 3-4" SHREDDED BARK/HARDWOOD MULCH

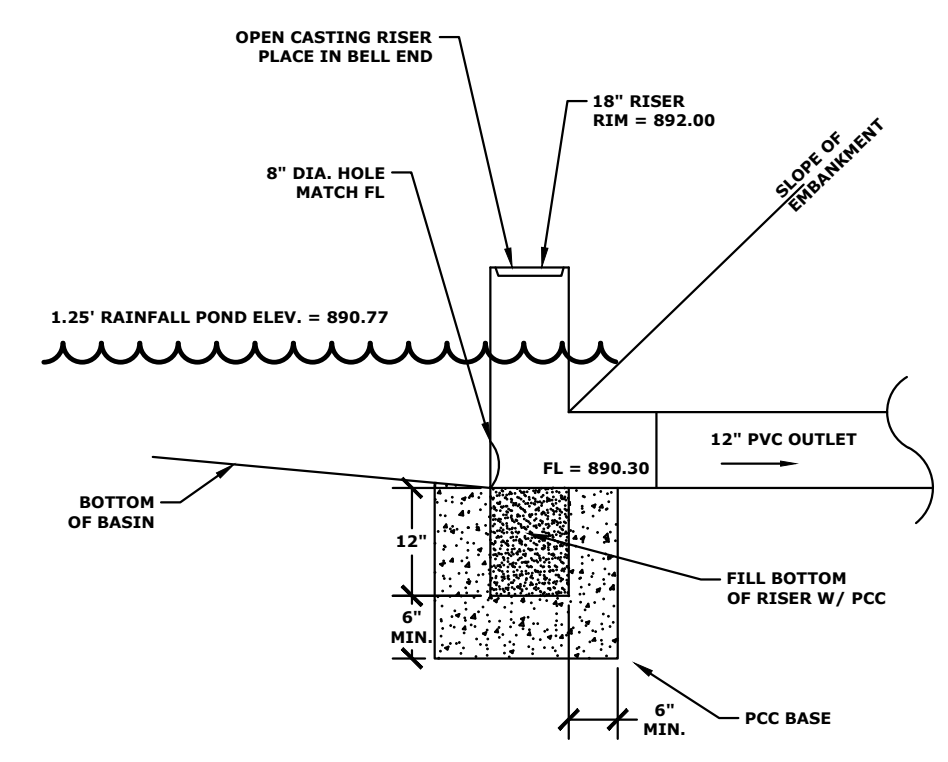
NOTES:
1. THE PLANTING HOLE SHOULD BE SHALLOW AND WIDE TO ALLOW FOR RAPID GROWTH AFTER PLANTING.
2. DO NOT THIN CROWN. PRUNE DAMAGED OR BROKEN BRANCHES AS NEEDED.
3. SET TREE 2-3 INCHES ABOVE FINISHED GRADE.
4. APPLY WATER TO HOLE WHILE BACKFILLING TO ASSURE AIR POCKETS DO NOT FORM.



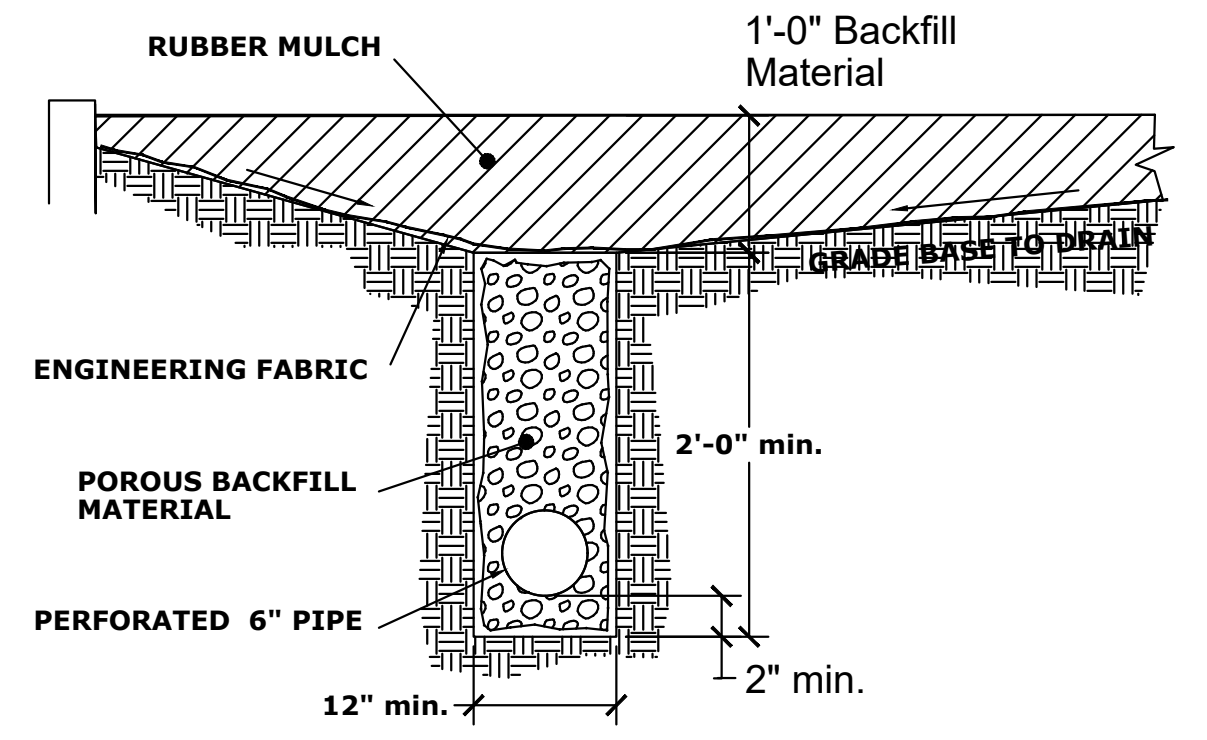
SHRUB PLANTING DETAIL
NOT TO SCALE

- 1 SHRUB
- 2 4" SHREDDED BARK MULCH
- 3 5" WATERING BASIN
- 4 ROOTBALL
- 5 TWICE ROOTBALL DIAMETER
- 6 FERTILIZER TABLET (1) - 3" DEEP
- 7 FINISH GRADE
- 8 PLANTING BACKFILL - SEE SPECIFICATION

