

# Agenda -Notice of Meeting

Polk City | City Council

\*\*\*\*\*

February 26, 2024 | 6:00 pm

City Hall Council Chambers

\*\*\*\*\*

## Public Meeting participation in person or via phone

Call in # 515-726-3598 Participant Code 535355

Public members can also provide comments\* directly to [support@polkcityia.gov](mailto:support@polkcityia.gov)

*\*any comments received before the time of the meeting will be made a part of the public hearing*

Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

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Steve Karsjen | Mayor

Jeff Walters | Pro Tem

City Council Members: Rob Sarchet | Jeff Savage | Mandy Vogel | Nick Otis

### 1. Call to Order

### 2. Roll Call

### 3. Approval of Agenda

### 4. Public Hearings:

- a. Public Hearing on Proposed Rezoning of 516 N 3<sup>RD</sup> Street from GF-1 to R-1
  - i. First Reading of Ordinance 2024-100 approving rezoning 516 N 3<sup>RD</sup> Street from GF-1 to R-1
- b. Public Hearing on Proposed Rezoning of portions of five (5) lots along Hillcrest Drive (405, 409, 413, 417, and 421) and one (1) lot at 1201 W Washington from GF-1 to R-1
  - i. First Reading of Ordinance 2024-200 approving rezoning portions of five (5) lots along Hillcrest Drive (405, 409, 413, 417, and 421) and one (1) lot at 1201 W Washington from GF-1 to R-1
- c. Public Hearing on Proposed Rezoning of 106 S. 3<sup>rd</sup> Street from C-1 to CTS
  - i. First Reading of Ordinance 2024-300 approving rezoning 106 S. 3<sup>rd</sup> Street from C-1 to CTS
- d. Public Hearing on Proposed Rezoning of City Parking Lot from C-1 to GF-1
  - i. First Reading of Ordinance 2024-400 approving rezoning City Parking Lot from C-1 to GF-1
- e. Public Hearing on Proposed Rezoning of 1500 & 1600 W. Broadway from C-2 to GF-1
  - i. First Reading of Ordinance 2024-500 approving rezoning 1500 & 1600 W. Broadway from C-2 to GF-1

**5. Public Comments:** *This is the time and place for comments for any item other than those that are a Public Hearing. If you wish to speak, please contact the City Clerk by 6pm on the date of the meeting by email at [jcoffin@polkcityia.gov](mailto:jcoffin@polkcityia.gov) include your name and address for the record. The Mayor will recognize you for five minutes of comment.*

### 6. Consent Items

- a. City Council Meeting Minutes for February 12, 2024
- b. City Council Work Session Meeting Minutes for February 12, 2024
- c. Claims listing February 26, 2024

- d. Resolution 2024-20 setting a Public Hearing for the Proposed Property Tax Levy for FY 24/25
- e. Resolution 2024-21 appointment Polk City's Representatives to Iowa Communities' Assurance Pool
- f. Resolution 2024-22 approving Pay App No. 8 in the amount of \$280,738.30 for the City Hall/Community Room Project
- g. Hydraulic Lift Cylinder repair on Public Works Dump Truck in the amount of \$12,247.56
- h. Set pay for new Public Works hire, Joshua Jameson, GIS Specialist at a rate of \$27.13 per hour pending a successful background check and pre-employment drug screen
- i. Receive and file Planning & Zoning Commission Meeting Minutes for February 19, 2024

**7. Business Items**

- a. Resolution 2024-23 approving On with Life Plat of Survey, Amended Buffer Easement, and Amended Site Plan
  
- b. First Reading of Ordinance 2024-600 amending the Municipal Code of Polk City concerning Dumping at City Facility
  - i. *(optional)* Waive Second and Third Reading

**8. Reports & Particulars | Mayor, Council, City Manager, Staff, Boards, and/or Commissions**

**9. Adjournment -- next meeting date March 11, 2024**

## PROPOSED AMENDMENTS TO ZONING DISTRICTS

Date: February 21, 2024

Prepared by: Kathleen Connor, Planner  
 Travis D. Thornburgh, P.E.

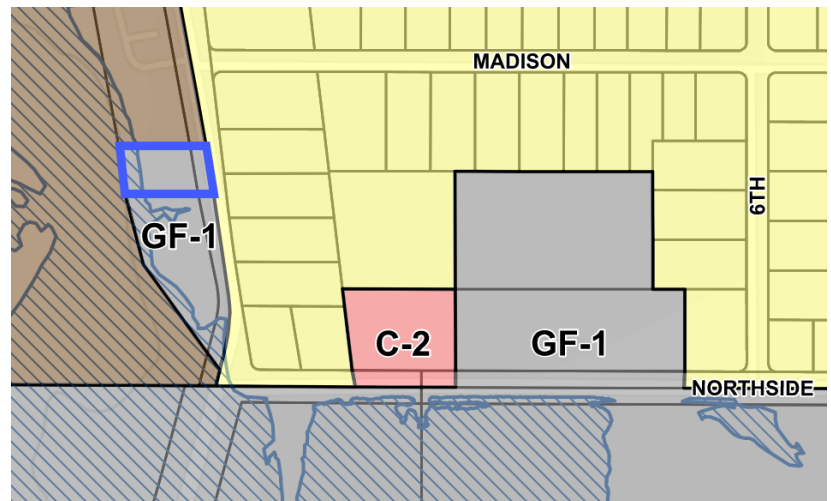
Project: Zoning Districts Update

Project No.: 124.0001.01

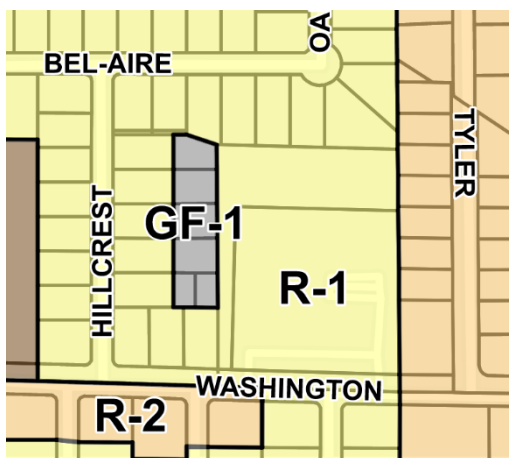
At its November 2023 meeting, the Planning & Zoning Commission discussed and reviewed several “cleanup rezonings” located in and around Polk City related to the GF-1 zoning district. At this meeting, the Planning & Zoning Commission recommended City Council initiate the following rezonings, as the subject properties currently bear a zoning district that do not match their current or intended uses:

### Area #1: 516 N. 3<sup>rd</sup> Street (Property is Currently Zoned GF-1)

Immediately north of a vacant, City owned parcel on N. 3rd Street, and south of the Tournament Club of Iowa Maintenance Facility, lies a single-family home that is zoned GF-1. We have been unable to ascertain why it is zoned in this manner. The Future Land Use Plan designates this parcel as low density residential, with commercial to the north and civic to the south. Rezoning this property to R-1 would help bring this home into compliance.



### Area #2: Portions of 6 Lots Along Hillcrest Drive (Currently Zoned GF-1)

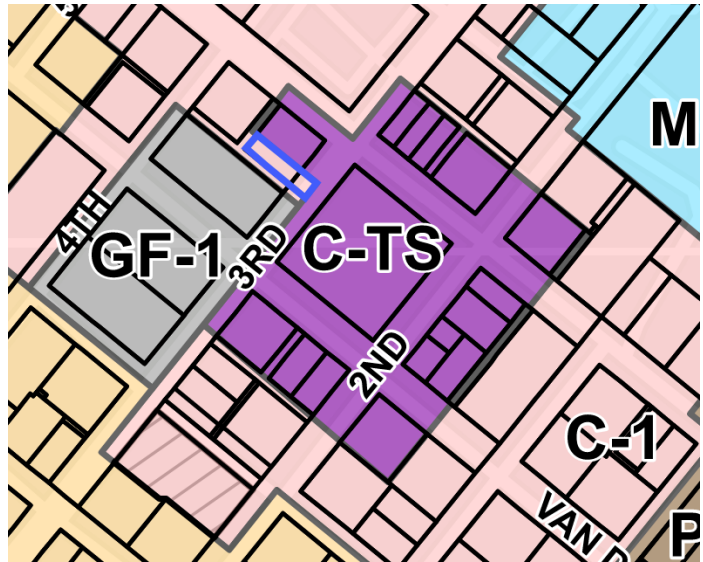


A GF-1 zoning district is located in the rear yards of privately-owned residences on the east side of Hillcrest Drive (405-421) and on the north side of 1201 W. Washington Avenue. We do not have any knowledge as to why this area is zoned GF-1 but, since it abuts the old nursing home property, it is possible this GF-1 zoning was also used as a buffer to the more intense use. However, since the GF-1 “buffer” is located on the properties that are to receive the benefit of said buffer, there does not appear to be any benefit to the homeowners. In addition, GF-1 zoning may limit the use and enjoyment of these rear yards by restricting certain structures. For example, accessory structures are not permitted unless they are incidental to permitted principal uses.

GF-1 zoning districts do not allow residential uses, so accessory structures incidental to residential uses would not be allowed. As a result, garden sheds should not be permitted in this GF-1 district, even though there appears to be at least one such structure. In this case, rezoning to R-1 would help bring these lots into compliance and reflect the current use of these parcels.

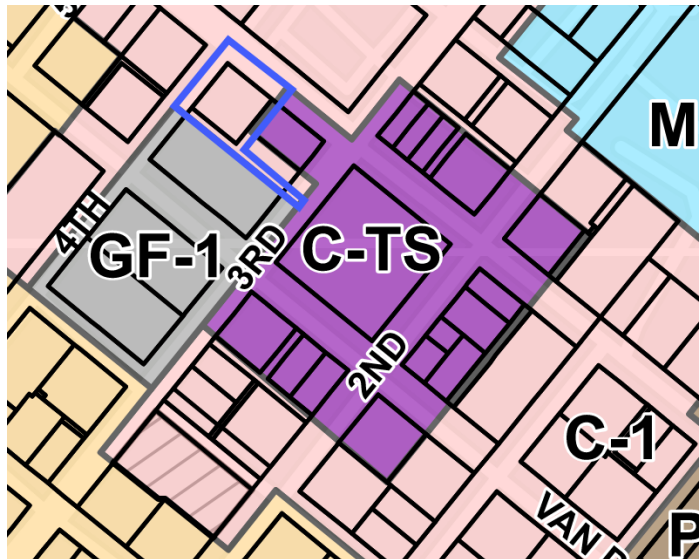
**Area #3: 106 S. 3<sup>rd</sup> Street (Property is Currently Zoned C-1)**

Immediately northeast of the existing City Hall along S. 3<sup>rd</sup> Street lies the Masonic Lodge that currently bears a C-1 zoning district. This building is located directly adjacent to the Polk City Square, and as such does not have a dedicated parking facility on-site. Rezoning this property to C-TS would help bring this area into compliance, applying a zoning designation that matches the current use of this parcel, and would rezone the last remaining C-1 district that exists with Square frontage.



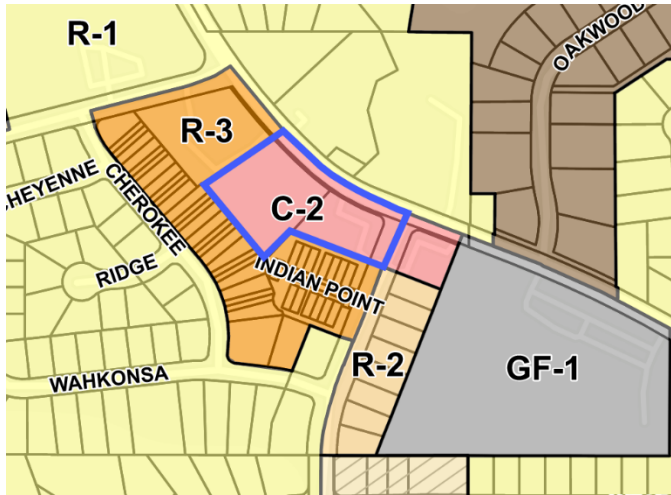
**Area #4: City Hall Parking Lot on W. Broadway Street (Property is Current Zoned C-1)**

Located at the intersection of W. Broadway Street and S. 4<sup>th</sup> Street, the existing paved parking lot is owned by the City of Polk City and currently bears a C-1 (Commercial) Designation. This parking lot functions as an overflow parking facility for the Polk City Fire Department, current Polk City City Hall, and the Polk City Square and is maintained by the City of Polk City. As such, this parking lot functions as a municipal facility and it is our belief that the GF-1 designation is more applicable than its current C-1 zoning. This rezoning also includes the alley parcels adjacent to the parking lot.





**Area #5: 1500 & 1600 W. Broadway Street (Property is Currently Zoned C-2)**



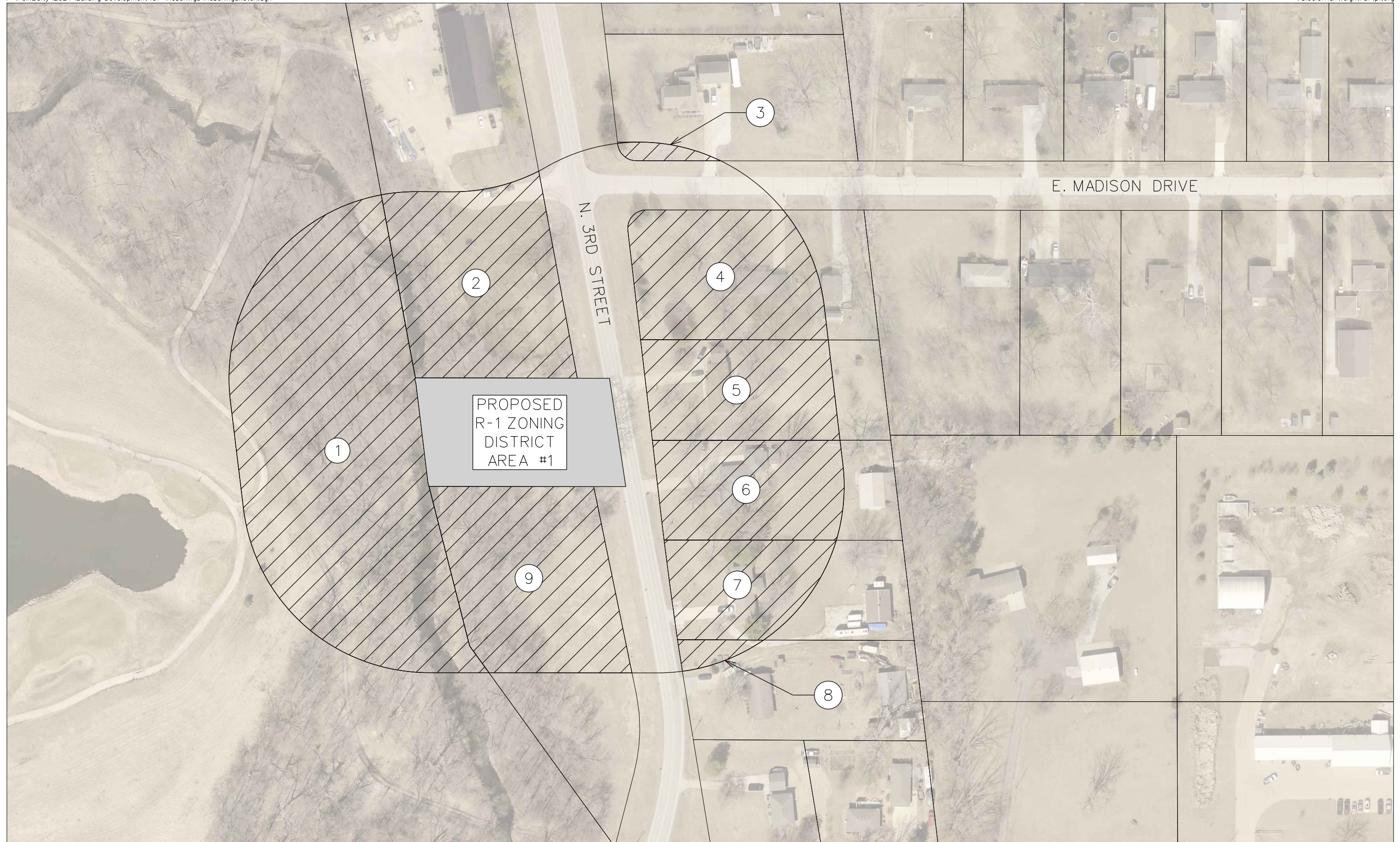
The Polk City Public Library, located at 1500 W. Broadway Street, and the lot at 1600 W. Broadway Street located directly adjacent to the library that the City recently purchased are both currently zoned with the C-2 (Commercial) designation (outlined in blue to the left). It is our understanding that the intended use for the lot at 1600 W. Broadway Street is an expansion of municipal facilities. Rezoning of these parcels to the GF-1 designation would bring the current use of 1500 W. Broadway Street (Public Library) and the intended use of 1600 W. Broadway Street (Future Municipal Facility) into compliance.

**RECOMMENDATION:**

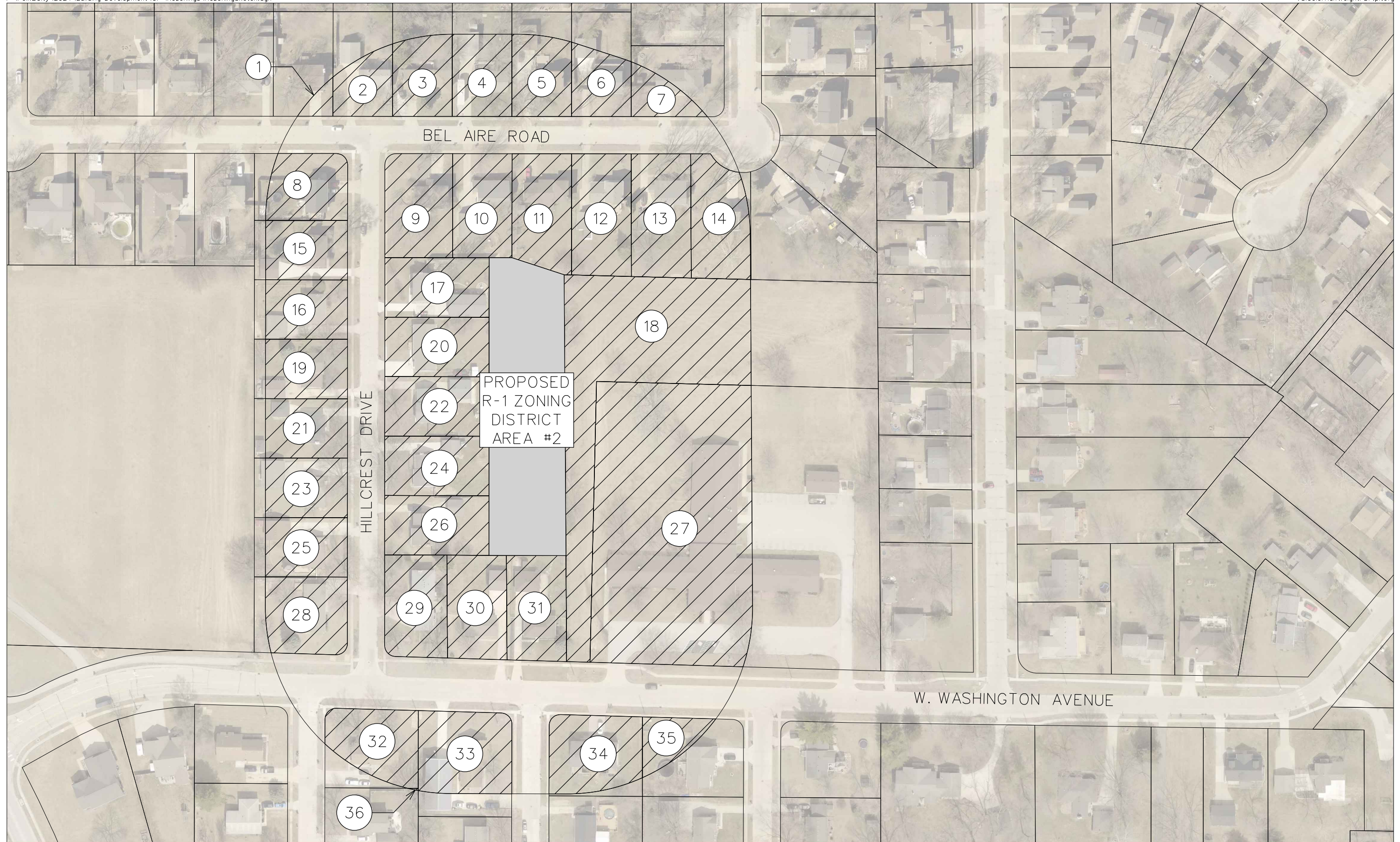
The Planning & Zoning Commission and City Staff recommend the City Council approve the rezonings as described above.

The owners of all properties proposed to be rezoned have been notified of the rezoning proceedings. The property owners within 250’ of the rezoning areas have been notified of the February 26 Public Hearing and City Council meeting and were previously notified of the February Planning & Zoning meeting to allow the surrounding property owners the opportunity to provide their input on the proposed rezonings.

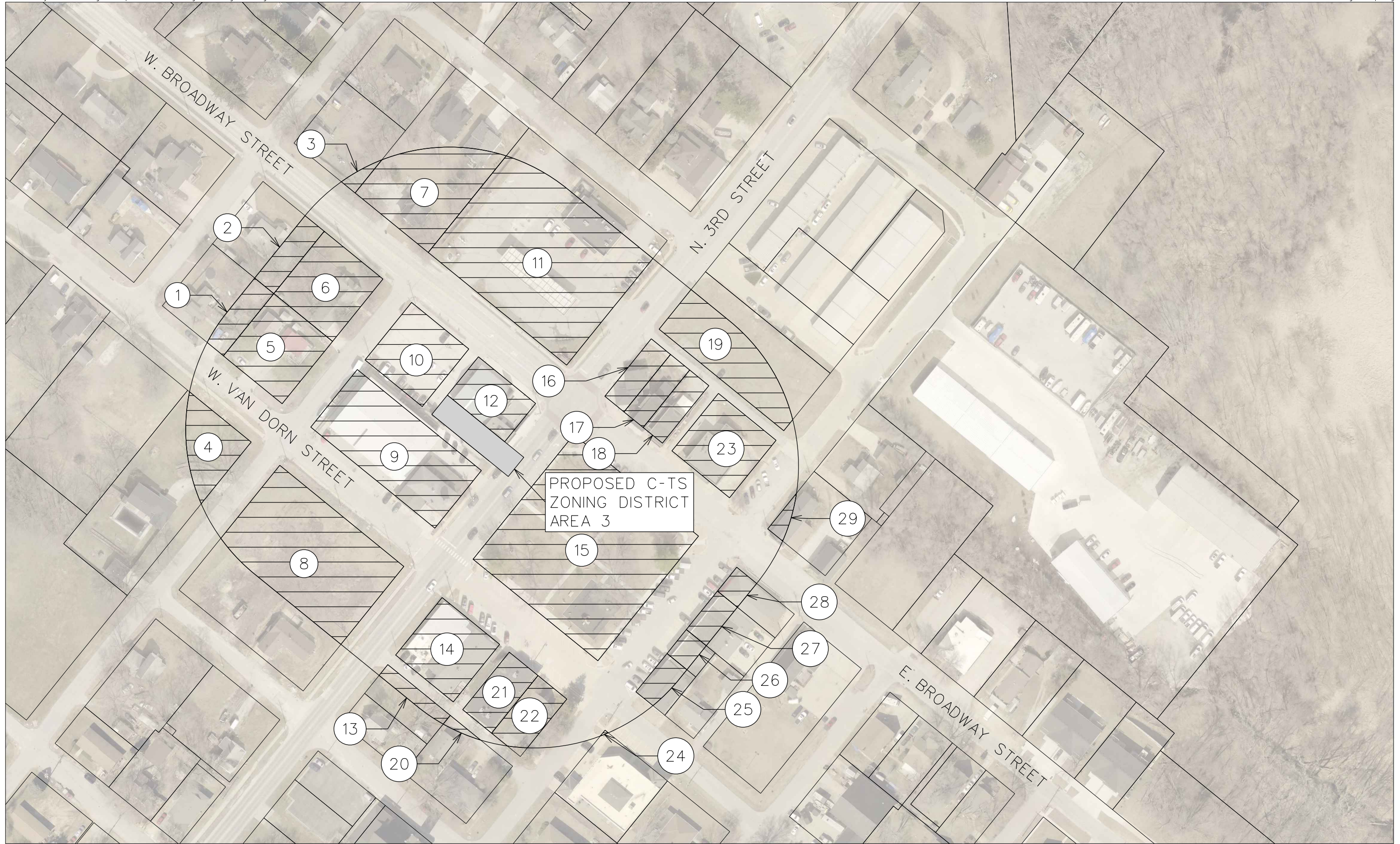




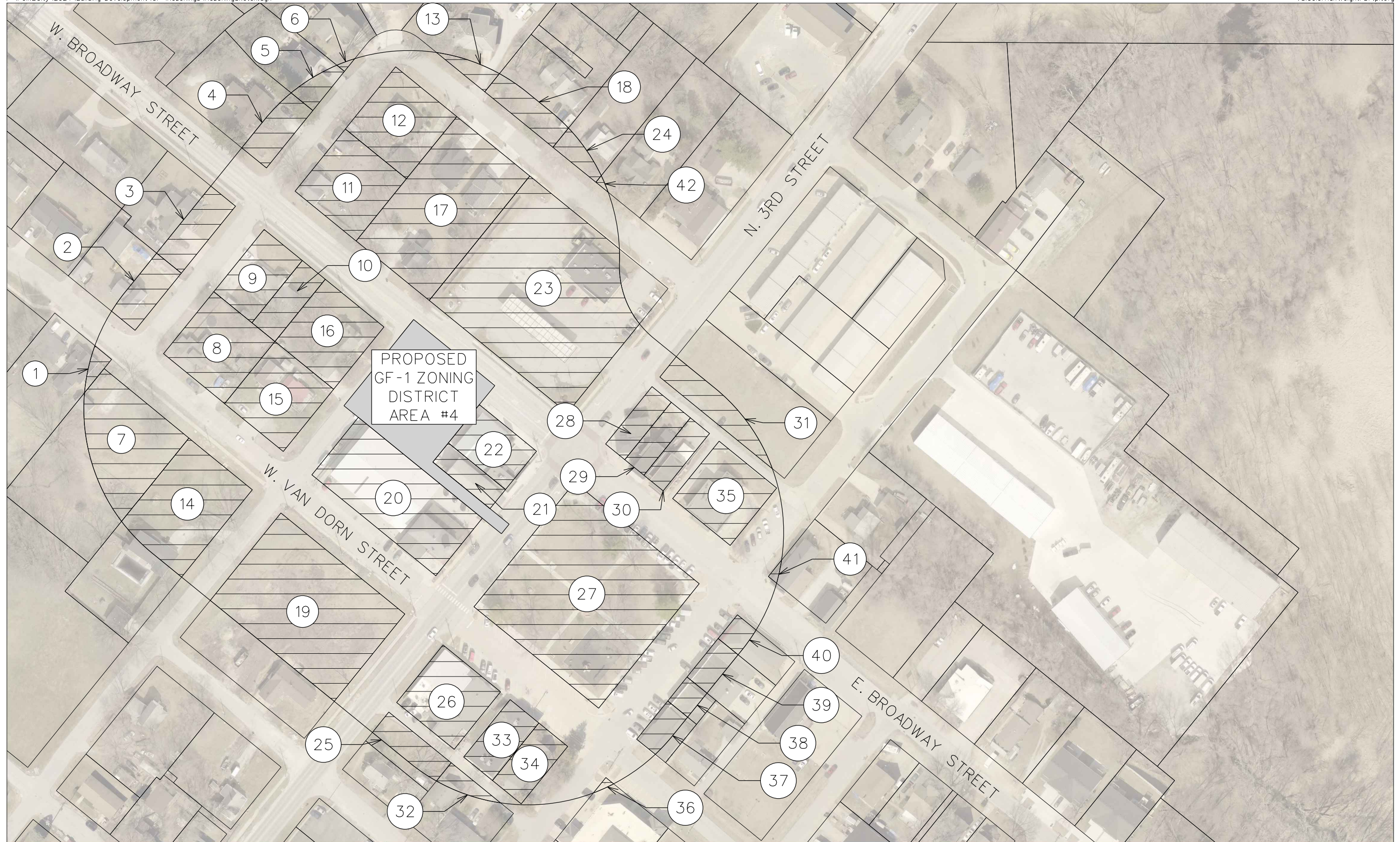


















**ORDINANCE NO. 2024-100**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING PROPERTY LOCATED AT 516 N. 3<sup>RD</sup> STREET FROM GF-1, GOVERNMENT FACILITY DISTRICT TO R-1, SINGLE FAMILY DETACHED**

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**WHEREAS**, on the 19 day of February 2024, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

That part of the Southeast ¼ of the Southwest ¼ of Section 36, Township 81 North, Range 25 West of the 5<sup>th</sup> P.M., described as follows: Commencing at the Northeast corner of the Southeast ¼ of the Southwest ¼ of said Section 36; thence 89°55'02" W 680.6 feet to a point on the West line of the abandoned Chicago and Northwester Railroad Right of Way; thence S07°03'42" E along said right of way line, 602.22 feet to the point of beginning; thence continuing S07°03'42" E along said right of way line 141.56 feet; thence S89°55'02" W, 310.00 feet; thence N07°03'42" W, 141.56 feet; thence N 89°55'02" E, 310.00 feet to the point of beginning, all now included in and form a part of the City of Polk City, Polk County, Iowa, subject to Road right-of-way of N. 3rd Street along the East side measuring 96.47 feet on the North line and 87.75 feet on the South line.

be considered for rezoning from zoning classification GF-1, Government Facility District to R-1, Single Family Detached; and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning property located at 516 N. 3<sup>rd</sup> Street from GF-1, Government Facility District to R-1, Single Family Detached.

**Section 2:** All Zoning Regulations, as applicable, shall apply.

**Section 3:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 4:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting

**ORDINANCE NO. 2024-200**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING A PORTION OF SIX (6) PROPERTIES LOCATED AT 405, 409, 413, 417, AND 421 HILLCREST DRIVE AND 1201 W WASHINGTON FROM GF-1, GOVERNMENT FACILITY DISTRICT TO R-1, SINGLE FAMILY DETACHED**

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**WHEREAS**, on the 19 day of February 2024, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

Lots 1, 2, 3, 4, 5, and 6 of Forest Heights Plat 6, an official plat in the City of Polk City, Polk County, Iowa.

be considered for rezoning from zoning classification GF-1, Government Facility District to R-1, Single Family Detached; and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning property located at 405 Hillcrest Drive, 409 Hillcrest Drive, 413 Hillcrest Drive, 417 Hillcrest Drive, 421 Hillcrest Drive, 1201 W Washington Avenue from GF-1, Government Facility District to R-1, Single Family Detached.

**Section 2:** All Zoning Regulations, as applicable, shall apply.

**Section 3:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 4:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting

**ORDINANCE NO. 2024-300**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING OF PROPERTY LOCATED AT 106 S. 3<sup>rd</sup> STREET FROM C-1, CENTRAL BUSINESS DISTRICT TO C-TS, TOWN SQUARE BUSINESS DISTRICT**

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**WHEREAS**, on the 19 day of February 2024, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

Southwest 1/3 of Lot 4 and All of Lot 3, Block 10, Town of Polk City, an official plat in the City of Polk City, Polk County, Iowa, and the abutting northwest one half right-of-way of S 3<sup>rd</sup> Street.

be considered for rezoning from zoning classification C-1, Central Business District to C-TS, Town Square Business District; and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning property located at 106 S. 3<sup>rd</sup> Street from C-1, Central Business District to C-TS, Town Square Business District.

**Section 2:** All Zoning Regulations, as applicable, shall apply.

**Section 3:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 4:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting

**ORDINANCE NO. 2024-400**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING OF PROPERTY OWNED BY THE CITY OF POLK CITY, IOWA AND LOCATED BEHIND THE FIRE STATION ALONG W. BROADWAY FROM C-1, CENTRAL BUSINESS DISTRICT TO GF-1, GOVERNMENT FACILITY DISTRICT**

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**WHEREAS**, on the 19 day of February 2024, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

Lot 9, Block 10, Town of Polk City, an official plat in the City of Polk City, Polk County, Iowa, and the abutting southwest one-half right-of-way of W. Broadway Street, the abutting northwest half right-of-way of S. 4<sup>th</sup> Street, and the abutting southeast half right-of-way of S. 3<sup>rd</sup> Street and adjoining alleys within Block 10, Town of Polk City.

be considered for rezoning from zoning classification C-1, Central Business District to GF-1, Government Facility District; and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning property owned by the City of Polk City and located behind the Fire Station along W. Broadway from C-1, Central Business District to GF-1, Government District.