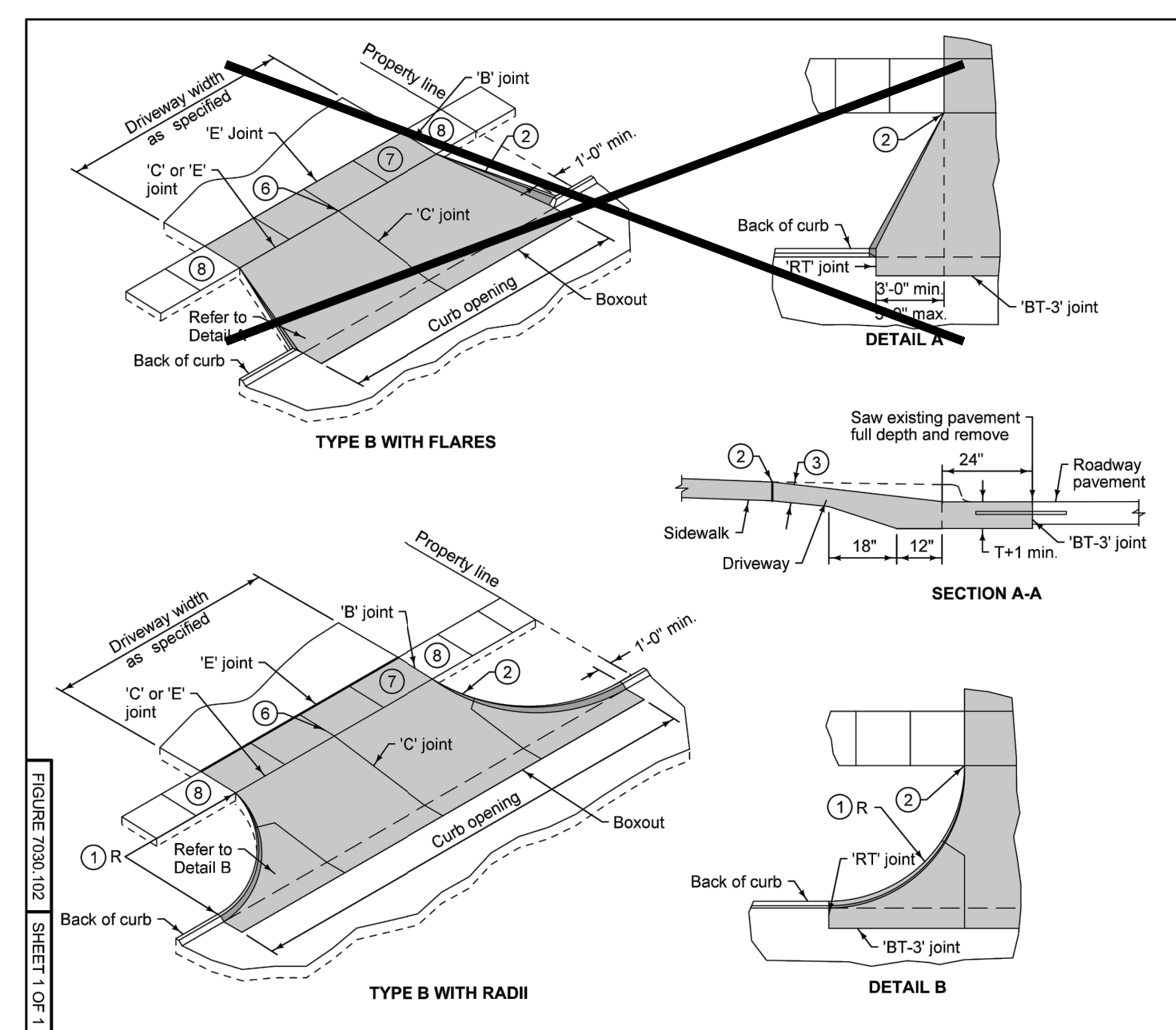
2 PLANTING DETAILS
NTS



3 POND OUTLET DETAIL
NOT TO SCALE

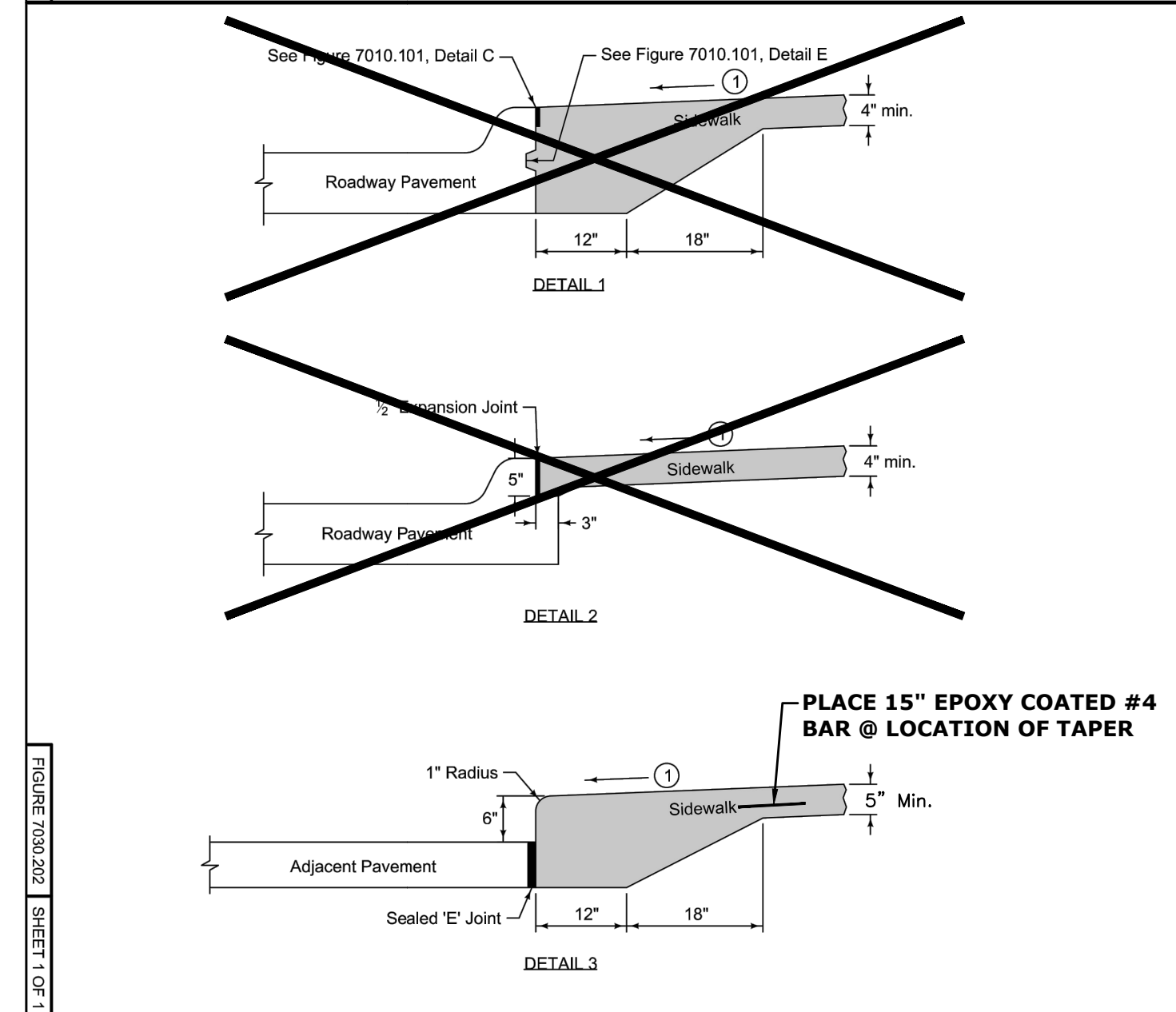


4 PLAYGROUND SUBDRAIN DETAIL



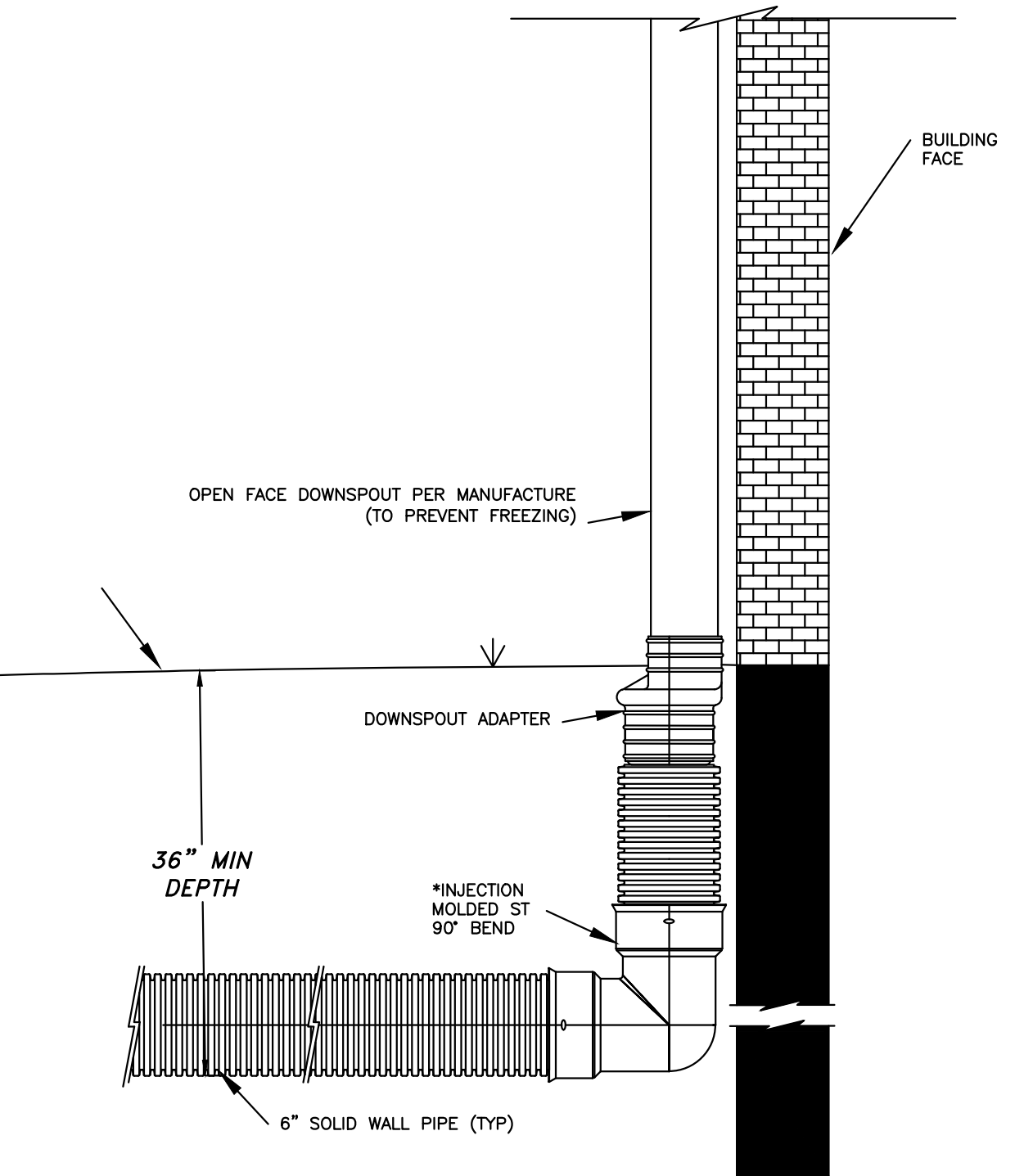
- 1 Driveway radius (R). Residential: 10' foot minimum, 15' foot maximum. Commercial and industrial: As specified in the contract documents.
- 2 Transition the curb height to 0 inches at end of taper radius or at the front edge of sidewalk. Do not extend raised curb cross sidewalk.
- 3 Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4 Sidewalk thickness through driveway to match thickness of driveway.
- 5 If longitudinal joint is located 48 inches or less from the back of curb, extend boxout to joint line. Full depth saw cut is still required.
- 6 For alleys, invert the pavement crown 2% toward the center of the alley.
- 7 Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- 8 If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If the elevation change requires a curb ramp, comply with Figure 7030.205, verify need for detectable warning panel with Engineer.

SUDAS	REVISION
	7030.102
SUDAS Standard Specifications	
CONCRETE DRIVEWAY, TYPE B	



- For new sidewalk with new curb and gutter, comply with Detail 1 or Detail 2. Comply with Detail 3 for new sidewalk adjacent to existing pavement or when specified in the contract documents.
- 1 Target cross slope of 1.5% with a maximum cross slope of 2.0%.

SUDAS	REVISION
	7030.202
SUDAS Standard Specifications	
CURB DETAILS FOR CLASS A SIDEWALK	
MODIFIED	



PROPOSED ROOF DRAIN LINE SHALL BE 6-INCH SDR 23.5 OR DUAL WALL A2000 WITH SMOOTH WALL INTERIOR. CONTRACTOR SHALL CONNECT ALL PROPOSED DOWNSPOUTS TO THE 6-INCH ROOF DRAIN LINE WITH PREFABRICATED FITTINGS.

5 DOWNSPOUT CONNECTION TO SUBDRAIN

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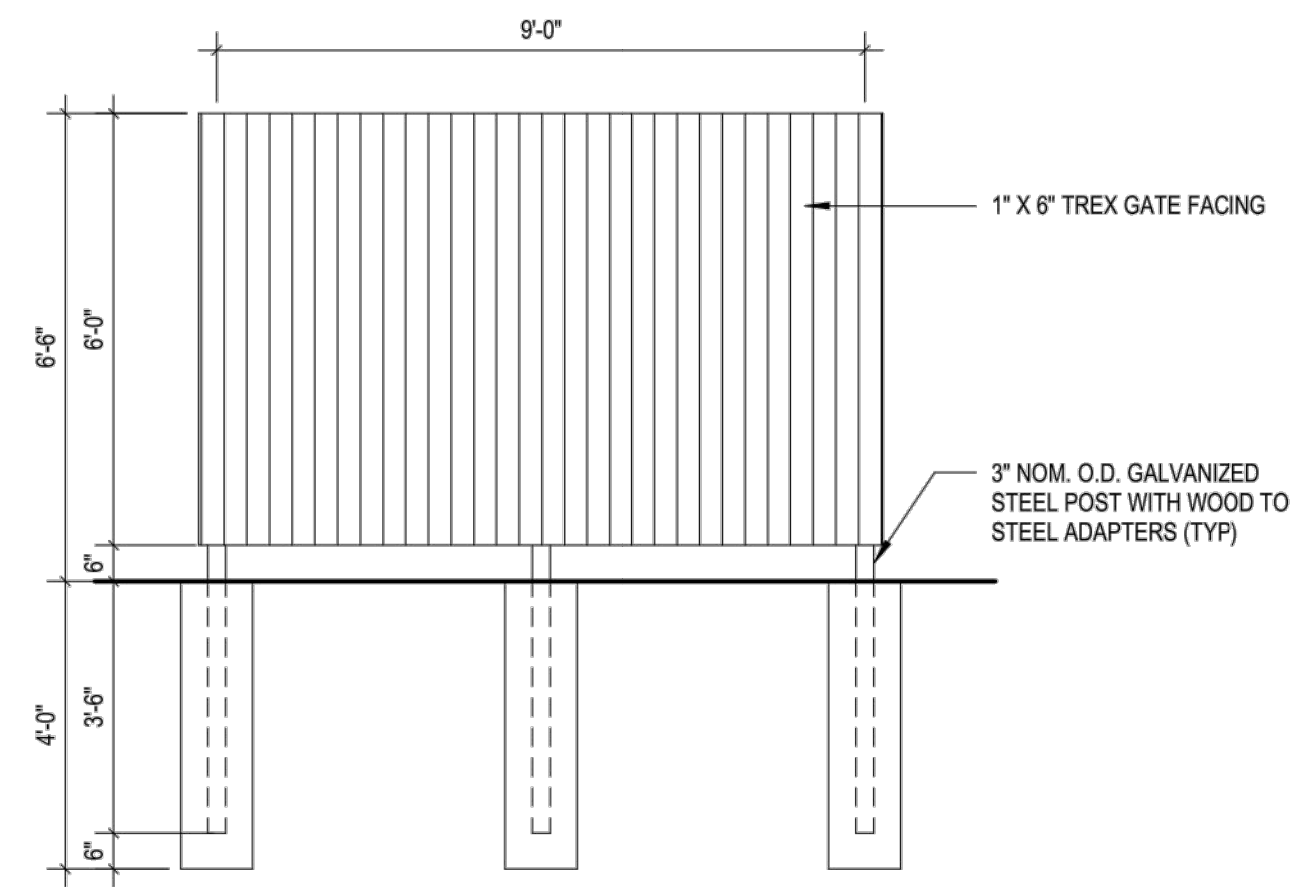
DATE	06/21	06/21	06/21	06/22/23
BY	ELT	SRS	CHEKED	
DESIGNED		DRAWN		
REVISION				
DATE				