**Section 2:** All Zoning Regulations, as applicable, shall apply.

**Section 3:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 4:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting

**ORDINANCE NO. 2024-500**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING OF PROPERTY OWNED BY THE CITY OF POLK CITY, IOWA AND LOCATED AT 1500 & 1600 W. BROADWAY FROM C-2, COMMERCIAL DISTRICT TO GF-1, GOVERNMENT FACILITY DISTRICT**

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**WHEREAS**, on the 19 day of February 2024, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

Lot 13 of Arrow Ridge Point Plat 1 & Lot 39 of Arrow Ridge Point Plat 2, an official plat in the City of Polk City, Polk County, Iowa, and the abutting southwest half right-of-way of W. Broadway Street and the abutting northwest half right-of-way of W. Parker Boulevard.

be considered for rezoning from zoning classification C-2, Commercial District to GF-1, Government Facility District; and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning property owned by the City of Polk City and located at 1500 & 1600 W. Broadway from C-2, Commercial District to GF-1, Government District.

**Section 2:** All Zoning Regulations, as applicable, shall apply.

**Section 3:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 4:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2024.

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Steve Karsjen, Mayor

ATTEST:

---

Jenny Coffin, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting



**MEETING MINUTES**  
**The City of Polk City**  
**City Council Meeting**  
**6:00 p.m. February 12, 2024**  
**City Hall – Council Chambers**

The Polk City, City Council held a meeting in the City Hall Council Chambers at 6:00 p.m., February 12, 2024. The agenda was posted at the City Hall office as required by law.

**These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Mayor Karsjen called the meeting to order at 6:00 p.m.
2. **Roll Call** | Sarchet, Savage, Walters, Vogel, Otis | In attendance
3. **MOTION:** A motion was made by Walters and seconded by Savage to approve the agenda  
**MOTION CARRIED UNANIMOUSLY**
4. **Public Comments** | None  
Mayor Karsjen did acknowledge Boy Scouts attendance to observe the meeting for their Citizenship of Society Badge.
5. **Consent Items**
  - a. City Council Meeting Minutes for January 22, 2024
  - b. City Council Budget Work Session Meeting Minutes for February 2, 2024
  - c. Claims listing February 12, 2024
  - d. January 2024 Finance Report
  - e. Receive and File Parks Commission Meeting Minutes for February 5, 2024
  - f. Receive and File Parks & Recreation January 2024 Report
  - g. Special Event Permit for Friends of the Parks Earth Day 5K and Pickleball Tournament on April 20<sup>th</sup>, including road closures of Van Dorn from 3<sup>rd</sup> Street to 1<sup>st</sup> Street and 2<sup>nd</sup> Street from Van Dorn NE for 120' (just past Rising Sun Café) from 7am to 3pm
  - h. Receive and File Library Board Meeting Minutes for February 5, 2024
  - i. Receive and File Library Director January 2024 Report
  - j. Acknowledge Library Resolution 2024-04L authorizing the sale, donation or disposal of non-function or obsolete computer equipment & furniture
  - k. Acknowledge Library Resolution 2024-05L hiring Nicole Straker as Youth Services Librarian at a rate of \$24.39 per hour
  - l. Sara B&R LLC dba Polk City Liquor Class E Retail Alcohol License renewal effective 2/1/2024
  - m. Resolution 2024-09 approving Pay Application No. 11 in the amount of \$49,657.11 for the Fire Station Remodel Project
  - n. Appoint Lindsey Page to Parks Commission vacancy term ending December 31, 2028
  - o. Receive and file 2023 Annual Audit Report
  - p. Resolution 2024-10 approving an Annexation Agreement
  - q. Resolution 2024-11 approving a Maintenance Agreement with Home State Bank
  - r. Resolution 2024-12 appointing 2024 Polk City's Representatives on the Central Iowa Water Works (CIWW) Board
  - s. Close W. Wood Street between S. 3<sup>rd</sup> Street and S. 4<sup>th</sup> Street for the duration of the City Hall/Community Room construction project
  - t. Receive and file the January 2024 Water Report
  - u. Receive and file the 2023 Annual Police Department Report
  - v. Receive and file the January 2024 Fire Department Report
  - w. Acknowledge Fire Department Standard Operating Guidelines (SOG) updates
  - x. Set pay for new part-time hire Firefighter/Paramedic, Joel Otte, at a rate of \$22.66 per hour
  - y. Set pay for new part-time hire Firefighter/EMT, Michael Sbrocco at a rate of \$18.03 per hour
  - z. Resolution 2023-152A Amending Authorization to Apply for the Destination Iowa Grant from the Outdoor Recreation Fund
  - aa. Resolution 2024-13 Authorizing Application to Assistance to Firefighters Grant (AFG)
  - bb. Resolution 2024-14 approving Electric Easement
  - cc. Set pay increase for full-time Firefighter/Paramedic, Alissa Furry at \$22.66 per hour

**MOTION:** A motion was made by Otis and seconded by Sarchet\* to approve the consent agenda items.  
**MOTION CARRIED UNANIMOUSLY**

\*Council Member Sarchet called attention to item 5.q regarding the Home State Maintenance agreement. City Manager Huisman reported that a requirement in the agreement requires Home State Bank to meeting with Polk City by May 1<sup>st</sup> each year to inspect the health of planted trees and replace any that don't meet inspection requirements.

## 6. *Business Items*

- a. Council initiation of rezonings and setting public hearings
  - i. **MOTION:** A motion was made by Sarchet and seconded by Walters to approve Resolution 2024-15 setting public hearing on rezoning 516 N 3<sup>rd</sup> Street from GF-1 to R-1  
**MOTION CARRIED UNANIMOUSLY**
  - ii. **MOTION:** A motion was made by Otis and seconded by Vogel to approve Resolution 2024-16 setting public hearing on rezoning portions of five (5) lots along Hillcrest (405, 409, 413, 417, and 421) and one (1) lot at 1201 W. Washington from GF-1 to R-1  
**MOTION CARRIED UNANIMOUSLY**
  - iii. **MOTION:** A motion was made by Walters and seconded by Vogel to approve Resolution 2024-17 setting public hearing on rezoning 106 S. 3<sup>rd</sup> Street from C-1 to C-TS  
**MOTION CARRIED UNANIMOUSLY**
  - iv. **MOTION:** A motion was made by Vogel and seconded by Otis to approve Resolution 2024-18 setting public hearing on rezoning City Parking Lot from C-1 to GF-1  
**MOTION CARRIED UNANIMOUSLY**
  - v. **MOTION:** A motion was made by Savage and seconded by Vogel to approve Resolution 2024-19 setting public hearing on rezoning 1500 & 1600 W. Broadway from C-2 to GF-1  
**MOTION CARRIED UNANIMOUSLY**
- b. **MOTION:** A motion was made by Vogel and seconded by Savage to approve Snyder & Associates December 2023 Engineering Services Invoice in the amount of \$39,266.75  
**YES: Savage, Vogel, Otis, Sarchet**  
**ABSTAIN: Walters**  
**MOTION CARRIED**

## 7. *Reports & Particulars* | Mayor, Council, City Manager, Staff, Boards, and/or Commissions

- Library Director Noack said she has some concerns regarding new legislation regarding libraries and asked Council to discuss these bills.
- Ron Anderson, 710 Tyler Street, thanked EMT Staff for their efforts to quickly and effectively transport his daughter, ultimately saving her life.
- Council Member Sarchet also thanked Law and Fire personnel for their positive impact in the situation of Anderson's daughter and the support of the community. He thanked the Boy Scouts for attending the meeting.
- Mayor Karsjen thanked the Boy Scouts and offered them to talk with Council Members after the meeting concluded.

## 8. *Adjournment*

**MOTION:** A motion was made by Walters and seconded by Otis to adjourn at 6:22 pm.

**MOTION CARRIED UNANIMOUSLY**

*Next Meeting Date – February 26, 2024*

Attest

\_\_\_\_\_  
Jenny Coffin, City Clerk

\_\_\_\_\_  
Steve Karsjen, Mayor

**MEETING MINUTES**  
**The City of Polk City**  
**Work Session**  
**5:00 p.m., Monday, February 12, 2024**  
**City Hall Council Chambers**

A Council Work Session was held on February 12, 2024, at 5:00 p.m. at the City Hall Council Chambers in Polk City, Iowa.

<p><b><u>Mayor and City Council Members Present:</u></b> Steve Karsjen   Mayor Jeff Walters   Pro Tem Rob Sarchet   City Council Member Jeff Savage   City Council Member Mandy Vogel   City Council Member Nick Otis   City Council Member</p>	<p><b><u>Staff Members Present:</u></b> Chelsea Huisman   City Manager Jenny Coffin   City Clerk/Treasurer Mike Schulte   Public Works Director Jeremy Siepker   Police Chief Jamie Noack   Library Director Jason Thraen   Parks &amp; Recreation Director Karla Hogrefe   Fire Chief Cody Olson   Building Official</p>
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**Minutes**

Public Works Director Schulte presented the history of how and why the brush pile was started as an alternative to burning. He reviewed how the waste has grown year over year to an insurmountable amount, especially financially, and the amount that must be hauled away. Schulte also shared the challenges of illegal dumping at the site, both of unacceptable materials and of non-Polk City residents and contractors unlawfully using the site. Staff recommendation would be closing the operation down now that every resident has the option to participate in curb side pick up of yard waste. The Mayor and Council discussed various ideas.

Ken Morse, 1308 Westside Dr. addressed the Mayor and Council with his thoughts on managing the site.

Ron Anderson, 710 Tyler Street, shared his thoughts on the history and value of the site.

Council asked for more information on both the brush pile and Metro Waste Authority Recycling Center to provide Council with options to discuss at a future work session.

**Motion** was made by Walters and seconded by Otis to Adjourn at 5:58 p.m.

***Motion carried Unanimously.***

\_\_\_\_\_  
Steve Karsjen, Mayor

Attest

\_\_\_\_\_  
Jenny Coffin, City Clerk

CITY OF POLK CITY		2/26/2024
Amazon	APPLE I PAD	\$ 1,139.32
ARDICK EQUIPMENT CO.	SIGNS	\$ 331.50
Bound Tree Medical	MEDICAL SUPPLIES	\$ 1,336.65
BRICK LAW FIRM	JANUARY SERVICES	\$ 6,070.00
BURT DIRTWORKS	FIRE HYDRANT AT SANDPIPER & 3	\$ 3,250.00
CANINE TACTICAL	K9 TRAINING	\$ 250.00
CAPITAL SANITARY SUPPLY	CLEANING SUPPLIES	\$ 780.55
CENTURY LINK	PHONE SERVICE	\$ 286.68
CIT SEWER SOLUTIONS	SEWER JETTING	\$ 2,250.00
CITY LAUNDERING	PUBLIC WORKS MATS	\$ 261.76
CITY OF DES MOINES	WRA HOOKUP	\$ 33,873.30
CITY OF POLK CITY	ASSISTANCE 1941010	\$ 266.67
Contractor Solutions	LOCATER SUPPLIES	\$ 417.26
COPY SYSTEMS INC.	COPIER AGREEMENT	\$ 45.15
COUNTY OF POLK OFFICE OF ELECT	1680.58	\$ 1,680.58
Custom Awards & Embroidery Inc	COUNCIL NAME PLATE SAVAGE	\$ 32.00
ELECTRONIC ENGINEERING CO.	INSTALL 2WAY RADIO IN NEW TRUC	\$ 562.07
EMPLOYEE FAMILY RESOURCES	EAP RESOURCES X 72 EMPL	\$ 2,826.00
FAREWAY	JANUARY	\$ 97.86
Ferguson Waterworks	EQUIPMENT REPAIRS	\$ 1,485.00
Fire Service Training Bureau	FIRE SCHOOL	\$ 405.86
FORCE FITTERS	JACKET	\$ 348.00
G.F.O.A.	GFOA MEMBERSHIP	\$ 170.00
HAWKEYE TRUCK EQUIPMENT	VEHICLE EQUIPMENT	\$ 2,153.58
HAWKINS INC	CHLORINE	\$ 681.67
HOTSY CLEANING SYSTEMS INC.	TRUCK WASH SUPPLIES	\$ 565.50
INTERSTATE ALL BATTERY CENTER	EMERGENCY EXIT LIGHTING	\$ 64.40
IOWA ONE CALL	UNDERGROUND LOCATIONS	\$ 112.80
IOWA SIGNAL INC	FLASHING SCHOOL LIGHTS	\$ 380.00
JEFF WALTERS	MILEAGE FOR MPO	\$ 59.63
KARLA HODREFE	STATION BOOT REIMB	\$ 157.36
Keck Energy	SNOW FUEL	\$ 1,394.95
LINDA BETSINGER MCCANN	HISTORY SPEAKING	\$ 125.00
LINDE GAS & EQUIPMENT INC	OXYGEN	\$ 298.98
MENARDS	SUPPLIES	\$ 118.96
MICROBAC LABORATORIES INC	LAB TEST	\$ 127.00
MID IOWA PLANNING ALLIANCE	MIPA MEMBERSHIP	\$ 832.00
MIDAMERICAN ENERGY	ELECTRIC CHARGES	\$ 12,216.33
MIDLAND POWER CO-OP	STREET LIGHTING	\$ 1,092.88
MIDWEST CRITICAL POWER	GENERATOR REPAIR	\$ 870.54
PHILIP L ASCHEMAN, PHD	WELLNESS PROGRAM PROACTIVE CH	\$ 1,215.00
POMP'S	NEW TIRES	\$ 819.10
RANGEMASTERS TRAINING CENTER	WHIPPLE PAYROLL DEDUCT WEAPON	\$ 524.29
SECTOR LLC	VEHICLE UPFIT BUILDS	\$ 50,828.71
STEVE KARSJEN	MIALG MILEAGE	\$ 32.10
Tovne Inc	R458 WATER SENSORS	\$ 842.92
UNITY POINT OCC MED	DOT DRUG TESTING	\$ 115.75
VERIZON WIRELESS	PHONE AND DATA PLAN	\$ 369.70
WELLMARK BLUE CROSS BLUE SHEIL	CITY HEALTH INS	\$ 36,029.50
WORKSPACE INC	PUBLIC WORKS FURNITURE	\$ 11,056.40
<b>Accounts Payable Total</b>		<b>\$ 181,251.26</b>
GENERAL		\$ 52,390.55
ROAD USE		\$ 10,743.00
L.M.I		\$ 266.67
CAPITAL EQUIPMENT/VEHICLE		\$ 50,828.71
WATER		\$ 16,129.47
SEWER		\$ 50,892.86
<b>TOTAL FUNDS</b>		<b>\$ 181,251.26</b>



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** February 26, 2024 City Council Meeting  
**To:** Mayor Steve Karsjen & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** Property Tax Public Hearing

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**BACKGROUND:** On Monday, the City Council will set a public hearing for the proposed Property Tax levy, as required by the new State Code. Polk City is required to publish this notice, hold a public hearing, and approve the proposed property tax levy in advance of the final budget adoption. This public hearing will need to be set for a separate Council meeting, as there cannot be any other items on the agenda for this public hearing. The public hearing will be set for Monday, March 25<sup>th</sup> at 5pm.

The proposed budget for FY2025 has a city aggregate tax levy of \$11.00 per \$1,000 assessed unchanged from the current budget year. Although we are not changing our aggregate tax levy, Polk City will have increased revenues from the previous year. The increased revenues can be attributed to our residential growth, and recent assessment increases. The city staff will continue to evaluate the tax levy on a year-to-year basis and recommend if changes in the tax levy are necessary.

**ALTERNATIVES:** Do not set the public hearing

**FINANCIAL CONSIDERATIONS:** None; the City Council is only setting the public hearing. A full budget document regarding the proposed FY2025 budget will be available on the city's website for further details on the budget itself.

**RECOMMENDATION:** It is my recommendation that the City Council set the public hearing for March 25, 2024 for 5pm.

The City Council will conduct a public hearing on the proposed Fiscal Year City property tax levy as follows:

**Meeting Date: 3/25/2024 Meeting Time: 05:00 PM Meeting Location: City Hall Council Chambers located at 112 S 3rd Street, Polk City, Iowa., 50226.**

**At the public hearing any resident or taxpayer may present objections to, or arguments in favor of the proposed tax levy. After the hearing of the proposed tax levy, the City Council will publish notice and hold a hearing on the proposed city budget.**

City Website (if available)  
 www.polkcivla.gov

City Telephone Number  
 (515) 984-6233

<b>Iowa Department of Management</b>	<b>Current Year Certified Property Tax 2023 - 2024</b>	<b>Budget Year Effective Property Tax 2024 - 2025</b>	<b>Budget Year Proposed Property Tax 2024 - 2025</b>
Taxable Valuations for Non-Debt Service	320,592,162	347,634,393	347,634,393
Consolidated General Fund	2,683,357	2,683,357	2,824,954
Operation & Maintenance of Public Transit	0	0	0
Aviation Authority	0	0	0
Liability, Property & Self Insurance	0	0	0
Support of Local Emergency Mgmt. Comm.	0	0	0
Unified Law Enforcement	0	0	0
Police & Fire Retirement	0	0	0
FICA & IPERS (If at General Fund Limit)	0	0	0
Other Employee Benefits	195,988	195,988	332,763
Capital Projects (Capital Improv. Reserve)	0	0	0
Taxable Value for Debt Service	371,712,860	413,105,021	413,105,021
Debt Service	750,366	750,366	791,741
<b>CITY REGULAR TOTAL PROPERTY TAX</b>	<b>3,629,711</b>	<b>3,629,711</b>	<b>3,949,458</b>
<b>CITY REGULAR TAX RATE</b>	<b>11.00000</b>	<b>10.09907</b>	<b>11.00000</b>
Taxable Value for City Ag Land	744,967	623,171	623,171
Ag Land	2,238	2,238	1,872
<b>CITY AG LAND TAX RATE</b>	<b>3.00375</b>	<b>3.59131</b>	<b>3.00375</b>
<b>Tax Rate Comparison-Current VS. Proposed</b>			
Residential property with an Actual/Assessed Value of \$100,000	<b>Current Year Certified 2023/2024</b>	<b>Budget Year Proposed 2024/2025</b>	<b>Percent Change</b>
City Regular Resident	601	510	-15.14
Commercial property with an Actual/Assessed Value of \$100,000	<b>Current Year Certified 2023/2024</b>	<b>Budget Year Proposed 2024/2025</b>	<b>Percent Change</b>
City Regular Commercial	601	510	-15.14

Note: Actual/Assessed Valuation is multiplied by a Rollback Percentage to get to the Taxable Valuation to calculate Property Taxes. Residential and Commercial properties have the same Rollback Percentage at \$100,000 Actual/Assessed Valuation.

**Reasons for tax increase if proposed exceeds the current:**

The proposed aggregate tax levy is \$11.00 per \$1000 assessed, or unchanged from the current year. Polk City's rapid residential growth will continue to drive revenue increases. The city will review the aggregate tax levy annually and determine if a change is necessary.



**RESOLUTION NO. 2024-20**

**A RESOLUTION SETTING A PUBLIC HEARING ON THE PROPOSED PROPERTY  
TAX LEVY RATE FOR FY 24/25**

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**WHEREAS**, the City of Polk City, Iowa collects certain revenues from property tax levies as allowed by law; and

**WHEREAS**, the valuations for the City of Polk City have grown significantly, leading to an increase in revenues collected that are necessary to support the operations and capital expenditures of a developing community; and

**WHEREAS**, the State of Iowa law requires the City Council to set a time and place for a public hearing, publishing notice and holding said hearing on what is referred to as the “Property Tax Levy Hearing”, in addition to the budget hearing; and

**WHEREAS**, the notice of public hearing is required to be published no less than 10 but not more than 20 days prior to the date of the hearing.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa, hereby orders a public hearing and notice thereof to be held on March 25, 2024 at 5:00 p.m. on the proposed FY 24/25 Property Tax Levy.

**PASSED AND APPROVED** the 26 day February 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk

**RESOLUTION NO. 2024-21**

**RESOLUTION APPOINTING POLK CITY'S REPRESENTATIVES TO IOWA  
COMMUNITIES' ASSURANCE POOL**

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**WHEREAS**, the City of Polk City is a member of the Iowa Communities Assurance Pool (ICAP); and,

**WHEREAS**, ICAP requires the City of Polk City, Iowa to designate an individual and alternate representative to act as liaison with ICAP; and,

**WHEREAS**, the Member Proxy sets forth the process for the appointment of a primary and an alternate to serve as liaison between the City of Polk City, Iowa and ICAP for the purposes of relating risk reduction and loss control information.

**NOW THEREFORE BE IT RESOLVED** that the City Council of Polk City, Iowa hereby appoints Jenny Coffin, City Clerk/Treasurer as primary representative to Iowa Communities Assurance Pool (ICAP) and Chelsea Huisman, City Manager as an alternate representative.

**PASSED AND APPROVED** this 26 day of February 2024.

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Steve Karsjen, Mayor

Attest:

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Jenny Coffin, City Clerk

## RESOLUTION NO 2024-22

### A RESOLUTION APPROVING THE APPLICATION FOR PARTIAL PAYMENT NO. 8 FOR THE CITY HALL/COMMUNITY ROOM PROJECT

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**WHEREAS**, the City of Polk City, City Council, approved Resolution 2023-22 ordering construction for the City Hall/Community Room Project on February 13, 2023; and

**WHEREAS**, the City Council approved Resolution 2023-37 on March 27, 2023, awarding the construction contract to Henkel Construction Company; and

**WHEREAS**, on March 27, 2023, the City Council approved Resolution 2023-38 approving the contract in the amount of \$5,740,000 with alternate #2 bid totaling \$4,500 and alternate # 5 totaling \$8,000 for a total contract of \$5,752,500; and

**WHEREAS**, on June 26, 2023, the City Council approved Resolution 2023-87 approving Pay Application No. 1 in the amount of \$142,783.33; and

**WHEREAS**, on July 24, 2023 the City Council approved Resolution 2023-94 approving Pay Application No. 2 in the amount of \$43,819.41; and

**WHEREAS**, on August 14, 2023 the City Council approved Resolution 2023-96 approving Pay Application No. 3 in the amount of \$189,145.00; and

**WHEREAS**, on August 14, 2023 the City Council approved Resolution 2023-97 approving Change Order No. 1 in the reduced amount of ~~-\$21,489.82~~; and

**WHEREAS**, on October 9, 2023 the City Council approved Resolution 2023-120 approving Pay Application No. 4 in the amount of \$302,890.95; and

**WHEREAS**, on November 13, 2023 the City Council approved Resolution 2023-133 approving Pay Application No. 5 in the amount of \$400,225.73; and

**WHEREAS**, on December 11, 2023 the City Council approved Resolution 2023-153 approving Change Order No. 2 in the amount of \$5,837.49; and

**WHEREAS**, on December 11, 2023 the City Council approved Resolution 2023-154 approving Pay Application No. 6 in the amount of \$400,225.73; and

**WHEREAS**, on January 22, 2024 the City Council approved Resolution 2024-06 approving Pay Application No. 7 in the amount of \$280,497.66; and

**WHEREAS**, Henkel Construction Company and the City Architect, FEH Design have submitted the Application for Partial Payment No. 8 giving a detailed estimate of work completed with an application for payment in the amount of \$280,738.30.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby approves the Application for Partial Payment No. 8 for the City Hall/Community Room Project, and the City Clerk/Treasurer is hereby authorized to issue a check to Henkel Construction Company in the amount of \$280,738.30.

**PASSED AND APPROVED** the 26 day of February 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk

**TO OWNER/CLIENT:**

City of Polk City  
200 S 4th St.  
Polk City, Iowa 50226

**PROJECT:**

Polk City New City Hall  
200 S 4th St.  
Polk City, Iowa 50226

**APPLICATION NO:** 8

**INVOICE NO:** 2321A.08

**PERIOD:** 01/01/24 - 01/31/24

**PROJECT NO:** 2321A

**FROM CONTRACTOR:**

Henkel Construction Company  
208 East State St  
Mason City, Iowa 50401

**VIA ARCHITECT/ENGINEER:**

Cory Sharp (FEH Design)  
604 E. Grand Ave.  
Des Moines, Iowa 50309

**CONTRACT DATE:**

**CONTRACT FOR:** Polk City New City Hall

**CONTRACTOR'S APPLICATION FOR PAYMENT**

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet is attached.

1. Original Contract Sum	\$5,752,500.00
2. Net change by change orders	\$(21,489.82)
3. Contract Sum to date (Line 1 ± 2)	\$5,731,010.18
4. Total completed and stored to date (Column G on detail sheet)	\$2,257,274.69
5. Retainage:	
a. 5.00% of completed work	\$105,802.05
b. 5.00% of stored material	\$7,061.69
Total retainage (Line 5a + 5b or total in column I of detail sheet)	\$112,863.74
6. Total earned less retainage (Line 4 less Line 5 Total)	\$2,144,410.95
7. Less previous certificates for payment (Line 6 from prior certificate)	\$1,863,672.65
8. Current payment due:	\$280,738.30
9. Balance to finish, including retainage (Line 3 less Line 6)	\$3,586,599.23

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner/Client:	\$2,960.18	\$(24,450.00)
Total approved this month:	\$0.00	\$0.00
Totals:	\$2,960.18	\$(24,450.00)
Net change by change orders:	\$(21,489.82)	

The undersigned certifies that to the best of the Contractor's knowledge, information and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work which previous Certificates for payment were issued and payments received from the Owner/Client, and that current payments shown herein is now due.

CONTRACTOR: Henkel Construction Company

By: *Mason Harms* Date: February 21, 2024  
Mason Harms, Controller

State of: Iowa

County of: Cerro Gordo

Subscribed and sworn to before

me this 21<sup>st</sup> day of February 2024

Notary Public: *Dori J. Kostka*

My commission expires: 8/31/2024



**ARCHITECT'S/ENGINEER'S CERTIFICATE FOR PAYMENT**

In accordance with the Contract Documents, based on the on-site observations and the data comprising this application, the Architect/Engineer certifies to the Owner/Client that to the best of the Architect's/Engineer's knowledge, information and belief that Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED: \$280,738.30

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to confirm the amount certified.)

ARCHITECT/ENGINEER:

By: *Cory Sharp* Date: 2-21-2024

This certificate is non-negotiable. The amount certified is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to the rights of the Owner/Client or Contractor under this Contract.

Document SUMMARY SHEET, APPLICATION AND CERTIFICATE FOR PAYMENT, containing

APPLICATION NUMBER: 8

Contractor's signed Certification is attached.

APPLICATION DATE: 1/31/2024

Use Column I on Contracts where variable retainage for line items apply.

PERIOD: 01/01/24 - 01/31/24

Contract Lines

ITEM NO.	BUDGET CODE	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)		BALANCE TO FINISH (C - G)	RETAINAGE
				FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
1	1.C General Conditions.Misc. Credit	General Conditions	\$135,114.00	\$54,045.60	\$0.00	\$0.00	\$54,045.60	40.00%	\$81,068.40	\$2,702.29
2	1.C General Conditions.Misc. Credit	Bond/Insurance	\$58,000.00	\$58,000.00	\$0.00	\$0.00	\$58,000.00	100.00%	\$0.00	\$2,900.00
3	1.C General Conditions.Misc. Credit	Supervision	\$98,000.00	\$39,200.00	\$0.00	\$0.00	\$39,200.00	40.00%	\$58,800.00	\$1,960.00
4	1.C General Conditions.Misc. Credit	Mobilization	\$15,500.00	\$15,500.00	\$0.00	\$0.00	\$15,500.00	100.00%	\$0.00	\$775.00
5	1.C General Conditions.Misc. Credit	Demobilization	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,000.00	\$0.00
6	1.C General Conditions.Misc. Credit	Shop Drawings/Engineering	\$85,000.00	\$72,250.00	\$4,250.00	\$0.00	\$76,500.00	90.00%	\$8,500.00	\$3,825.00
7	1.C General Conditions.Misc. Credit	Record Documents	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,000.00	\$0.00
8	1.C General Conditions.Misc. Credit	Temp Facilities	\$10,000.00	\$4,000.00	\$0.00	\$0.00	\$4,000.00	40.00%	\$6,000.00	\$200.00
9	3.C Concrete.Misc. Credit	Footing & Foundations - M	\$95,000.00	\$95,000.00	\$0.00	\$0.00	\$95,000.00	100.00%	\$0.00	\$4,750.00
10	3.C Concrete.Misc. Credit	Footings & Foundations - L	\$65,000.00	\$65,000.00	\$0.00	\$0.00	\$65,000.00	100.00%	\$0.00	\$3,250.00
11	3.C Concrete.Misc. Credit	Interior Slabs - M	\$85,000.00	\$83,300.00	\$0.00	\$0.00	\$83,300.00	98.00%	\$1,700.00	\$4,165.00
12	3.C Concrete.Misc. Credit	Interior Slabs - L	\$65,000.00	\$63,700.00	\$0.00	\$0.00	\$63,700.00	98.00%	\$1,300.00	\$3,185.00
13	4.C Masonry.Misc. Credit	Masonry - M	\$95,000.00	\$71,250.00	\$23,750.00	\$0.00	\$95,000.00	100.00%	\$0.00	\$4,750.00
14	4.C Masonry.Misc. Credit	Masonry - L	\$65,000.00	\$0.00	\$22,750.00	\$0.00	\$22,750.00	35.00%	\$42,250.00	\$1,137.50
15	5.C Steel.Misc. Credit	Structural Steel - M	\$150,000.00	\$150,000.00	\$0.00	\$0.00	\$150,000.00	100.00%	\$0.00	\$7,500.00
16	5.C Steel.Misc. Credit	Structural Steel - L	\$115,000.00	\$109,250.00	\$5,750.00	\$0.00	\$115,000.00	100.00%	\$0.00	\$5,750.00
17	5.C Steel.Misc. Credit	Steel Joists & Decking - M	\$185,000.00	\$185,000.00	\$0.00	\$0.00	\$185,000.00	100.00%	\$0.00	\$9,250.00
18	5.C Steel.Misc. Credit	Steel Joists & Decking - L	\$55,000.00	\$55,000.00	\$0.00	\$0.00	\$55,000.00	100.00%	\$0.00	\$2,750.00



A	B	C	D	E	F	G		H	I								
						BUDGET CODE	DESCRIPTION OF WORK			SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
											FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
19	5.C Steel.Misc. Credit	Metal Stairs - M	\$50,000.00	\$50,000.00	\$0.00	\$0.00	\$50,000.00	100.00%	\$0.00	\$2,500.00							
20	5.C Steel.Misc. Credit	Metal Stairs - L	\$20,000.00	\$20,000.00	\$0.00	\$0.00	\$20,000.00	100.00%	\$0.00	\$1,000.00							
21	5.C Steel.Misc. Credit	Cold Formed Framing - M	\$55,000.00	\$52,250.00	\$2,750.00	\$0.00	\$55,000.00	100.00%	\$0.00	\$2,750.00							
22	5.C Steel.Misc. Credit	Cold Formed Framing - L	\$55,000.00	\$52,250.00	\$2,750.00	\$0.00	\$55,000.00	100.00%	\$0.00	\$2,750.00							
23	6.C Carpentry.Misc. Credit	Rough Carpentry - M	\$19,000.00	\$7,600.00	\$10,450.00	\$0.00	\$18,050.00	95.00%	\$950.00	\$902.50							
24	6.C Carpentry.Misc. Credit	Rough Carpentry - L	\$25,000.00	\$10,000.00	\$13,750.00	\$0.00	\$23,750.00	95.00%	\$1,250.00	\$1,187.50							
25	6.C Carpentry.Misc. Credit	Architectural Wood Casework - M	\$45,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$45,000.00	\$0.00							
26	6.C Carpentry.Misc. Credit	Architectural Wood Casework - L	\$9,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$9,500.00	\$0.00							
27	7.C Thermal-Moist PR.Misc. Credit	Roofing - M	\$100,000.00	\$0.00	\$100,000.00	\$0.00	\$100,000.00	100.00%	\$0.00	\$5,000.00							
28	7.C Thermal-Moist PR.Misc. Credit	Roofing - L	\$35,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$35,000.00	\$0.00							
29	7.C Thermal-Moist PR.Misc. Credit	Sheet Metal and Flashing - M	\$6,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,000.00	\$0.00							
30	7.C Thermal-Moist PR.Misc. Credit	Sheet Metal and Flashing - L	\$12,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$12,000.00	\$0.00							
31	7.C Thermal-Moist PR.Misc. Credit	Joint Sealants - M	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,000.00	\$0.00							
32	7.C Thermal-Moist PR.Misc. Credit	Joint Sealants - L	\$6,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,500.00	\$0.00							
33	7.C Thermal-Moist PR.Misc. Credit	Weather Barriers - M	\$10,000.00	\$2,500.00	\$2,500.00	\$0.00	\$5,000.00	50.00%	\$5,000.00	\$250.00							
34	7.C Thermal-Moist PR.Misc. Credit	Weather Barriers - L	\$20,000.00	\$5,000.00	\$5,000.00	\$0.00	\$10,000.00	50.00%	\$10,000.00	\$500.00							
35	7.C Thermal-Moist PR.Misc. Credit	Metal Wall Panels - M	\$250,000.00	\$0.00	\$0.00	\$23,870.00	\$23,870.00	9.55%	\$226,130.00	\$1,193.50							
36	7.C Thermal-Moist PR.Misc. Credit	Metal Wall Panels - L	\$63,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$63,000.00	\$0.00							
37	8.C Doors & Windows.Misc. Credit	HM Doors/Frames - M	\$20,000.00	\$20,000.00	\$0.00	\$0.00	\$20,000.00	100.00%	\$0.00	\$1,000.00							
38	8.C	HM Doors/Frames - L	\$15,000.00	\$0.00	\$14,250.00	\$0.00	\$14,250.00	95.00%	\$750.00	\$712.50							

A ITEM NO.	B BUDGET CODE	C DESCRIPTION OF WORK	D SCHEDULED VALUE	E WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D + E + F)		H BALANCE TO FINISH (C - G)	I RETAINAGE
				FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
	Doors & Windows.Misc. Credit									
39	8.C Doors & Windows.Misc. Credit	Door Hardware - M	\$50,000.00	\$0.00	\$0.00	\$40,664.00	\$40,664.00	81.33%	\$9,336.00	\$2,033.20
40	8.C Doors & Windows.Misc. Credit	Door Hardware - L	\$7,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$7,500.00	\$0.00
41	8.C Doors & Windows.Misc. Credit	Wood Doors - M	\$16,000.00	\$0.00	\$0.00	\$16,000.00	\$16,000.00	100.00%	\$0.00	\$800.00
42	8.C Doors & Windows.Misc. Credit	Wood Doors - L	\$6,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,500.00	\$0.00
43	8.C Doors & Windows.Misc. Credit	Coiling Counter Doors - M	\$6,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,500.00	\$0.00
44	8.C Doors & Windows.Misc. Credit	Coiling Counter Doors - L	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$1,000.00	\$0.00
45	8.C Doors & Windows.Misc. Credit	Storefronts & Entrances - M	\$205,000.00	\$0.00	\$0.00	\$31,228.67	\$31,228.67	15.23%	\$173,771.33	\$1,561.43
46	8.C Doors & Windows.Misc. Credit	Storefronts & Entrances - L	\$90,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$90,000.00	\$0.00
47	9.C Finishes.Misc. Credit	Interior Painting - M	\$9,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$9,500.00	\$0.00
48	9.C Finishes.Misc. Credit	Interior Painting - L	\$34,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$34,000.00	\$0.00
49	9.C Finishes.Misc. Credit	Wall Coverings - M	\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$15,000.00	\$0.00
50	9.C Finishes.Misc. Credit	Wall Coverings - L	\$16,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$16,000.00	\$0.00
51	9.C Finishes.Misc. Credit	High Performance Coatings - M	\$9,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$9,500.00	\$0.00
52	9.C Finishes.Misc. Credit	High Performance Coatings - L	\$22,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$22,000.00	\$0.00
53	9.C Finishes.Misc. Credit	Metal Framing - M	\$25,000.00	\$22,500.00	\$1,250.00	\$0.00	\$23,750.00	95.00%	\$1,250.00	\$1,187.50
54	9.C Finishes.Misc. Credit	Metal Framing - L	\$50,000.00	\$45,000.00	\$2,500.00	\$0.00	\$47,500.00	95.00%	\$2,500.00	\$2,375.00
55	9.C Finishes.Misc. Credit	Thermal Insulation - M	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,000.00	\$0.00
56	9.C Finishes.Misc. Credit	Thermal Insulation - L	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,000.00	\$0.00
57	9.C Finishes.Misc. Credit	Firestopping - M	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,000.00	\$0.00
58	9.C	Firestopping - L	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,000.00	\$0.00

A ITEM NO.	B BUDGET CODE	C DESCRIPTION OF WORK	D SCHEDULED VALUE	E WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D + E + F)		H BALANCE TO FINISH (C - G)	I RETAINAGE
				FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
	Finishes.Misc. Credit									
59	9.C Finishes.Misc. Credit	Gyp Board Assemblies - M	\$95,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$95,000.00	\$0.00
60	9.C Finishes.Misc. Credit	Gyp Board Assemblies - L	\$175,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$175,000.00	\$0.00
61	9.C Finishes.Misc. Credit	Gyp Sheathing - M	\$16,000.00	\$15,200.00	\$800.00	\$0.00	\$16,000.00	100.00%	\$0.00	\$800.00
62	9.C Finishes.Misc. Credit	Gyp Sheathing - L	\$27,000.00	\$25,650.00	\$1,350.00	\$0.00	\$27,000.00	100.00%	\$0.00	\$1,350.00
63	9.C Finishes.Misc. Credit	Acoustical Ceilings - M	\$25,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$25,000.00	\$0.00
64	9.C Finishes.Misc. Credit	Acoustical Ceilings - L	\$13,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$13,000.00	\$0.00
65	9.C Finishes.Misc. Credit	Suspended Wood Ceilings - M	\$40,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$40,000.00	\$0.00
66	9.C Finishes.Misc. Credit	Suspended Wood Ceilings - L	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,000.00	\$0.00
67	9.C Finishes.Misc. Credit	Ceramic Tile - M	\$55,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$55,000.00	\$0.00
68	9.C Finishes.Misc. Credit	Ceramic Tile - L	\$25,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$25,000.00	\$0.00
69	9.C Finishes.Misc. Credit	Resilient Flooring - M	\$15,000.00	\$0.00	\$0.00	\$4,471.24	\$4,471.24	29.81%	\$10,528.76	\$223.56
70	9.C Finishes.Misc. Credit	Resilient Flooring - L	\$3,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$3,800.00	\$0.00
71	9.C Finishes.Misc. Credit	Tile Carpeting - M	\$25,000.00	\$0.00	\$0.00	\$25,000.00	\$25,000.00	100.00%	\$0.00	\$1,250.00
72	9.C Finishes.Misc. Credit	Tile Carpeting - L	\$3,700.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$3,700.00	\$0.00
73	10.C Specialty Items.Misc. Credit	Toilet Accessories - M	\$4,250.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$4,250.00	\$0.00
74	10.C Specialty Items.Misc. Credit	Toilet Accessories - L	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$1,500.00	\$0.00
75	10.C Specialty Items.Misc. Credit	Flagpole - M	\$4,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$4,000.00	\$0.00
76	10.C Specialty Items.Misc. Credit	Flagpole - L	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$1,500.00	\$0.00
77	10.C Specialty Items.Misc. Credit	Folding Panel Partition - M	\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$30,000.00	\$0.00
78	10.C Specialty Items.Misc. Credit	Folding Panel Partition - L	\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$15,000.00	\$0.00
79	10.C	Toilet Partitions - M	\$5,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,500.00	\$0.00

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				FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		%	(G / C)		
	Specialty Items.Misc. Credit									
80	10.C Specialty Items.Misc. Credit	Toilet Partitions - L	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$1,500.00	\$0.00
81	10.C Specialty Items.Misc. Credit	Signage - M	\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$15,000.00	\$0.00
82	10.C Specialty Items.Misc. Credit	Signage - L	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,500.00	\$0.00
83	12.C Special Equipment.Misc. Credit	Countertops - M	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$20,000.00	\$0.00
84	12.C Special Equipment.Misc. Credit	Countertops - L	\$17,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$17,000.00	\$0.00
85	12.C Special Equipment.Misc. Credit	Window Shades - M	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$10,000.00	\$0.00
86	12.C Special Equipment.Misc. Credit	Window Shades - L	\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$3,000.00	\$0.00
87	14.C Cranes and Hoists.Misc. Credit	Electric Traction Elevator - M	\$85,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$85,000.00	\$0.00
88	14.C Cranes and Hoists.Misc. Credit	Electric Traction Elevator - L	\$45,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$45,000.00	\$0.00
89	15.C Mechanical.Misc. Credit	Fire Sprinkler - M	\$38,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$38,000.00	\$0.00
90	15.C Mechanical.Misc. Credit	Fire Sprinkler - L	\$23,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$23,000.00	\$0.00
91	15.C Mechanical.Misc. Credit	Hangers and Supports - M	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,000.00	\$0.00
92	15.C Mechanical.Misc. Credit	Hangers and Supports - L	\$7,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$7,500.00	\$0.00
93	15.C Mechanical.Misc. Credit	Plumbing ID - M	\$800.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$800.00	\$0.00
94	15.C Mechanical.Misc. Credit	Plumbing ID - L	\$1,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$1,100.00	\$0.00
95	15.C Mechanical.Misc. Credit	Insulation - M	\$6,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,500.00	\$0.00
96	15.C Mechanical.Misc. Credit	Insulation - L	\$4,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$4,000.00	\$0.00
97	15.C Mechanical.Misc. Credit	Plumbing Piping - M	\$36,000.00	\$10,800.00	\$0.00	\$0.00	\$10,800.00	30.00%	\$25,200.00	\$540.00
98	15.C Mechanical.Misc. Credit	Plumbing Piping - L	\$35,000.00	\$10,500.00	\$0.00	\$0.00	\$10,500.00	30.00%	\$24,500.00	\$525.00

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				FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
99	15.C Mechanical.Misc. Credit	Gas Piping - M	\$13,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$13,800.00	\$0.00
100	15.C Mechanical.Misc. Credit	Gas Piping - L	\$22,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$22,000.00	\$0.00
101	15.C Mechanical.Misc. Credit	Plumbing Specialties - M	\$4,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$4,000.00	\$0.00
102	15.C Mechanical.Misc. Credit	Plumbing Specialties - L	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,000.00	\$0.00
103	15.C Mechanical.Misc. Credit	Domestic Water Pumps - M	\$5,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,300.00	\$0.00
104	15.C Mechanical.Misc. Credit	Domestic Water Pumps - L	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,500.00	\$0.00
105	15.C Mechanical.Misc. Credit	Sump Pumps - M	\$3,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$3,500.00	\$0.00
106	15.C Mechanical.Misc. Credit	Sump Pumps - L	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,000.00	\$0.00
107	15.C Mechanical.Misc. Credit	Plumbing Equipment - M	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$10,000.00	\$0.00
108	15.C Mechanical.Misc. Credit	Plumbing Equipment - L	\$6,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,000.00	\$0.00
109	15.C Mechanical.Misc. Credit	Plumbing Fixtures - M	\$48,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$48,000.00	\$0.00
110	15.C Mechanical.Misc. Credit	Plumbing Fixtures - L	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$20,000.00	\$0.00
111	15.C Mechanical.Misc. Credit	RTU, Cabinet & Duct Heater - M	\$153,400.00	\$7,670.00	\$0.00	\$0.00	\$7,670.00	5.00%	\$145,730.00	\$383.50
112	15.C Mechanical.Misc. Credit	RTU, Cabinet & Duct Heater - L	\$28,000.00	\$1,400.00	\$0.00	\$0.00	\$1,400.00	5.00%	\$26,600.00	\$70.00
113	15.C Mechanical.Misc. Credit	Terminal Air Box & System Management - M	\$55,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$55,000.00	\$0.00
114	15.C Mechanical.Misc. Credit	Terminal Air Box & System Management - L	\$25,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$25,000.00	\$0.00
115	15.C Mechanical.Misc. Credit	Screen Wall - M	\$44,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$44,000.00	\$0.00
116	15.C Mechanical.Misc. Credit	Screen Wall - L	\$2,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,100.00	\$0.00
117	15.C Mechanical.Misc. Credit	GRD's FD's - M	\$7,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$7,500.00	\$0.00
118	15.C Mechanical.Misc. Credit	GRD's & FD's - L	\$19,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$19,400.00	\$0.00
119	15.C Mechanical.Misc. Credit	Mini Split & Exhaust Fan - M	\$7,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$7,900.00	\$0.00
120	15.C Mechanical.Misc. Credit	Mini Split & Exhaust Fan - L	\$5,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$5,200.00	\$0.00
121	15.C Mechanical.Misc. Credit	Ductwork - M	\$24,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$24,900.00	\$0.00
122	15.C	Ductwork - L	\$57,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$57,000.00	\$0.00

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				FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		% (G / C)			
	Mechanical.Misc. Credit									
123	15.C Mechanical.Misc. Credit	Hangers - M	\$3,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$3,500.00	\$0.00
124	15.C Mechanical.Misc. Credit	Hangers - L	\$13,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$13,600.00	\$0.00
125	15.C Mechanical.Misc. Credit	TAB - L&M	\$9,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$9,400.00	\$0.00
126	16.C Electrical.Misc. Credit	Site-service work - Material	\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$15,000.00	\$0.00
127	16.C Electrical.Misc. Credit	Site-service work - Labor	\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$20,000.00	\$0.00
128	16.C Electrical.Misc. Credit	Temporary Power - Labor	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$10,000.00	\$0.00
129	16.C Electrical.Misc. Credit	Temporary Power - Material	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$10,000.00	\$0.00
130	16.C Electrical.Misc. Credit	Underground Raceway - Material	\$25,000.00	\$22,500.00	\$0.00	\$0.00	\$22,500.00	90.00%	\$2,500.00	\$1,125.00
131	16.C Electrical.Misc. Credit	Underground Raceway - Labor	\$25,000.00	\$22,500.00	\$0.00	\$0.00	\$22,500.00	90.00%	\$2,500.00	\$1,125.00
132	16.C Electrical.Misc. Credit	Raceway - Material	\$62,300.00	\$15,575.00	\$0.00	\$0.00	\$15,575.00	25.00%	\$46,725.00	\$778.75
133	16.C Electrical.Misc. Credit	Raceway - Labor	\$52,600.00	\$21,040.00	\$0.00	\$0.00	\$21,040.00	40.00%	\$31,560.00	\$1,052.00
134	16.C Electrical.Misc. Credit	Generator - Material	\$29,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$29,600.00	\$0.00
135	16.C Electrical.Misc. Credit	Generator - Labor	\$18,000.00	\$5,400.00	\$0.00	\$0.00	\$5,400.00	30.00%	\$12,600.00	\$270.00
136	16.C Electrical.Misc. Credit	Distribution - Material	\$55,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$55,000.00	\$0.00
137	16.C Electrical.Misc. Credit	Distribution - Labor	\$55,700.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$55,700.00	\$0.00
138	16.C Electrical.Misc. Credit	Lighting - Material	\$122,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$122,500.00	\$0.00
139	16.C Electrical.Misc. Credit	Lighting - Labor	\$44,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$44,600.00	\$0.00
140	16.C Electrical.Misc. Credit	Fire Alarm - Material	\$20,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$20,400.00	\$0.00
141	16.C Electrical.Misc. Credit	Fire Alarm - Labor	\$9,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$9,300.00	\$0.00
142	16.C Electrical.Misc. Credit	Device - Material	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,500.00	\$0.00
143	16.C Electrical.Misc. Credit	Device - Labor	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,500.00	\$0.00
144	16.C Electrical.Misc. Credit	Communications - Material	\$27,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$27,900.00	\$0.00
145	16.C Electrical.Misc. Credit	Communications - Labor	\$24,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$24,400.00	\$0.00

A	B	C	D	E	F	G		H	I									
						ITEM NO.	BUDGET CODE			DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
												FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
146	16.C Electrical.Misc. Credit	Audio/Visual - Material	\$109,665.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$109,665.00	\$0.00								
147	16.C Electrical.Misc. Credit	Audio/Visual - Labor	\$40,109.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$40,109.00	\$0.00								
148	16.C Electrical.Misc. Credit	Security - Material	\$25,603.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$25,603.00	\$0.00								
149	16.C Electrical.Misc. Credit	Security - Labor	\$10,459.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$10,459.00	\$0.00								
150	2.C Sitework.Misc. Credit	Site Clearing & Earthwork - L&M	\$110,000.00	\$82,500.00	\$0.00	\$0.00	\$82,500.00	75.00%	\$27,500.00	\$4,125.00								
151	2.C Sitework.Misc. Credit	Plantings - M	\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$15,000.00	\$0.00								
152	2.C Sitework.Misc. Credit	Concrete Paving - M	\$75,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$75,000.00	\$0.00								
153	2.C Sitework.Misc. Credit	Concrete Paving - L	\$45,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$45,000.00	\$0.00								
154	2.C Sitework.Misc. Credit	Plantings - L	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,500.00	\$0.00								
155	2.C Sitework.Misc. Credit	Seeding & SOD - M	\$6,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$6,500.00	\$0.00								
156	2.C Sitework.Misc. Credit	Seeding & SOD - L	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$2,500.00	\$0.00								
157	2.C Sitework.Misc. Credit	Mulch - M	\$7,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$7,500.00	\$0.00								
158	2.C Sitework.Misc. Credit	Mulch - L	\$4,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$4,500.00	\$0.00								
159	2.C Sitework.Misc. Credit	Retaining Wall - M	\$25,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$25,000.00	\$0.00								
160	2.C Sitework.Misc. Credit	Retaining Wall - L	\$8,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0.00%	\$8,500.00	\$0.00								
161	2.C Sitework.Misc. Credit	Storm Sewer - M	\$175,000.00	\$166,250.00	\$0.00	\$0.00	\$166,250.00	95.00%	\$8,750.00	\$8,312.50								
162	2.C Sitework.Misc. Credit	Storm Sewer - L	\$55,000.00	\$55,000.00	\$0.00	\$0.00	\$55,000.00	100.00%	\$0.00	\$2,750.00								
163	2.C Sitework.Misc. Credit	Water Service - M	\$21,000.00	\$21,000.00	\$0.00	\$0.00	\$21,000.00	100.00%	\$0.00	\$1,050.00								
164	2.C Sitework.Misc. Credit	Water Service - L	\$12,000.00	\$12,000.00	\$0.00	\$0.00	\$12,000.00	100.00%	\$0.00	\$600.00								
165	2.C Sitework.Misc. Credit	Sanitary Service - M	\$9,100.00	\$9,100.00	\$0.00	\$0.00	\$9,100.00	100.00%	\$0.00	\$455.00								
166	2.C Sitework.Misc. Credit	Sanitary Service - L	\$12,000.00	\$12,000.00	\$0.00	\$0.00	\$12,000.00	100.00%	\$0.00	\$600.00								
<b>TOTALS:</b>			<b>\$5,752,500.00</b>	<b>\$1,923,680.60</b>	<b>\$213,850.00</b>	<b>\$141,233.91</b>	<b>\$2,278,764.51</b>	<b>39.61%</b>	<b>\$3,473,735.49</b>	<b>\$113,938.23</b>								

Change Orders

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
167	PCCO#001 PR #1 - Elevator Waterproofing	\$2,661.18	\$2,661.18	\$0.00	\$0.00	\$2,661.18	100.00%	\$0.00	\$133.06
168	PCCO#002 PR #2 - VE Items	\$(24,151.00)	\$(24,151.00)	\$0.00	\$0.00	\$(24,151.00)	100.00%	\$0.00	\$(1,207.55)
<b>TOTALS:</b>		<b>\$(21,489.82)</b>	<b>\$(21,489.82)</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$(21,489.82)</b>	<b>100.00%</b>	<b>\$0.00</b>	<b>\$(1,074.49)</b>

Grand Totals

A	B	C	D	E	F	G		H	I
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED		MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D + E + F)	% (G / C)	BALANCE TO FINISH (C - G)	RETAINAGE
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD					
<b>GRAND TOTALS:</b>		<b>\$5,731,010.18</b>	<b>\$1,902,190.78</b>	<b>\$213,850.00</b>	<b>\$141,233.91</b>	<b>\$2,257,274.69</b>	<b>39.39%</b>	<b>\$3,473,735.49</b>	<b>\$112,863.74</b>



**Subcontractor**            **Brockway Mechanical & Roofing**

Period Ending Date:            1/31/2024

Job #:                                2321A

<u>SOV Line(s)</u>	<u>Prior Period</u>	<u>Current Period</u>	<u>Added</u>	<u>Removed</u>
35	23,870.00	23,870.00	-	-
-----	-	-	-	-
Total	23,870.00	23,870.00	-	-

Attachments:

\*\*Jun23: Added \$23,870.00 to line 35

\*\*Oct23 - No Change

\*\*Nov23 - No Change

\*\*Dec23 - No Change

\*\*Jan24 - No Change

Henkel Construction Company  
Stored Materials Separator Page

**Supplier**                      **Doors Inc.**

Period Ending Date:            1/31/2024

Job #:                                2321A

<u>SOV Line(s)</u>	<u>Prior Period</u>	<u>Current Period</u>	<u>Added</u>	<u>Removed</u>
39	-	40,664.00	40,664.00	-
41	-	16,000.00	16,000.00	-
-----	-	-	-	-
Total	-	56,664.00	56,664.00	-

Attachments:

- Bill of Sale/Invoice Copy
- COI
- Photos

Jan24: Added to lines 39 & 41 as shown above



300 S.W. 6th Street  
Des Moines, Iowa 50309  
Phone: 515-288-8951

<b>DATE</b>	<b>INVOICE</b>
09/28/23	339565

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HEN278  
HENKEL CONSTRUCTION  
208 E STATE STREET  
MASON CITY, IA

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**\*\* INVOICE \*\***  
POLK CITY NEW CITY  
HALL  
PROJECT 2321A  
23-04001

(641) 423-5674		TAX JURISDICTION NO.		DESCRIPTION		TAX EXEMPT NUMBER			
		0002		NON TAXABLE					
DATE ORDERED	DATE SHIPPED	SHIP VIA	ORDER NO.	AUTHORIZED PURCHASER	SALESPERSON	U/LA	TERMS	EXPI	NUM
0109/28/23	09/28/23		23-04001	2321A.P06	0	03		01	01

ITEM#	ORDERED	SHIPPED	DESCRIPTION	UNIT PRICE	AMOUNT
EA	1.00	1.00	MISC	EA	
EA	1.00	1.00	HM	EA	
EA	1.00	1.00	HW	EA	

TO CHARGE YOU FOR 7 HOLLOW METAL DOORS  
28 WOOD DOORS, 3 ELEC STRIKES, 84 HINGES  
5 RAIN GUARD, 5 WEATHERSTRIP, 17  
CONTINUOUS HINGE, 9 SWEEP, 7 THRESHOLD,  
15 OH STOP, 20 CLOSER, 14 POSITION  
SWITCHES, 2 PUSH BUTTONS, 2 MOTION  
SENSORS, 6 POWER SUPPLY, 4 ELECTROLYNX  
HARNES, 4 EXIT BARS AND 2 POWER  
TRANSFER STORE IN OUR WAREHOUSE UNTIL  
NEEDED.

**RECEIVED**  
**OCT 05 '23**

Henkel Construction  
Company

38318.00 SALES AMOUNT	SALES TAX	SHIPPING CHARGE				CASH	38318.00
--------------------------	-----------	-----------------	--	--	--	------	----------

DIRECT INQUIRIES TO DES MOINES

**Remit to:** Doors Inc.  
300 SW 6th Street  
Des Moines, Iowa 50309  
Phone: 515-288-8951

**PLEASE PAY THIS AMOUNT**

TERMS: NET 30 DAYS. A FINANCE CHARGE OF 1 1/2% PER MONTH APPLIES ON INVOICE 30 DAYS PAST DUE. THIS IS AN ANNUAL PERCENTAGE RATE OF 18% (MINIMUM FINANCE CHARGE OF \$1.00).

# DOORS INC.

300 S.W. 6th Street  
Des Moines, Iowa 50309  
Phone: 515-288-8951

DATE	INVOICE
10/31/23	340717

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HEN278  
HENKEL CONSTRUCTION  
208 E STATE STREET  
MASON CITY, IA

50401

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**\*\* INVOICE \*\***  
POLK CITY NEW CITY  
HALL  
PROJECT 2321A  
23-04001

(641) 423-5674		TAX JURISDICTION NO. / DESCRIPTION		TAX EXEMPT NUMBER						
		0002 NON TAXABLE								
LINE	DATE ORDERED	DATE SHIPPED	SHIP VIA	ORDER NO.	AUTHORIZED PURCHASER	SALESPERSON	CL	TERMS	QTY	PRC
01	10/31/23	10/31/23		23-04001	2321A.P06		0	03		0101

ITEM #	ORDERED	SHIPPED	DESCRIPTION	UNIT PRICE	AMOUNT
EA	1.00	1.00	HW TO CHARGE YOU FOR 12 DOOR PULLS, 5 EXIT DEVICES, 18 LOCKS, 1 LOCK CYLINDER, 2 INSTITUTIONAL LOCKS, 2 PASSAGE LATCHES, 3 PRIVACY LOCKS, 2 FLUSH BOLTS, 1 DUST PROOF STRIKE, 12 KICK PLATES AND 3 ARMOR PLATES STORE IN OUR WAREHOUSE UNTIL NEEDED.	EA	

**RECEIVED**

NOV 06 '23

Henkel Construction  
Company

18346.00	SALES TAX	SHIPPING CHARGE				CASH	0000	18346.00
----------	-----------	-----------------	--	--	--	------	------	----------

DIRECT INQUIRIES TO DES MOINES

**PLEASE PAY THIS AMOUNT**

**Remit to:** Doors Inc.  
300 SW 6th Street  
Des Moines, Iowa 50309  
Phone: 515-288-8951

TERMS: NET 30 DAYS. A FINANCE CHARGE OF 1.12% PER MONTH APPLIES ON INVOICE 30 DAYS PAST DUE. THIS IS AN ANNUAL PERCENTAGE RATE OF 13% (MINIMUM FINANCE CHARGE OF \$1.00).



**Subcontractor**            **Mid-American Glazing Systems**

Period Ending Date:            1/31/2024

Job #:                                2321A

<u>SOV Line(s)</u>	<u>Prior Period</u>	<u>Current Period</u>	<u>Added</u>	<u>Removed</u>
45	31,228.67	31,228.67	-	-
-----	-	-	-	-
Total	31,228.67	31,228.67	-	-

Attachments:

\*\*Nov23 - Added \$31,228.67 to line 45

\*\*Dec23 - No Change

\*\*Jan24 - No Change

Henkel Construction Company  
 Stored Materials Separator Page

**Subcontractor**      **Ideal Floors**

Period Ending Date:      1/31/2024

Job #:      2321A

<u>SOV Line(s)</u>	<u>Prior Period</u>	<u>Current Period</u>	<u>Added</u>	<u>Removed</u>
69	4,471.24	4,471.24	-	-
71	-	25,000.00	25,000.00	-
-----	-	-	-	-
Total	4,471.24	29,471.24	25,000.00	-

Attachments:

- Subcontractor Pay Application
- Bill of Sale/Invoice Copy
- COI
- Photos

\*\*Oct23 - Added \$4,471.24 to line 69

\*\*Nov23 - No Change

\*\*Dec23 - No Change

\*\*Jan24: Added to Line 71 as shown above

# Application and Certificate for Payment

**AIA DOCUMENT G702**

TO (GENERAL CONTRACTOR): Henkel Construction  
208 E. State St  
Mason City IA 50401

PROJECT: Polk City New City Hall  
200 S. 4th St  
Polk City IA

APPLICATION NO: 2  
PERIOD TO: 11/30/2023  
PROJECT NO: 2321A.S20

FROM (SUBCONTRACTOR): Ideal Floors  
2216 George Flagg Pkwy  
Des Moines IA 50321

ARCHITECT: 0

SUBCONTRACT DATE: \_\_\_\_\_

TRADE OF WORK: Floor covering

## SUBCONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for Payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM .....	\$ 45,849.00
2. Net change by Change Orders .....	\$ -
3. SUBCONTRACT SUM TO DATE (Line 1 ± 2) .....	\$ 45,849.00
4. TOTAL COMPLETED & STORED TO DATE (Column I on G703) .....	\$ 38,449.00
5. RETAINAGE:	
a. Retainage of Completed Work (Column L on G703) .....	\$ 447.12
b. Retainage of Materials Stored (Column M on G703) .....	\$ 3,397.78
TOTAL RETAINAGE (Line 5a + 5b or sum of columns L and M on G703) .....	\$3,844.90
6. TOTAL EARNED LESS RETAINAGE .....	\$ 34,604.10
(Line 4 less Line 5 Total)	
7. LESS PREVIOUS CERTIFICATE FOR PAYMENT .....	\$ 4,024.12
(Line 6 from prior Certificate)	
8. CURRENT PAYMENT DUE NOW .....	\$ 30,579.98
9. BALANCE TO FINISH, PLUS RETAINAGE (Line 3 less Line 6) .....	\$ 11,244.90

CHANGE ORDER SUMMARY	DEDUCTIONS	ADDITIONS
Total Changes approved in previous months by Owner	0.00	0.00
Total approved this month only		
Net Changes by Change Order	TOTAL	\$0.00

The undersigned Subcontractor certifies that to the best of the Subcontractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Subcontract Documents, that all amounts have been paid by the Contractor for Work for which previous Certification for Payment were issued and payments received from the Contractor, and that current payment shown herein is now due.

SUBCONTRACTOR:

By: \_\_\_\_\_

*[Signature]*

Date: 11-13-23

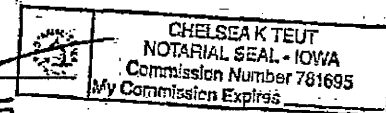
State of: Iowa  
County of: Polk

Subscribed & Sworn to before me this 13 day of November, 2023

*[Signature]*

Notary Public

My Commission expires: 12-6-25





Continuation Sheet

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Subcontractor's signed Certification is attached.

APPLICATION NUMBER: 2  
 APPLICATION DATE: 11/13/2023  
 PERIOD TO: 11/30/2023  
 KJC PROJECT NO: 2321A.520

Use column I on Contracts where variable retainage for line items may apply.

A ITEM NO.	B DESCRIPTION OF WORK	C ORIGINAL SCHEDULE OF VALUES	D CHANGE ORDERS	E TOTAL SOV (C + D)	F WORK COMPLETED		H MATERIALS PRESENTLY STORED OFFSITE (Not In For G)	I TOTAL COMPLETED AND STORED TO DATE (F + G + H)	J PERCENT COMPLETE % (I / E)	K BALANCE TO FINISH (E - I)	L RETAINAGE RATE	M RETAINAGE WORK COMPLETED	N RETAINAGE OF MATERIALS
					G FROM PREVIOUS APPLICATION (F + G + H)	H THIS PERIOD (ONLY)							
1	Resilient Materials	13,449.00		13,449.00	4,471.24		8,977.76	13,449.00	100%	0.00	10%	447.12	897.76
2	Resilient Labor	3,800.00		3,800.00	0.00			0.00	0%	3,800.00	10%	0.00	0.00
3	Carpet Materials	25,000.00		25,000.00	0.00		25,000.00	25,000.00	100%	0.00	10%	0.00	2,500.00
4	Carpet Labor	3,600.00		3,600.00	0.00			0.00	0%	3,600.00	10%	0.00	0.00
5				0.00	0.00			0.00		0.00	5%	0.00	0.00
6				0.00	0.00			0.00		0.00	5%	0.00	0.00
7				0.00	0.00			0.00		0.00	5%	0.00	0.00
8				0.00	0.00			0.00		0.00	5%	0.00	0.00
9				0.00	0.00			0.00		0.00	5%	0.00	0.00
10				0.00	0.00			0.00		0.00	5%	0.00	0.00
11				0.00	0.00			0.00		0.00	5%	0.00	0.00
12				0.00	0.00			0.00		0.00	5%	0.00	0.00
13				0.00	0.00			0.00		0.00	5%	0.00	0.00
14				0.00	0.00			0.00		0.00	5%	0.00	0.00
15				0.00	0.00			0.00		0.00	5%	0.00	0.00
16				0.00	0.00			0.00		0.00	5%	0.00	0.00
17				0.00	0.00			0.00		0.00	5%	0.00	0.00
18				0.00	0.00			0.00		0.00	5%	0.00	0.00
19				0.00	0.00			0.00		0.00	5%	0.00	0.00
20				0.00	0.00			0.00		0.00	5%	0.00	0.00
21				0.00	0.00			0.00		0.00	5%	0.00	0.00
22				0.00	0.00			0.00		0.00	5%	0.00	0.00
23				0.00	0.00			0.00		0.00	5%	0.00	0.00
24				0.00	0.00			0.00		0.00	5%	0.00	0.00
25				0.00	0.00			0.00		0.00	5%	0.00	0.00
26				0.00	0.00			0.00		0.00	5%	0.00	0.00
27				0.00	0.00			0.00		0.00	5%	0.00	0.00
28				0.00	0.00			0.00		0.00	5%	0.00	0.00
29				0.00	0.00			0.00		0.00	5%	0.00	0.00
30				0.00	0.00			0.00		0.00	5%	0.00	0.00
31				0.00	0.00			0.00		0.00	5%	0.00	0.00
32				0.00	0.00			0.00		0.00	5%	0.00	0.00
33				0.00	0.00			0.00		0.00	5%	0.00	0.00
34				0.00	0.00			0.00		0.00	5%	0.00	0.00
TOTAL		\$ 45,849.00	\$ -	\$ 45,849.00	\$ 4,471.24	\$ -	\$ 33,977.76	\$ 38,449.00	84%	\$ 7,400.00		\$ 447.12	\$ 3,397.78

**nora systems, Inc.**

9 Northeastern Blvd.  
 Salem, NH 03079  
 Phone: (603) 894-1021  
 Toll-Free: 1-800-332-NORA



**INVOICE**

INVOICE NO/DATE  
 21229991 / 09/29/2023

PURCHASE ORDER 14810  
 ORDER NO 2570676  
 DELIVERY NOTE 60643532  
 CUSTOMER NO 201481  
 C/S DEPARTMENT Michelle Campbell  
 PHONE 8003326672-59143  
 EMAIL michelle.campbell@nora.com

Ideal Floors, Inc.  
 2216 GEORGE FLAGG PKWY  
 DES MOINES IA 50321-1151

District: U036 / KAM:

**DELIVERY ADDRESS**

Ideal Floors Inc  
 Chelsea Teut 515-283- 0665 (515)  
 2216 George Flagg Pkwy  
 DES MOINES IA 50321

PROJECT OPP-961360  
 nora - Polk Co. City H  
 112 S 3rd St  
 Polk City IA 50226

**PLEASE REMIT TO:**

nora systems, Inc.  
 23248 Network Place  
 Chicago, IL 60673-1232

(U.S. \$ Only)

**THIS INVOICE INCORPORATES BY REFERENCE (WITH THE SAME FORCE AND EFFECT AS THOUGH FULLY SET FORTH HEREIN) THE TERMS AND CONDITIONS OF SALE**

<https://www.interface.com/US/en-US/about/index/Legal-Disclaimer>

TERMS OF PAYMENT

NET 30 DAYS

TERMS OF DELIVERY FOB Salem NH PPD

METHOD OF SHIPMENT Truck

QUANTITIES ROUNDED TO NEAREST FULL SALES UNIT. PRICES SUBJECT TO CHANGE WITHOUT NOTICE.