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

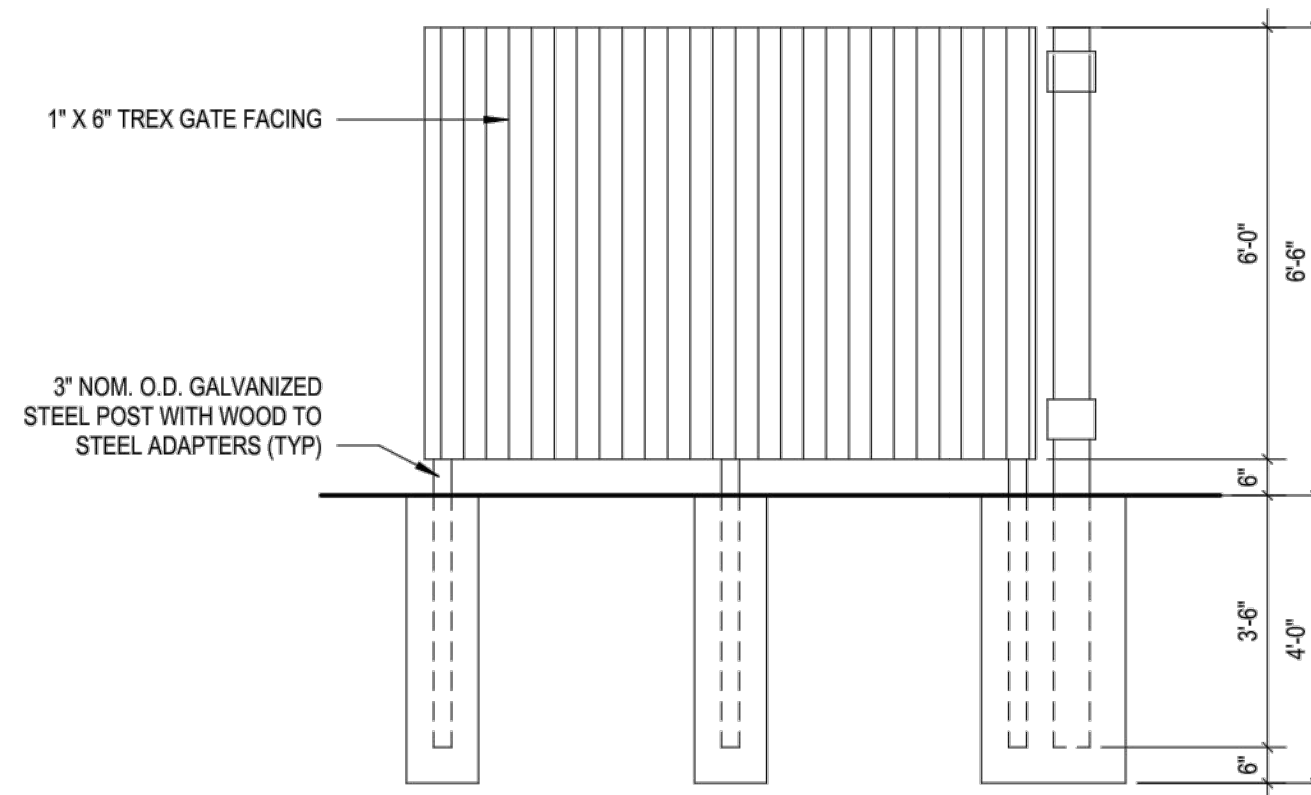


TYPICAL DETAILS
LAKES EARLY LEARNING CENTER
225 EAST VISTA LAKES AVENUE
POLK CITY, IOWA

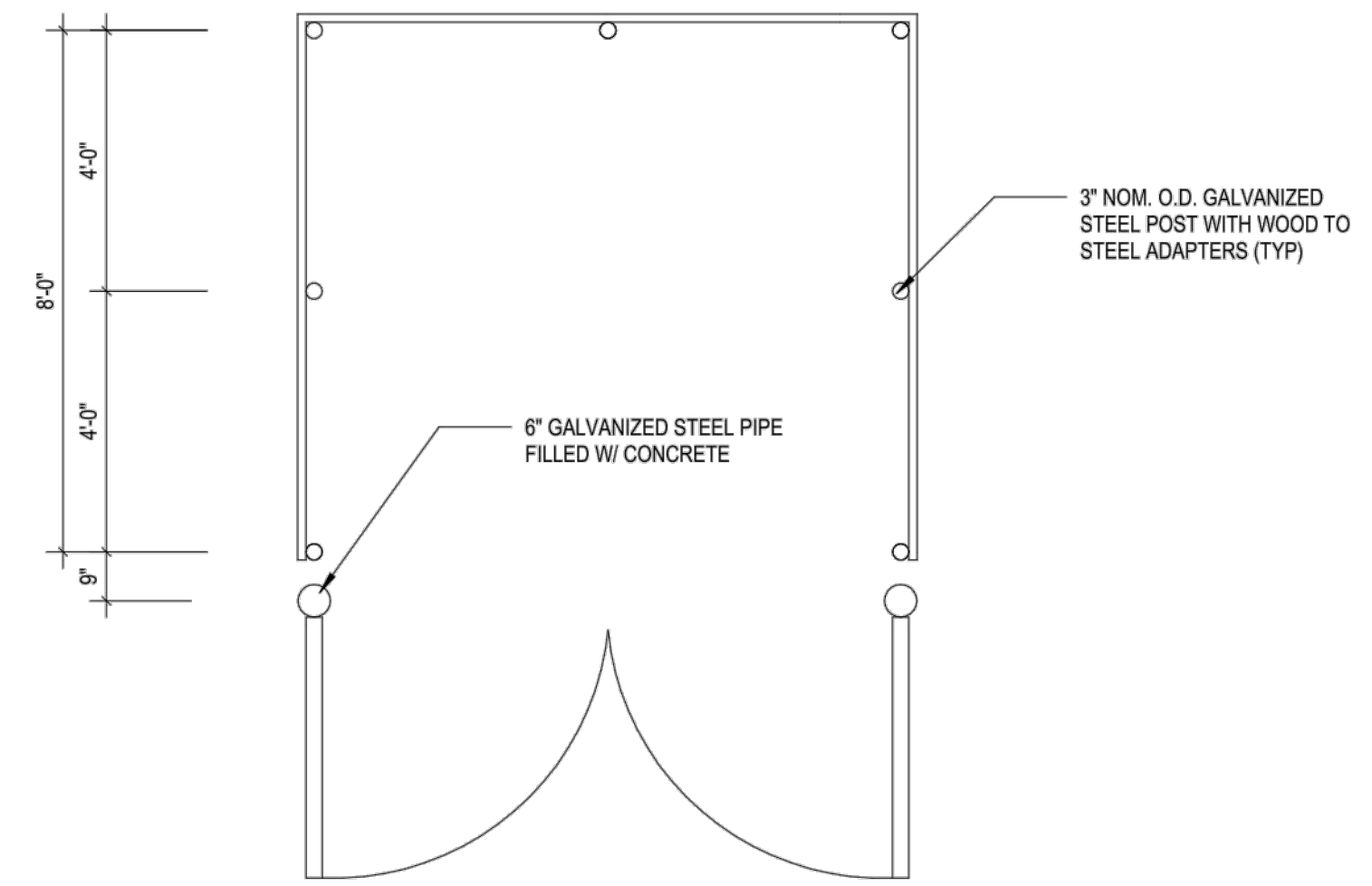
PROJECT NO.
5497-20A
SHEET
G3.1



2 ELEVATION @ TRASH ENCLOSURE - REAR
SCALE: 3/8" = 1'-0"

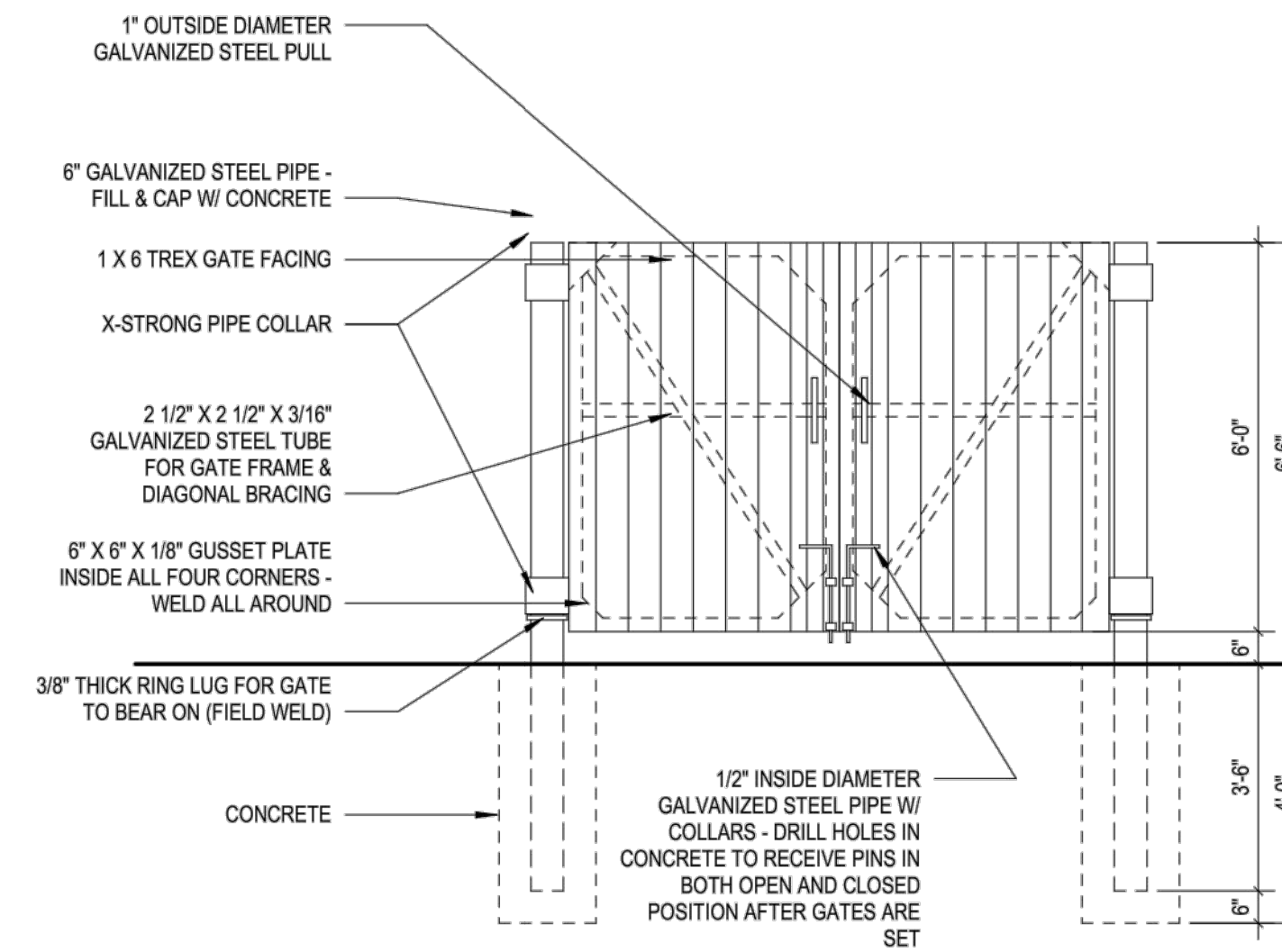


3 ELEVATION @ TRASH ENCLOSURE - SIDE
SCALE: 3/8" = 1'-0"

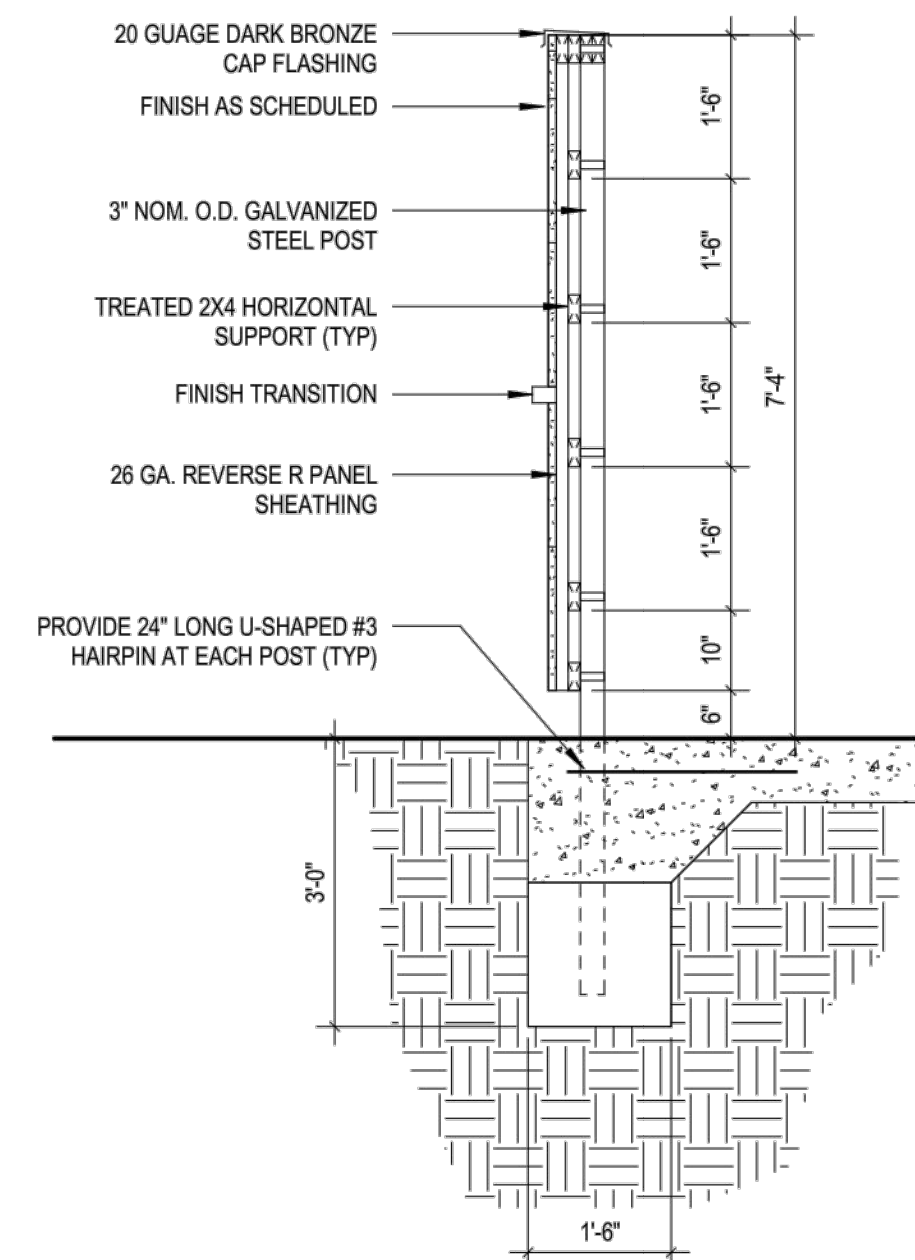


5 FLOOR PLAN @ TRASH ENCLOSURE
SCALE: 3/8" = 1'-0"

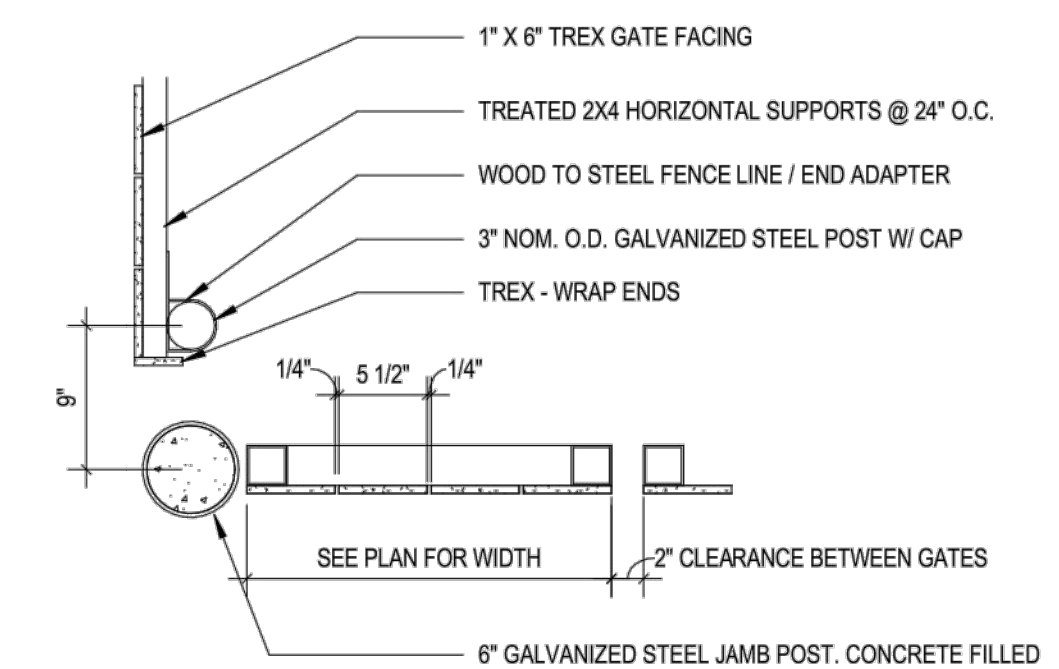
NOTE:
TRASH ENCLOSURE COLOR SHALL MATCH BUILDING. SAMPLE SHALL BE SUBMITTED TO OWNER PRIOR TO ORDERING MATERIALS.



1 ELEVATION @ TRASH ENCLOSURE - FRONT
SCALE: 3/8" = 1'-0"



6 WALL SECTION @ TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"



4 PLAN DETAIL @ TRASH ENCLOSURE GATE
SCALE: 1" = 1'-0"

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LAYOUT NAME: G3.2

DATE	BY	DESIGNED	ELT	DRAWN	SRS	CHECKED	LAST UPDATE
06/21	ELT						06/22/23
06/21	SRS						

DATE	REVISION

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TYPICAL DETAILS
LAKES EARLY LEARNING CENTER
225 EAST VISTA LAKES AVENUE
POLK CITY, IOWA

PROJECT NO.
5497-20A
SHEET
G3.2

STORM WATER POLLUTION PREVENTION PLAN

All contractors/subcontractors shall conduct their operations in a manner that minimizes erosion and prevents sediments from leaving the roadway right-of-way and prevents chemical contamination of soil and water. The Prime Contractor shall be responsible for compliance and implementation of the Pollution Prevention Plan (PPP) for their entire contract. This responsibility shall be further shared with subcontractors whose work is a source of potential pollution as defined in this PPP. All work necessary to be in compliance with the PPP shall be considered incidental to the project. Therefore, it is in the best interest of the Contractor to disturb as little land as possible.

Phase 1 - Site Evaluation and Design Development

Existing soil information: See the Polk County Soil Survey, SW Quarter of Section 36 of T80N, R25W.

Existing runoff quality: Existing data on runoff water quality is not available.

Location of surface water on site: Runoff surface drains from the site.

Name of receiving stream: unnamed tributary to Big Creek.

Construction activity description: General soil disturbing activities associated with grading and utility installation include: stockpiling, trenching, backfilling, grading, paving and seeding.

This Pollution Prevention Plan (PPP) is for the Lakes Early Learning Center, East Vista Lake Avenue, Polk City, Iowa. This PPP covers approximately 1.97 acres with 1.5 of the acres being disturbed.

The PPP is located in an area of two (2) soil types: Clarion loam Bemis moraine (L138B), and Canisteo clay loam (LS07). The estimated average NRCS runoff curve number for this PPP after completion will be 91.

Refer to the drawings, "Lakes Early Learning Center" for locations of typical slopes, ditch grades, and major structural and non-structural controls. A copy of this plan will be on file at the Project Engineer's office.

Site map: The plans show slopes after grading, disturbed areas, drainage patterns, and discharge points.

Potential Sources of Pollution:

Site sources of pollution generated as a result of this work relate to silts and sediment that may be transported as a result of a storm event. However, this PPP provides conveyance for other (non-project related) operations. These other operations have storm water runoff, the regulation of which is beyond the control of this PPP. Potentially this runoff can contain various pollutants related to site-specific land uses. Examples are:

a. Rural Agricultural Activities:

Runoff from agricultural land use can potentially contain chemicals including herbicides, pesticides, fungicides and fertilizers.

b. Commercial and Industrial Activities:

Runoff from commercial and industrial land use may contain constituents associated with the specific operation. Such operations are subject to potential leaks and spills that could be commingled with run-off from the facility. Pollutants associated with commercial and industrial activities are not readily available since they are typically proprietary.

Municipal Utilities: Site is located in the City of Nevada corporate limits.

Phase 2 - Control Selection/Plan Design

(A) Select Erosion and Sediment Controls

The Contractor shall submit specifications for temporary and permanent measures to be used for controlling erosion and sediment. Clearing and grading should not be started until a firm construction schedule is known and can be effectively coordinated with the grading and clearing activity.

The following Stabilization measures will be utilized:

Temporary seeding - Exposed areas subject to erosion should be covered as quickly as possible. Under Iowa's General Permit No. 2, disturbed areas of the construction site that will not be re-disturbed for 14 days or more, on any portion of the site, the area shall be stabilized by zero, the last day of land disturbing activities.

Permanent seeding, sod and planting - Permanent seeding or sod shall be done in accordance with the Seeding Plan. The seeding schedule shall follow the Iowa Department of Transportation specifications. Temporary seeding shall be utilized for erosion control until permanent seeding can be established.

Mulching - Temporary vegetation will be used as mulch when permanent seeding is completed.

Preservation of Natural Vegetation - Natural Vegetation shall be preserved where possible within the construction limits. Natural vegetation shall not be disturbed outside of the construction limits. Vegetation may be mowed or harvested for hay crop.

Vegetative Strips - Vegetative strips may be utilized to slow runoff velocities and deposit sediments from disturbed areas.

Soil Retaining Measures - Soil to be reused will be stockpiled onsite as indicated on the plans. Silt fence will be utilized to maintain soils onsite. See City of Nevada requirements for topsoil replacement.

Minimization of land exposure - Exposure of disturbed land shall be minimized in terms of area and time.

Roadways - Roadways will be surfaced or otherwise stabilized as soon as feasible.

Topsoil - shall be preserved, onsite, unless infeasible and de-compacted prior to final stabilization. Re-spread minimum depth of eight-inches (8") of topsoil with at least 3% organic matter, per SUDAS.

The following structural practices will be utilized:

Earthen Berm or Dike - Earthen dikes may be used to divert water around disturbed areas and around intakes as directed by the Engineer.