LINE ITEM	ARTICLE DESCRIPTION	U/M	QUANTITY SHIPPED	PRICE PER UNIT (USD)	AMOUNT (USD)
0100	00121434 norament@ 926 grano Steptread 4' article 0479 5304 black pepper	PC	28.00	105.44	2,952.32
0200	00121126 .14" (3.5) norament@ grano 39.52"x39.52" article 1880 hmd color 5304 black pepper Batch 6678900000	SF	32.29	19.00	613.51

**nora systems, Inc.**  
 9 Northeastern Blvd.  
 Salem, NH 03079  
 Phone: (603) 894-1021  
 Toll-Free: 1-800-332-NORA



Date/Doc. No. PAGE  
 09/29/2023 / 21229991 2

Ideal Floors, Inc.  
 2216 GEORGE FLAGG PKWY  
 DES MOINES IA 50321-1151

LINE ITEM	ARTICLE DESCRIPTION	U/M	QUANTITY SHIPPED	PRICE PER UNIT (USD)	AMOUNT (USD)
0300	00502906 nora® stepfix 240 9.4" x 164' roll adhesive	PC	1.00	341.71	341.71
0400	00500875 nora® epoxy stair filler cartridges 13.5 ounce unit	PC	1.00	54.86	45.86
0500	00504101 nora AC MR 95 adhesive nora® AC MR95# 4 gallons	PC	1.00	235.40	235.40
0600	00519001 US FREIGHT CC - FOB SALEM, NH		1.00	232.44	232.44
0700	00519013 Container Surcharge		1.00	50.00	50.00
	<b>TOTAL</b>				<b>4,471.24</b>

**ORIGINAL INVOICE**

D.U.N.S 12-093-0102

MOHAWK COMMERCIAL  
 MOHAWK CARPET DISTRIBUTION, LLC  
 PO BOX 12069, S. IND. BLVD  
 CALHOUN, GA  
 30703-7002

**IMPORTANT NOTICE**

ALL CORRESPONDENCE AND REMITTANCES MUST REFER TO THIS INVOICE NUMBER TO RECEIVE PROPER CREDIT.

INVOICE NO.	C9950190
DATE	11/01/23
PAGE NO.	1 of 2

**INTEREST CHARGED FOR LATE PAYMENTS**

THIS INVOICE IS TO BE PAID IN FUNDS SPECIFIED.  
 CONTINUING GUARANTY UNDER THE TEXTILE FIBER PRODUCTS IDENTIFICATION ACT FILED WITH THE FEDERAL TRADE COMMISSION.

IDEAL FLOORS  
 2216 GEORGE FLAGG PKWY  
 DRUMHELLER MARK  
 DES MOINES, IA 50321-1151

C

IDEAL FLOORS  
 2216 GEORGE FLAGG PKWY  
 DRUMHELLER MARK  
 DES MOINES, IA 50321-1151

C

IDEAL FLOORS  
 2216 GEORGE FLAGG PKWY  
 DRUMHELLER MARK  
 DES MOINES, IA 50321-1151

C O P Y

S H P I O

- \* PLEASE INSPECT THIS MERCHANDISE. MILL WILL NOT HONOR ANY COMPLAINTS ON VISIBLE DEFECTS AFTER MERCHANDISE HAS BEEN CUT OR INSTALLED.
- \* ALL CLAIMS FOR SHORTAGE OR DEDUCTION MUST BE MADE WITHIN FIVE DAYS AFTER RECEIPT OF GOODS.
- \* NO GOODS MAY BE RETURNED FOR CREDIT UNLESS AUTHORIZED BY CLAIMS DEPARTMENT IN WRITING.
- \* ALL CLAIMS FOR GOODS LOST, STOLEN OR DAMAGED IN TRANSIT MUST BE MADE AGAINST THE TRANSPORTATION COMPANY.
- \* SALE IS SUBJECT TO SELLER'S "TERMS AND CONDITIONS OF SALE" AT [https://mohawkind.com/pdf/MOHAWK\\_INDUSTRIES\\_Terms\\_and\\_Conditions\\_of\\_Sale.pdf](https://mohawkind.com/pdf/MOHAWK_INDUSTRIES_Terms_and_Conditions_of_Sale.pdf) AND CLAIMS POLICY.
- \* **Save time and the environment! Choose paperless billing, online invoices and optional bill pay at [mohawkxchange.com/paperless](http://mohawkxchange.com/paperless).**

BILL OF LADING NO.	6231830	11/01/23	ROUTING	IA11-MHK TH ONLY (TEMP)			TEL ORD. NO.	9014815			
CUSTOMER NO.	100547	CUSTOMER ORDER NO.	14777	SLS. NO.	40 Z99	BY	FROM	TERMS	NET 30 DAYS	STORE NO.	00000

PRODUCT DESCRIPTION	ROLL NO.	WIDTH	LENGTH	QUANTITY	UOM	PRICE	CG	AMOUNT
PER ORDER # 9014815 ORDER DATE 09/14/23, P.O. # 14777, FROM WAREHOUSE: IAS.								
SIDEMARK: POLK CITY HALL REF LOT: Q02144								
S	GT315 EV FIRST STEP II		2424V	4CT	24.89 SY	54.95	X1	1367.71
	983 IRON ORE	MHG						
SIDEMARK: POLK CITY HALL REF LOT: T03798								
S	GT477 AW LINED		1236BR	101CT	471.29 SY	22.00	X1	10368.38
	949 MINERAL	MHG						
SIDEMARK: POLK CITY HALL REF LOT: Z04540								
S	GT477 AW LINED		1236BR	75CT	349.97 SY	22.00	X1	7699.34
	535 CORNFLOWER	MHG						
SIDEMARK: POLK CITY HALL								
S	M004C AD ENPRESS		4GAL	6EA	6.00 EA	132.00	X1	792.00
	158CW 158CW	MHG						
SIDEMARK: POLK CITY HALL REF LOT: 222735411								
S	C0188 VT REFORESTATION		09A59	51CT	1352.52 SF	3.45	X1	4666.19
	838 CUMBERLAND	MHG						
SIDEMARK: POLK CITY HALL								
S	C700P AD M700 PLUS		4GAL	2EA	2.00 EA	142.00	X1	284.00
	M700 4GAL 1000 SF PER PAI	MHG						
M	FRT CHR / COMPANY DEL TRUCKS					893.06	X1	893.06
M	FUEL SURCHARGE					450.995	X1	451.00
	*** SUBTOTAL				846.15 SY			\$26521.68
	*** SUBTOTAL				8.00 EA			
	*** SUBTOTAL				1352.52 SF			
	TOTAL SURCHARGE (INCL, ABOVE)							\$451.00

PLEASE SEND PAYMENTS TO:	<b>INVOICE TOTALS AND DISCOUNT INFORMATION</b>				
	MERCHANDISE	FREIGHT	SALES TAX	OTHER	INVOICE TOTAL
COMMENTS OR SPECIAL INSTRUCTIONS:					
DISCOUNTS ALLOWED ON MERCHANDISE ONLY.					*CONTINUED*

**ORIGINAL INVOICE**

D.U.N.S 12-093-0102

MOHAWK COMMERCIAL  
 MOHAWK CARPET DISTRIBUTION, LLC  
 PO BOX 12069, S. IND. BLVD  
 CALHOUN, GA  
 30703-7002

**IMPORTANT NOTICE**

ALL CORRESPONDENCE AND REMITTANCES MUST REFER TO THIS INVOICE NUMBER TO RECEIVE PROPER CREDIT.

INVOICE NO.	C9950190
DATE	11/01/23
PAGE NO.	2 of 2

IDEAL FLOORS  
 2216 GEORGE FLAGG PKWY  
 DRUMHELLER MARK  
 DES MOINES, IA 50321-1151

C

**INTEREST CHARGED FOR LATE PAYMENTS**

THIS INVOICE IS TO BE PAID IN FUNDS SPECIFIED.  
 CONTINUING GUARANTY UNDER THE TEXTILE FIBER PRODUCTS IDENTIFICATION ACT FILED WITH THE FEDERAL TRADE COMMISSION.

PAPERLESS

IDEAL FLOORS  
 2216 GEORGE FLAGG PKWY  
 DRUMHELLER MARK  
 DES MOINES, IA 50321-1151

C

SHIP TO

IDEAL FLOORS  
 2216 GEORGE FLAGG PKWY  
 DRUMHELLER MARK  
 DES MOINES, IA 50321-1151

- \* PLEASE INSPECT THIS MERCHANDISE. MILL WILL NOT HONOR ANY COMPLAINTS ON VISIBLE DEFECTS AFTER MERCHANDISE HAS BEEN CUT OR INSTALLED.
- \* ALL CLAIMS FOR SHORTAGE OR DEDUCTION MUST BE MADE WITHIN FIVE DAYS AFTER RECEIPT OF GOODS.
- \* NO GOODS MAY BE RETURNED FOR CREDIT UNLESS AUTHORIZED BY CLAIMS DEPARTMENT IN WRITING.
- \* ALL CLAIMS FOR GOODS LOST, STOLEN OR DAMAGED IN TRANSIT MUST BE MADE AGAINST THE TRANSPORTATION COMPANY.
- \* SALE IS SUBJECT TO SELLER'S "TERMS AND CONDITIONS OF SALE" AT [https://mohawkind.com/pdf/MOHAWK\\_INDUSTRIES\\_Terms\\_and\\_Conditions\\_of\\_Sale.pdf](https://mohawkind.com/pdf/MOHAWK_INDUSTRIES_Terms_and_Conditions_of_Sale.pdf) AND CLAIMS POLICY.
- \* **Save time and the environment! Choose paperless billing, online invoices and optional bill pay at mohawxchange.com/paperless.**

BILL OF LADING NO.	6231830	11/01/23	ROUTING	IA11-MHK TH ONLY (TEMP)			TEL ORD. NO.	9014815
CUSTOMER NO.	CUSTOMER ORDER NO.	SLS. NO.	BY	FROM	TERMS	STORE NO.		
100547	14777	40	Z99	IAS	NET 30 DAYS	00000		
PRODUCT DESCRIPTION	ROLL NO.	WIDTH	LENGTH	QUANTITY	UOM	PRICE	CC	AMOUNT

-----Please return bottom stub with your remittance.-----  
 This invoice has been sold and is payable to Mohawk Factoring, LLC  
 PAYABLE IN PAR FUNDS (U.S. DOLLARS)

CUSTOMER NO: 100547 IDEAL FLOORS INVOICE NO: C9950190 11/01/23 C

PLEASE SEND PAYMENTS TO: MOHAWK FACTORING LLC P.O. BOX 845059 LOS ANGELES, CA 90084-5059	<b>INVOICE TOTALS AND DISCOUNT INFORMATION</b>				
	MERCHANDISE	FREIGHT	SALES TAX	OTHER	INVOICE TOTAL
	25177.62	1344.06			26521.68
COMMENTS OR SPECIAL INSTRUCTIONS:					
DISCOUNTS ALLOWED ON MERCHANDISE ONLY.	PAST DUE AS OF		12/02/23	26521.68	













## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** 02/22/2024  
**To:** Mayor and Council  
**From:** Mike Schulte  
**Subject:** Unit #405 Dump Truck Repair

---

**BACKGROUND:** The main hydraulic lift cylinder on dump truck #405 was leaking hydraulic fluid at a rate that needed attention. We brought it in for repairs thinking it was a bad seal, but it turned out that the shaft on the cylinder was so corroded it was beyond repair. HQI replaced the lift cylinder and the total cost of the repair ended up exceeding our spending limit and needs council approval.

The repair had to be made quickly because this dump truck is used for snow removal.

**ALTERNATIVES:** N/A

**FINANCIAL CONSIDERATIONS:** \$12,247.56

**RECOMMENDATION:** I would recommend that the Council approve the repair to unit #405



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** 02/22/2024  
**To:** Mayor & City Council  
**From:** Mike Schulte

**Subject:** Set pay for Joshua Jameson, GIS Specialist

---

**BACKGROUND:** We would like to hire Joshua Jameson to fill the vacant GIS Specialist position in public works. Josh has worked for the City of Grinnell in their GIS department for a little over two years. Josh also has his Bachelor of Science GIS degree from the University of Northern Iowa. Josh also graduated from Dowling high school and has family in the area that he would like to get back to. I feel that Josh will fit in with our team very well, as well as excel in the GIS specialist position.

**ALTERNATIVES:** Do not set pay.

**FINANCIAL CONSIDERATIONS:** \$27.13 per hour

**RECOMMENDATION:** I recommend setting the pay for Joshua Jameson for the vacant GIS Specialist position, pending a successful background check and initial drug screen.

**MEETING MINUTES**  
**The City of Polk City**  
**Planning and Zoning Commission**  
**6:00 p.m., Monday, February 19, 2024**

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on February 19, 2024 in City Hall Council Chambers.

The agenda was posted at the City Hall office as required by law.

**These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Vice Chair Vogel called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Bowersox, Vogel, Triplet (via Zoom), Ohlfest, Pringnitz, Sires | In attendance
3. **Approval of Agenda**  
**MOTION:** A motion was made by Bowersox and seconded by Ohlfest to approve the agenda.  
**MOTION CARRIED UNANIMOUSLY**
4. **Approval of Meeting Minutes**  
**MOTION:** A motion was made by Hankins and seconded by Pringnitz to Vogel P&Z Commission Meeting Minutes for January 18, 2024.  
**MOTION CARRIED UNANIMOUSLY**
5. **Parker Townhomes II Plat of Survey and Record of Lot Tie Agreement**
  - a) Daniel Willrich, Pelds Design Services provided an overview of the project
  - b) Travis Thornburgh, City Engineer provided a report that item #2 on the Engineering Comments has been satisfied, so once the developer provides recorded documents this project can move forward to Council.
  - c) No public comments
  - d) **MOTION:** A motion was made by Hankins and seconded by Pringnitz to recommend City Council approve the Plat of Survey and Record of Lot Tie Agreement subject to staff and engineering comments dated February 14, 2024  
**MOTION CARRIED UNANIMOUSLY**
6. **On with Life Amended Site Plan and Plat of Survey**
  - a) Nikki Neal, Civil Design Advantage provided a review of the current construction project at 1002 Washington Avenue and explained that On with Life purchased the adjacent flag lot. On with Life needs to update both the Site Plan and the record of Plat of Survey. She said the Site Plan amendment also includes relocation of the buffer farther out towards the surrounding homes, except for 410 Tyler Street that has requested a buffer deferral. 25000
  - b) Travis Thornburgh, City Engineer provided a report.
  - c) No public comments
  - d) **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend City Council approve On with Life Amended Site Plan and Plat of Survey subject to staff and engineering comments dated February 14, 2024  
**MOTION CARRIED UNANIMOUSLY**
7. **Clean-up Rezoning Petitions**
  - a) i. Travis Thornburgh, City Engineer reviewed the rezoning petition for 516 N 3<sup>rd</sup> Street from GF-1 to R-1
  - b) i. No public comments
  - c) i. **MOTION:** A motion was made by Hankins and seconded by Sires to recommend City Council approve the rezoning of 516 N 3<sup>rd</sup> Street from GF-1 to R-1  
**MOTION CARRIED UNANIMOUSLY**
  - a) ii. Travis Thornburgh, City Engineer reviewed the rezoning petition for a portion of five (5) lots along Hillcrest Drive (405, 409, 413, 417, and 421) and a portion of one (1) lot at 1201 Washington from GF-1 to R-1
  - b) ii. Public comments were received from Scott Conway, 413 Hillcrest Dr and Randy Gibson, 1201 W Washington
  - c) ii. **MOTION:** A motion was made by Hankins and seconded by Bowersox to recommend City Council approve the rezoning of 405, 409, 413, 417, and 421 Hillcrest and 1201 W Washington from GF-1 to R-1  
**MOTION CARRIED UNANIMOUSLY**
  - a) iii. Travis Thornburgh, City Engineer reviewed the rezoning petition for the Masonic Lodge located at 106 S. 3<sup>rd</sup> Street from C-1 to C-TS
  - b) iii. No public comments

- c) iii. **MOTION:** A motion was made by Hankins and seconded by Pringnitz to recommend City Council approve the rezoning of 106 S. 3<sup>rd</sup> Street from C-1 to C-TS

**MOTION CARRIED UNANIMOUSLY**

- a) iv. Travis Thornburgh, City Engineer reviewed the rezoning petition for the City Parking Lot from C-1 to GF-1  
b) iv. No public comments  
c) iv. **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend City Council approve the rezoning of the City Parking Lot from C-1 to GF-1

**MOTION CARRIED UNANIMOUSLY**

- a) v. Travis Thornburgh, City Engineer reviewed the rezoning petition for the City owned property at 1500 & 1600 W Broadway from C-2 to GF-1  
b) v. Public comment was received from Nancy Elder, 245 Cherokee  
c) v. **MOTION:** A motion was made by Hankins and seconded by Bowersox to recommend City Council approve the rezoning of the 1500 & 1600 W Broadway from C-2 to GF-1

**MOTION CARRIED UNANIMOUSLY**

8. Engineering, Staff and Commission Members discussed modifications of the R-2A zoning district to ensure inclusion of patio/garden homes. Engineering will bring recommendations to the Commission in March for formal action.
9. Staff and Commission Members discussed when the Commission meets regularly. Most of the Commission agreed it would be best to continue meetings on the third Monday of every month.

#### 10. Reports & Particulars

- Council Member Vogel reported the Council has been discussing options to deal with the increasing costs of managing the City's brush pile and she knows something will change how it is managed, but not sure what that will look like yet. Vogel said the Council held a budget work session and staff has been working hard to keep costs down and the levy rate the same.
- Commission asked for an update on Leonard senior Living, City Manager Huisman reported they plan to start construction in the spring.

#### 5. Adjournment

**MOTION:** A motion was made by Bowersox and seconded by Ohlfest to adjourn at 6:46 p.m.

**MOTION CARRIED UNANIMOUSLY**

*Next Meeting Date – Monday March 18, 2024*

Attest:

---

Jenny Coffin - City Clerk

## PLAT OF SURVEY & SITE PLAN AMENDMENT REVIEW

Date: February 21, 2024

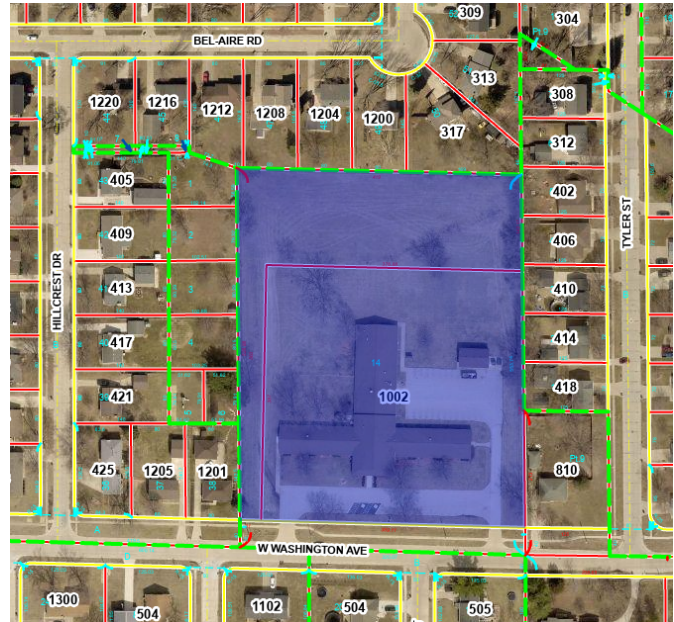
 Prepared by: Kathleen Connor  
 Travis Thornburgh, P.E.

Project: On With Life

Project No.: 123.0424.01

### GENERAL INFORMATION:

<b>Owner/ Applicant:</b>	On With Life, Inc.
<b>Requested Action:</b>	Approval of Amended Site Plan & Plat of Survey
<b>Location</b>	1002 W. Washington St.
<b>Size:</b>	5.00 acres
<b>Zoning:</b>	R-3 Multiple-Family Residential
<b>Existing Use:</b>	Nursing and Rehabilitation Center
<b>Proposed Use:</b>	In-Patient Skilled Nursing Facility



### BACKGROUND:

The Polk City Nursing Home and Rehabilitation Center, highlighted in blue above, was originally located on a 3.4-acre parcel on W. Washington Street. The building was constructed in 1976 to serve approximately 66 residents. The developer has purchased the adjacent parcel and intends to combine the parcels into a single parcel. This Plat of Survey would result in a single, 5.0-acre parcel.

Both existing parcels were rezoned in November 2023 to R-3 (Restricted), bringing the zoning into conformance with the existing and proposed use. The zoning restrictions on this parcel limit the uses to Nursing Homes, Assisted Care Facilities, Independent Care Facilities, and Group Homes.

On April 24, 2023, the City Council approved a Site Plan for On With Life, which included updates to the existing nursing home building and bringing the project site into conformance with Polk City Code.

At this time, the developer is requesting approval of a Plat of Survey that combines two (2) existing parcels in a single parcel, thus eliminating the need for a Record of Lot Tie Agreement. The developer further requests approval of a Site Plan Amendment that moves the required buffer easement, and the associated plantings, to the new parcel boundary instead of the original parcel boundary. The Site Plan Amendment proposes no changes in grade or existing plant materials near

the northeast corner of the site. In this area, the existing plant materials will fulfill the buffer requirements, but will be maintained and replaced as necessary by this property owner.

**REVIEW COMMENTS:**

Plat of Survey

All review comments related to the Plat of Survey have been addressed.

Site Plan Amendment

All review comments related to the Site Plan Amendment have been addressed.

**RECOMMENDATION:**

Based on the prior satisfactory resolution of all review comments, we recommend City Council approval of the Site Plan Amendment and Plat of Survey for On With Life, subject to the following:

1. Council approval of the Amended Buffer Easement and associated deferral clause in conjunction with Site Plan.
2. The developer shall record the Amended Buffer Easement and provide a recorded copy to the City Clerk prior to issuance of a Certificate of Occupancy for On With Life.
3. Payment in full of all fees and professional billings.

**INDEX LEGEND**

LOCATION: PT. E 419' LOT 14,  
O.P. N1/2 SEC 2-80-25  
POLK CITY, POLK CO., IA

REQUESTOR: ON WITH LIFE

PROPRIETOR: ON WITH LIFE  
715 SW ANKENY ROAD  
ANKENY, IA 50023-9798

SURVEYOR: MICHAEL A. BROONER

SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY  
RETURN TO: CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DR  
URBANDALE, IA 50322  
PH: 515-369-4400

**OWNER/APPLICANT**

ON WITH LIFE  
715 SW ANKENY ROAD  
ANKENY, IA 50023-9798  
CONTACT: JEAN SHELTON  
JEAN.SHELTON@ONWITHLIFE.ORG  
PH: (515) 289-9613

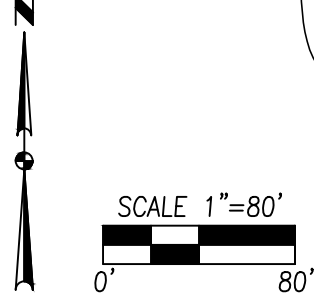
**VICINITY MAP (NOT TO SCALE)**



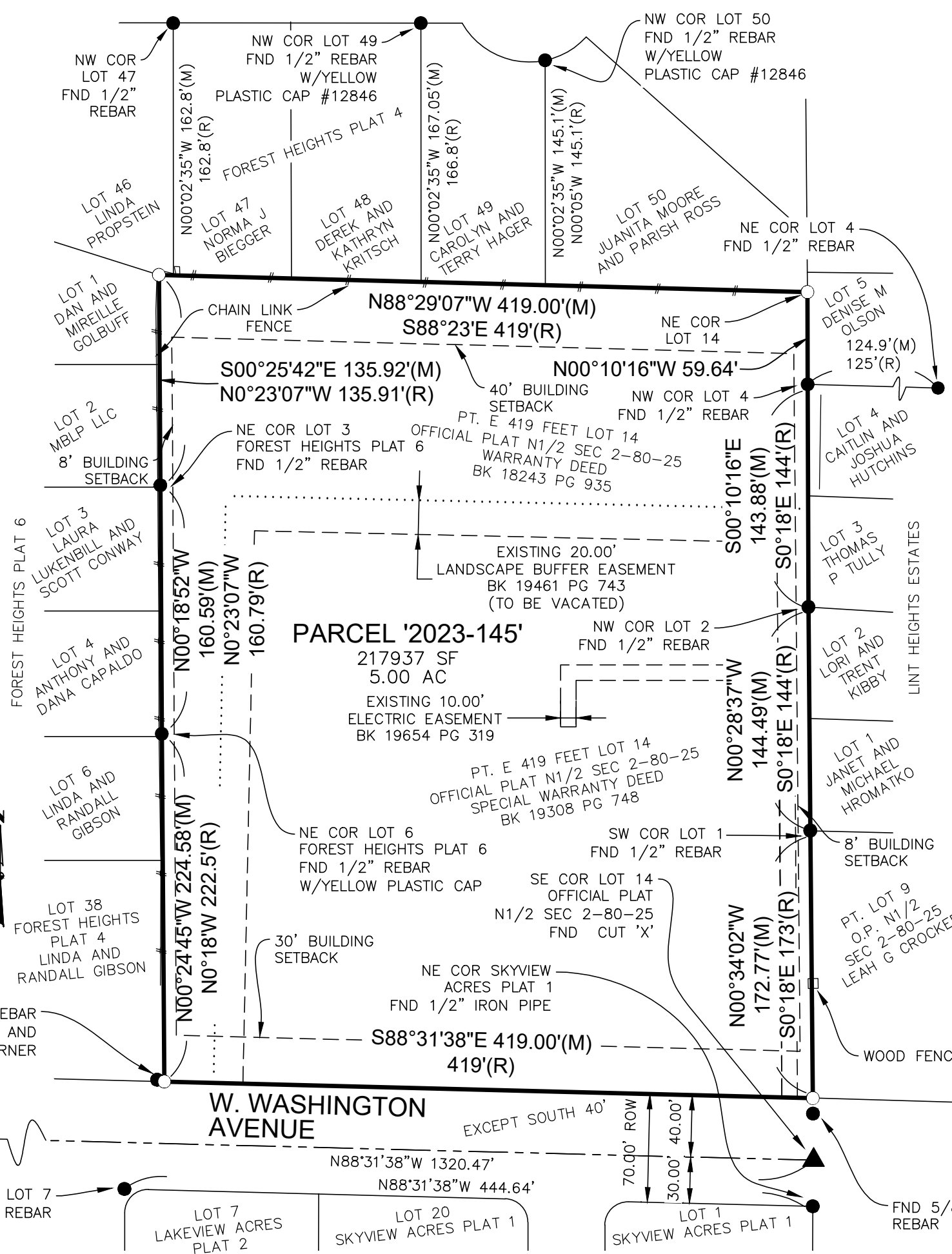
POLK CITY, IOWA

SW COR LOT 13  
OFFICIAL PLAT  
N1/2 SEC 2-80-25  
FND STUBBY NAIL

FND 5/8" REBAR  
1.0' NORTH AND  
4.8' WEST OF CORNER



**PLAT OF SURVEY**



**DATE OF SURVEY**

AUGUST 31, 2023

**ZONING**

R-3 MULTIPLE FAMILY  
RESIDENTIAL DISTRICT

**SITE ADDRESS**

1002 W. WASHINGTON AVENUE

**PARCEL '2023-145' DESCRIPTION**

THE EAST 419 FEET OF LOT 14 OF THE OFFICIAL PLAT OF THE NORTH HALF OF SECTION 2, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF POLK CITY, POLK COUNTY, IOWA, EXCEPT THE SOUTH 40.00 FEET THEREOF.

THE PROPERTY CONTAINS 5.00 ACRES (217,937 SQUARE FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**EXISTING/ PROPOSED USE**

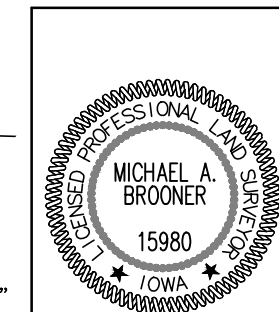
EXISTING: NURSING AND REHABILITATION CENTER  
PROPOSED: INPATIENT SKILLED NURSING FACILITY

**LEGEND**

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	

**NOTES**

1. ALL DRIVEWAYS ON THE RESULTING PARCEL SHALL BE PAVED.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROONER, P.L.S. DATE \_\_\_\_\_  
LICENSE NUMBER 15980  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
THIS SHEET

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

TECH: \_\_\_\_\_ REVIEW: \_\_\_\_\_

ENGINEER: \_\_\_\_\_

**CIVIL DESIGN ADVANTAGE**

POLK CITY, IOWA

**PT E 419' LOT 14 N1/2 SEC 2-80-25**

**PLAT OF SURVEY**

2301.028



**WHEN RECORDED RETURN TO:**

City Clerk  
112 S. 3rd Street  
P.O. Box 426  
Polk City, Iowa 50226

**Preparer Information:** Amy S. Beattie, 6701 Westown Parkway, Suite 100, West Des Moines, Iowa 50266 (515)274-1450

**AMENDED AND SUBSTITUTED  
BUFFER EASEMENT**

KNOW ALL PERSONS BY THESE PRESENTS:

That the undersigned, On With Life, Inc., an Iowa nonprofit corporation, of the City of Polk City, County of Polk, State of Iowa, hereinafter referred to as "Grantor", in consideration of the sum of one dollar (\$1.00), and other valuable consideration, in hand paid by the City of Polk City, Iowa, receipt of which is hereby acknowledged, does hereby sell, grant and convey unto the City of Polk City, Iowa, a municipal corporation, in the County of Polk, State of Iowa, hereinafter referred to as "Grantee" or "City", a permanent easement under, through, and across the following described real estate (the "Easement Area"):

THE EAST 20.00 FEET OF PARCEL '2023-145'  
AND  
THE NORTH 20.00 FEET OF PARCEL '2023-145'  
AND  
THE WEST 20.00 FEET OF PARCEL '2023-145'  
AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK \_\_\_\_, PAGE \_\_\_\_ IN THE  
CITY OF POLK CITY, POLK COUNTY, IOWA.

That the above-described easement amends and is substituted for the Buffer Easement recorded on May 2, 2023 as Number 202300020835 in Book 10461, Page 743.

That the above-described easement is granted unto the City of Polk City, Iowa, for the purpose of constructing, reconstructing, repairing, replacing, enlarging, inspecting and maintaining the following public improvements:

**Buffer Easement**

1. Erection and Placement of Structures, Obstructions, Plantings or Materials Prohibited. Grantor and its grantees, assigns and transferees shall not erect any fence or other structure under, over, on, through, across or within the Easement Area without obtaining the prior written consent of the City, nor shall Grantor cause or permit any obstruction, planting or material to be placed under, over, on, through, across or within the Easement Area without obtaining the prior written consent of the City.



2. Change of Grade Prohibited. Grantor and its grantees, assigns and transferees shall not change the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of the City. The City shall have the right to restore any changes in grade, elevation or contour without prior written consent of the Grantor, its grantees, assigns or transferees.
3. Right of Access. The City shall have the right of access to the Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the Easement Area from property adjacent thereto as herein described, including but not limited to, the right to remove any unauthorized fences, structures, obstruction, planting or material placed or erected under, over, on, through, across or within the Easement Area.
4. Property to be Restored. The City shall restore the Easement Area after exercising its rights hereunder, provided, however, that the City's duty of restoration shall be limited to grading and replacing grass, sod or any other ground cover (but not including any structures, trees or shrubs). The City shall not be responsible for any construction, reconstruction, replacement, repair or maintenance of any improvements located within the Easement Area.
5. Liability. Except as may be caused by the negligent acts or omissions of the City, its employees, agents or its representatives, the City shall not be liable for injury or property damage occurring in or to the Easement Area, the property abutting said Easement Area, nor for property damage or any improvements or obstructions thereon resulting from the City's exercise of this Easement. Grantor agrees to indemnify and hold City, its employees, agents and representatives harmless against any loss, damage, injury or any claim or lawsuit for loss, damage or injury arising out of or resulting from the negligent or intentional acts or omissions of Grantor or its employees, agents or representatives.
6. Easement Benefit. This Easement shall be for the benefit of the City, its successors and assigns, and its permittees and licensees.
7. Easement Runs with Land. This Easement shall be deemed perpetual and to run with the land and shall be binding on Grantor and on Grantor's heirs, successors and assigns.
8. Approval by City Council. This Easement shall not be binding until it has received the final approval and acceptance by the City Council by Resolution which approval and acceptance shall be noted on this Easement by the City Clerk.
9. **Deferral of Buffer.** **Notwithstanding anything contained herein, installation of the required landscape buffer shall be deferred for that portion of the Easement adjacent to Lot 3 in Lint Heights Estates until such time as the owner of Lot 3 in Lint Heights Estates provides a written request to On With Life, Inc. for installation of the landscape buffer.**

That the Grantor does hereby covenant with the said Grantee, and successor-in-interest, that said Grantor holds said real estate by title and fee simple; that it has good and lawful authority to sell and convey the same; that said premises are free and clear of all liens and encumbrances whatsoever, except as may be herein stated; that said Grantor covenants to warrant and defend the said premises against the lawful claims of all persons whomsoever, except as may be herein stated.

[Signature Page Follows]

IN WITNESS WHEREOF, we have hereunto affixed our hands this 20<sup>th</sup> day of February, 2024

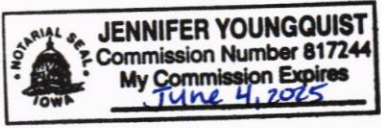
GRANTOR:  
ON WITH LIFE, INC.

By: Jean Shelton  
Jean Shelton, CEO

STATE OF IOWA                    )  
                                                  ) ss:  
COUNTY OF POLK                )

On this 20<sup>th</sup> day of February, 2024, before me, a Notary Public in and for said county, personally appeared Jean Shelton, to me personally known, who being by me duly (sworn or affirmed) did say that she is the CEO of said entity, that said instrument was signed on behalf of said entity by authority of its officers; and, that said Jean Shelton, as such CEO, acknowledged the execution of said instrument to be the voluntary act and deed of said entity, by it and by her voluntarily executed.

Jennifer Youngquist  
Notary Public in and for the State of Iowa



**ACCEPTANCE BY CITY**

STATE OF IOWA                    )  
                                          ) ss:  
COUNTY OF POLK                )

I, Jenny Coffin, City Clerk of the City of Polk City, Iowa, do hereby certify that the within and foregoing Easement was duly approved and accepted by the City Council of said City by Resolution No. \_\_\_\_\_, passed on the \_\_\_\_ day of \_\_\_\_\_, 2024, and this certificate is made pursuant to authority contained in said Resolution.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
City Clerk of the City of Polk City, Iowa

# EXHIBIT 'A' - EASEMENT PLAT

**OWNER**

ON WITH LIFE INC  
715 SW ANKENY RD  
ANKENY, IA 50023-9798

**LANDSCAPE BUFFER EASEMENT DESCRIPTION**

THE EAST 20.00 FEET OF PARCEL '2023-145'

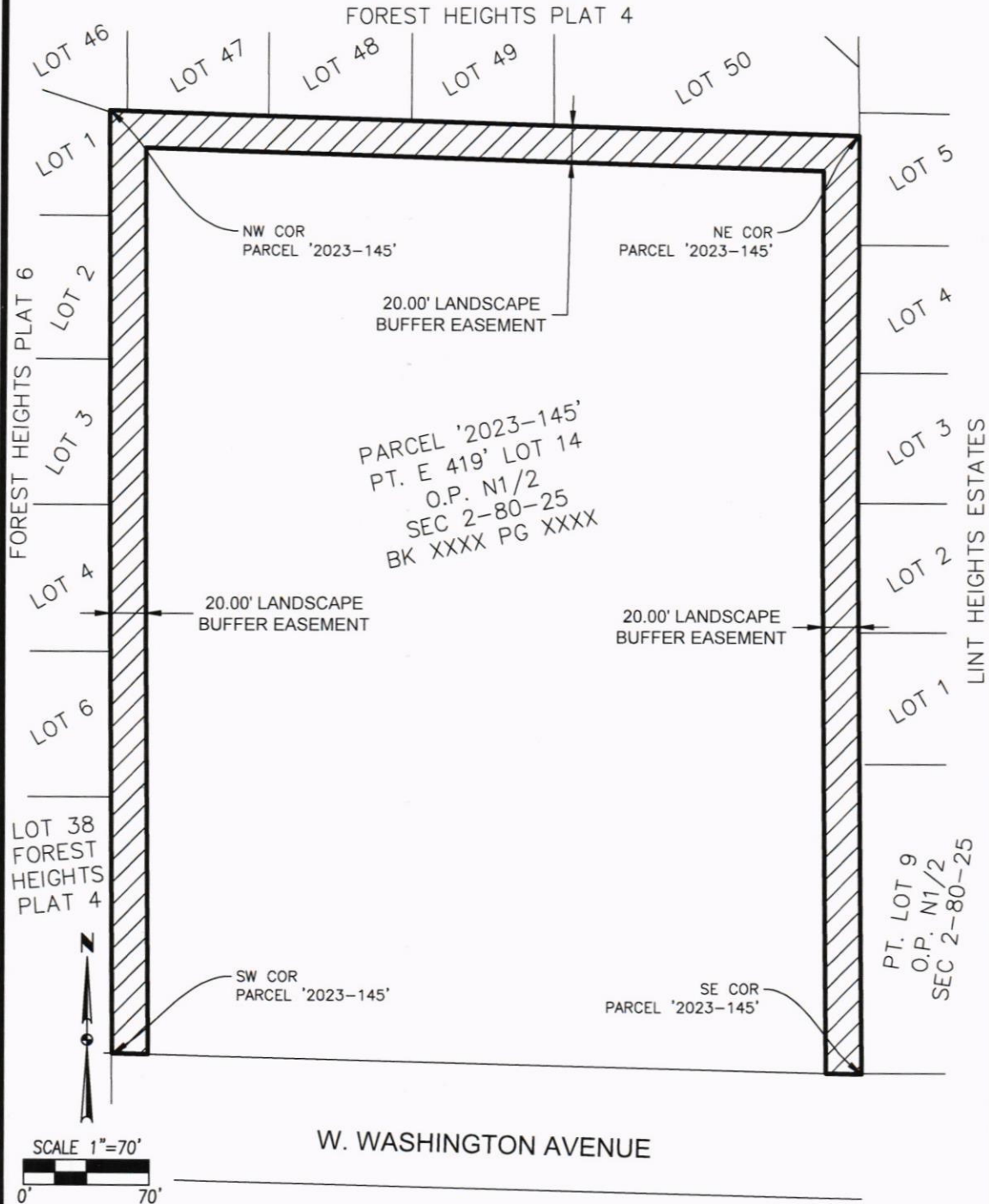
AND

THE NORTH 20.00 FEET OF PARCEL '2023-145'

AND

THE WEST 20.00 FEET OF PARCEL '2023-145'

AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ IN THE CITY OF POLK CITY, POLK COUNTY, IOWA.



1  
1  
2301.028

PT. PARCEL '2023-145' OF THE  
EAST 419' LOT 14,  
O.P. N1/2 SEC 2-80-25  
EASEMENT PLAT POLK CITY, IOWA



4121 NW URBAN DALE DRIVE  
URBAN DALE, IA 50322  
PH: (515) 369-4400



February 9, 2024

City of Polk City  
ATTN: Chelsea Huisman  
112 3<sup>rd</sup> Street  
PO Box 426  
Polk City, Iowa 50226

RE: On With Life – Buffer Deferral Request (2308.561)

Dear Ms. Huisman:

On behalf of *On With Life*, we recently submitted a site plan amendment to the City of Polk City for On With Life located at 1002 W Washington Avenue. On With Life has received communication with an adjacent neighbor to the property that has requested a portion of the proposed landscape buffer to not be installed at this time as to not restrict his view of On With Life's property. The property owner is located at 410 Tyler Street and the emails from the owner have been provided to the City. On With Life would like to grant the property owners request with a Landscape Buffer Deferral Agreement. The site plan has been revised to highlight the plantings included within this request.

Please contact our office should you have any questions or need additional information.

Sincerely,

CIVIL DESIGN ADVANTAGE



Nikki Neal

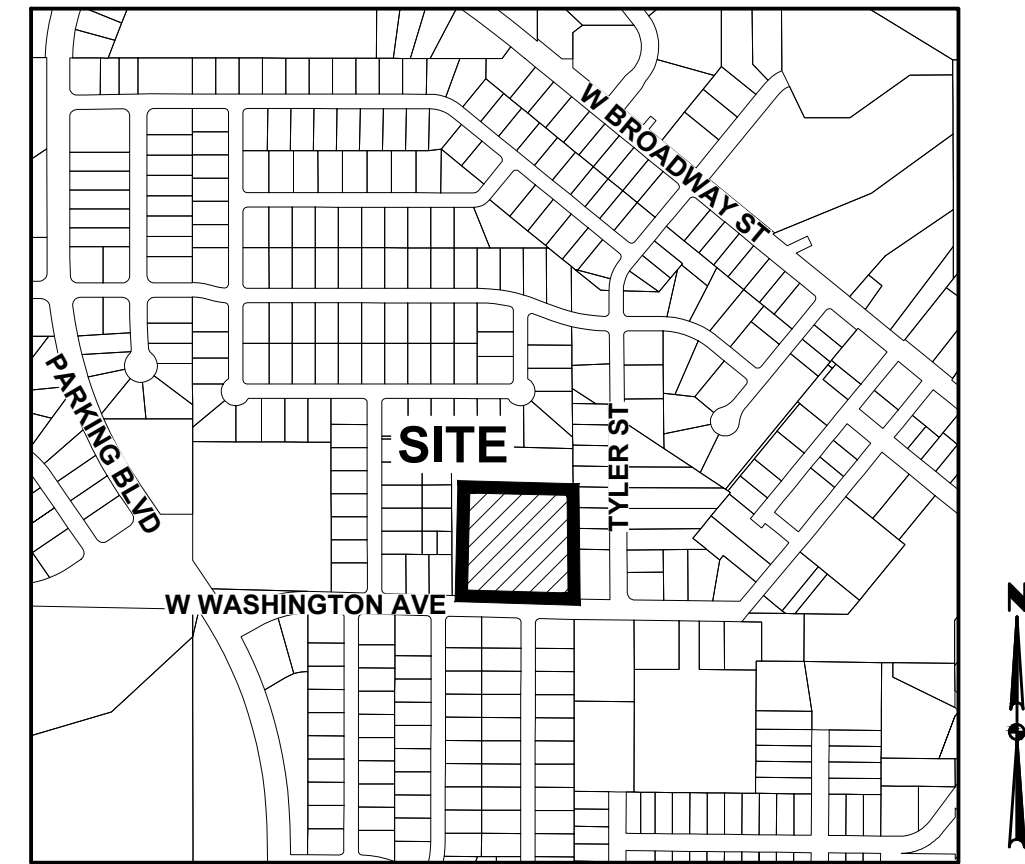
Copy: Jean Shelton, On With Life (PDF via e-mail)  
File



# SITE PLAN FOR: ON WITH LIFE

## POLK CITY, IOWA

### VICINITY MAP NOT TO SCALE



POLK CITY, IOWA

### OWNER/APPLICANT

ON WITH LIFE  
715 SW ANKENY ROAD  
ANKENY, IA 50023-9798  
CONTACT: JEAN SHELTON  
EMAIL: JEAN.SHELTON@ONWITHLIFE.ORG  
PH: (515) 289-9613

### ENGINEER

CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
CONTACT: NIKKI NEAL  
EMAIL: NICOLEN@CDA-ENG.COM  
PH: (515) 369-4400

### SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
CONTACT: CHARLIE MCGLOTHLEN  
EMAIL: CHARLIEM@CDA-ENG.COM  
PH: (515) 369-4400

### ARCHITECT

SVA ARCHITECTS INC.  
1466 28TH STREET  
WEST DES MOINES, IA 50266  
CONTACT: VITUS BERING  
EMAIL: V-BERING@SVPA-ARCHITECTS.COM  
PH: (515) 280-2403

### SUBMITTAL DATES

FIRST SUBMITTAL: 03/20/2023  
SECOND SUBMITTAL: 04/12/2023  
THIRD SUBMITTAL: 04/19/2023  
SIGNED SITE PLAN: 04/25/2023  
ADDENDUM #1: 05/22/2023  
ADDENDUM #2: 05/23/2023  
ASI #1: 06/30/2023  
AMENDMENT: 02/09/2024

### LEGAL DESCRIPTION

THAT PART OF THE EAST 419 FEET OF LOT 14 IN THE OFFICIAL PLAT OF THE NORTH 1/2 OF SECTION 2, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M. CITY OF POLK CITY, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 14, THAT IS 30.0 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF NORTHWEST 114TH AVENUE, AS IT NOW EXISTS; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST (ASSUMED FOR THE PURPOSES OF THE DESCRIPTION ONLY) ALONG SAID NORTH RIGHT-OF-WAY LINE, 389.11 FEET; THENCE NORTH 00 DEGREES, 19 MINUTES WEST 387.00 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 20 SECONDS EAST 376.88 FEET TO A POINT ON SAID EAST LINE OF LOT 14; THENCE SOUTH 02 DEGREES 07 MINUTES 13 SECONDS EAST, ALONG SAID EAST LINE, 388.43 FEET TO THE POINT OF BEGINNING, POLK COUNTY, IOWA.

AND

THE EAST 419 FEET OF LOT FOURTEEN (14) IN THE OFFICIAL PLAT OF THE NORTH HALF OF SECTION 2, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH/ P.M., NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA, EXCEPT BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 14 THAT IS 30 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF NW 114TH/ AVENUE AS IT NOW EXISTS; THENCE NORTH 90°00'00" WEST (ASSUMED FOR THE PURPOSE OF THIS DESCRIPTION ONLY) ALONG SAID NORTH RIGHT-OF-WAY LINE, 389.11 FEET; THENCE NORTH 00°19'00" WEST 387 FEET; THENCE NORTH 89°49'20" EAST, 376.88 FEET TO A POINT ON THE EAST LINE OF LOT 14; THENCE SOUTH 02°07'13" EAST, ALONG SAID EAST LINE, 388.43 FEET TO THE POINT OF BEGINNING.

### ZONING

R-3 MULTIPLE-FAMILY DETACHED RESIDENTIAL DISTRICT

### PROJECT SITE ADDRESS

1002 W. WASHINGTON AVENUE

### EXISTING/ PROPOSED USE

EXISTING: NURSING AND REHABILITATION CENTER

PROPOSED: INPATIENT SKILLED NURSING FACILITY

### DEVELOPMENT SUMMARY

AREA: 5.00 ACRES (217,937 SF)

ZONING: R-3 (MULTIPLE-FAMILY DETACHED RESIDENTIAL DISTRICT)

### SETBACKS

FRONT: 30'  
SIDE: 8'  
REAR: 40'  
PARKING: 10'

### OPEN SPACE CALCULATION

IN ADDITION, THE MINIMUM TOTAL LAND AREA DEVOTED TO OPEN SPACE IN THE R-2A, R-3, R-4, C-1, C-2, C-3, C-4, M-1, AND M-2 ZONING DISTRICTS ONLY SHALL NOT BE LESS THAN 15 PERCENT OF THE GROSS LAND AREA INCLUDED IN THE BUILDING LOT.

REQUIRED (217,937 X 15%): 32,691 SF  
PROVIDED: 164,632 SF (76%)

### IMPERVIOUS AREA

EXISTING BUILDING	21,231 SF
EXISTING PAVING	17,992 SF
EXISTING SIDEWALK	2,146 SF
PROPOSED STANDARD	7,557 SF
PROPOSED HEAVY	406 SF
PROPOSED SIDEWALK	3,973 SF
TOTAL IMPERVIOUS	53,305 SF

### PARKING

REQUIRED - NURSING CARE INSTITUTIONS, INTERMEDIATE CARE INSTITUTIONS, TRANSITIONAL FACILITIES FOR INFIRM PERSONS, OR FACILITIES FOR PERSON WITH DISABILITIES (1 SPACE PER EMPLOYEE ON MAX SHIFT, PLUS 1 VISITOR PER 10 BEDS)

EMPLOYEE:	35 SPACES
VISITOR:	4 SPACES
TOTAL:	39 SPACES

### PROVIDED

STANDARD:	42 SPACES
ACCESSIBLE:	2 SPACES
TOTAL:	44 SPACES

### DATE OF SURVEY

01/17/2023

### BENCHMARKS

BM #1: TWN ON HYDRANT AT SE CORNER OF SITE.  
ELEV=963.87

BM#2: BURY BOLT ON HYDRANT AT NW CORNER OF PARKER BLVD AND WASHINGTON AVE.  
ELEV=955.64

### INDEX OF SHEETS

NO.	DESCRIPTION
CO.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
C5.1-C5.2	DETAILS
L1.1	LANDSCAPE PLAN
L1.2	FRONTAGE LANDSCAPE PLAN
L2.1	LANDSCAPE DETAILS

### GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

**CIVIL DESIGN ADVANTAGE**  
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322  
PH: (515) 369-4400  
PROJECT NO. 2301.028

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JOHN PATRICK BECKER, P.E. DATE

25523

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS CO.0, C1.1, C2.1, C3.1, C4.1,  
AND C5.1-C5.2

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

KEITH D. WEGGEN, ASLA DATE

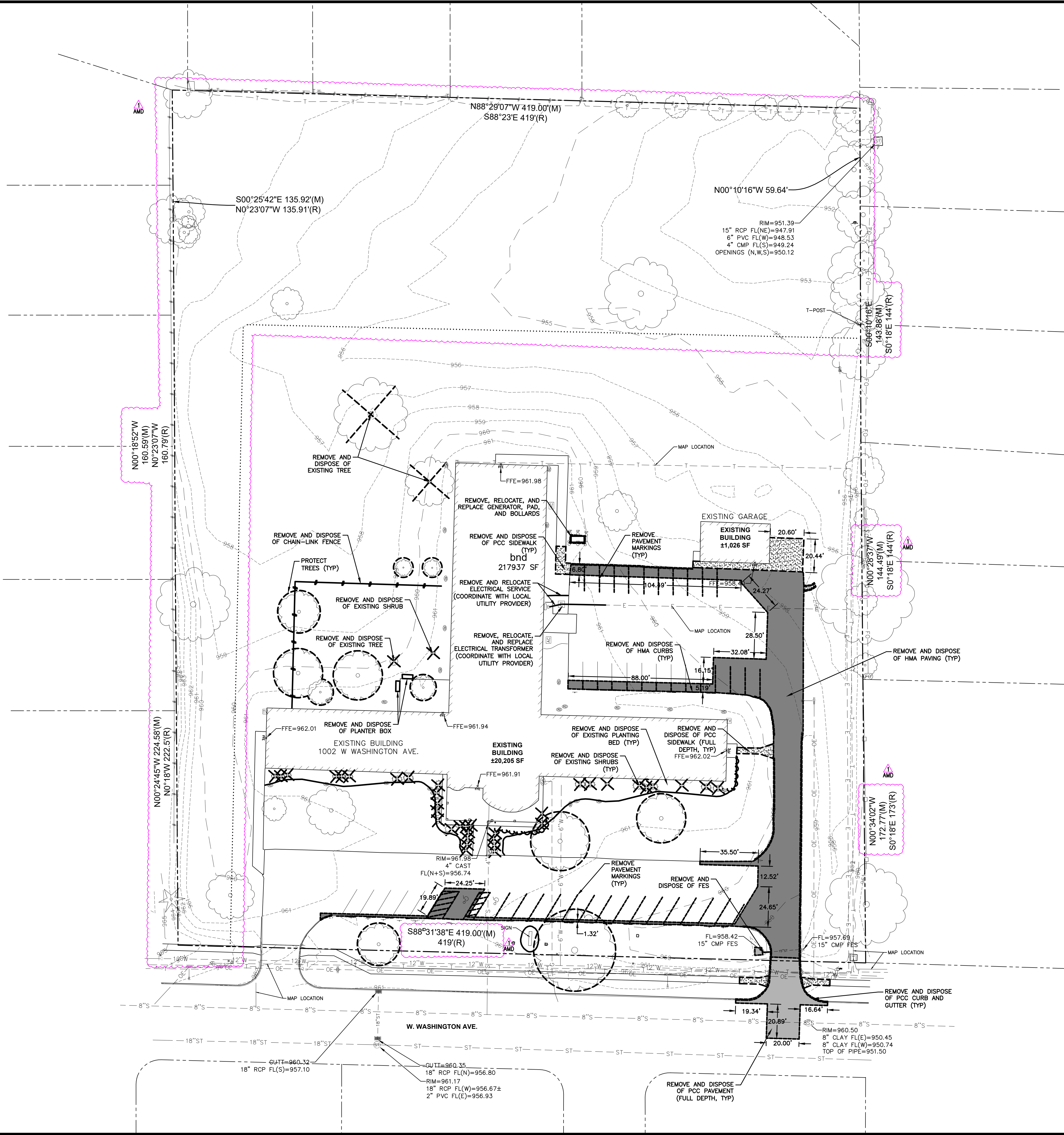
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MY LICENSE RENEWAL DATE IS JUNE 30, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEET L1.1 AND L2.1



COMMENTS:  
ENC.

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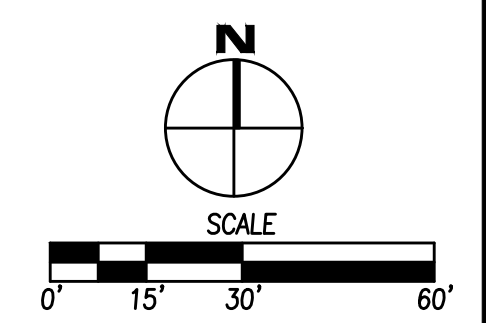


**DEMOLITION NOTES**

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
  - CITY
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - CIVIL DESIGN ADVANTAGE
  - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

**TRAFFIC CONTROL NOTES**

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.



DATE	02/09/2024
REVISIONS	06/30/2023
	05/23/2023
	05/19/2023
AMENDMENT	
ASI #1	
ADDENDUM #2	
ADDENDUM #1	

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410

CIVIL DESIGN ADVANTAGE ENGINEER: DRAFTED:

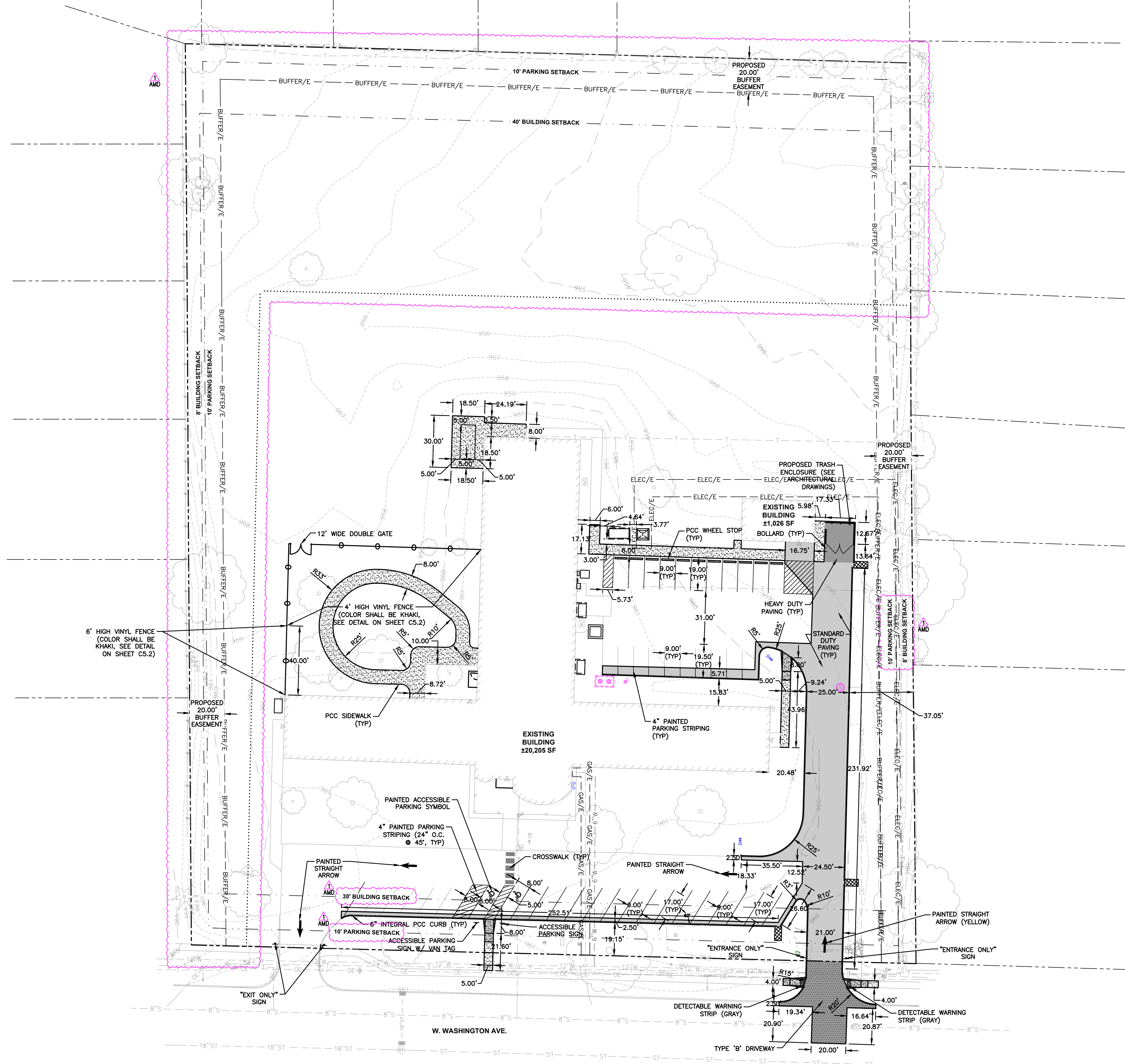
**ON WITH LIFE**  
ON WITH LIFE PARTNERS & ASSOCIATES  
POLK CITY, IOWA

**TOPOGRAPHIC SURVEY/DEMOLITION PLAN**  
1002 W. WASHINGTON AVE.

DATE: 04/25/2023  
SHEET NUMBER: **C1.1**  
2301.028



COMMENTS:  
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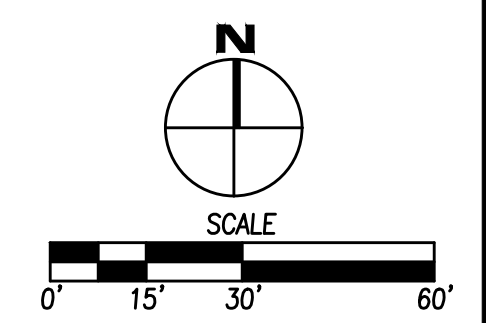


**GENERAL NOTES**

1. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. ALL DETECTABLE WARNINGS SHALL BE GRAY IN COLOR.

**PAVEMENT THICKNESS**

- |                               |                |  |
|-------------------------------|----------------|--|
| 1. SIDEWALKS                  | 4" P.C.C.      |  |
| 2. SIDEWALK RAMPS             | 6" P.C.C.      |  |
| 3. STANDARD DUTY PCC PAVEMENT | 6" P.C.C.      |  |
| 4. HEAVY DUTY PCC PAVEMENT    | 8" P.C.C.      |  |
| 5. ROW PAVING                 | MATCH EXISTING |  |



<p>DATE</p> <p>02/09/2024</p> <p>06/30/2023</p> <p>05/23/2023</p> <p>05/19/2023</p>	<p>REVISIONS</p> <p>AMENDMENT</p> <p>ADDENDUM #1</p> <p>ADDENDUM #2</p> <p>ADDENDUM #1</p>	<p>4121 NW URBANDALE DRIVE</p> <p>URBANDALE, IA 50322</p> <p>PHONE: (515) 369-4400 FAX: (515) 369-4410</p> <p>ENGINEER: DRAFTED:</p>
<p>CIVIL DESIGN ADVANTAGE</p>		
<p>ON WITH LIFE</p> <p>CONSTRUCTION MANAGEMENT</p>		
<p>POLK COUNTY, IOWA</p>		
<p>ON WITH LIFE</p> <p>DIMENSION PLAN</p>		
<p>1002 W. WASHINGTON AVE.</p>		
<p>DATE: 04/25/2023</p> <p>SHEET NUMBER:</p> <p><b>C2.1</b></p> <p>2301.028</p>		



COMMENTS:  
 1. ALL NOTES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.  
 2. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.  
 3. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.  
 4. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.  
 5. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.  
 6. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.  
 7. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
 8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.  
 9. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.  
 10. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.

DATE: 04/25/2023  
 SHEET NUMBER: C3.1  
 2301.028

ON WITH LIFE  
 GRADING PLAN

POLK CITY, IOWA  
 1002 W. WASHINGTON AVE.