Silt fence - Silt fence shall be placed on the perimeter of the disturbed area, and other locations, as shown on the drawings. Additional silt fence shall be provided at the discretion of the Engineer.

Gravel Construction Entrance - A gravel or crushed aggregate construction entrance will be used to reduce or eliminate offsite tracking of soil or debris.

Sediment Trap - To be placed at location(s) indicated on the plans.

Check Dam - Rock check dam shall be placed in drainage channel as indicated on the plans.

Blanket and Matting (RECP - Type 2.C) - Erosion control matting on slopes as indicated on the plans.

Inlet and Outlet Protection - To be placed at location(s) indicated on the plans.

(B) Select other controls

Disposal of construction site waste materials - The Contractor will be responsible for making sure that all construction wastes are properly disposed of at facilities permitted to accept these types of wastes. In the event of a conflict with other governmental laws, rules and regulations, the more restrictive laws, rules or regulations shall apply.

Treatment or disposal of sanitary wastes generated onsite - The Contractor will be responsible for providing sanitary facilities for workers in accordance with local and state requirements. Facilities shall be secured from overturning. The Contractor will be responsible for disposing of sanitary waste in accordance with local and state requirements.

Prevent off-site tracking of sediments and generation of dust - The Contractor shall prevent the tracking of sediments offsite. A construction entrance shall be installed as shown on the plans. The Contractor will be responsible for immediate cleanup of any tracked mud or debris. Contractor will need to provide appropriate labor and equipment to keep roadway clean during hauling operations.

The Contractor will also be responsible for preventing dust generation from construction activities. The Contractor shall take reasonable measures to prevent unnecessary dust. Earth surfaces subject to dusting shall be kept moist with water or by application of a chemical dust suppressant. Dust prone materials in piles or in transit shall be covered when practical to prevent blowing. Buildings and operating facilities which are affected adversely by dust shall be adequately protected from dust. Existing and new equipment which may be adversely affected by dust shall be adequately protected.

The Contractor will be responsible for preventing chemical contamination of soil and water.

PCC waste - The Contractor shall provide and maintain a containment facility for waste paving product (i.e. PCC washout station). Perform maintenance when washout station is at 75% full-capacity.

Stored materials - The Contractor shall be responsible for storing materials so that rain water doesn't carry chemical contamination into soil or water.

Equipment servicing - Contractor shall prevent spilling of petroleum products. Spill shall be cleaned up immediately. If spill is hazardous, utilize appropriate notification and clean-up measures. Used petroleum containers are to be disposed of correctly and not buried on-site.

Building Trade Waste - The general contractor and trade contractors will be responsible for preventing contamination of soil and water. Trades (including brick / block layers, drywall / sheetrock, painters, pipe fitters, caulking, etc.) are required to clean or perform maintenance to equipment or dispose of excess material in a manner that protects water quality (no illicit discharges). This may require measures similar to a PCC washout station.

(C) Inspection and Maintenance Plan

The contractor will be responsible for installation and all associated costs of erosion and stormwater management controls during the contract period. Details of control measures are shown on the plans.

Inspections shall be made by the Owner, or owner's representative every seven calendar days. The Contractor shall immediately begin corrective action on all deficiencies found. The findings of this inspection shall be recorded in the project diary. Based on the results of the inspection, pollution prevention measures identified in the plan shall be revised at the construction site as appropriate as soon as practicable after the inspection and to the plan as soon as practicable after the inspection but in no case more than 7 calendar days following the inspection. If the permittee determines that making these changes at the construction site or to the plan less than 72 hours after the inspection is impracticable, the permittee shall document in the plan why it is impracticable and indicate an estimated date by which the changes will be made.

Maintenance - the contractor is required to maintain all temporary erosion control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. Cleaning of silt control devices shall begin when the features have lost 50% of their capacity. Cleaning of PCC washout station shall take place when control is at, or before, 75% of full capacity.

(D) Control Description

Description of controls can be found in section (A). The Contractor will be responsible for submitting specifications of the selected controls. The location of determined controls can be found on the plans. Additional controls may be required at the discretion of the Engineer.

(E) Schedule of major activities

Prior to initiating construction, the Contractor shall submit a schedule of major activities including:

- 1. Land clearing and grading in relation to the corresponding schedule for all excavation work. If at all possible, the clearing should immediately precede the construction activity.
2. Installation and anticipated completion date of each control measure.

(F) Non-Storm Discharges

- 1. Water from water line flushing.
2. Uncontaminated ground water from dewatering.
3. Pavement wash waters where spill or leak of hazardous material has not occurred.
4. Building wash waters not containing hazardous chemicals.

(G) Prohibited Discharges

- 1. Wastewater from washout and cleanup of stucco, paint, form release oils, curing compounds and other construction materials.
2. Fuels, oils or other pollutants used in vehicle and equipment operation and maintenance.
3. Soaps or solvents used in vehicle and equipment washing.

(H) Materials Management

- 1. Hazardous materials shall be stored in areas where the contamination of storm water is minimized in the event of a spill.
2. Contractor shall be responsible for using, storing and disposing of materials in accordance with state and local law.
3. See SWPPP narrative for additional material management requirements.

Phase 3 - Plan Implementation

Contractor Certification

All Contractors and subcontractors, including short-term contractors and subcontractors coming on-site, must sign the Contractor certification statement before conducting any professional service at the site identified in the plan. The certification must be signed by an authorized representative (i.e., principal executive officer, president, secretary, treasurer or vice president, general partner, proprietor, ranking elected official). Upon signing the certification, the Contractor or subcontractor becomes a co-permittee with the Owner and other co-permittee Contractors. In signing the plan, the authorized representative certifies that the information is true and assumes liability for the plan. Note that Section 309 of the Clean Water Act provides for significant penalties where information is false or the permittee violates, either knowingly or negligently, permit requirements.

The General Contractor will be responsible for collecting and maintaining signatures. The Contractor shall provide copies of signed certifications to the Owner and Engineer upon request and at the termination of the contract.

(A) Notice of Intent (NoI)

The Owner, or an agent of the Owner, will fulfill the public notice requirement and submit the Notice of Intent for coverage under General Permit No. 2. The project requires the obtaining of a NPDES General Permit for storm water discharge associated with industrial activity for construction activities. The Owner and the Contractor have a copy of this permit. The Contractor and all subcontractors shall be responsible for compliance and fulfilling all requirements of the NPDES General Permit including the Storm Water Pollution Prevention Plan.

Phase 4 - Plan Implementation

The Contractor shall follow the schedule as submitted under Phase 2 (E). The Contractor shall keep the Engineer informed of any deviation of the schedule or plan.

(A) Inspection and Maintenance Reports

A copy of the inspection log shall be maintained at the site.

(B) Records of Construction Activities

In addition to the installation and maintenance of erosion control implementation, the Contractor should keep records of the construction activity on the site. In particular, the Contractor should keep a record of the following information:

- The date(s) when major grading activity occurs in a particular area.
-The date(s) when construction activity ceases in an area, temporarily or permanently.
-The date(s) when an area is stabilized, temporarily or permanently.
-These records can be used to make sure that areas where there is no construction activity will be stabilized within the required time frame. Records shall be retained for a period of at least three years from the date that the site is finally stabilized.

(C) Plan Updates

The pollution prevention plan shall be updated expeditiously:

- When it does not accurately reflect the site features and operations.
-When the Contractor, Owner, or Engineer observes that it is not effective in minimizing pollutant discharge from the site.
-To include Contractors identified after the submittal of the Notice of Intent. These Contractors shall certify the plan and be identified as co-permittees and
-To identify any change in ownership or transference of the permit and permit responsibilities.

If, at any time during the effective period of the permit, the IDNR finds that the plan does not meet one or more of the minimum standards established in the general permit, the IDNR will notify the permittee of required changes necessary to bring the plan up to standard. Permittees shall have 3 days after notification to make the necessary changes and shall submit to the Department a written certification that the changes have been made.

(D) Report of Hazardous Conditions

Because construction activities may include handling of certain hazardous substances over the course of the project, spills of these substances may create a hazardous condition and are required to be reported. Iowa Code, 455B.386, requires that as soon as possible, but not more than six hours after the onset of a hazardous condition, the IDNR and local Sheriff's Office or the office of the Sheriff of the affected county be notified. The Owner and Engineer should also be informed of the hazardous condition in a timely manner. Contractor is responsible for spill clean-up, remediation and reporting.

IDNR (515) 725 - 8694, Polk County Sheriff's Office (515) 286 - 3333

The Contractor shall submit a report to the Engineer within 14 calendar days of a hazardous condition. The report shall describe the release and the circumstances leading to the release. Steps to prevent the reoccurrence of such releases are to be identified in the plan and implemented.

(E) Plan location and access

Plan location - A copy of the Pollution Prevention Plan must be kept at the construction site, or at a readily available alternative site approved by the Department, from the time construction begins until the site has reached final stabilization.

Retention of records - G. P. #2 (3.01.2018) requires that copies of the Storm Water Pollution Prevention Plan and all other reports required by the permit, as well as all of the data used to complete the Notice of Intent, be retained for 3 years after the completion of final site stabilization.

Access - Although plans and associated records are not necessarily required to be submitted to the Iowa Department of Natural Resources (IDNR), these documents must be made available upon request, within 3 hours, to the IDNR. If storm water runoff is discharged to a municipal separate storm sewer system, the plans must be made available upon request to the municipal operator of the system.

Phase 5 - Final Stabilization and Notice of Discontinuation (NoD)

(A) Final Stabilization

Final stabilization is defined in the general permit as meaning that all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 70%, sufficient to preclude erosion, for the entire disturbed area of the permitted project has been established or equivalent stabilization measures have been employed or which has been returned to agricultural production.

The Contractor shall notify the permit holder and Engineer of final stabilization in accordance with the contract documents. The Owner and Engineer will review the site before finalizing the contract and taking control of the site. The Contractor will be required to provide a copy of all inspection and maintenance logs, schedule of construction activities, and Contractor Certifications to the Owner at this time.

(B) Notice of Discontinuation (NoD)

The permit holder (Owner) will be required to submit the Notice of Discontinuation once control of the site has been obtained from the Contractor. All temporary control (i.e. silt fence) shall be removed by contractor prior to filing the NoD.

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Table with columns: REVISION, DATE. Empty rows for revision tracking.

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STORM WATER POLLUTION PREVENTION PLAN LAKES EARLY LEARNING CENTER 225 EAST VISTA LAKES AVENUE POLK CITY, IOWA

LEGEND

⊙ **CONSTRUCTION ENT.**

⊙ **SILT LOGS**

⊙ **SILT FENCE**

⊙ **INLET PROTECTION**

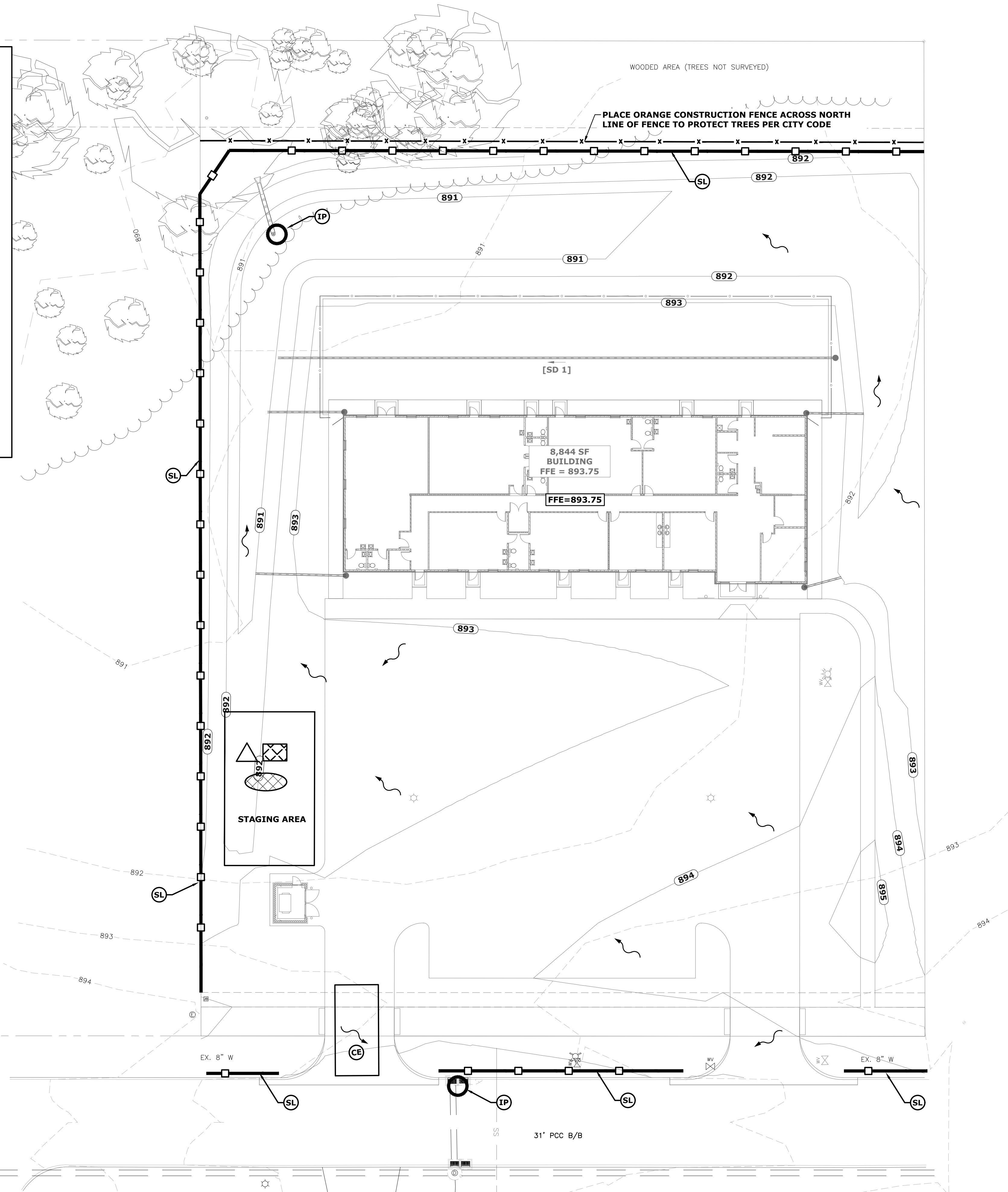
⊙ **CONCRETE, PAINT, AND GROUT WASHOUT AREA**

⊙ **DESIGNATED STAGING AREA FOR PORTABLE RESTROOMS, TEMPORARY FUEL TANKS, WASTE CONTAINERS, AND OTHER CHEMICALS.**

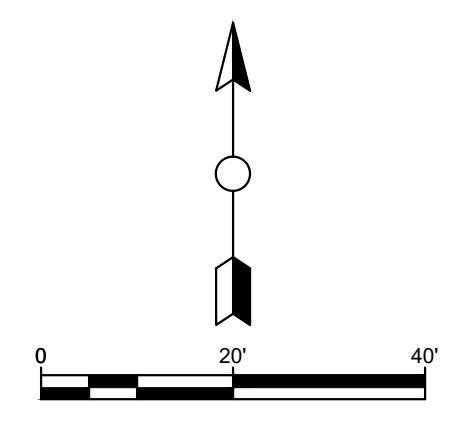
⊙ **SPILL KIT**

NOTES:

- 1) OWNER DOES NOT EXPECT TO STOCKPILE SOIL ON-SITE FOR ANY EXTENDED PERIOD OF TIME
- 2) IF INFILTRATION METHODS ARE USED, INSTALL THEM AFTER UPSTREAM IS STABILIZED
- 3) DO NOT REMOVE PERIMETER CONTROLS UNTIL UPSTREAM ARE STABILIZED



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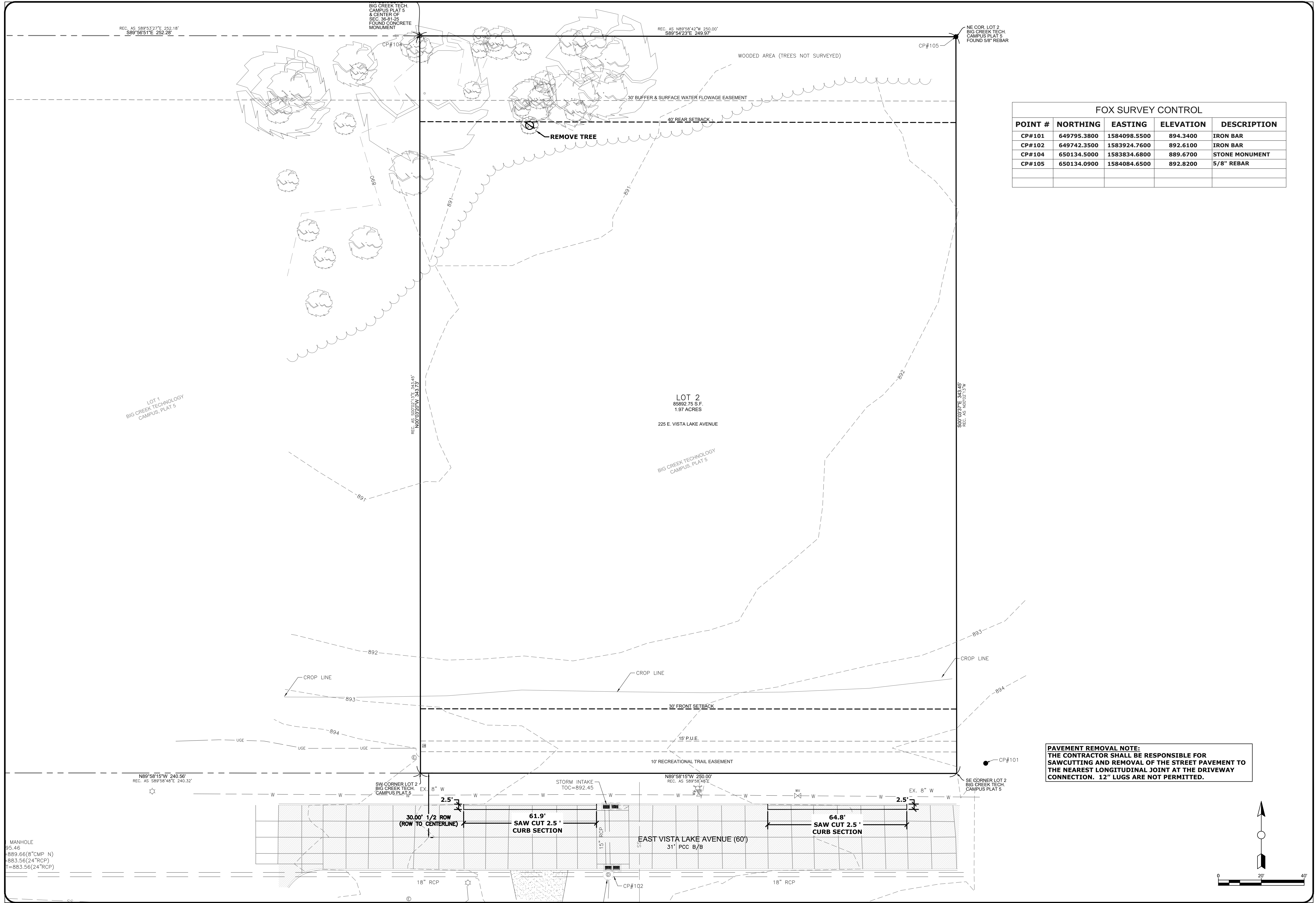
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STORM WATER POLLUTION PREVENTION PLAN
 LAKES EARLY LEARNING CENTER
 225 EAST VISTA LAKE AVENUE
 POLK CITY, IOWA