CIVIL DESIGN ADVANTAGE  
 ENGINEER:

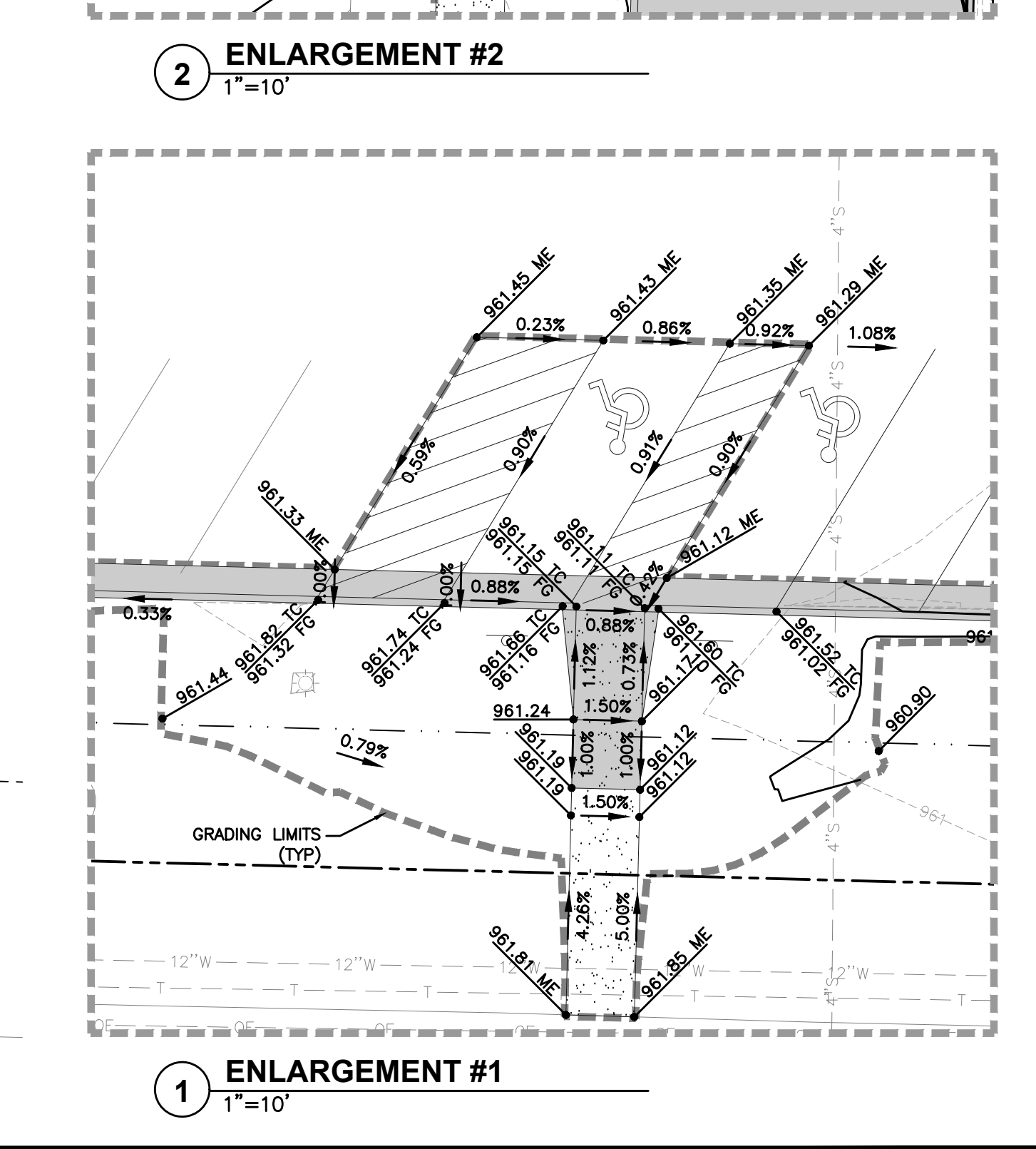
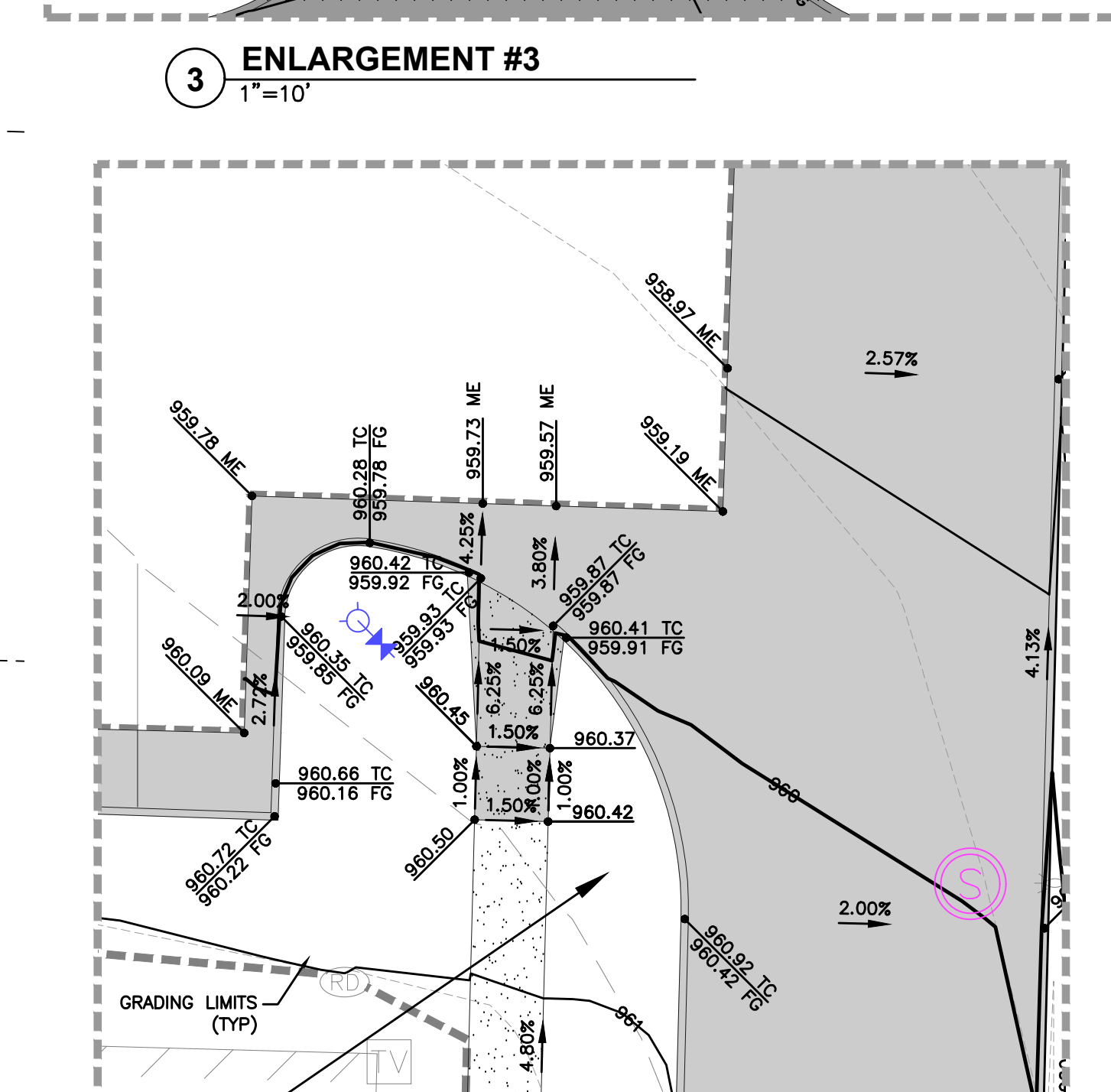
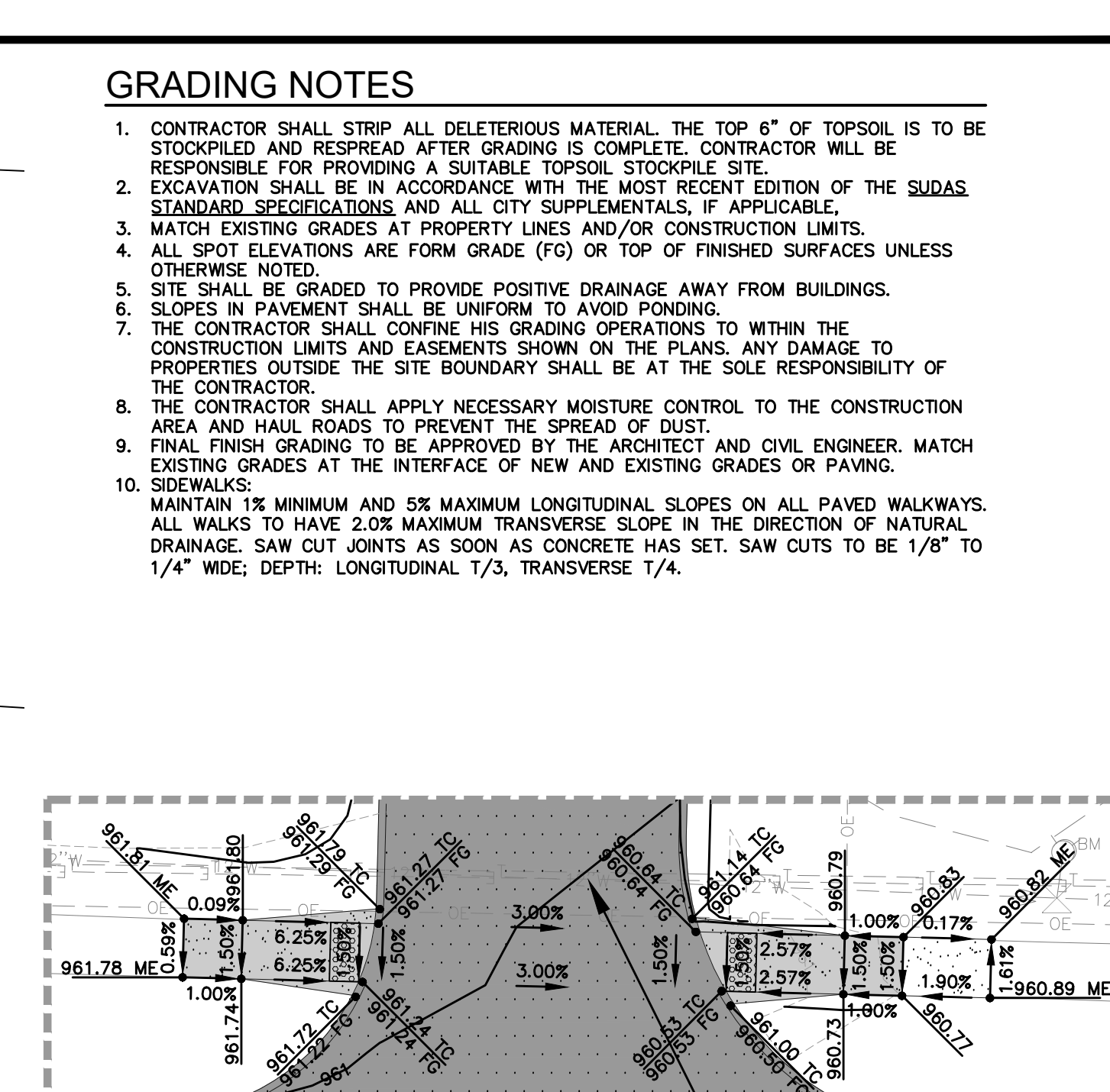
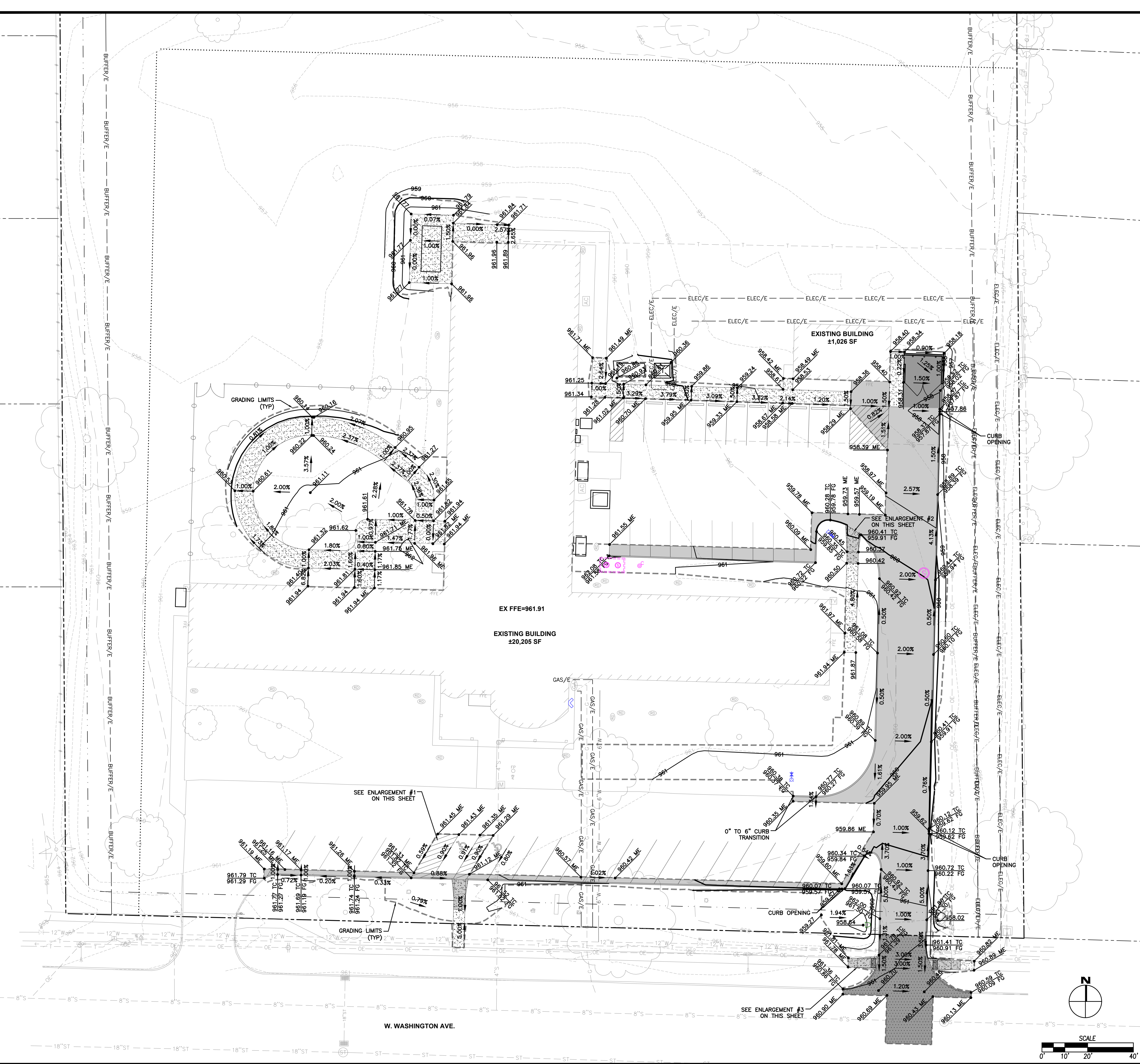
PHONE: (515) 369-4400 FAX: (515) 369-4410  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322

AMENDMENT #1  
 DATE: 02/09/2024

ADDENDUM #2  
 DATE: 06/30/2023

ADDENDUM #1  
 DATE: 05/19/2023

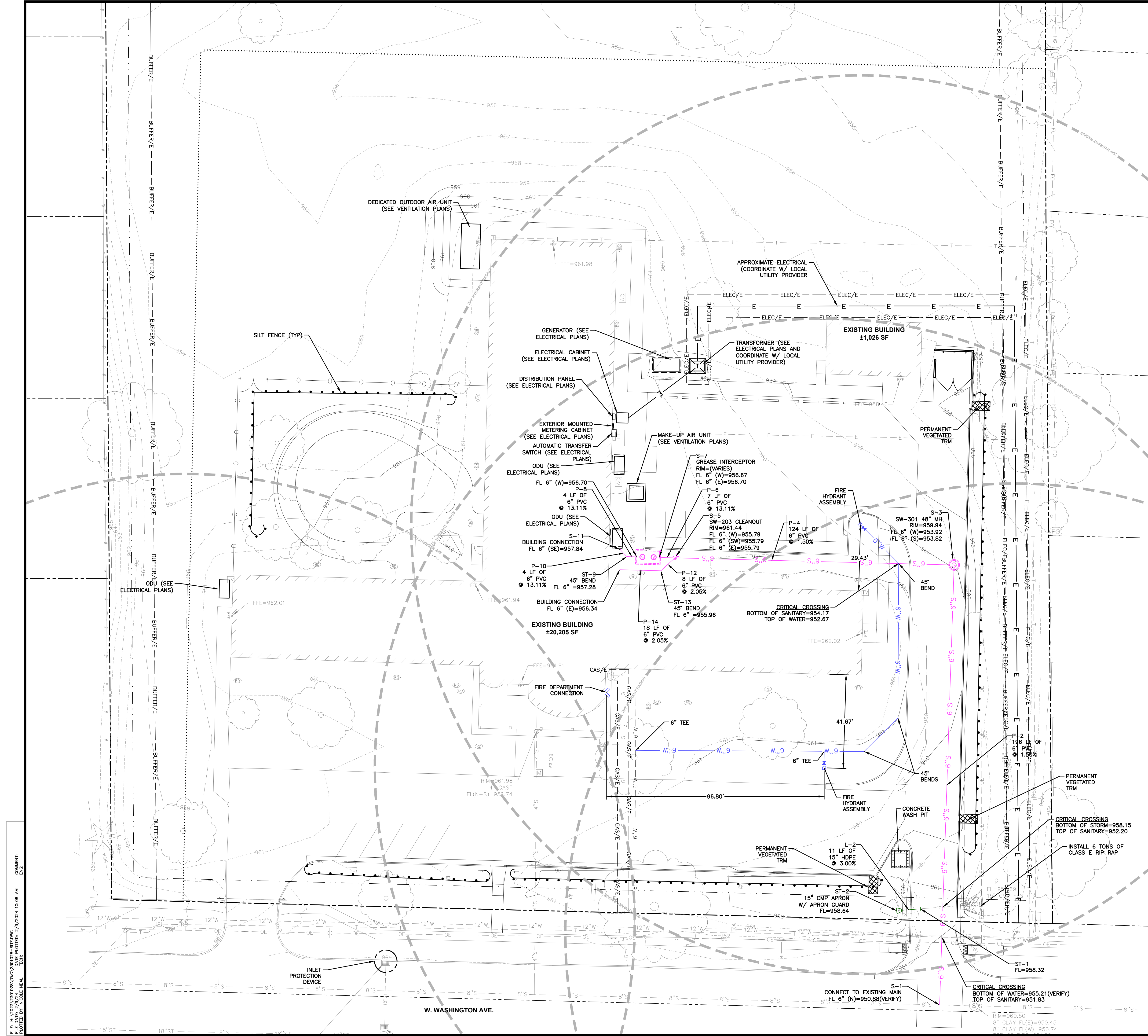
REVISIONS



GRADING NOTES

- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPAVED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.





**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- THE BUILDING SHALL BE SPRINKLED.
- OWNER IS RESPONSIBLE FOR OBTAINING A PERMIT FROM WRA FOR THE GREASE INTERCEPTOR IN CONJUNCTION WITH THE BUILDING PERMIT.

COMMENTS:  
ENC.  
FILE IN: S:\2023\2301\2301\DWG\2301\2301\_UTILITY.PLT  
FILE DATE: 2/2/24  
DATE PLOTTED: 2/9/2024 10:06 AM  
PLOTTED BY: NICOLE NEAL

DATE	REVISIONS
02/09/2024	AMENDMENT
06/30/2023	ASI #1
05/23/2023	ADDENDUM #2
05/19/2023	ADDENDUM #1

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
ENGINEER: DRAFTED:



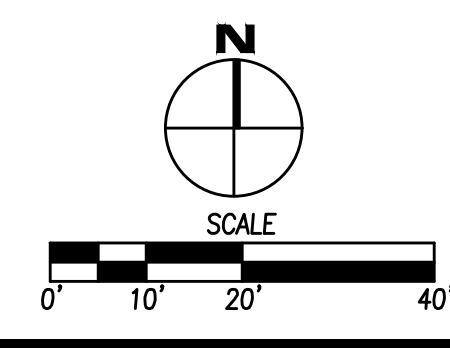
ON WITH LIFE  
CIVIL DESIGN ADVANTAGE  
A PART OF THE WATKINS GROUP

POLK CITY, IOWA

UTILITY PLAN

1002 W. WASHINGTON AVE.

DATE: 04/25/2023  
SHEET NUMBER: C4.1  
2301.028

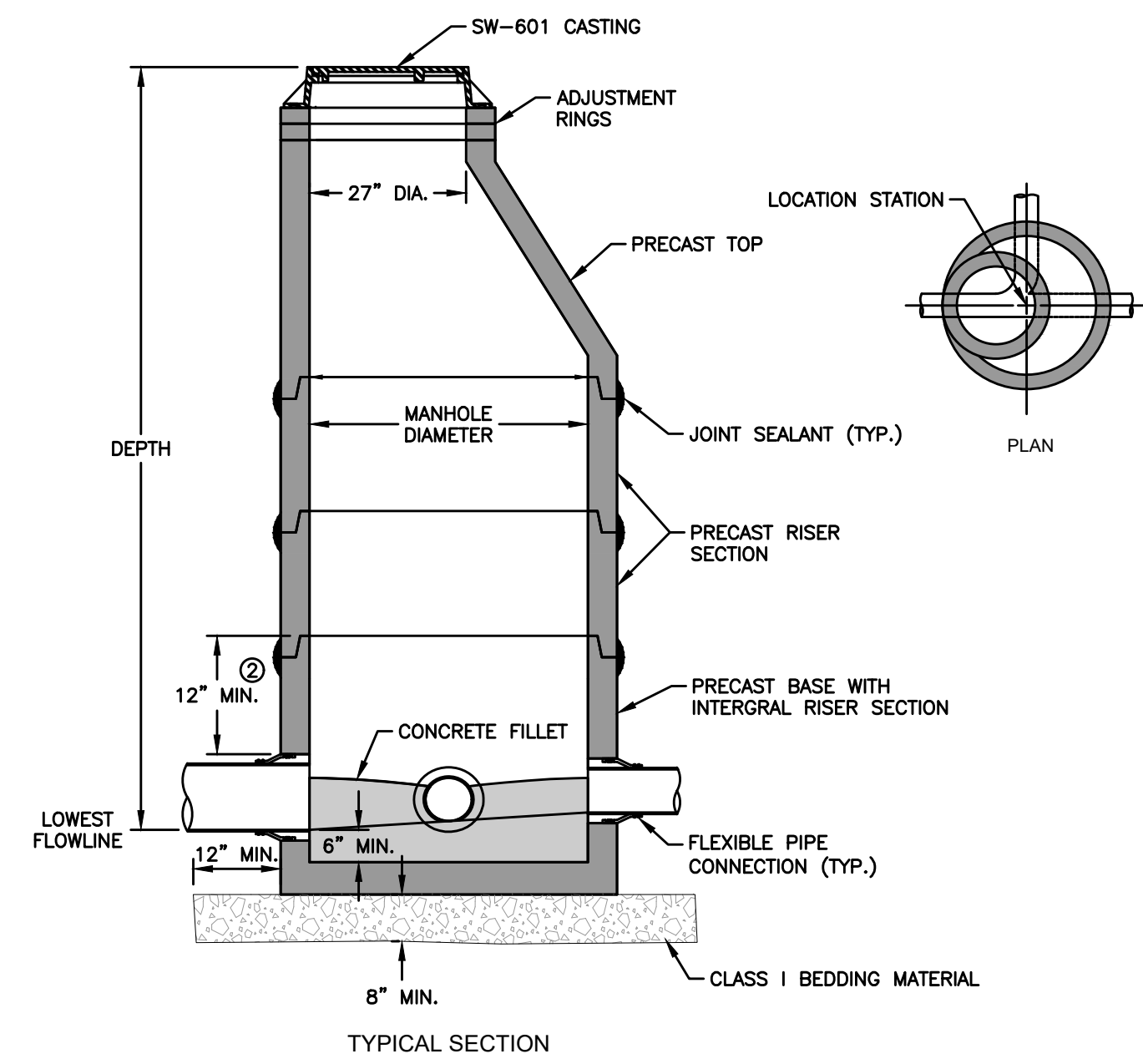




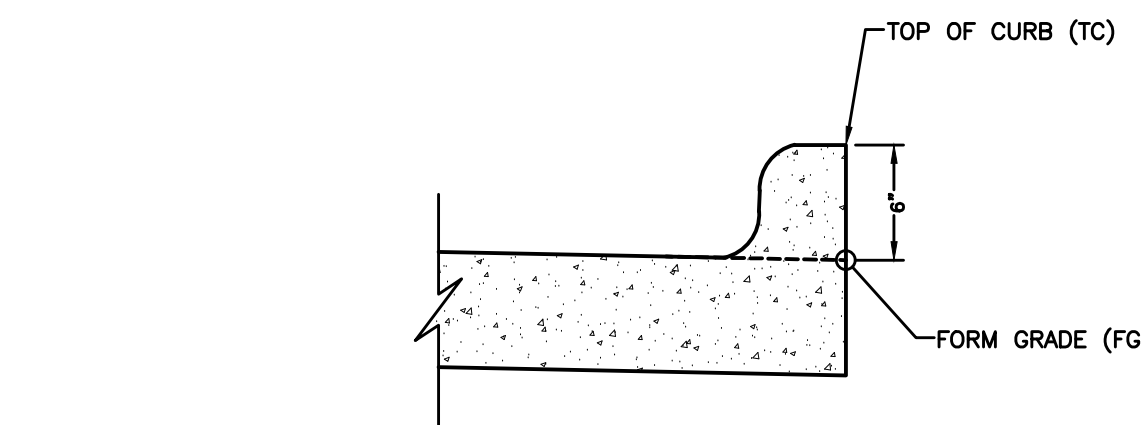
IF MANHOLE DEPTH EXCEEDS 20 FEET, INSTALL STEPS.  
INSTALL INFILTRATION BARRIER.

- FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
- 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPE OPENINGS.

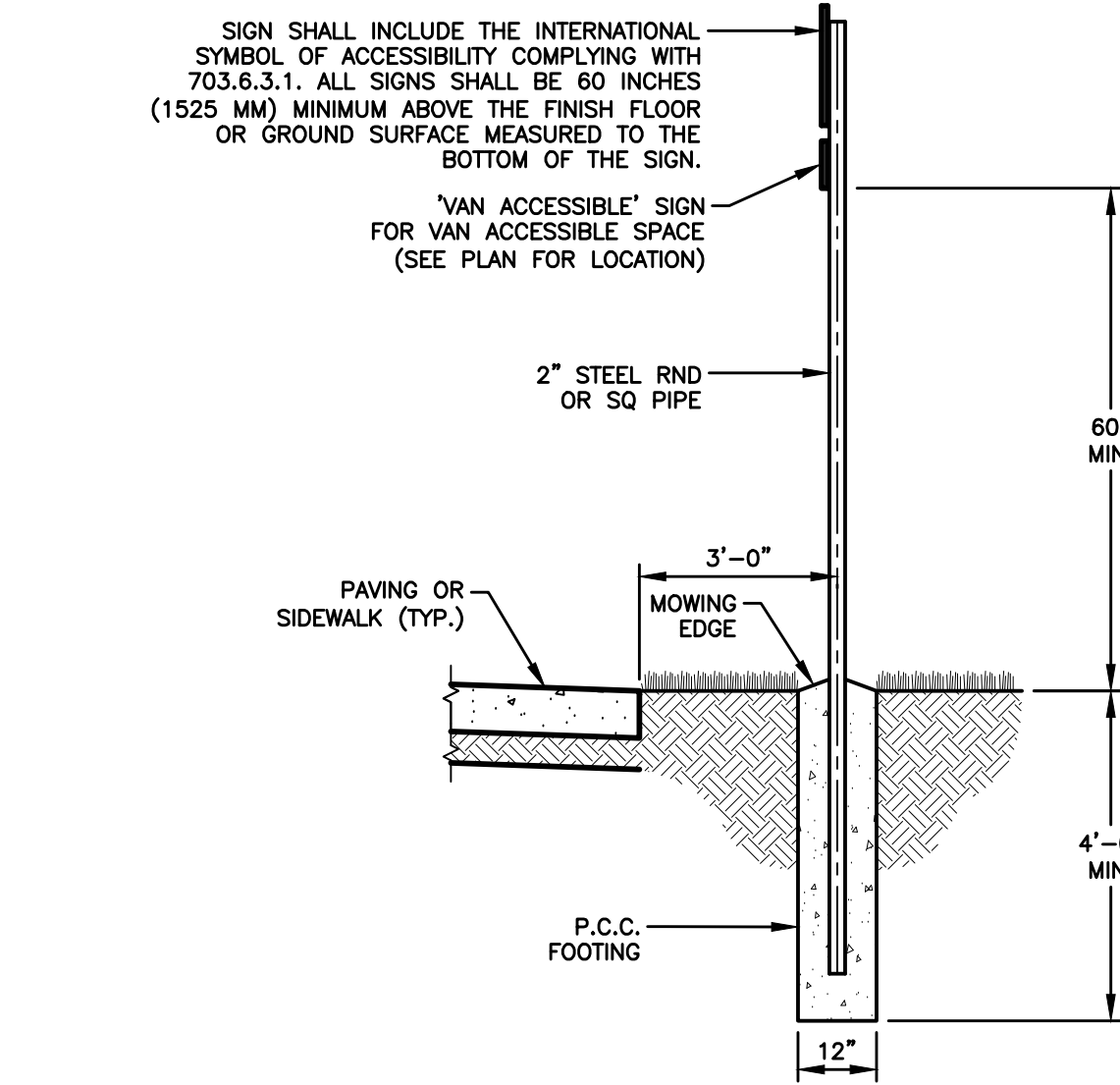
Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 18" Separation	At 30" Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42



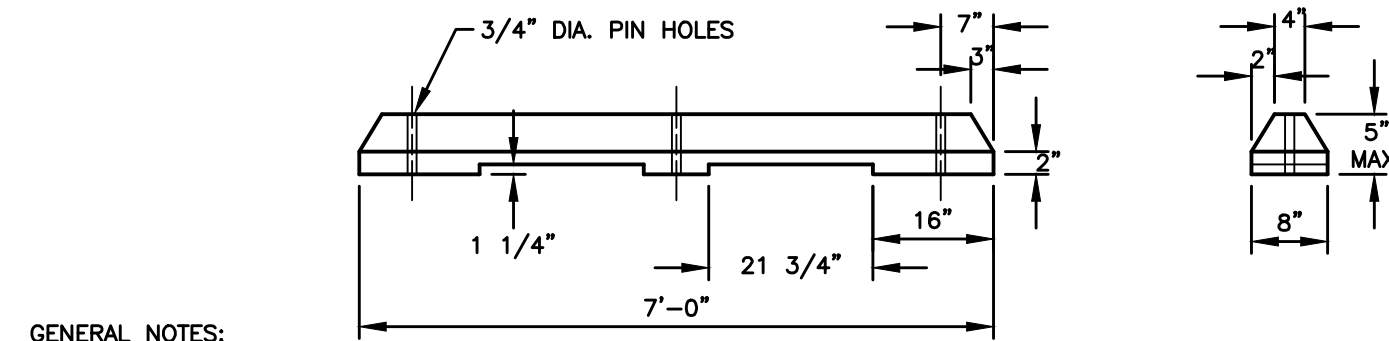
**11 SW-301 CIRCULAR SANITARY SEWER MANHOLE**  
NOT TO SCALE



**10 INTEGRAL 6\"/>**



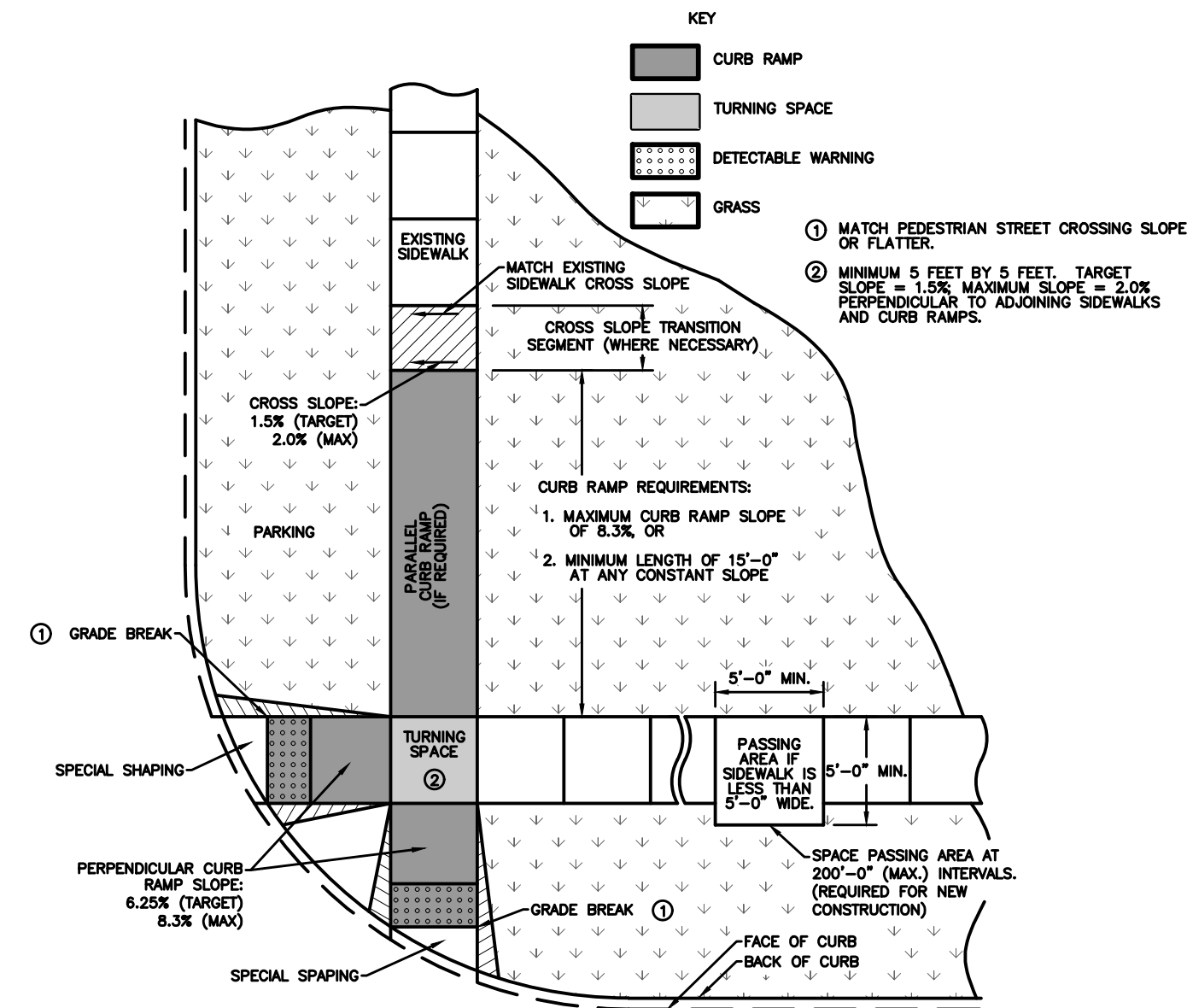
**9 ACCESSIBLE PARKING SIGN**  
NOT TO SCALE



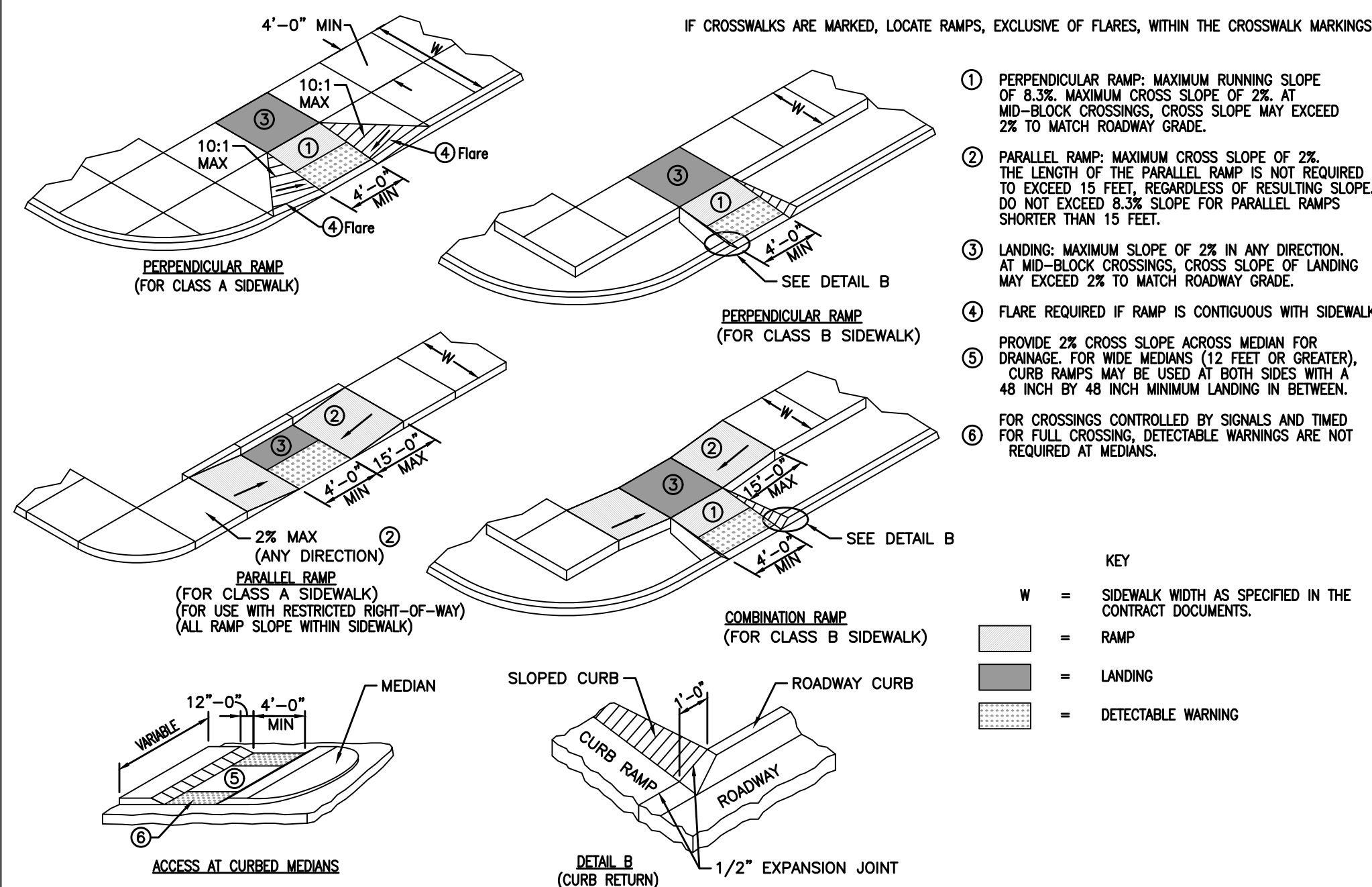
**GENERAL NOTES:**

- DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
- ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
- ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
- REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
- MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH SPACE.