PROJECT NO.
 5497-20A
 SHEET
G4.2

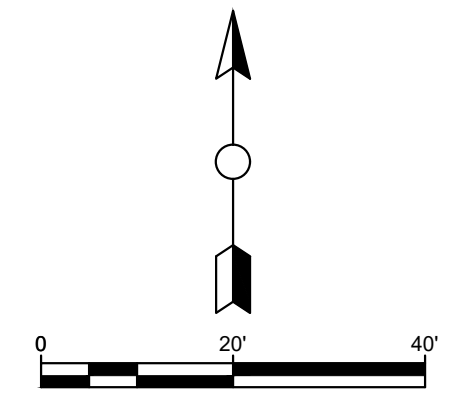
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FOX SURVEY CONTROL				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP#101	649795.3800	1584098.5500	894.3400	IRON BAR
CP#102	649742.3500	1583924.7600	892.6100	IRON BAR
CP#104	650134.5000	1583834.6800	889.6700	STONE MONUMENT
CP#105	650134.0900	1584084.6500	892.8200	5/8" REBAR

PAVEMENT REMOVAL NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 SAWCUTTING AND REMOVAL OF THE STREET PAVEMENT TO
 THE NEAREST LONGITUDINAL JOINT AT THE DRIVEWAY
 CONNECTION. 12" LUGS ARE NOT PERMITTED.

MANHOLE
 95.46
 =889.66(8" CMP N)
 =883.56(24" RCP)
 T=883.56(24" RCP)



DATE	BY	DESIGNED	DRAWN	CHECKED	LAST UPDATE
06/21	ELT	SRS			06/22/23

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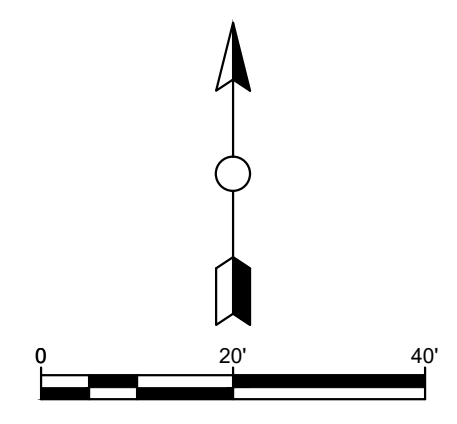
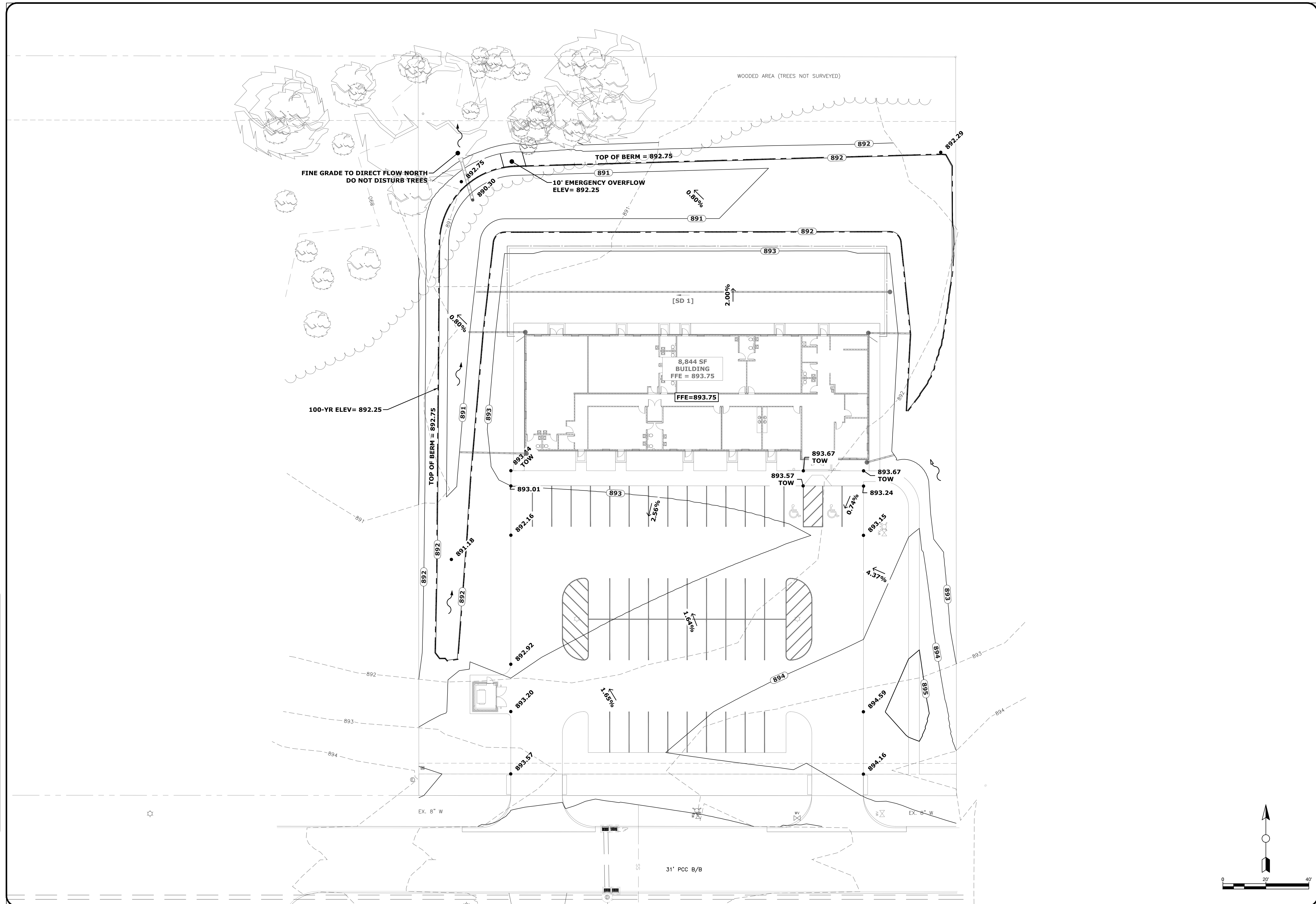


EXISTING CONDITIONS & REMOVALS
 LAKES EARLY LEARNING CENTER
 225 EAST VISTA LAKE AVENUE
 POLK CITY, IOWA

PROJECT NO.
 5497-20A

SHEET
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DATE	BY	DATE
	DESIGNED: ELT	06/21
	DRAWN: SRS	06/21
	CHECKED:	
	LAST UPDATE:	06/22/23

REVISION	DATE

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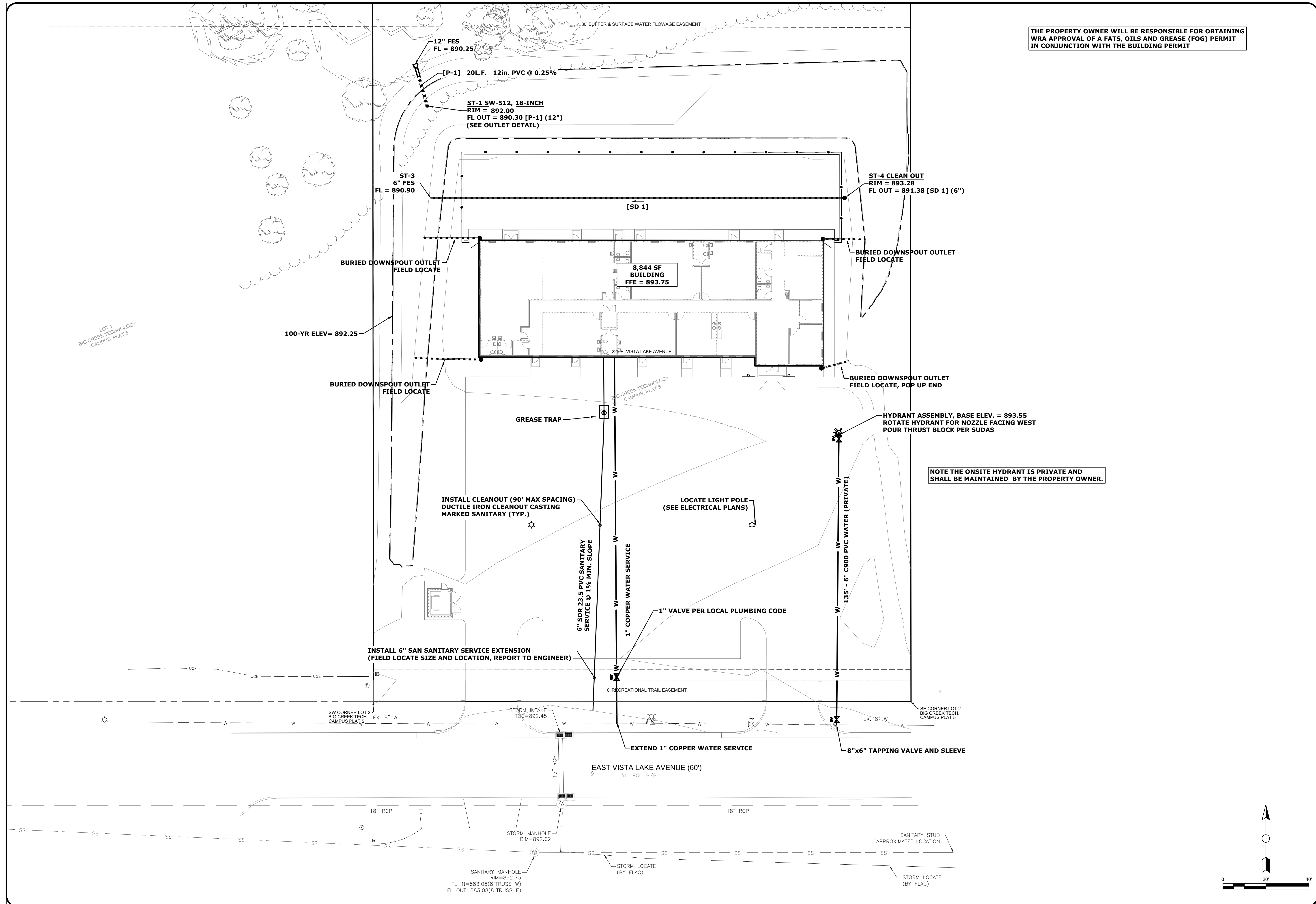
FOX engineering

SITE GRADING PLAN
 LAKES EARLY LEARNING CENTER
 225 EAST VISTA LAKE AVENUE
 POLK CITY, IOWA

PROJECT NO.
 5497-20A
 SHEET
C3.1

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LAYOUT NAME
C4.1

THE PROPERTY OWNER WILL BE RESPONSIBLE FOR OBTAINING WRA APPROVAL OF A FATS, OILS AND GREASE (FOG) PERMIT IN CONJUNCTION WITH THE BUILDING PERMIT



DATE	BY	DESIGNED	DRAWN	CHECKED	LAST UPDATE
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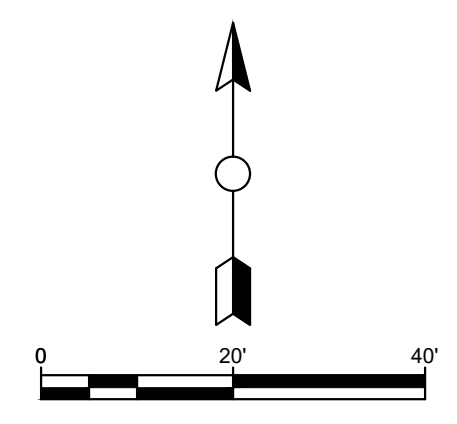
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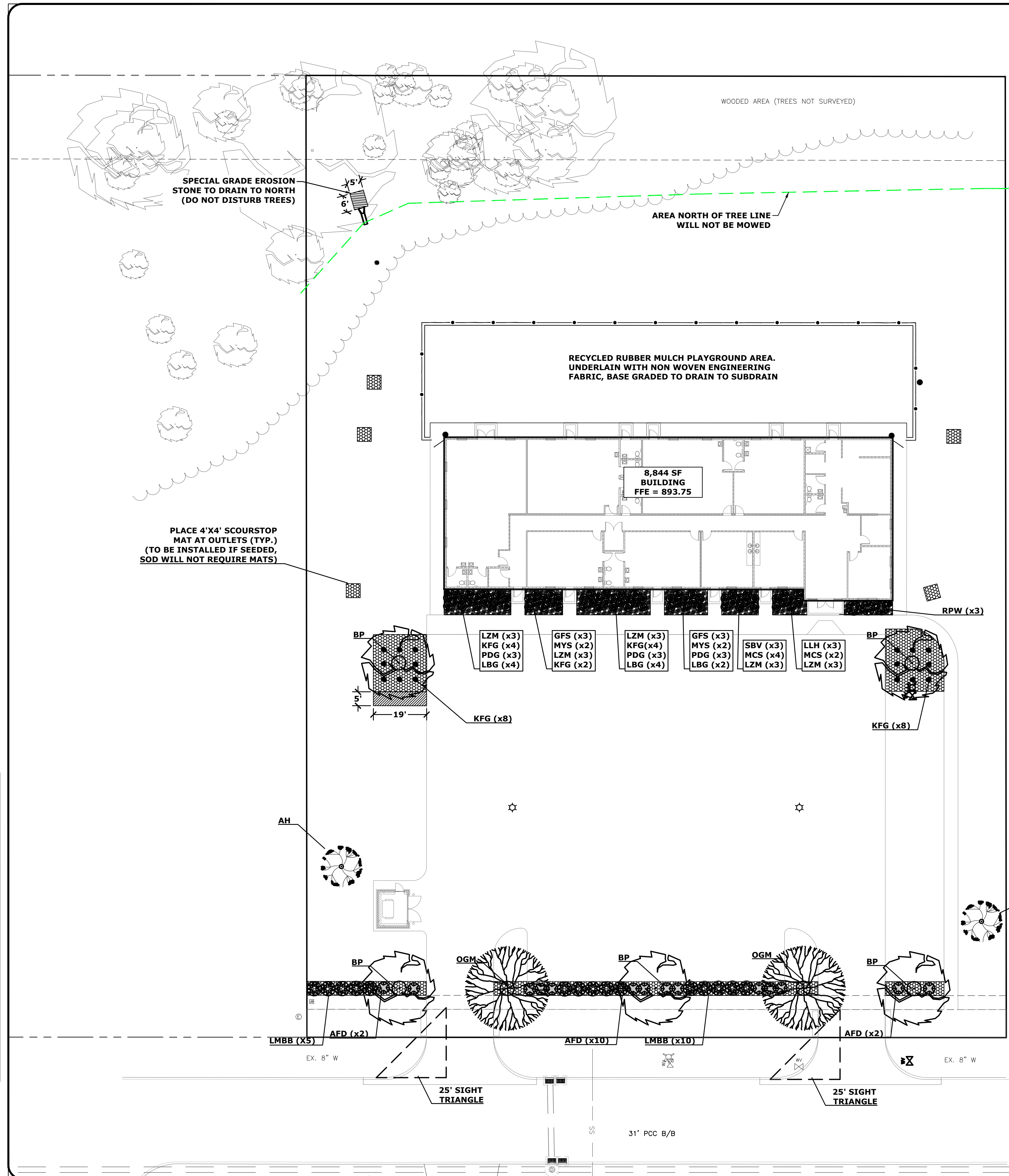


UTILITY PLAN
LAKES EARLY LEARNING CENTER
225 EAST VISTA LAKE AVENUE
POLK CITY, IOWA

PROJECT NO.
5497-20A
SHEET
C4.1



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 LAYOUT NAME: CS.1



Tree, Shrub and Grass List
 NO Substitutions without approval of the Engineer and the City

Symbol	Number	Common Name	Botanical Name	Size	Container	Mature Height	Mature Width	Comments
DECIDUOUS								
AH	2	American Hornbeam	Carpinus Caroliniana	1 1/2" Caliper		25'	20'	
BP	5	Bradford Pear	Pyrus calleryana 'Bradford'	1 1/2" Caliper		30'	20'	
OGM	2	October Glory Red Maple	Acer rubrum	1 1/2" Caliper	#15 Cont.	45'	35'	
9 Trees Proposed								
SHRUBS								
LMBB	15	Little Moses Burning Bush (Odom)	Euonymus alatus		#3 Cont.	4'	4'	Shrub - Deciduous
AFD	14	Arctic Fire Dogwood	Cornus stolonifera		#3 Cont.	3'	3'	Shrub - Deciduous
SBV	3	Spice Baby Viburnum	Viburnum carlesii 'Spice Baby'		#2 Cont.	3	3	Shrub - Deciduous
LLH	3	Little Lime Hydrangea	Hydangea paniculata 'Jane'		#2 Cont.	4	4	Shrub - Deciduous
MCS	6	Magic Carpet Spirea	Spiraea japonica 'Walburna'		#2 Cont.	2	2	Shrub - Deciduous
GFS	6	Goldflame Spirea	Spiraea x bumalda 'Goldflame'		#2 Cont.	3	4	Shrub - Deciduous
MYS	4	Mellow Yellow Spirea	Spiraea thunbergii 'Ogon'		#2 Cont.	4	4	Shrub - Deciduous
RPW	3	Red Prince Weigela	Weigela florida 'Red Prince'		#2 Cont.	5	5	Shrub - Deciduous
GRASSES								
LZM	15	Little Zebra Miscanthus (grass)	Miscanthus sinensis 'Little Zebra'		#2 Cont.	4	4	Grass
KFG	26	Karl Foerster (grass)	Calamagrostis x acutiflora 'Karl Foerster'		#2 Cont.	3	3	Grass
PDG	9	Prairie Dropseed (grass)	Sporobolus heterolepis		#1 Cont.	3	3	Grass
LBM	10	Little Bluestem (grass)			#1 Cont.	3	2	Grass
114 Shrubs/Grasses Proposed								

LEGEND

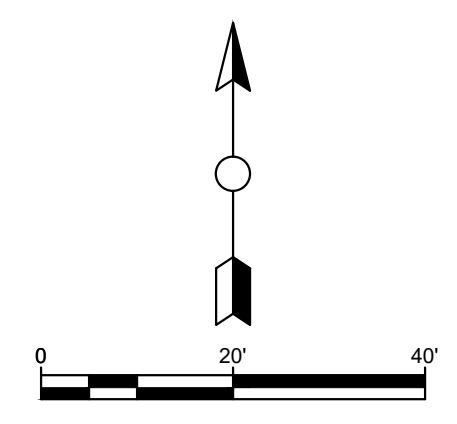
- 3" WASHED RIVER ROCK ON FABRIC
- HARDWOOD MULCH, SAMPLE APPROVED BY OWNER
- EROSION STONE - 6" MINUS (PER SUDAS)
PLACE DEPTH OF 12" ON ENGINEERING FABRIC
SAMPLE APPROVED BY OWNER

ALL OTHER DISTURBED AREAS PLANTED IN TYPE-1 LAWN MIX PER SUDAS. FERTILIZING BY CONTRACTOR. WATERING BY OWNER. CONTRACTOR TO PROVIDE 12 MONTH WARRANTY ON ALL SEEDING AND LANDSCAPING.

Landscaping Requirements (165.17)

Open Space	
Developed Area =	72,507 SF
Open Space =	40,821 SF
Open Space Required =	12,884 SF
Trees =	9 EA
Shrubs =	26 EA
Parking Area	
Vehicle Pavement Area =	21,012 SF
Plant Square Footage =	4,202 SF
No. of Trees Required =	6 EA

- * 6 OF THE REQUIRED OPEN SPACE TREES ARE ACCOUNTED FOR IN THE EXISTING WOODED AREA, OUTSIDE OF THE BUFFER REQUIREMENT LOCATED ALONG THE NORTH BOUNDARY OF THE LOT
- * THERE IS NO PLANNED MONUMENT SIGN FOR THIS SITE.
- * INDIVIDUAL MAILBOX IS NOT PERMITTED



DATE	BY	REVISION
06/21	ELT	
06/21	SRS	
	CHECKED:	
	DRAWN:	
	DESIGNED:	
	LAST UPDATE:	06/22/23

FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103

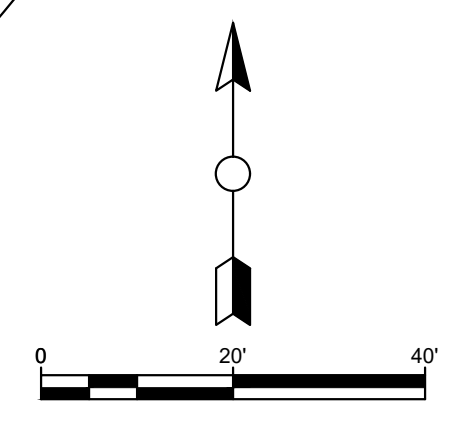
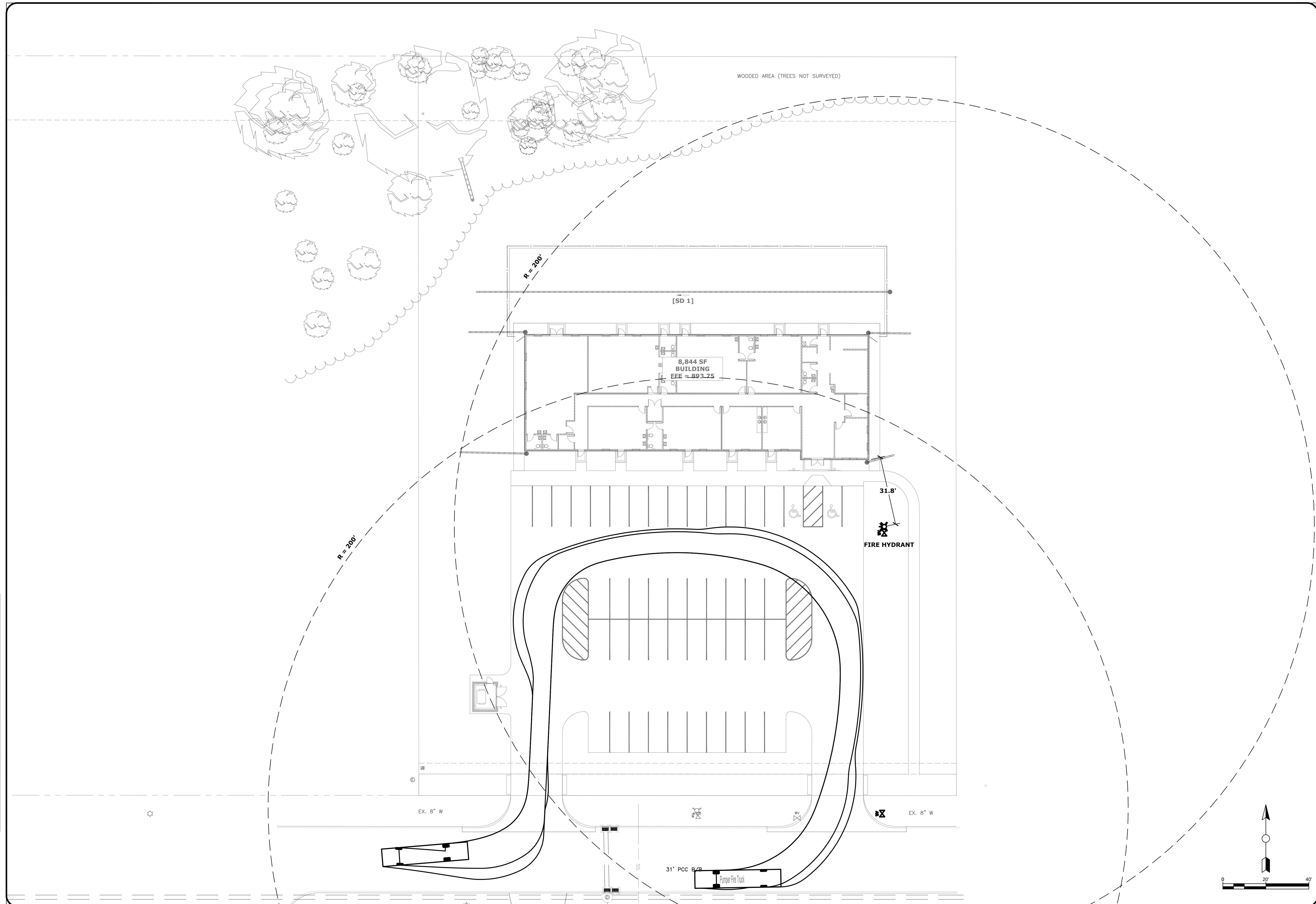
FOX Engineering