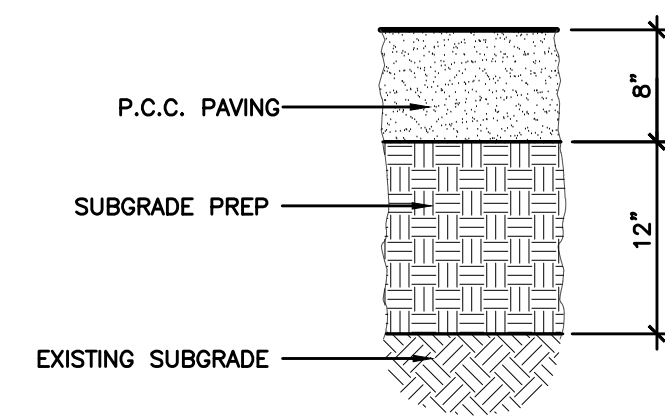
**8 P.C.C. WHEELSTOP**  
NOT TO SCALE



**7 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK**  
NOT TO SCALE

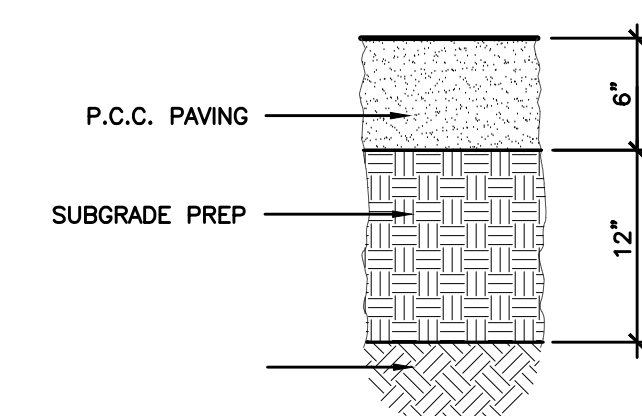


**6 CURB RAMPS OUTSIDE OF INTERSECTION RADIUS**  
NOT TO SCALE



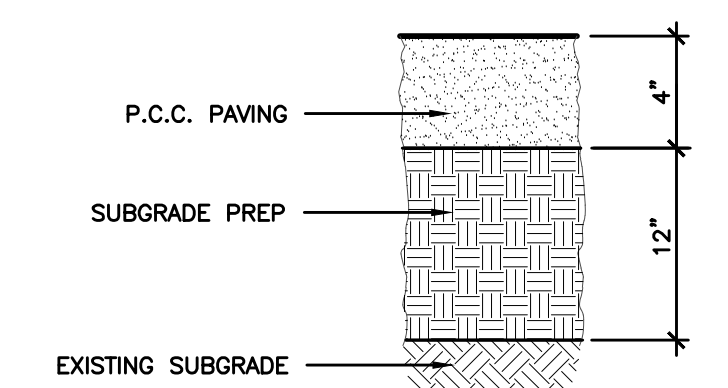
- NOTE:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
  - SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

**5 HEAVY DUTY PCC PAVING**  
NOT TO SCALE



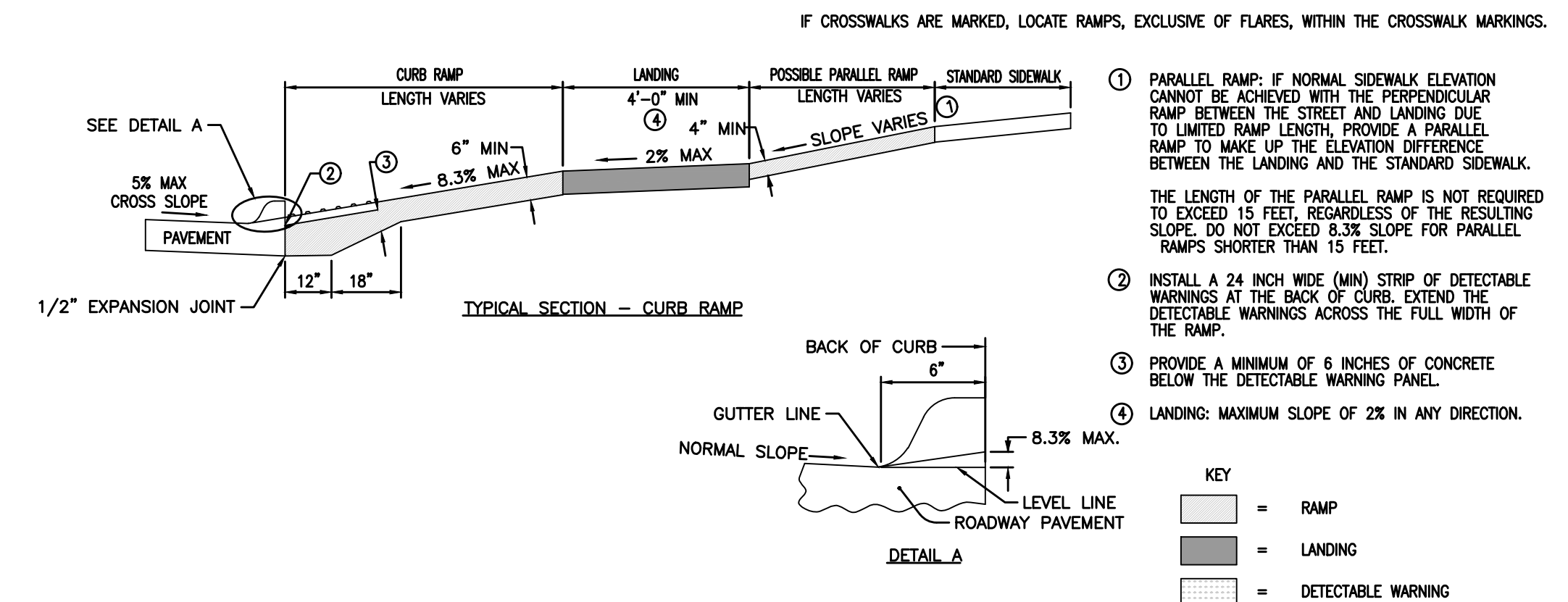
- NOTE:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
  - SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

**4 STANDARD DUTY PCC PAVING**  
NOT TO SCALE



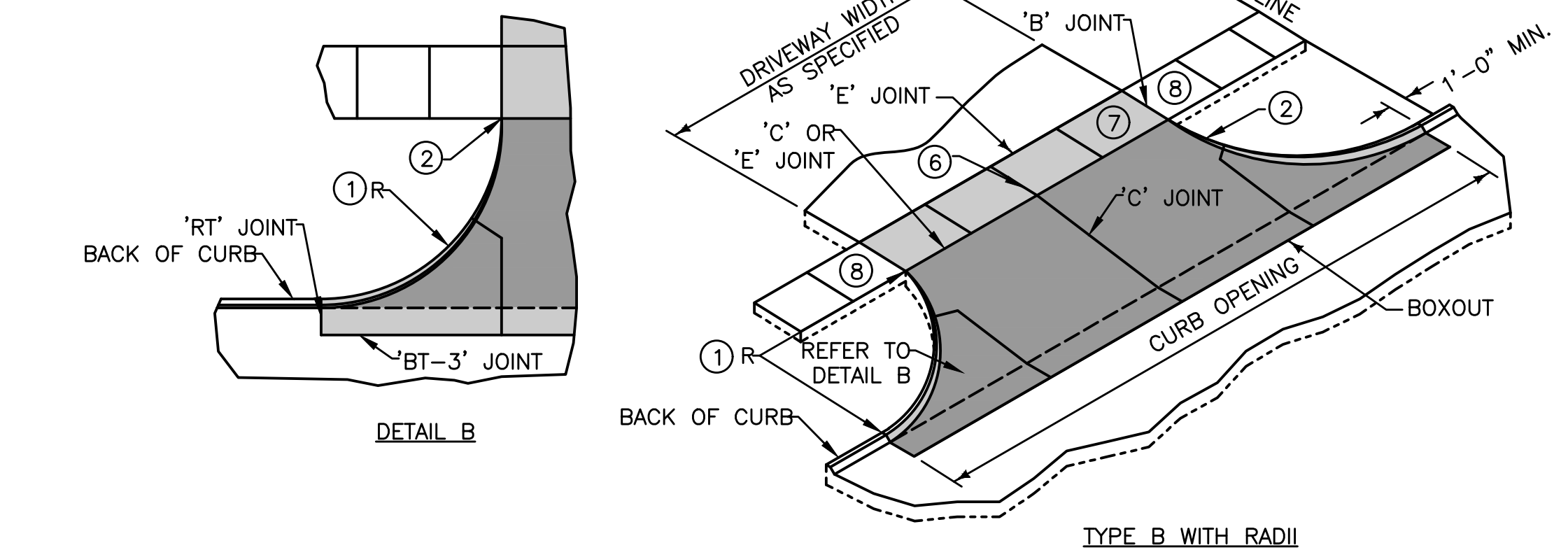
- NOTE:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
  - SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

**3 PCC SIDEWALK**  
NOT TO SCALE



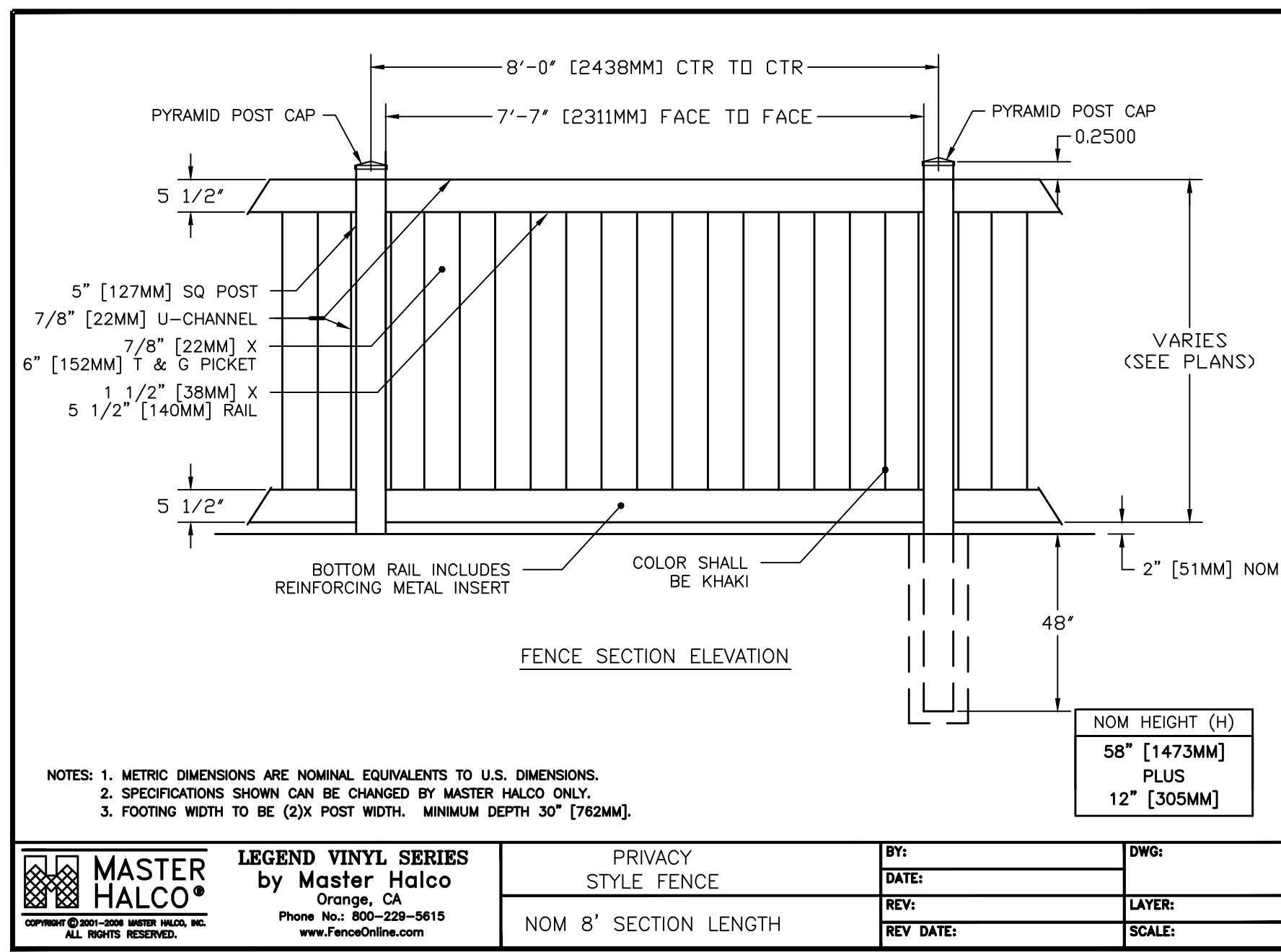
**2 CURB RAMPS GENERAL SECTION**  
NOT TO SCALE

- DRIVEWAY RADIUS (R). RESIDENTIAL: 10 FOOT MINIMUM, 15 FOOT MAXIMUM. COMMERCIAL AND INDUSTRIAL: AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB CROSS SIDEWALK.
- PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- IF LONGITUDINAL JOINT IS LOCATED 48 INCHES OR LESS FROM THE BACK OF CURB, EXTEND BOXOUT TO JOINT LINE. FULL DEPTH SAW CUT IS STILL REQUIRED.
- FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD THE CENTER OF THE ALLEY.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF THE ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.



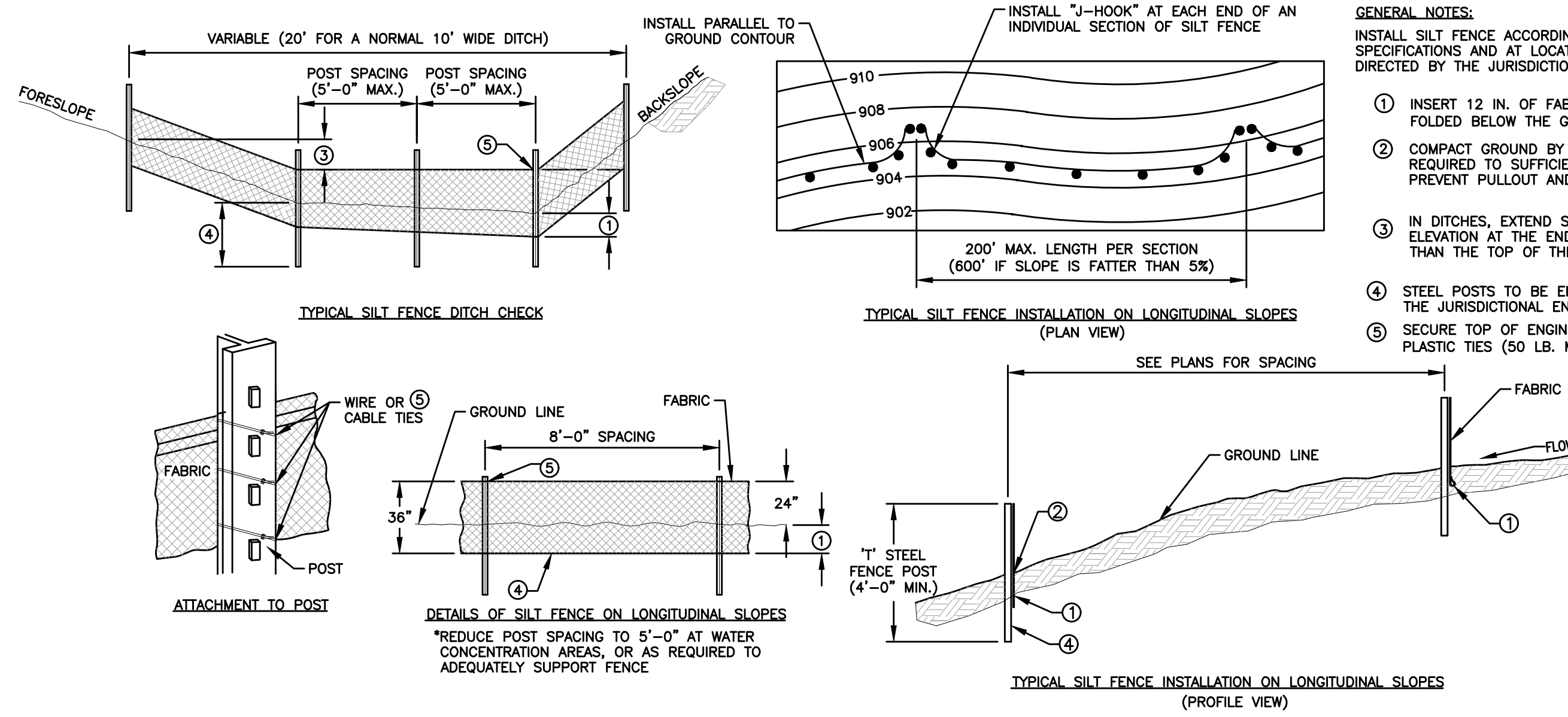
**1 CONCRETE DRIVEWAY TYPE B**  
NOT TO SCALE





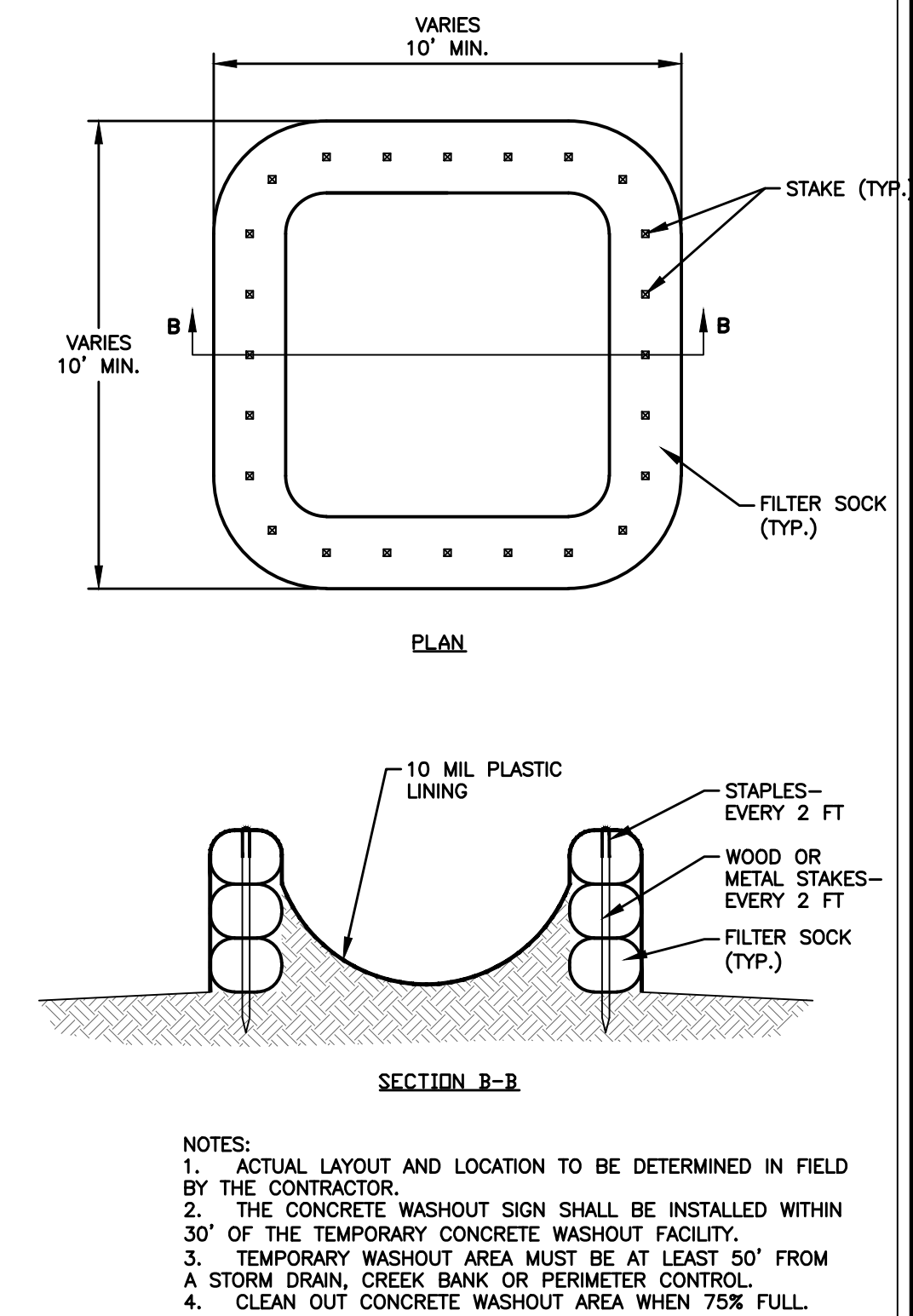
<b>MASTER HALCO</b> LEGEND VINYL SERIES by Master Halco Orange, CA Phone No: 800-228-5615 www.FenceOnline.com	PRIVACY STYLE FENCE NOM 8' SECTION LENGTH	BY: DATE: REV: REV DATE:	DWG: LAYER: SCALE:
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**6 VINYL FENCE**  
NOT TO SCALE

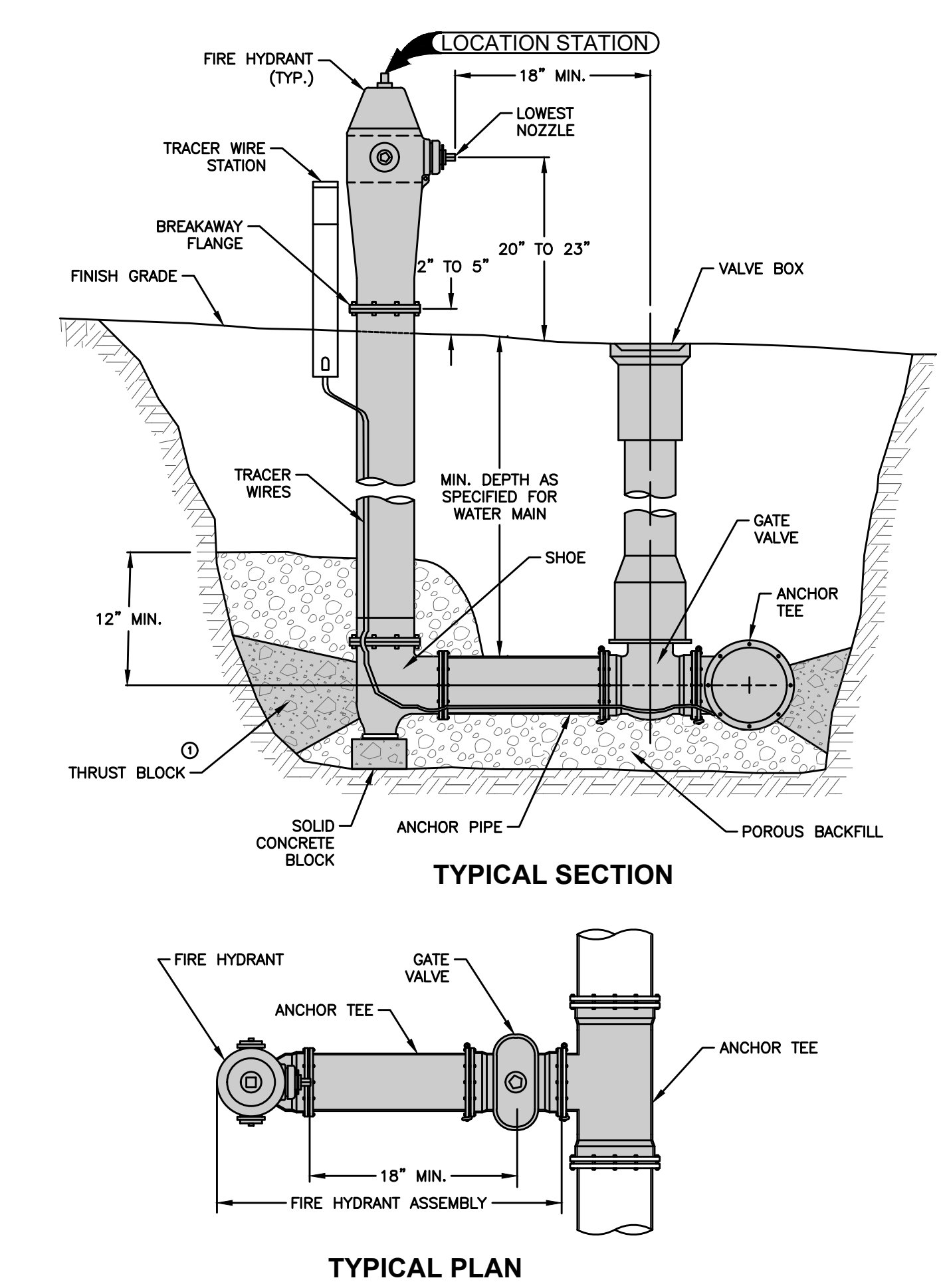


- GENERAL NOTES:**  
INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.
- INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
  - COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
  - IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
  - STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
  - SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."

**4 SILT FENCE**  
NOT TO SCALE

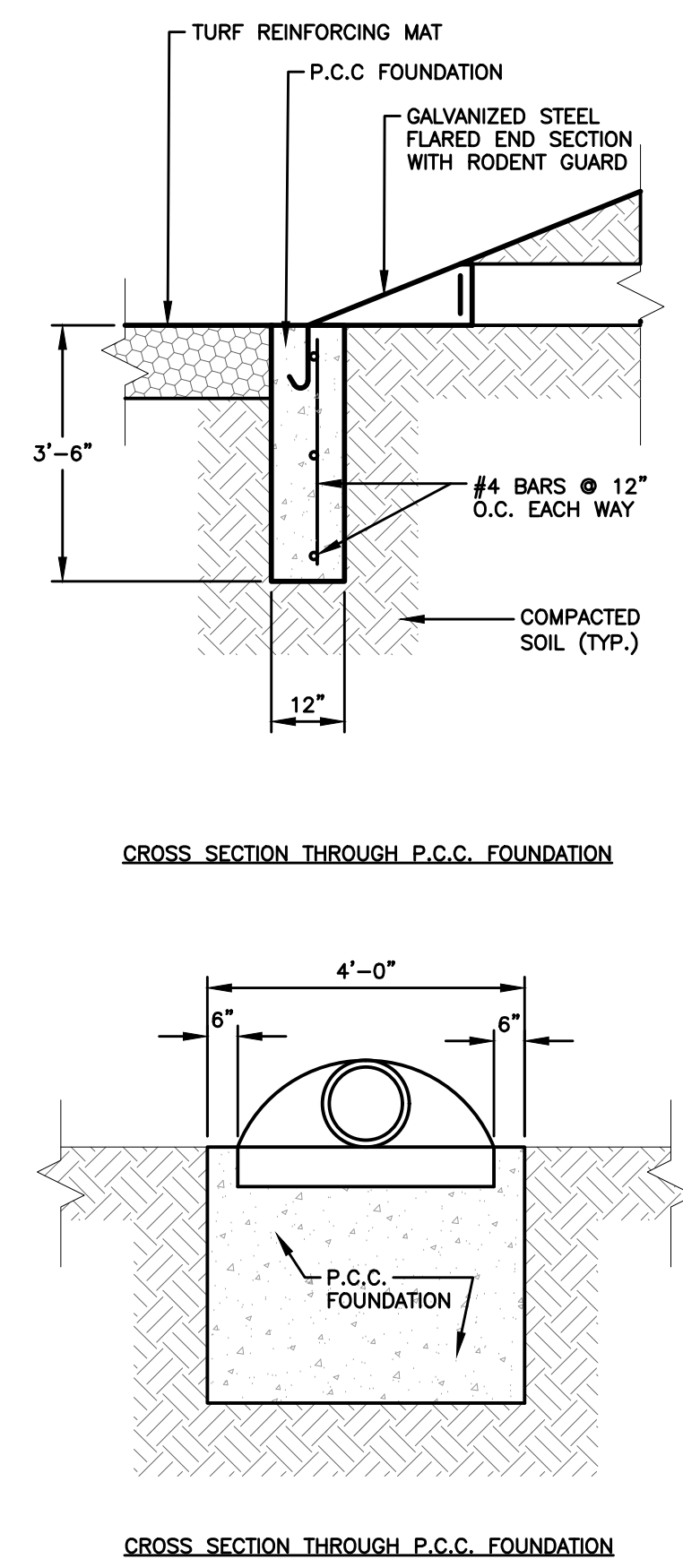


**2 CONCRETE WASHOUT**  
NOT TO SCALE

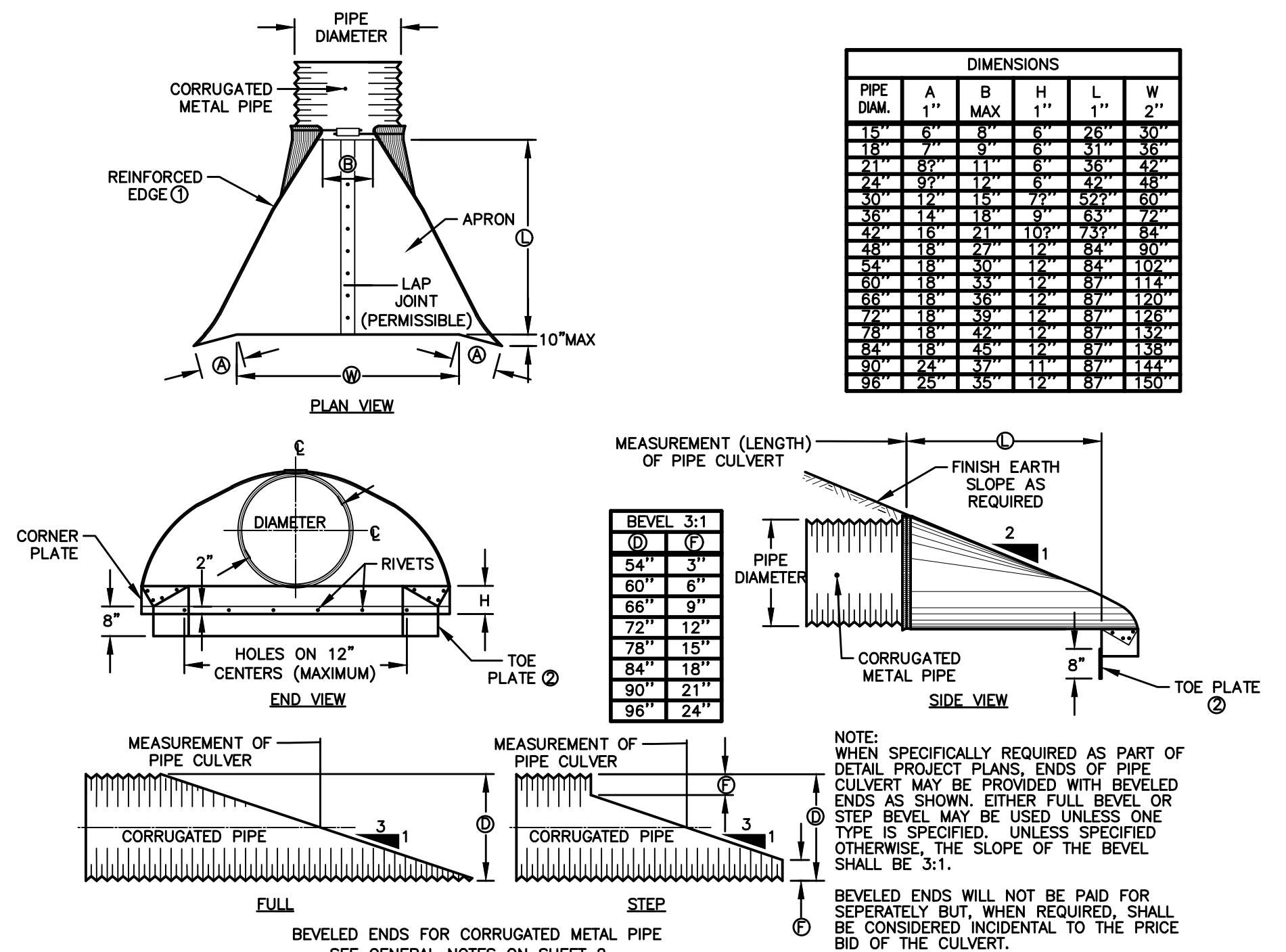


USE DUCTILE IRON PIPE WITH RESTRAINED MECHANICAL JOINTS FOR FIRE HYDRANT ASSEMBLY AND ANCHOR TEE.  
① DO NOT COVER DRAIN HOLES OR TRACER WIRE.