LANDSCAPING PLAN
 LAKES EARLY LEARNING CENTER
 225 EAST VISTA LAKE AVENUE
 POLK CITY, IOWA

PROJECT NO.
5497-20A

SHEET
C5.1

DRAWING FILENAME
 K:\ipco\5000\5497-21A Lakes Early Learning_Center\Drawings\Civil\5497-21A_BASE.dwg
 PLOT STYLE TABLE
 FoxGrayScale.ctb
 LAYER MGR NAME
 LAYOUT NAME
 C6.1



REVISION	DATE	BY	DATE
DESIGNED:	06/21	ELT	06/21
DRAWN:		SRS	06/21
CHECKED:			
LAST UPDATE: 06/22/23			

FOX Engineering Associates, Inc. 414 South 17th Street, Suite 107 Ames, Iowa 50010 Phone: (515) 233-0000 FAX: (515) 233-0103	FOX engineering
FIRE TRUCK FIGURE LAKES EARLY LEARNING CENTER 225 EAST VISTA LAKE AVENUE POLK CITY, IOWA	PROJECT NO. 5497-20A SHEET C6.1

RESOLUTION NO. 2021-67

**A RESOLUTION APPROVING THE SITE PLAN FOR LAKES EARLY
LEARNING CENTER AND AGREEMENT**

WHEREAS, Fox Engineering on behalf of Feldman Real Estate has submitted a Site Plan for Lakes Early Learning Center located on Lot 2 of Big Creek Technology Campus Plat 5; and

WHEREAS, on June 21, 2021 the Polk City Planning & Zoning Commission met and recommended approval of the Site Plan, subject to completion of the City Engineer's review comments and recommendations being satisfactorily addressed; and

WHEREAS, the City Engineer has reviewed the Site Plan and accompanying documents and recommends its approval subject to applicant signing an agreement deferring the paving of 14 parking stalls for no more than three years.

WHEREAS, the City Attorney has reviewed the said agreement and recommends its approval.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission, City Engineer and City Attorney and deems it appropriate to approve the Site Plan for Lakes Early Learning Center subject to payment of all fees to the City of Polk City and further approves the agreement deferring the paving of 14 parking stalls..

PASSED AND APPROVED the 28 day June 2021.

Jason Morse, Mayor

ATTEST:

Jenny Gibbons, City Clerk

DEFERRAL AGREEMENT
Recorder's Cover Sheet

Preparer Information:

Amy S. Beattie, 6701 Westown Parkway, Suite 100 West Des Moines, Iowa 50266
Phone: (515) 274-1450

Taxpayer Information:

Feldman Real Estate, LLC, 1301 Boone Street, PO Box 34, Sheldahl, Iowa 50243

Return Document To:

Amy S. Beattie, 6701 Westown Parkway, Suite 100 West Des Moines, Iowa 50266
Phone: (515) 274-1450

Grantors:

City of Polk City, Iowa

Grantees:

Feldman Real Estate, LLC

Legal Description: see Page 2

Document or instrument number of previously recorded documents:

NA

THIS DEFERRAL AGREEMENT (hereinafter "Agreement") is made and entered into by and between the City of Polk City, Iowa, 112 3rd Street, Polk City, Iowa 50226 (hereinafter "City"), and Feldman Real Estate, LLC, an Iowa limited liability company, 1301 Boone Street, PO Box 34, Sheldahl, Iowa 50243 (hereinafter "Feldman").

WHEREAS, Feldman has submitted a site plan entitled "Lakes Early Learning Center" for consideration by the City regarding the construction of a child care facility and other related Improvements (the "Project") on the real property legally described as follows:

Lot 2 in BIG CREEK TECHNOLOGY CAMPUS PLAT 5 an Official Plat, now included in and forming a part of the City of Polk City, Polk County, Iowa; and

WHEREAS, Feldman finds the parking Improvements required of child care facilities under Municipal Code Section 165.16, Paragraph 1(D) excessive for the needs of the Project and desires to defer the paving of fourteen (14) parking stalls for a period of three (3) years pursuant to Municipal Code Section 165.16, Paragraph 4(B); and

WHEREAS, the City is in discussion to amend the parking Improvements required of child care facilities under Municipal Code Section 165.16, Paragraph 1(D) and desires to grant Feldman a deferral in the construction of fourteen (14) parking stalls for a period of three (3) years pursuant to Municipal Code Section 165.16, Paragraph 4(B).

NOW THEREFORE, IN CONSIDERATION of the site plan approval and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. Feldman shall have a period of three (3) years following the approval of the site plan for which the paving of fourteen (14) parking stalls shall be deferred.
2. At the expiration of the three (3) year deferral period Feldman shall be responsible for the paving of the parking stalls unless the City has amended the parking requirements for child care facilities such that no additional parking stalls are required under the Municipal Code or unless the use of the Property has changed and there are sufficient parking stalls for the use of the Property at that time.
3. In the event the above-described Improvements are not completed by Feldman in a timely manner should they be required upon the expiration of the three (3) year term, then the City may elect to contract for the construction of said Improvements and assess all costs associated therewith against the property.
4. Feldman shall pay for the Improvements within thirty (30) days of written notification from the City, which notification shall be sent after the City's acceptance of the Improvements.
5. In consideration of the execution by the City of this Agreement and the construction of the Improvements, Feldman hereby waives the public hearing on the adoption of the Resolution on Necessity and the mailing and publication of notice thereof, and all other legal formalities of whatsoever kind or character required by the laws of Iowa to be observed by cities in the construction of the Improvements were the expense of such Improvements is to be assessed against private property. Feldman hereby expressly waives each and every question of jurisdiction, benefit and need, the intention of Feldman being to authorize and direct the City to construct the Improvements for the benefit of the property without requiring any of the formalities or legal proceedings required of cities by the statutes of Iowa.

6. Feldman hereby authorizes the City Council to pass any resolution requisite or necessary to order or secure said Improvements, to provide for the construction of the same and to make the assessments herein provided for, subject only to the right of Feldman reserved herein, and any such resolution may contain recitals that said Improvements are ordered or made by the Council without petition or without in any way qualifying this petition or releasing Feldman from obligations to pay the assessments levied against its Property for the cost of said improvements and to issue improvement bonds payable out of said assessment as herein provided.
7. Feldman warrants that the Property is free and clear of all liens encumbrances other than for ordinary taxes, except for such liens as are by lienholders hereinafter listed and designated as signers of this Petition and Waiver, who by execution of this Petition consent to the subordination of their lien to the special assessment liens herein described. Feldman further agrees to subordinate its Property to the terms of this Petition and Waiver, and upon failure to do so, to pay the full amount of the assessment on demand. Each lienholder, designated below, by execution of this Petition and Waiver, agrees and consents that its lien shall be subordinated to the lien of the assessments levied pursuant hereto.
8. Feldman agrees that this Petition and Waiver shall be effective and binding from and after the approval hereof by resolution of the City Council. This Agreement runs with the land and shall be binding on any and all subsequent purchasers, transferees and assignees of the Property.
9. It is intended that this Agreement shall run with the land and that it shall, in any event and without regard to technical classifications or designations, legal or otherwise, and except only as otherwise specifically provided in this Agreement, be binding for the benefit and in favor of, and enforceable by the City against Feldman, its successors and assigns.
10. In the event that Feldman fails to comply with any of the terms of this Agreement, the City may take such other action the City deems necessary and appropriate, including but not limited to assessment of the costs of the Improvement installation against the Property. In such event, the City shall be entitled to the reimbursement for all costs, fees and award amounts, if any, incurred by the City resulting from the Feldman's failure to comply with this Agreement. In the event that said reimbursement is not paid within thirty (30) days of the City's request for payment the City shall be entitled to assess the Property for the amount paid by it, or to pursue any other remedies, whether in law or in equity, available to it.
11. This Agreement shall be construed in accordance with the laws of the State of Iowa.
12. A notice, demand, or other communication under this Agreement by either party to the other shall be sufficiently given or delivered if it is dispatched by registered or certified mail, postage prepaid, return receipt requested; delivered personally; or sent by overnight courier service.
13. This Agreement is executed in two counterparts, each of which shall constitute one and the same instrument. A copy of the Agreement, including all Exhibits, shall be maintained in the office of the City Clerk of the City.

Signature Page to Follow

DATED this ____ day of _____ 2021.

(SEAL)

CITY OF POLK CITY, IOWA

By: _____
Jason Morse, Mayor

ATTEST:

By: _____
Jenny Gibbons, City Clerk

STATE OF IOWA)
) SS
COUNTY OF POLK)

On this _____ day of _____ 2021, before me a Notary Public in and for said State, personally appeared Jason Morse and Jenny Gibbons to me personally known, who being duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Polk City, Iowa, a Municipality created and existing under the laws of the State of Iowa, and that the seal affixed to the foregoing instrument is the seal of said Municipality, and that said instrument was signed and sealed on behalf of said Municipality by authority and resolution of its City Council, and said Mayor and City Clerk acknowledged said instrument to be the free act and deed of said Municipality by it voluntarily executed.

Notary Public in and for the State of Iowa

FELDMAN REAL ESTATE, LLC

By: _____
Name: _____
Title: _____

STATE OF IOWA)
) SS
COUNTY OF POLK)

On this _____ day of _____ 2021, before me the undersigned, a Notary Public in and for said State, personally appeared _____ of Feldman Real Estate, LLC, an

Iowa limited liability company, to me personally known, who, being by me duly sworn, did execute the foregoing instrument.

Notary Public in and for said State



Date June 15, 2021

To: Chelsea Huisman
 City of Polk City
 P.O. Box 426
 Polk City, IA 50226-0426

INVOICE SUMMARY - APRIL SERVICES

Services from April 1, 2021 through April 30, 2021

GENERAL ENGINEERING

<u>2021 General Engineering</u>	121.0001	\$ 3,146.50
<i>Work sessions, Council Meetings, P&Z meeting, and coordination with staff re: agendas, resolutions, minutes.</i>		
<u>Building and Development issues:</u>	121.0001	\$ 3,013.00
<i>Meetings and coordination with developers, engineers, building inspector, and staff regarding various potential and ongoing projects, and building</i>		
<u>Water Dept:</u>	121.0001	\$ -
-		
<u>Sanitary Sewer Dept:</u>	121.0001	\$ 101.50
<i>Research TCI Plat 6 lift station flow characteristics and sanitary sewer services for TCI Plat 5.</i>		
<u>Miscellaneous Projects:</u>	121.0001	\$ 3,643.50
<i>Projects include LWCF trail grant application, Water Quality grant application for soil restoration, Storm Water Facilities annual inspections. Updates to</i>		

SUBTOTAL \$ 9,904.50

CAPITAL IMPROVEMENT PROJECTS

2021 Street Repairs	120.0908	\$ 11,190.00
Well #4 Repairs	121.025	\$ 711.50

SUBTOTAL \$ 11,901.50

REIMBURSABLE DEVELOPMENT REVIEW PROJECTS

Big Creek Commons: Preliminary Plat	121.0433	\$ 4,950.00
Big Creek Valley Plat 1: Lot 33/34 Easement Vacation, SWMP, Lot Tie	121.0471	\$ 750.00
Bridgeview Plat 2: Construction Phase Services	119.0294	\$ 1,492.00
Creekview Estates Plat 1: Punchlists	119.0842	\$ 600.00
Creekview Estates Plat 2: Construction Drawings	121.0195	\$ 1,300.00
Edgewater Drive Extension (Lefkow): Construction Phase Services	120.0804	\$ 272.50
Four Seasons Polk City Plat 1: SWMP, TIS, Construction drawings	121.0138	\$ 6,256.00
Kwik Star: Construction Phase	119.0816	\$ 2,574.50
Lakewoods Plat 2: Construction Phase Services	119.1107	\$ 1,008.50
Ledgestone Ridge: Construction Drawings	121.0204	\$ 2,564.50

SUBTOTAL \$ 21,768.00

TOTAL \$ 43,574.00