**5 WM-201 FIRE HYDRANT ASSEMBLY**  
NOT TO SCALE



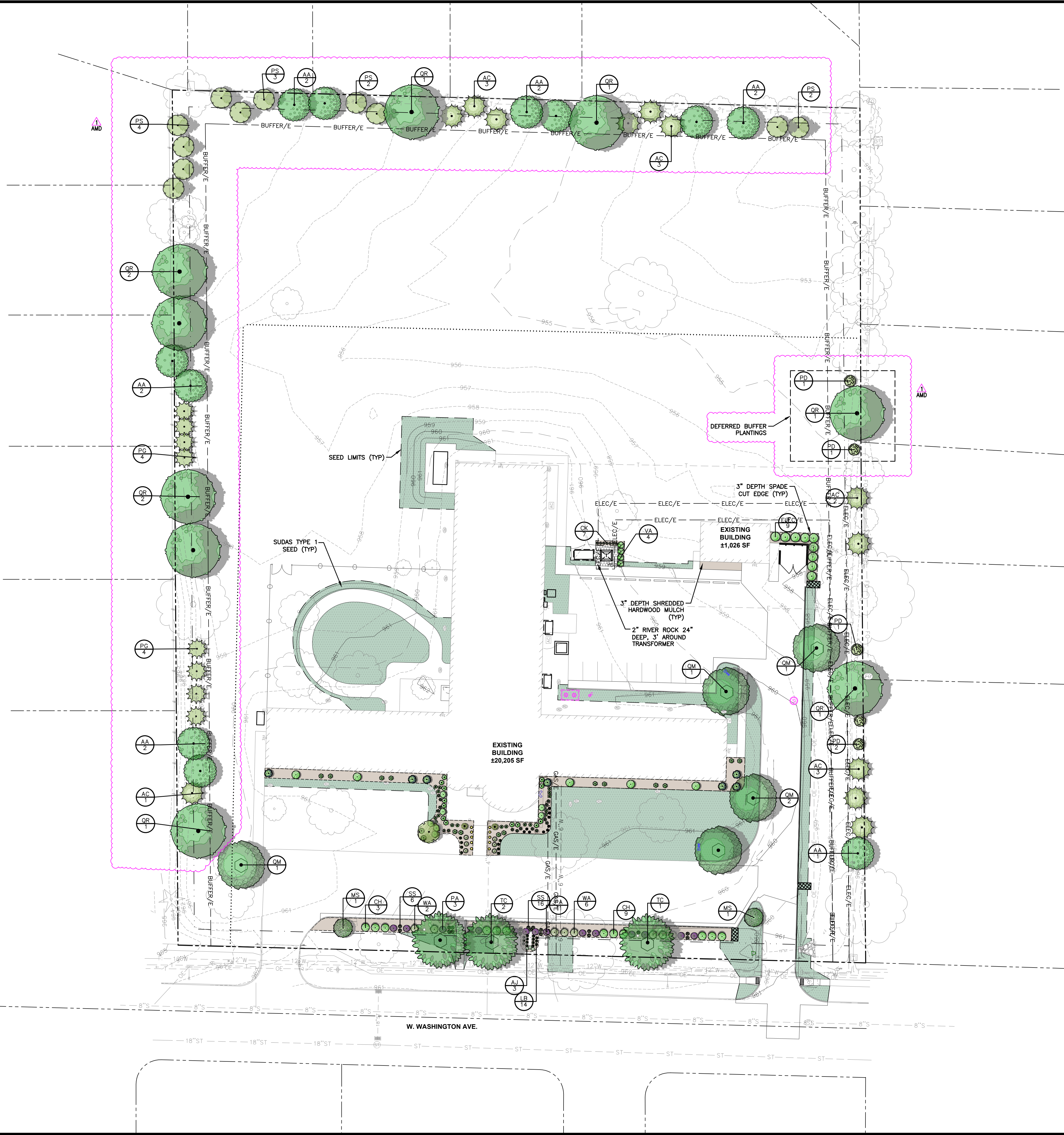
**3 METAL FLARED END SECTION AND FOOTING**  
NOT TO SCALE



**1 CORRUGATED METAL PIPE APRON**  
NOT TO SCALE

COMMENT: ENG.  
 FILE DATE: 2/2/24  
 DATE PLOTTED: 2/9/2024 10:06 AM  
 PLOTTED BY: NICOLE NEAL, TECH





**LANDSCAPE NOTES**

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- TYPE 1 SEED ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL BUFFER TREES AND PLANTINGS AND REPLACING THEM AS NECESSARY, INCLUDING EXISTING PLANT MATERIALS WITHIN THE REQUIRED BUFFER.

**LANDSCAPE REQUIREMENTS**

SITE AREA: 217,937 SF (5.00 AC.)  
 OPEN SPACE REQUIRED: 32,691 SF (15%)  
 OPEN SPACE PROVIDED: 164,386 SF (76%)

OPENSAPCE PLANTING REQUIREMENT:  
 2 TREES AND 6 SHRUBS PER 3,000 S.F. OF REQUIRED OPEN SPACE.

TREES REQUIRED: 22 TREES  
 EXISTING TREES: 17 TREES  
 PROPOSED TREES: 10 TREES  
 TOTAL PROVIDED: 27 TREES

SHRUBS REQUIRED: 65 SHRUBS  
 EXISTING SHRUBS: 36 SHRUBS  
 PROPOSED SHRUBS: 34 SHRUBS  
 TOTAL PROVIDED: 70 SHRUBS

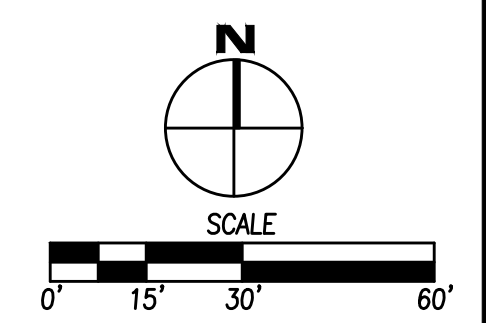
PAVEMENT SHADING REQUIREMENTS  
 DRIVEWAYS: 12,687 SF  
 PRIVATE STREETS: 12,639 SF  
 50,367 SF x 20%: 5,065 SF  
 REQUIRED 5,065/700: 8 TREES  
 PROVIDED: 8 TREES

**LEGEND**

- SUDAS TYPE 1
- 3" SHREDDED HARDWOOD MULCH
- SPADE CUT EDGE
- 2" RIVER ROCK
- SEED LIMITS
- TREES COUNTED TOWARD PAVEMENT SHADING REQUIREMENTS

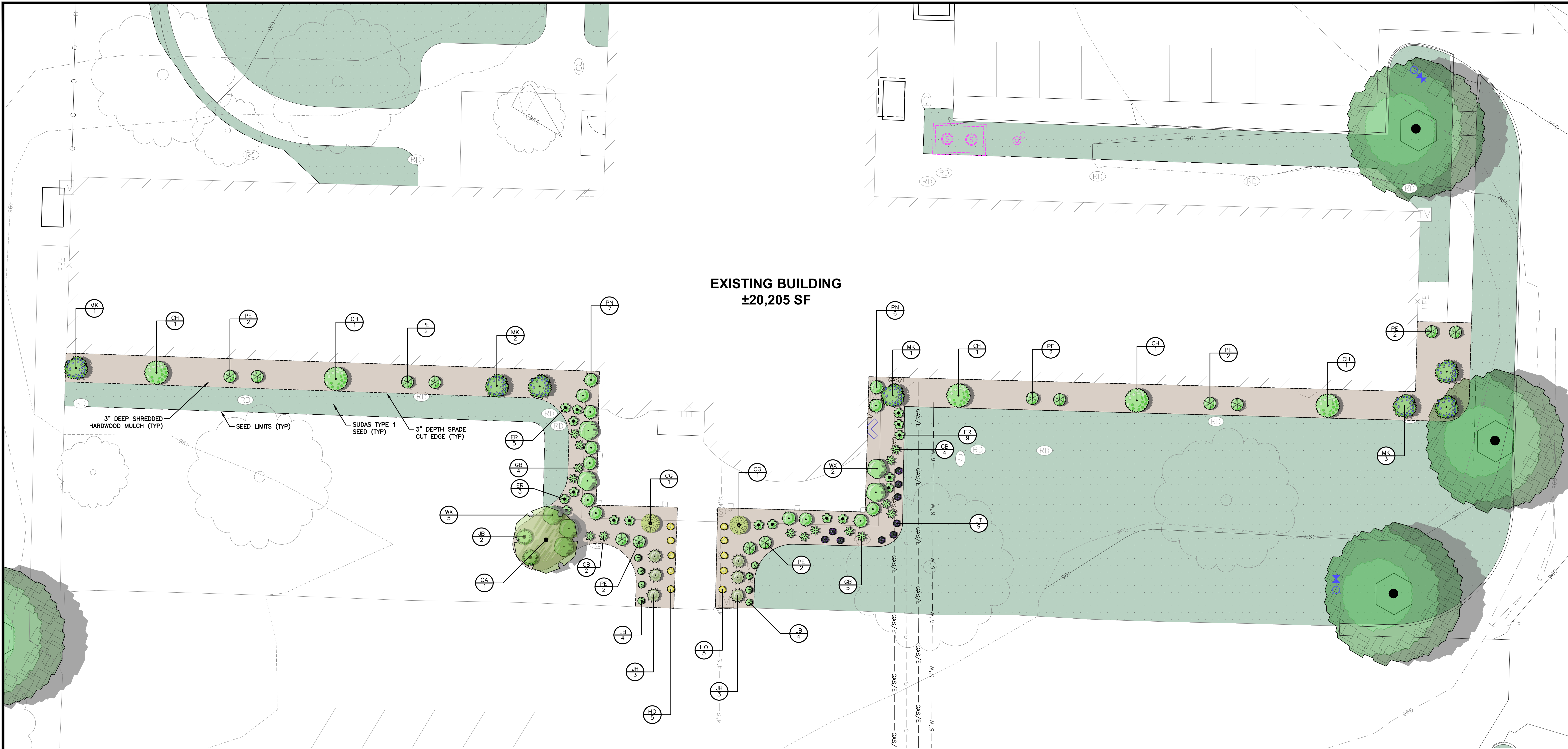
PLANT SCHEDULE SITE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
ORNAMENTAL TREES				
MS	2	Spring Snow Crabapple	Malus x 'Spring Snow'	B&B, 1.5" CALIPER
OVERSTORY TREES				
QM	5	Burr Oak	Quercus macrocarpa	B&B, 2" CALIPER
TC	3	Corinthian Littleleaf Linden	Tilia cordata 'Corzam' TM	B&B, 2" CALIPER
SHRUBS				
CH	12	Ivory Halo Dogwood	Cornus alba 'Ballhala' TM	CONT, 3 GAL
JF	9	Sea Green Juniper	Juniperus chinensis 'Sea Green'	CONT, 3 GAL
VA	4	Blue Muffin Arrowwood Viburnum	Viburnum dentatum 'Christom' TM	CONT, 3 GAL
WA	8	Wine & Roses Weigela	Weigela florida 'Alexandra' TM	CONT, 3 GAL
GRASSES				
CK	7	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	CONT, 1 GAL
LB	14	Little Bunny Fountain Grass	Pennisetum alopecuroides 'Little Bunny'	CONT, 1 GAL
SS	22	Standing Ovation Little Bluestem Grass	Schizachyrium scoparium 'Standing Ovation'	CONT, 1 GAL
ANNUALS/PERENNIALS				
AJ	3	Autumn Joy Stonecrop	Sedum spectabile 'Autumn Joy'	CONT, 1 GAL
PA	14	Russian Sage	Perovskia atriplicifolia	CONT, 1 GAL

PLANT SCHEDULE BUFFER	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
AC	12	White Fir	Abies concolor	B&B, 6" HEIGHT
PD	5	Black Hills Spruce	Picea glauca 'Densata'	B&B, 6" HEIGHT
PG	8	Blue Colorado Spruce	Picea pungens 'Glauca'	B&B, 6" HEIGHT
PS	11	White Pine	Pinus strobus	B&B, 6" HEIGHT
OVERSTORY TREES				
AA	11	Autumn Flame Red Maple	Acer rubrum 'Autumn Flame'	B&B, 2" CALIPER
QR	9	Red Oak	Quercus rubra	B&B, 2" CALIPER



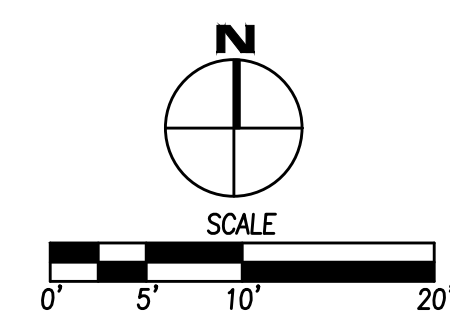


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 FILE DATE: 2/9/24  
 PLOTTED BY: NICOLE NEAL  
 COMMENT:  
 ENC.



EXISTING BUILDING  
 ±20,205 SF

PLANT SCHEDULE FRONTAGE LANDSCAPE				
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CA	1	Pagoda Dogwood	Cornus alternifolia	B&B, 6" HEIGHT
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CG	2	Golden Mop Threadleaf Sawara Cypress	Chamaecyparis pisifera 'Golden Mop'	CONT, 5 GAL
CH	5	Ivory Halo Dogwood	Cornus alba 'Baillhali' TM	CONT, 3 GAL
JB	2	Blue Chip Creeping Juniper	Juniperus horizontalis 'Blue Chip'	CONT, 5 GAL
JH	6	Hughes Creeping Juniper	Juniperus horizontalis 'Hughes'	CONT, 5 GAL
MK	7	Miss Kim Korean Lilac	Syringa patula 'Miss Kim'	CONT, 5 GAL
WX	7	Crimson Kisses® Weigela	Weigela x 'Slingco 1'	CONT, 3 GAL
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
LB	8	Little Bunny Fountain Grass	Pennisetum alopecuroides 'Little Bunny'	CONT, 1 GAL
PE	14	Purple Eulalia Grass	Miscanthus sinensis 'Purpureascens'	CONT, 5 GAL
PN	13	Northwind Switch Grass	Panicum virgatum 'Northwind'	CONT, 1 GAL
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
ER	17	Evolution™ Colorific™ Coneflower	Echinacea x 'Baleveeen'	CONT, 1 GAL
GB	15	Steffi™ Blush Pink Gaura	Gaura lindheimeri 'Blush Pink'	CONT, 1 GAL
HO	10	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	CONT, 1 GAL
LT	9	Thumbelina Leigh English Lavender	Lavandula angustifolia 'Thumbelina Leigh'	CONT, 1 GAL



DATE: 04/25/2023  
 SHEET NUMBER: L1.2  
 2301.028

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ON WITH LIFE  
 CIVIL DESIGN ADVANTAGE ENGINEER

1002 W. WASHINGTON AVE. POLK CITY, IOWA

REVISIONS  
 AMENDMENT #1  
 ADDENDUM #2  
 ADDENDUM #1

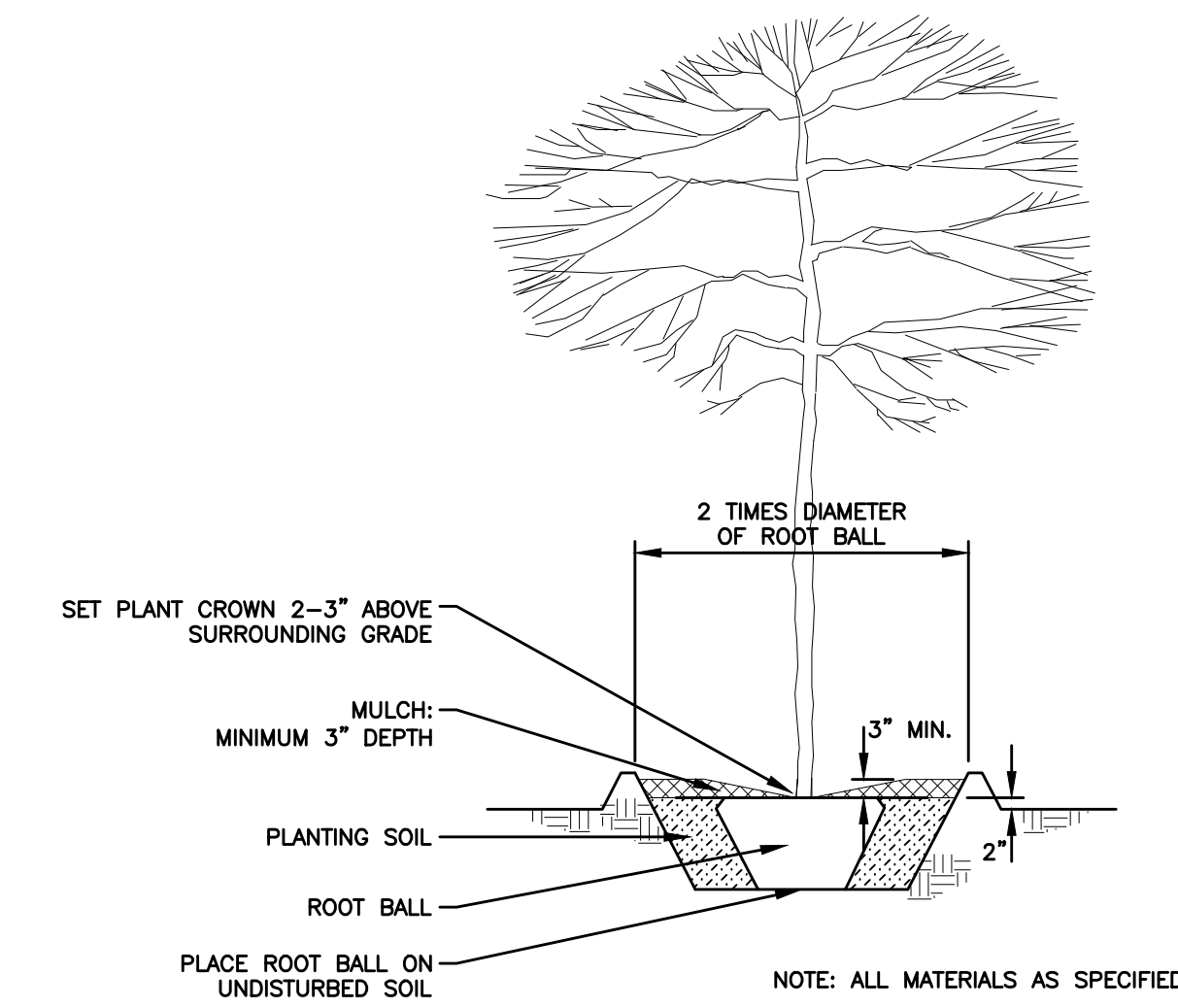
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 06/30/2023  
 05/23/2023  
 05/19/2023

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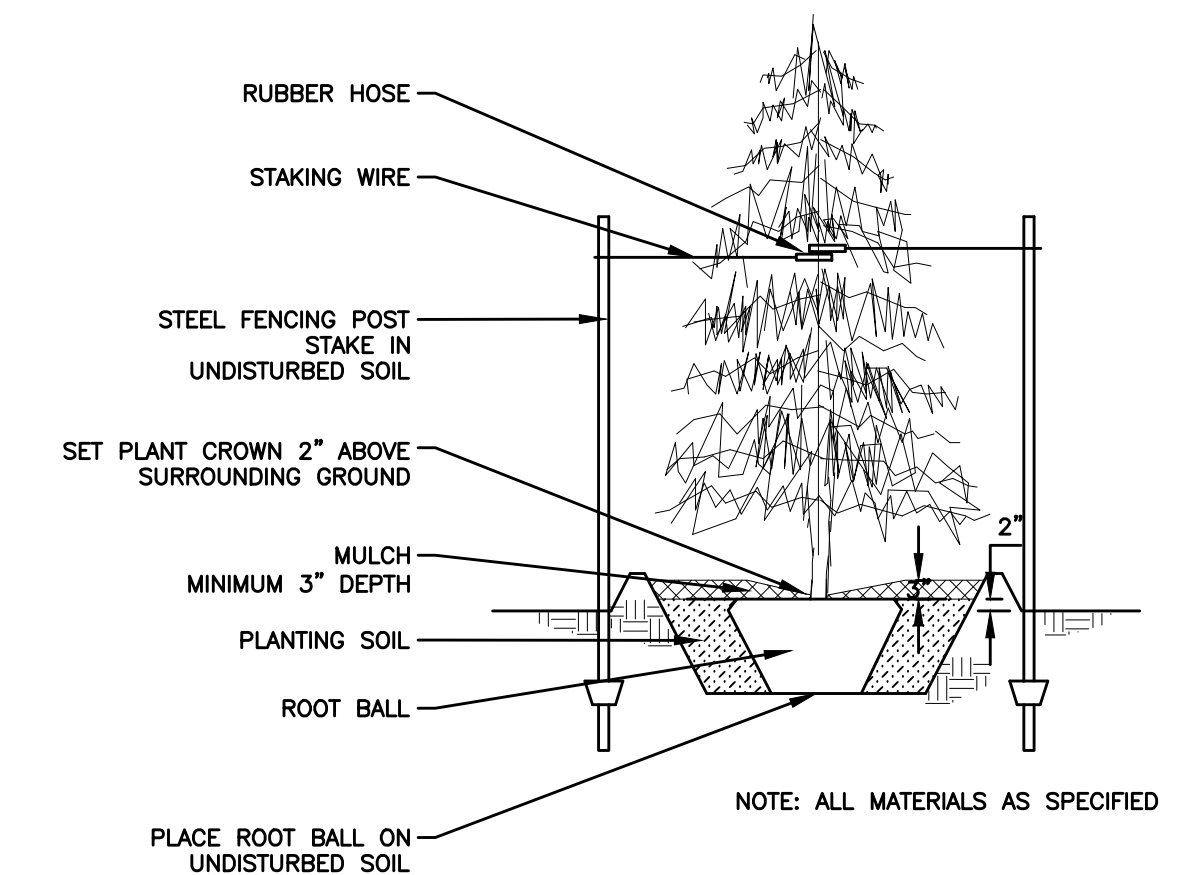


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 PLOTTED BY: NICOLE NEAL  
 COMMENT:  
 ENG.

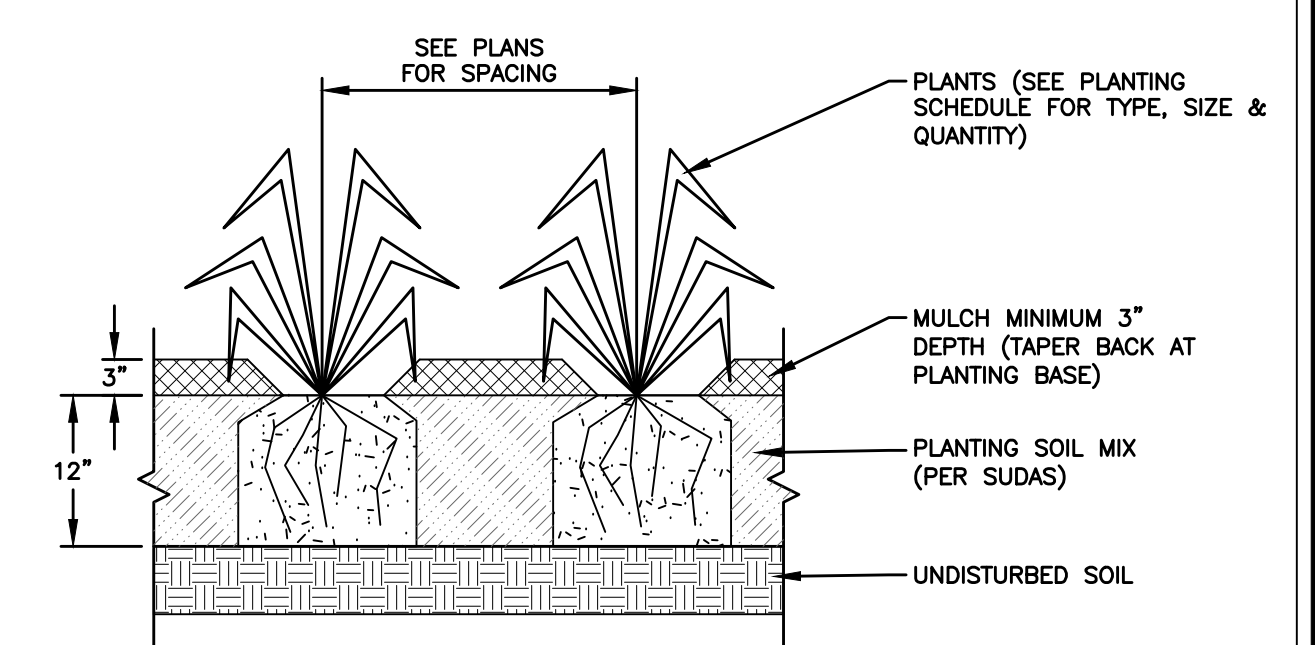
DATE: 04/25/2023  
 SHEET NUMBER:  
 L2.1  
 2301.028



**3 DECIDUOUS TREE PLANTING**  
 NOT TO SCALE



**2 CONIFEROUS TREE PLANTING**  
 NOT TO SCALE



**1 SHRUB PLANTING**  
 NOT TO SCALE

DATE	02/09/2024
REVISIONS	
AMENDMENT	
AS1 #1	
ADDENDUM #2	
ADDENDUM #1	

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ON WITH LIFE  
 LANDSCAPE ARCHITECTS & PLANNERS

POLK CITY, IOWA

1002 W. WASHINGTON AVE.

DATE: 04/25/2023  
 SHEET NUMBER:  
**L2.1**  
 2301.028

ENGINEER: DRAFTED:

CIVIL DESIGN ADVANTAGE



**RESOLUTION NO. 2024-23**

**A RESOLUTION APPROVING ON WITH LIFE PLAT OF SURVEY, AMENDED  
BUFFER EASEMENT AND AMENDED SITE PLAN**

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**WHEREAS**, the City Council of Polk City, Iowa approved a Site Plan and accompanying documents including a Buffer Easement on April 24, 2023; and

**WHEREAS**, On with Life has purchased the adjacent parcel to the property and has submitted a Plat of Survey to combine the parcels into a single parcel; and

**WHEREAS**, On with Life is requesting an amendment to the Site Plan that moves the required buffer easement and the associated plantings to the new combined parcel boundary; and

**WHEREAS**, On with Life has submitted an amended Buffer Easement that includes an associated deferral clause for the plantings adjacent to Lot 3 in Lint Heights Estates in conjunction with the Site Plan amendment; and

**WHEREAS**, on February 19, 2024 the Polk City Planning & Zoning Commission met and recommended approval of the Plat of Survey, Amended Buffer Easement and Amended Site Plan, subject to completion of the City Engineer’s review comments and recommendations being satisfactorily addressed; and

**WHEREAS**, the City Engineer has reviewed the Plat of Survey and the Amended Site Plan and accompanying documents including the amended Buffer Easement and recommends Council approval.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission, City Engineer and deems it appropriate to approve the Plat of Survey, Amended Buffer Easement and Amended Site Plan for On With Life.

**PASSED AND APPROVED** the 26 day February 2024.

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Steve Karsjen, Mayor

ATTEST:

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Jenny Coffin, City Clerk



## City of Polk City, Iowa City Council Agenda Communication

**Date:** February 20, 2024  
**To:** Mayor Karsjen & City Council  
**From:** Chief Jeremy Siepker

**Subject:** Amend Municipal Code Chapter 42 *Public and Private Property* & Chapter 105.7 – *Trespass & Illegal Dumping at City Facility*

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**BACKGROUND:** The city brush site located at the Public Works Facility is intended for use by Polk City residents only. The Police Department assists with investigating people who are suspected of illegally dumping brush, trash and junk at the facility. It was recently determined that the Municipal Code we have in place needs to be amended to better fit the offense of illegal dumping of certain items and illegal dumping by people other than Polk City residents.

The following code changes and updating the signage at the Public Works facility would allow for the Police Department to better enforce illegal dumping at the brush pile. This includes the addition of Chapter 105.7A *Illegal Dumping at City Facility* and Chapter 42.07(2)B *Trespassing* to the Municipal Code as a public offense. I am proposing the following amendments to the Municipal Code:

Chapter 105.7A *Illegal Dumping at City Facility*: No person, unless a City resident, shall discard solid waste, landscape waste, yard waste or any other item at any City owned facility. A city resident shall discard allowed materials only into areas or receptacles provided for such purpose.

Chapter 42.07(2)B *Trespassing*: Section 105.7A – Illegal Dumping at City Facility.

These changes would allow the Police Department to better enforce illegal dumping at the City Facility and enforce repercussions for persons other than city residents who illegally use any City facility.

**ALTERNATIVES:** Do not approve the listed changes to Chapter 105 and Chapter 42 of the Municipal code.

**FINANCIAL CONSIDERATIONS:** There are no financial considerations regarding these changes.

**RECOMMENDATION:** It is my recommendation that Council approve the proposed amendments to the Municipal code as written above. These changes have been drafted by the City Attorney and reviewed by the City Manager, Police Chief and Public Works Director.

**ORDINANCE NO. 2024-600**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF POLK CITY  
CONCERNING DUMPING AT CITY FACILITY**

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**BE IT ORDAINED** by the City Council of the City of Polk City, Iowa, as follows:

**Section 1.** Chapter 3, of the Polk City Code of Ordinances; Municipal Infractions, Section 3.06 Criminal Penalties, is hereby amended by inserting the following:

8. Section 42.01, Trespassing
9. Section 105.07A, Illegal Dumping at City Facility

**Section 2.** Chapter 42, of the Polk City Code of Ordinances; Public and Private Property Offenses, Section 42.07 Other Public Property Offense, is hereby amended by inserting the following:

2. B. Section 105.07A-Illegal Dumping at City Facility

**Section 3.** Chapter 105, of the Polk City Code of Ordinances; Solid Waste Control, is hereby amended by inserting the following:

**105.07A ILLEGAL DUMPING AT CITY FACILITY.** No person, unless a City resident, shall discard solid waste, landscape waste, yard waste or any other item at any City owned facility. A City resident shall discard allowed materials only into areas or receptacles provided for such purpose.

**Section 4.** All Ordinances or parts of any Ordinance in conflict with the provisions of this Ordinance are hereby repealed to the extent of the conflict.

**Section 5.** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_ of \_\_\_\_\_ 2024.

\_\_\_\_\_  
Steve Karsjen, Mayor

ATTEST:

---

Jenny Coffin, City Clerk

First Reading:

Second Reading:

Third Reading:

Date Adopted:

Date of Publication: