

Agenda -Notice of Meeting

Polk City | City Council

May 22, 2023 | 6:00 pm

City Hall Council Chambers

Public Meeting participation in person or via phone

Call in # 515-726-3598 Participant Code 535355

Public members can also provide comments* directly to support@polkcityia.gov

**any comments received before the time of the meeting will be made a part of the public hearing*

Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

Steve Karsjen | Mayor

Rob Sarchet | Pro Tem

City Council Members: Jeff Walters | Dave Dvorak | Mandy Vogel | Ron Anderson

1. Call to Order

2. Roll Call

3. Approval of Agenda

4. Public Hearings:

- a. Public Hearing on proposed Amendment to the FY 22/23 Budget
 - i. Resolution 2023-63 approving FY 22/23 Budget Amendment

5. Public Comments: *This is the time and place for comments for any item other than those that are a Public Hearing. If you wish to speak, please contact the City Clerk by 6pm on the date of the meeting by email at jcoffin@polkcityia.gov include your name and address for the record. The Mayor will recognize you for five minutes of comment.*

6. Consent Items

- a. City Council Meeting Minutes for May 8, 2023
- b. City Council Work Session Meeting Minutes with Parks Commission for May 8, 2023
- c. Receive and file the Planning & Zoning Commission Meeting Minutes for May 15, 2023
- d. Claims listing May 22, 2023
- e. April 2023 Finance Report
- f. Receive and file the April 2023 Police Department Report
- g. Special Events Application for Polk City American Legion Summer Bike Nights fundraiser for Holiday for Heroes with street closure of 1st street between Broadway and Van Dorn on June 9, July 14, August 11, September 8 from 4p-9p
- h. FY 23 Budgeted Painting of Street Markings in the amount of \$18,723.37
- i. FY 23 Sports Complex Infield replacement Project in the amount of \$15,000
- j. Set pay for the following Parks & Recreation Seasonal Employees
 - Recreation Assistant I, Elizabeth Grell, \$12 per hour
 - Recreation Assistant I, Tanner Ramsey, \$12 per hour
 - Recreation Assistant II, Sara Gilbreath, \$13 per hour
 - Parks & Recreation Intern, Madison Major, \$14 per hour
- k. Set pay increase for Meri Merritt, Deputy City Clerk at \$27.50 per hour effective May 29, 2023
- l. Set pay for new hire Devin Quindel, Billing Clerk at \$24.75 per hour contingent upon successful completion of background check

- m. Resolution 2023-64 approving Change Order No. 3 for the N. 3rd Street & Vista Lake Avenue Intersection Improvements Project in the amount of \$8,770.00
- n. Resolution 2023-65 approving Partial Payment Application No. 11 for the N. 3rd Street & Vista Lake Avenue Intersection Improvements Project in the amount of \$46,718.82

7. Business Items

- a. Ace Hardware
 - i. Resolution 2023-66 approving Plat of Survey
 - ii. Resolution 2023-67 approving Site Plan
- b. Lakeside Commercial Plat 1
 - i. Resolution 2023-68 approving Preliminary Plat
 - ii. Resolution 2023-69 approving Final Plat including Record of Lot Tie and SWMF Maintenance Covenant
- c. Resolution 2023-70 authorizing real estate purchase agreement in the amount of \$200,000
- d. Resolution 2023-71 authorizing real estate purchase agreement in the amount of \$140,000
- e. First Reading of Ordinance 2023-9000 amending Chapter 92, Water Rates, Section 92.02, Rates for service
- f. First Reading of Ordinance 2023-9100 amending Chapter 99, Section 99.02, Sewer Service Charges
- g. Resolution 2023-72 amending fees charged for solid waste and recycling
- h. First Reading of Ordinance 2023-6000 amending Chapter 157 Site Plan
 - i. *Optional* Waive Second and Third Reading
- i. Third Reading of Ordinance 2023-8000 consolidating the current U-1 to GF zoning districts into a new GF-1 zoning district
- j. Special Event Application for Go Polk City's Four Seasons Festival
 - i. Four Seasons Festival July 14 from 12 noon to 12 midnight and July 15 from 7 am to 12 midnight for activities on the Town Square
 - ii. Waive the Noise Control Ordinance, Chapter 52, July 14 and 15 from 12 noon to 12 midnight both days
 - i. Street Closures from July 14 at 6 am to July 16 at 9am as follows:
 - Broadway starting east of 3rd Street and ending through 1st Street intersection
 - 2nd Street from E. Broadway to Wood St
 - Van Dorn St starting east of the 3rd Street and ending through 1st Street intersection
 - ii. Street closures from July 15 from 8am to 8pm as follows:
 - 3rd Street south of Broadway to Wood St
 - iii. Four Seasons Festival Parade July 15 at 10am with street closures from 9a to 12p as follows:
 - Washington from Parker to Tyler
 - Tyler from Washington to Broadway
 - Broadway from Tyler to 2nd Street
 - 3rd St from Broadway to Church St

8. Reports & Particulars

Mayor, Council, City Manager, Staff, Boards, and/or Commissions

9. Adjournment

--next meeting date June 12, 2023



City of Polk City, Iowa

City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: Public hearing & Resolution to approve FY23 budget amendment #2

BACKGROUND: On Monday, the City Council will hold a public hearing for a budget amendment for the Fiscal Year 23 (July 1, 2022-June 30, 2023). The proposed amendment includes amending for \$302,000 in revenue, and \$350,600 in expenditures. The City plans to utilize some fund balance cash to offset the additional expenses proposed in the amendment. Explanation for each adjustment is as follows:

Revenue:

1. Amend for TIF revenue in the amount of \$42,000. We certified a higher amount than what was included in the budget, mainly due to the Deerhaven Urban Renewal Area.
2. Amend for grants for the Pocket Park project in the amount of \$20,000
3. Amend for donations for the Pocket Park project in the amount of \$20,000
4. Amend for State Revolving Loan in the amount of \$150,000 for financing for the water tower project
5. Amend for transfers in, totaling \$70,000

Expenses:

1. Amend for fire & rescue pay in the amount of \$20,000
2. Amend for fire overtime/shift pay in the amount of \$10,000
3. Amend for land purchase in the amount of \$110,000 for the land purchase from T&L Properties
4. Amend for principal/TIF bonds in the amount of \$48,000 for rebate payments
5. Amend for technology services in the amount of \$2,600
6. Amend for pocket park expenses in the amount of \$40,000
7. Amend for water tower planning expenses in the amount of \$50,000
8. Amend for transfers out, totaling \$70,000

ALTERNATIVES: Do not approve the budget amendment.

FINANCIAL CONSIDERATIONS: The financial considerations for this amendment are additional expenditures in the amount of \$48,600. The largest, unplanned for expense is the City's purchase of the property behind the Polk City Pub building. For year ending, June 30, 2023, the City's General Fund will have a negative balance due to this purchase, however, the City Council is using reserves for the purchase.

RECOMMENDATION: It is my recommendation that the Council approve budget amendment #2 for fiscal year ending June 30, 2023.

CITY BUDGET AMENDMENT AND CERTIFICATION RESOLUTION - FY 2023 - AMENDMENT # 2

To the Auditor of POLK County, Iowa:

The City Council of POLK CITY in said County/Counties met on 05/22/2023 06:00 PM, at the place and hour set in the notice, a copy of which accompanies this certificate and is certified as to publication. Upon taking up the proposed amendment, it was considered and taxpayers were heard for and against the amendment.

The Council, after hearing all taxpayers wishing to be heard and considering the statements made by them, gave final consideration to the proposed amendment(s) to the budget and modifications proposed at the hearing, if any. Thereupon, the following resolution was introduced.

RESOLUTION No. 2023-63

A RESOLUTION AMENDING THE CURRENT BUDGET FOR FISCAL YEAR ENDING JUNE 2023

(AS LAST CERTIFIED OR AMENDED ON 11/14/2022)

Be it Resolved by the Council of City of POLK CITY

Section 1. Following notice published/posted 05/12/2023 and the public hearing held 05/22/2023 06:00 PM the current budget (as previously amended) is amended as set out herein and in the detail by fund type and activity that supports this resolution which was considered at the hearing:

REVENUES & OTHER FINANCING SOURCES		Total Budget as Certified or Last Amended	Current Amendment	Total Budget After Current Amendment
Taxes Levied on Property	1	3,432,536	0	3,432,536
Less: Uncollected Delinquent Taxes - Levy Year	2	0	0	0
Net Current Property Tax	3	3,432,536	0	3,432,536
Delinquent Property Tax Revenue	4	0	0	0
TIF Revenues	5	584,409	42,000	626,409
Other City Taxes	6	1,033,078	0	1,033,078
Licenses & Permits	7	479,499	0	479,499
Use of Money & Property	8	166,550	0	166,550
Intergovernmental	9	1,191,000	0	1,191,000
Charges for Service	10	4,471,400	0	4,471,400
Special Assessments	11	0	0	0
Miscellaneous	12	151,867	40,000	191,867
Other Financing Sources	13	2,825,750	150,000	2,975,750
Transfers In	14	1,762,278	70,000	1,832,278
Total Revenues & Other Sources	15	16,098,367	302,000	16,400,367
EXPENDITURES & OTHER FINANCING USES				
Public Safety	16	2,737,676	30,000	2,767,676
Public Works	17	615,518	0	615,518
Health and Social Services	18	2,000	0	2,000
Culture and Recreation	19	843,005	2,600	845,605
Community and Economic Development	20	416,009	48,000	464,009
General Government	21	601,185	110,000	711,185
Debt Service	22	932,930	0	932,930
Capital Projects	23	5,071,750	90,000	5,161,750
Total Government Activities Expenditures	24	11,220,073	280,600	11,500,673
Business Type/Enterprise	25	3,952,501	0	3,952,501
Total Gov Activities & Business Expenditures	26	15,172,574	280,600	15,453,174
Transfers Out	27	1,762,278	70,000	1,832,278
Total Expenditures/Transfers Out	28	16,934,852	350,600	17,285,452
Excess Revenues & Other Sources Over (Under) Expenditures/Transfers Out	29	-836,485	-48,600	-885,085
Beginning Fund Balance July 1, 2022	30	8,989,974	0	8,989,974
Ending Fund Balance June 30, 2023	31	8,153,489	-48,600	8,104,889

Explanation of Changes: Polk City received unexpected Grants and Donations for a small Capital Project. The City's additional revenue and expenses incurred were the result of the planning necessary for a large capital project and a land purchase.

05/22/2023

City Clerk/Administrator Signature of Certification

Adopted On

Mayor Signature of Certification

MEETING MINUTES
The City of Polk City
City Council Meeting
6:00 p.m. May 8, 2023
City Hall – Council Chambers

Polk City, City Council held a meeting in the City Hall Council Chambers with public participation in person and via phone at 6:00 p.m., May 8, 2023. The agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Mayor Karsjen called the meeting to order at 6:00 p.m.
2. **Roll Call** | Walters, Dvorak, Sarchet, Vogel, Anderson | In attendance
3. **MOTION:** A motion was made by Walters and seconded by Anderson to approve the agenda
MOTION CARRIED UNANIMOUSLY
4. **Public Hearings:**
 - a. Mayor Karsjen opened the Public Hearing on a proposed Development Agreement at 6:01 pm. City Manager Huisman said that the notice was published April 28, 2023, and City Clerk Coffin said no comments had been received for or against the proposed agreement. City Manager Huisman provided a report on the agreement. No one was present to be heard for or against the proposed development agreement.
MOTION: A motion was made by Sarchet and seconded by Vogel to close the public hearing at 6:03 pm.
MOTION CARRIED UNANIMOUSLY
 - i. **MOTION:** A motion was made by Vogel and seconded by Dvorak to approve Resolution 2023-60 approving Development Agreement with Antler Ridge, LLC for the Development of Sanitary Sewer
MOTION CARRIED UNANIMOUSLY
5. **Public Comments** | Ken Morse, 1308 Westside Drive addressed Mayor and Council regarding proposed Ordinance 2023-6000 sharing his concern regarding the architectural standards for agricultural farm areas.
6. **Consent Items** |
 - a. City Council Meeting Minutes for April 24, 2023
 - b. Claims listing May 8, 2023
 - c. Twelve months Liquor License for Kum & Go #135 effective July 1, 2023
 - d. City Hall closed for RAGBRAI on July 26, 2023
 - e. Resolution 2023-61 setting Public Hearing on an amendment to the FY 22/23 City Budget
 - f. Twelve-month Tobacco permit for Kwik Star #1089 effective July 1, 2023
 - g. FY 23/24 budgeted Trailer purchase for Public Works in the amount of \$17,375
 - h. Block Party May 26 from 5:30 pm-10 pm in the 600-800 block of Pelican Drive
 - i. FY 23/24 budgeted Public Works Pickup Truck purchase in the amount of \$125,147
 - j. Receive and file the May 1, 2023 Library Board Meeting Minutes
 - k. Receive and file the April 2023 Library Director Report
 - l. Acknowledge Library Policy – Reconsideration of Materials
 - m. Acknowledge Library Policy – Collection Development
 - n. FY 23/24 budgeted purchase for water meters in bulk in the amount of \$99,400
 - o. Receive and file the April 2023 Parks & Recreation Department Report
 - p. Receive and file the April 2023 Fire Department Report
 - q. Twelve-month Tobacco permit for Fareway Stores, Inc. #137 effective July 1, 2023
 - r. Receive and file the April 2023 Water Report
 - s. Set pay for new Police Officer, Craig Garrison at \$26.21/hr pending completion of MMPI evaluation and pre-employment physical, and upon completion of the academy he will move to \$28.55/hr
 - t. Resolution 2023-62 approving the Application for Partial Payment No. 3 for the Fire Station Remodel Project in the amount of \$43,700
 - u. Twelve-month Tobacco permit for Casey's #1144 effective July 1, 2023

MOTION: A motion was made by Anderson and seconded by Vogel to approve the consent agenda items
MOTION CARRIED UNANIMOUSLY

7. Business Items

- a. **MOTION:** A motion was made by Vogel and seconded by Sarchet to approve the Second Reading of Ordinance 2023-8000 consolidating the current U-1 and GF zoning districts into a new GF-1 zoning district
MOTION CARRIED UNANIMOUSLY
- b. **NO MOTION was made:** Third Reading of Ordinance 2023-6000 amending Chapter 157 Site Plan
DIED FOR LACK OF MOTION
- c. **MOTION:** A motion was made by Dvorak and seconded by Vogel to approve Snyder & Associates March 2023 Engineering Services Invoice in the amount of \$43,153.25
YES: Vogel, Anderson, Dvorak, Sarchet
ABSTAIN: Walters
MOTION CARRIED

8. Mayor Proclamations

Mayor Karsjen proclaimed National Police Week May 14-20, 2023
Mayor Karsjen proclaimed Emergency Medical Services (EMS) Week May 21-27, 2023
Mayor Karsjen proclaimed National Public Works Week May 21-27, 2023

9. Reports & Particulars | Mayor, Council, City Manager, Staff, Boards, and/or Commissions

- Council Member Anderson shared a compliment from a resident that appreciated the care received on a ride with EMS last Friday, saying they did a job well done, they were professional, and Polk City is lucky to have them.
- Parks & Recreation Director Thraen thanked everyone involved with the Earth Day celebration from the Friends of the Parks 5K to the Members of the Parks Commission Trash Bash events.
- City Manager Huisman announced the City's new Soil Quality Restoration program. Mailers will be sent out next week and residents are encouraged to apply.
- Mayor Karsjen asked for volunteers to sign up to help work RAGBRAI.

10. Adjournment

MOTION: A motion was made by Anderson and seconded by Vogel to adjourn at 6:46 pm.
MOTION CARRIED UNANIMOUSLY

Next Meeting Date –May 22, 2023

Steve Karsjen, Mayor

Attest

Jenny Coffin, City Clerk

MEETING MINUTES
The City of Polk City
Work Session
5:00 p.m., Monday, May 8, 2023

A Council Work Session was held jointly with the Parks Commission on May 8, 2023 at 5:00 p.m. at the City Hall Council Chambers in Polk City, Iowa.

Mayor and City Council Members Present:

Steve Karsjen | Mayor
Rob Sarchet | Pro Tem
Jeff Walters | City Council Member
Dave Dvorak | City Council Member
Mandy Vogel | City Council Member
Ron Anderson | City Council Member

Parks Commission Members Present:

Ashley Delaney | Parks Commission Member
Nick Otis | Parks Commission Member
Monica Converse | Parks Commission Member
Kelly Haaland | Parks Commission Member (via phone)
Jeff Savage | Parks Commission Member
Darren Ten-Napel | Parks Commission Member

Staff Members Present:

Chelsea Huisman | City Manager
Jenny Coffin | City Clerk/Treasurer
Jason Thraen | Parks & Recreation Director

Parks Commission Members Absent:

Larry Jablonski | Parks Commission

Minutes

Parks Commission Members introduced themselves including their backgrounds and enthusiasm for parks volunteerism.

Parks Commission Chair Delaney asked Council for clarification on the roles and responsibilities expected of the Parks Commission Members. The Commission indicated they are interested in a greater role with the City Council as they work to make positive impacts on the community. The Commission and Council discussed ideas on how to facilitate and move forward to be successful.

Parks Commission Chair Delaney said the commission would like more feedback on the actionable items recommended by the Parks Commission. Parks & Recreation Director Thraen asked for feedback on his monthly and quarterly reports to the Parks Commission.

City Manager Huisman reviewed the Regional Park status and the multi-phase Trail Project timeline.

Mayor thanked the Parks Commission for sharing feedback and contributing to a productive dialogue.

Motion was made by Sarchet and seconded by Dvorak to Adjourn at 5:56 p.m.

Motion carried Unanimously

Steve Karsjen, Mayor

Jenny Coffin, City Clerk

MEETING MINUTES
The City of Polk City
Planning and Zoning Commission
6:00 p.m., Monday, May 15, 2023

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on May 15, 2023, in City Hall Council Chambers.

The agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Chair Triplett called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Bowersox, Vogel, Triplett, Ohlfest, Sires | In attendance
Pringnitz | Absent
3. **Approval of Agenda**
MOTION: A motion was made by Bowersox and seconded by Vogel to approve the agenda.
MOTION CARRIED UNANIMOUSLY
4. **Public Comments** | None
5. **Approval of Meeting Minutes**
MOTION: A motion was made by Hankins and seconded by Ohlfest to approve P&Z Commission Meeting Minutes for April 17, 2023.
MOTION CARRIED UNANIMOUSLY
6. **Ace Hardware**
Erin Ollendike, with Civil Design Advantage provided a project report on behalf of Ace Hardware and Kimberley Development Corporation regarding the plat of survey and site plan details. City Engineer Representative, Travis Thornburgh provided clarification on allowed storage based on the proposed Site Plan.
The following persons made comments to the Commission:
Jeff Taylor, 104 Hickory Way
Brandon Converse, Go Polk City Board Member, and resident address 306 Tradition Drive
Wayne Nikolish, 809 Pinehurst Way
Fred Matsol, 833 Pinehurst Way
Debra Johnson, 208 Hickory Way
Written comments were provided to the Commission from Evan Girdner, Board member of HOA for Crossroads at the Lakes Plat 1, and resident address 821 Pinehurst Way
Travis Thornburgh, City Engineer representative, provided additional information regarding the private streets, traffic and the City's Access Management Plan.
Jordan Kramer, CFO Kimberly responded to questions regarding the HOA agreement and responsibilities. He also indicated that the project start date would be as soon as possible once construction drawings are submitted to the City and approved with an estimated project completion date of December 1, 2023
Council Member Dvorak spoke regarding the HOA indicating it is a private agreement that the City has no jurisdiction over.
Commission members discussed the site plan and made comments.
MOTION: A motion was made by Hankins and seconded by Vogel to recommend Council approve Plat of Survey and Site Plan for Ace Hardware subject to Engineering and Staff comments dated May 12, 2023.
MOTION CARRIED UNANIMOUSLY
7. **Reports & Particulars** | None
8. **Adjournment**
MOTION: A motion was made by Bowersox and seconded by Ohlfest to adjourn at 6:41 p.m.
MOTION CARRIED UNANIMOUSLY
Next Meeting Date – Monday June 19, 2023

Attest:

Jenny Coffin - City Clerk

CLAIMS REPORT		
CITY OF POLK CITY	DATED	5/22/2023
911 CUSTOM	FLEX BADGE 352	\$ 37.00
A-D DISTRIBUTING CO. INC.	FLAGS	\$ 632.00
ACCUJET LLC	CAMERA WORK TO FIND SERVICE LI	\$ 4,132.18
Acme Tools	IMPACT TOOL	\$ 219.00
ALEX DELANEY	ENGINE OIL	\$ 17.52
ALL SEASONS VET CARE	TNR FEMALE	\$ 225.00
Amazon	DELANEY BOOTS	\$ 290.82
ARDICK EQUIPMENT CO.	SIGNS	\$ 184.00
BAKER & TAYLOR	BOOKS	\$ 130.43
Boland Recreation	PLAYGROUND RESURFACING	\$ 3,200.00
BUSINESS PUBLICATIONS CORP	PUBLICATIONS	\$ 109.44
CANINE TACTICAL	K9 TRAINING	\$ 250.00
CAPITAL SANITARY SUPPLY	CLEANING SUPPLIES	\$ 53.88
CHELSEA HUISMAN	REIMBURSEMENT FOR TRAVEL EXPEN	\$ 23.67
CITY OF DES MOINES	WRA HOOK-UP	\$ 30,922.05
CITY OF POLK CITY	UBASSISTANCE 2258005	\$ 485.74
DES MOINES AREA COMM.COLLEGE	EMS CLASS MATT REETZ	\$ 1,138.00
Des Moines Water Works	MAIN BREAK AT LYNDALE/FORREST	\$ 2,692.00
Fire Service Training Bureau	FIRE INVESTIGATION BOOKS	\$ 488.00
GALL'S INC.	CLASS A COAT CHIEF	\$ 582.39
Gurnsey Electric Co	SIREN MAINTENANCE	\$ 2,523.13
HACH COMPANY	WATER DEPARTMENT SUPPLIES	\$ 1,139.31
HOTSY CLEANING SYSTEMS INC.	HOTSY MAINTENANCE	\$ 292.30
IA DEPT OF INSPECTIONS	RAGBRAI	\$ 50.00
JENNY COFFIN	GCMOA REIMBURSEMENT	\$ 34.95
JOHNSON EXCAVATING, INC.	214 S 3RD DEMO/REMOVAL	\$ 11,000.00
Keck Energy	FUEL	\$ 1,571.40
LINDE GAS & EQUIPMENT INC	OXYGEN	\$ 893.66
MATTHEW STERN	EMT SCHOOL REIMBURSEMENT	\$ 1,584.76
MCCLURE ENGINEERING COMPANY	APRIL SERVICES	\$ 19,820.00
MERCYONE NORTH PHARMACY	RX SUPPLIES	\$ 18.38
METRO WASTE AUTHORITY	CONTRACT MANAGEMENT APRL	\$ 23,075.85
MIDAMERICAN ENERGY	ELECTRIC CHARGES	\$ 11,784.36
NAGLE SIGNS	PARK SIGN	\$ 3,509.81
NELSON AUTOMOTIVE	REPAIR PARTS	\$ 87.56
NEXTIVA	CITY PHONE SERVICE	\$ 672.29
OVERDRIVE INC	DIGITAL BOOK	\$ 616.80
PFM FINANCIAL ADVISORS	PFM CONTINUING DICLOSURE	\$ 2,250.00
POLK COUNTY TREASURER	BLOOD DRAW	\$ 150.00
REDWOOD BUILDERS LLC	REFUND IRRIGATION METERS	\$ 2,350.00
RELIANT FIRE APPARATUS	R458 H2O TANK SENSOR	\$ 613.56
SCOTT'S AUTOGLASS	VEHICLE REPAIRS	\$ 635.00
SHERWIN WILLIAMS	STREET MARKING PAINT	\$ 2,564.40
STEW HANSEN	AC- 24	\$ 960.90
UPHDM OCCUPATIONAL MEDICINE	PRE-EMPL DRUG TESTING	\$ 87.75
VERIZON WIRELESS	PHONE AND DATA PLAN	\$ 369.05
ACCOUNTS PAYABLE TOTAL		\$ 134,468.34
GENERAL		\$ 56,325.03
ROAD USE		\$ 5,791.05
L.M.I		\$ 485.74
CITY FACILITIES TOTAL		\$ 11,097.18
CAPITAL WATER PROJECT		\$ 19,820.00
WATER		\$ 12,659.56
SEWER		\$ 5,153.94
SOLID WASTE/RECYCLING		\$ 23,075.85
STORM WATER UTILITY		\$ 59.99
TOTAL FUNDS		\$ 134,468.34



POLK CITY - A City For All Seasons -

Monthly Finance Report

April 2023

Prepared By:

Jenny Coffin
City Clerk/Treasurer

ACCOUNT TITLE	LAST REPORT END BALANCE	RECEIVED	DISBURSED	CHANGE IN LIABILILTY	ENDING BALANCE
001 GENERAL	3,350,063.26	1,339,119.99	223,036.90	159.03-	4,465,987.32
110 ROAD USE	521,013.63	62,093.39	26,009.48	2.64	557,100.18
111 I-JOBS	.00	.00	.00	.00	.00
121 LOCAL OPTION SALES TAX	1,992,311.48	68,866.28	.00	.00	2,061,177.76
125 TIF	432,399.83	248,310.84	.00	.00	680,710.67
135 L.M.I	1,167,409.94	.00	449.43	.00	1,166,960.51
167 PC COMM. LIB TRUST	11,789.34	.00	.00	.00	11,789.34
177 ASSET FORFEITURE	18,716.81	.00	.00	.00	18,716.81
200 DEBT SERVICE	218,249.51	283,182.65	.00	.00	501,432.16
301 CITY FACILITIES TOTAL	4,512,825.33	.00	162,469.25	.00	4,350,356.08
302 CAPITAL WATER PROJECT	578,567.60	.00	59,368.75	.00	519,198.85
303 CAPITAL EQUIPMENT/VEHIC	220,362.70-	5,797.79	.00	.00	214,564.91-
304 FOUR SEASONS PUB IMPROV	32,992.00	.00	.00	.00	32,992.00
305 NORTHSIDE DRIVE PROJECT	.00	.00	.00	.00	.00
306 TRAIL PROJECTS	.00	.00	.00	.00	.00
307 STREET PROJECTS	.00	.00	.00	.00	.00
600 WATER	1,741,527.27	99,286.05	77,232.59	2.64	1,763,583.37
610 SEWER	1,356,420.56	155,593.29	66,972.45	2.66	1,445,044.06
670 SOLID WASTE/RECYCLING	36,884.07	32,005.62	550.00	.00	68,339.69
740 STORM WATER UTILITY	168,903.73	8,017.44	.00	.00	176,921.17
920 ESCROW	.00	.00	.00	.00	.00
Report Total	15,919,711.66	2,302,273.34	616,088.85	151.09-	17,605,745.06

BANK CASH REPORT
2023

BANK FUND	BANK NAME	MARCH CASH BALANCE	APRIL RECEIPTS	APRIL DISBURSMENTS	APRIL CASH BALANCE	OUTSTANDING TRANSACTIONS	APR BANK BALANCE
Grinnell State Bank BK#1							
BANK	Grinnell State Bank BK#1						12,645,460.66
001	CHECKING - GENERAL	820,079.42-	1,339,548.62	223,801.57	295,667.63	32,856.76	
110	CHECKING - ROAD USE	521,013.63	62,093.39	26,006.84	557,100.18	6,703.64	
111	CHECKING - I-JOBS	0.00	0.00	0.00	0.00		
112	CHECKING - EMPLOYEE BENEFIT	0.00	0.00	0.00	0.00		
121	CHECKING - LOCAL OPTION	1,992,311.48	68,866.28	0.00	2,061,177.76		
125	CHECKING - TIF	432,399.83	248,310.84	0.00	680,710.67		
135	CHECKING - L.M.I.	448,367.08	0.00	449.43	447,917.65		
167	CHECKING - PC COMM. LIB TRUST	11,789.34	0.00	0.00	11,789.34		
177	CHECKING - FORFEITURE	18,716.81	0.00	0.00	18,716.81		
200	CHECKING - DEBT SERVICE	218,249.51	283,182.65	0.00	501,432.16		
301	CHECKING - CAPITAL PROJECT	4,512,825.33	0.00	162,469.25	4,350,356.08	30,969.42	
302	CHECKING - CAPITAL WATER PROJ	578,567.60	0.00	59,368.75	519,198.85	10,650.00	
303	CHECKING - CAP EQUIP/VEHICLE	220,362.70-	5,797.79	0.00	214,564.91-		
304	CHECKING	32,992.00	0.00	0.00	32,992.00		
305	CHECKING	0.00	0.00	0.00	0.00		
306	CHECKING	0.00	0.00	0.00	0.00		
307	CHECKING	0.00	0.00	0.00	0.00		
600	CHECKING - WATER UTILITY	1,741,526.27	109,005.64	86,949.54	1,763,582.37	21,334.94	
610	CHECKING - SEWER UTILITY	1,356,419.56	157,066.35	68,442.85	1,445,043.06	40,517.35	
670	CHECKING-SOLID WASTE/RECYCLING	36,884.07	32,171.50	715.88	68,339.69		
740	CHECKING	168,903.73	8,067.48	50.04	176,921.17		
920	CHECKING - ESCROW BANK ACCOUNT	0.00	0.00	0.00	0.00		
	PENDING CREDIT-CARD DEPOSITS					205,684.40	
	DEPOSITS					14,661.56	
Grinnell State Bank TOTALS		11,030,524.12	2,314,110.54	628,254.15	12,716,380.51	77,313.85-	12,639,066.66

11/2023 Transaction cleared on statement was entered in a future period. 672.29-
 4/28/2023 Calculated Statement Balance 12,644,788.37

LUANA SAV. BK MM BK#2							
BANK	LUANA SAV. BK MM BK#2						78,673.22
001	Luana Savings Bank - M.M. Acco	640,534.26-	165.62	0.00	640,368.64-		
135	Luana Money Market Account	719,041.86	0.00	0.00	719,041.86		
LUANA SAV. BK MM TOTALS		78,507.60	165.62	0.00	78,673.22	0.00	78,673.22

GRINNELL STATE BK- C.D. BK#3							
BANK	GRINNELL STATE BK- C.D. BK#3						1,550,000.00
001	GRINNELL STATE BANK CD	1,550,000.00	0.00	0.00	1,550,000.00		
GRINNELL STATE BK- C.D. TOTALS		1,550,000.00	0.00	0.00	1,550,000.00	0.00	1,550,000.00

**BANK CASH REPORT
2023**

BANK FUND	BANK NAME	BK#	MARCH CASH BALANCE	APRIL RECEIPTS	APRIL DISBURSMENTS	APRIL CASH BALANCE	OUTSTANDING TRANSACTIONS	APR BANK BALANCE
	GRINNELL STATE BK-MM	BK#4						
BANK 001	GRINNELL STATE BK-MM SUPER MONEY MKT II	BK#4	10,240.94	11.39	0.00	10,252.33		10,252.33
	GRINNELL STATE BK-MM TOTALS		10,240.94	11.39	0.00	10,252.33	0.00	10,252.33
	LUANA SAVINGS BANK CD	BK#6						
BANK 001	LUANA SAVINGS BANK CD LUANA BANK C.D.-1.85%	BK#6	3,250,000.00	0.00	0.00	3,250,000.00		3,250,000.00
	LUANA SAVINGS BANK CD TOTALS		3,250,000.00	0.00	0.00	3,250,000.00	0.00	3,250,000.00
TOTAL OF ALL BANKS			15,919,272.66	2,314,287.55	628,254.15	17,605,306.06	77,313.85-	17,527,992.21

BUDGET REPORT
CALENDAR 4/2023, FISCAL 10/2023

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	GENERAL TOTAL	4,214,434.00	223,036.90	3,210,692.04	76.18	1,003,741.96
	ROAD USE TOTAL	699,950.00	26,009.48	369,928.37	52.85	330,021.63
	LOCAL OPTION SALES TAX TOTAL	940,000.00	.00	.00	.00	940,000.00
	TIF TOTAL	534,409.00	.00	198,649.82	37.17	335,759.18
	L.M.I TOTAL	60,000.00	449.43	37,602.20	62.67	22,397.80
	PC COMM. LIB TRUST TOTAL	.00	.00	2,550.00	.00	2,550.00-
	DEBT SERVICE TOTAL	932,930.00	.00	176,359.17	18.90	756,570.83
	CITY FACILITIES TOTAL TOTAL	4,052,000.00	162,469.25	2,261,172.40	55.80	1,790,827.60
	CAPITAL WATER PROJECT TOTAL	100,000.00	59,368.75	135,980.75	135.98	35,980.75-
	CAPITAL EQUIPMENT/VEHICLE TOTA	819,750.00	.00	518,086.60	63.20	301,663.40
	FOUR SEASONS PUB IMPROVEM TOTA	.00	.00	3,000.00	.00	3,000.00-
	WATER TOTAL	1,716,828.00	77,232.59	1,176,754.03	68.54	540,073.97
	SEWER TOTAL	2,238,551.00	66,972.45	1,527,327.87	68.23	711,223.13
	SOLID WASTE/RECYCLING TOTAL	401,000.00	550.00	284,672.85	70.99	116,327.15
	STORM WATER UTILITY TOTAL	125,000.00	.00	1,300.00	1.04	123,700.00
	TOTAL EXPENSES BY FUND	16,834,852.00	616,088.85	9,904,076.10	58.83	6,930,775.90

BUDGET REPORT
CALENDAR 4/2023, FISCAL 10/2023

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	1,142,326.00	75,520.21	949,841.19	83.15	192,484.81
	CIVIL DEFENSE TOTAL	31,500.00	104.69	4,591.32	14.58	26,908.68
	FIRE TOTAL	873,450.00	54,705.75	722,244.05	82.69	151,205.95
	BUILDING/HOUSING TOTAL	548,500.00	8,123.00	274,831.30	50.11	273,668.70
	DOG CONTROL TOTAL	5,100.00	.00	3,787.74	74.27	1,312.26
	PUBLIC SAFETY TOTAL	2,600,876.00	138,453.65	1,955,295.60	75.18	645,580.40
	ROAD USE TOTAL	692,318.00	35,786.37	455,073.45	65.73	237,244.55
	STREET LIGHTING TOTAL	60,000.00	1,074.82	47,127.99	78.55	12,872.01
	PUBLIC WORKS TOTAL	752,318.00	36,861.19	502,201.44	66.75	250,116.56
	ENV.HEALTH SERVICES TOTAL	2,000.00	.00	.00	.00	2,000.00
	HEALTH & SOCIAL SERVICES TOTA	2,000.00	.00	.00	.00	2,000.00
	LIBRARY TOTAL	422,760.00	28,672.06	338,796.44	80.14	83,963.56
	PARKS TOTAL	404,645.00	22,071.74	284,466.81	70.30	120,178.19
	COMMUNITY CENTER TOTAL	15,600.00	227.62	5,517.23	35.37	10,082.77
	CULTURE & RECREATION TOTAL	843,005.00	50,971.42	628,780.48	74.59	214,224.52
	TIF/ECON DEV TOTAL	416,009.00	449.43	236,252.02	56.79	179,756.98
	COMMUNITY & ECONOMIC DEV TOTA	416,009.00	449.43	236,252.02	56.79	179,756.98
	MAYOR COUNCIL TOTAL	97,038.00	5,576.87	84,156.90	86.73	12,881.10
	POLICY ADMINISTRATION TOTAL	156,247.00	10,326.04	115,397.25	73.86	40,849.75
	CITY ATTORNEY TOTAL	60,500.00	2,065.00	53,129.43	87.82	7,370.57
	CITY HALL TOTAL	129,600.00	1,942.21	104,992.73	81.01	24,607.27
	OTHER CITY GOVERNMENT TOTAL	157,800.00	2,850.00	139,216.58	88.22	18,583.42
	GENERAL GOVERNMENT TOTAL	601,185.00	22,760.12	496,892.89	82.65	104,292.11
	DEBT SERVICE TOTAL	932,930.00	.00	176,359.17	18.90	756,570.83
	DEBT SERVICE TOTAL	932,930.00	.00	176,359.17	18.90	756,570.83
	POLICE TOTAL	159,250.00	.00	148,578.43	93.30	10,671.57
	FIRE TOTAL	315,500.00	.00	288,739.89	91.52	26,760.11
	BUILDING/HOUSING TOTAL	.00	.00	3,000.00	.00	3,000.00-
	OTHER PUBLIC WORKS TOTAL	345,000.00	.00	80,768.28	23.41	264,231.72
	CAPITAL IMPROVEMENT TOTAL	4,052,000.00	162,469.25	2,261,172.40	55.80	1,790,827.60

BUDGET REPORT
CALENDAR 4/2023, FISCAL 10/2023

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	WATER UTILITY TOTAL	100,000.00	59,368.75	135,980.75	135.98	35,980.75-
	CAPITAL PROJECTS TOTAL	4,971,750.00	221,838.00	2,918,239.75	58.70	2,053,510.25
	WATER UTILITY TOTAL	1,367,950.00	77,232.59	1,176,754.03	86.02	191,195.97
	SEWER UTILITY TOTAL	2,058,551.00	66,972.45	1,527,327.87	74.19	531,223.13
	RECYCLING TOTAL	401,000.00	550.00	284,672.85	70.99	116,327.15
	STORM WATER TOTAL	125,000.00	.00	1,300.00	1.04	123,700.00
	ENTERPRISE FUNDS TOTAL	3,952,501.00	144,755.04	2,990,054.75	75.65	962,446.25
	TRANSFER TOTAL	1,762,278.00	.00	.00	.00	1,762,278.00
	TRANSFER OUT TOTAL	1,762,278.00	.00	.00	.00	1,762,278.00
	TOTAL EXPENSES	16,834,852.00	616,088.85	9,904,076.10	58.83	6,930,775.90

REVENUE REPORT
CALENDAR 4/2023, FISCAL 10/2023

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	BUDGET	MTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	GENERAL TOTAL	4,242,778.00	1,339,119.99	3,775,424.53	88.98	467,353.47
	ROAD USE TOTAL	700,000.00	62,093.39	608,406.25	86.92	91,593.75
	LOCAL OPTION SALES TAX TOTAL	940,000.00	68,866.28	937,323.99	99.72	2,676.01
	TIF TOTAL	534,409.00	248,310.84	575,761.73	107.74	41,352.73-
	L.M.I TOTAL	118,400.00	.00	33,845.94	28.59	84,554.06
	PC COMM. LIB TRUST TOTAL	.00	.00	215.00	.00	215.00-
	ASSET FORFEITURE TOTAL	.00	.00	17,031.00	.00	17,031.00-
	DEBT SERVICE TOTAL	932,930.00	283,182.65	687,980.26	73.74	244,949.74
	CITY FACILITIES TOTAL TOTAL	3,490,000.00	.00	.00	.00	3,490,000.00
	CAPITAL WATER PROJECT TOTAL	470,000.00	.00	414,103.66	88.11	55,896.34
	CAPITAL EQUIPMENT/VEHICLE TOTA	605,750.00	5,797.79	123,764.71	20.43	481,985.29
	FOUR SEASONS PUB IMPROVEM TOTA	.00	.00	17,992.00	.00	17,992.00-
	WATER TOTAL	1,639,100.00	99,286.05	1,386,633.50	84.60	252,466.50

REVENUE REPORT
CALENDAR 4/2023, FISCAL 10/2023

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	BUDGET	MTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	SEWER TOTAL	1,909,000.00	155,593.29	1,546,290.14	81.00	362,709.86
	SOLID WASTE/RECYCLING TOTAL	401,000.00	32,005.62	316,003.56	78.80	84,996.44
	STORM WATER UTILITY TOTAL	115,000.00	8,017.44	79,459.14	69.09	35,540.86
	TOTAL REVENUE BY FUND	16,098,367.00	2,302,273.34	10,520,235.41	65.35	5,578,131.59

**BALANCE SHEET
CALENDAR 4/2023, FISCAL 10/2023**

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING - GENERAL	1,115,747.05	295,667.63
001-000-1725	ACCUM.DEPR. - LIBRARY BLDG	.00	.00
001-000-1745	ACCUM.DEPR. - PWD EQUIPMENT	.00	.00
001-000-1755	ACCUM.DEPR. - POLICE	.00	.00
001-000-1756	ACCUM.DEPR. - FIRE DEPT.	.00	.00
001-000-1805	ACCUM.DEPR. - SIDEWALKS	.00	.00
001-000-1806	ACCUM.DEPR.- PARKER BLVD	.00	.00
110-000-1110	CHECKING - ROAD USE	36,086.55	557,100.18
111-000-1110	CHECKING - I-JOBS	.00	.00
121-000-1110	CHECKING - LOCAL OPTION	68,866.28	2,061,177.76
125-000-1110	CHECKING - TIF	248,310.84	680,710.67
135-000-1110	CHECKING - L.M.I.	449.43-	447,917.65
167-000-1110	CHECKING - PC COMM. LIB TRUST	.00	11,789.34
177-000-1110	CHECKING - FORFEITURE	.00	18,716.81
200-000-1110	CHECKING - DEBT SERVICE	283,182.65	501,432.16
301-000-1110	CHECKING - CAPITAL PROJECT	162,469.25-	4,350,356.08
302-000-1110	CHECKING - CAPITAL WATER PROJ	59,368.75-	519,198.85
303-000-1110	CHECKING - CAP EQUIP/VEHICLE	5,797.79	214,564.91-
304-000-1110	CHECKING	.00	32,992.00
305-000-1110	CHECKING	.00	.00
306-000-1110	CHECKING	.00	.00
307-000-1110	CHECKING	.00	.00
600-000-1110	CHECKING - WATER UTILITY	22,056.10	1,763,582.37
600-000-1805	ACCUM. DEPR. - WATER	.00	.00
610-000-1110	CHECKING - SEWER UTILITY	88,623.50	1,445,043.06
610-000-1805	ACCUM. DEPR. - SEWER	.00	.00
670-000-1110	CHECKING-SOLID WASTE/RECYCLING	31,455.62	68,339.69
740-000-1110	CHECKING	8,017.44	176,921.17
920-000-1110	CHECKING - ESCROW BANK ACCOUNT	.00	.00
	CHECKING TOTAL	1,685,856.39	12,716,380.51
600-000-1111	WAT.SINKING/CKG	.00	.00
610-000-1111	SEWER SINKING FUND	.00	.00
	WATER SINKING TOTAL	.00	.00
600-000-1112	WATER TRUST CHECKING	.00	.00
610-000-1112	SEW.IMPR.CHECKING	.00	.00
	CHECKING TOTAL	.00	.00
600-000-1113	WAT.IMPR/CHECKING	.00	.00
610-000-1113	79 SANITARY SEWER DISTRICT	.00	.00
	CHECKING TOTAL	.00	.00

BALANCE SHEET
CALENDAR 4/2023, FISCAL 10/2023

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
600-000-1115	Water Holding Account	.00	.00
	TOTAL	----- .00	----- .00
001-000-1120	LIBR.PETTY CASH	.00	35.00
600-000-1120	WATER PETTY CASH	.00	.00
	PETTY CASH TOTAL	----- .00	----- 35.00
001-000-1121	GENERAL PETTY CASH	.00	100.00
	PETTY CASH TOTAL	----- .00	----- 100.00
001-000-1122	PETTY CASH-POLICE	.00	300.00
	PETTY CASH-POLICE TOTAL	----- .00	----- 300.00
001-000-1150	GENERAL RESERVE IPAIT A/C	.00	1.00
125-000-1150	TIF RESERVE IPAIT A/C	.00	.00
135-000-1150	LMI - IPAIT Account	.00	1.00
200-000-1150	DEBT/TIF/CHECKING	.00	.00
301-000-1150	TIF SPECIAL REVENUES	.00	.00
600-000-1150	WATER FUND IPAIT A/C	.00	1.00
610-000-1150	SEWER FUND IPAIT A/C	.00	1.00
	CHECKING TOTAL	----- .00	----- 4.00
001-000-1151	GENERAL INVESTMENT	.00	.00
600-000-1151	WATER RESERVE INVESTMENT	.00	.00
610-000-1151	Sewer Fund CD	.00	.00
	SAVINGS TOTAL	----- .00	----- .00
600-000-1152	WATER TRUST INVESTMT.	.00	.00
	WATER TRUST INVESTMENT TOTAL	----- .00	----- .00
001-000-1160	SUPER MONEY MKT II	11.39	10,252.33
110-000-1160	SAVINGS	.00	.00
125-000-1160	SAVINGS	.00	.00
	SUPER MONEY MKT II TOTAL	----- 11.39	----- 10,252.33

BALANCE SHEET
CALENDAR 4/2023, FISCAL 10/2023

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1161	GRINNELL STATE BANK CD	.00	1,550,000.00
610-000-1161	Polk County Bank CD	.00	.00
	GRINNELL STATE BANK CD TOTAL	.00	1,550,000.00
001-000-1162	LUANA BANK C.D. -1.85%	.00	3,250,000.00
	TOTAL	.00	3,250,000.00
001-000-1163	Luana Savings Bank - M.M. Acco	165.62	640,368.64
135-000-1163	Luana Money Market Account	.00	719,041.86
600-000-1163	Luana Money Market Account	.00	.00
610-000-1163	Luana Money Market Account	.00	.00
	LUANA MONEY MARKET TOTAL	165.62	78,673.22
600-000-1220	ACCOUNTS RECEIVABLE	.00	.00
610-000-1220	ACCOUNTS RECEIVABLE	.00	.00
	TOTAL	.00	.00
	TOTAL CASH	<u>1,686,033.40</u>	<u>17,605,745.06</u>



Polk City Police Department

309 W Van Dorn St. P.O.Box 381

Polk City, Iowa 50226

Phone: 515-984-6565 Fax 515-984-6819 email: police@polkcityia.gov

Service Integrity Respect Quality

To: Honorable Mayor and Council Members

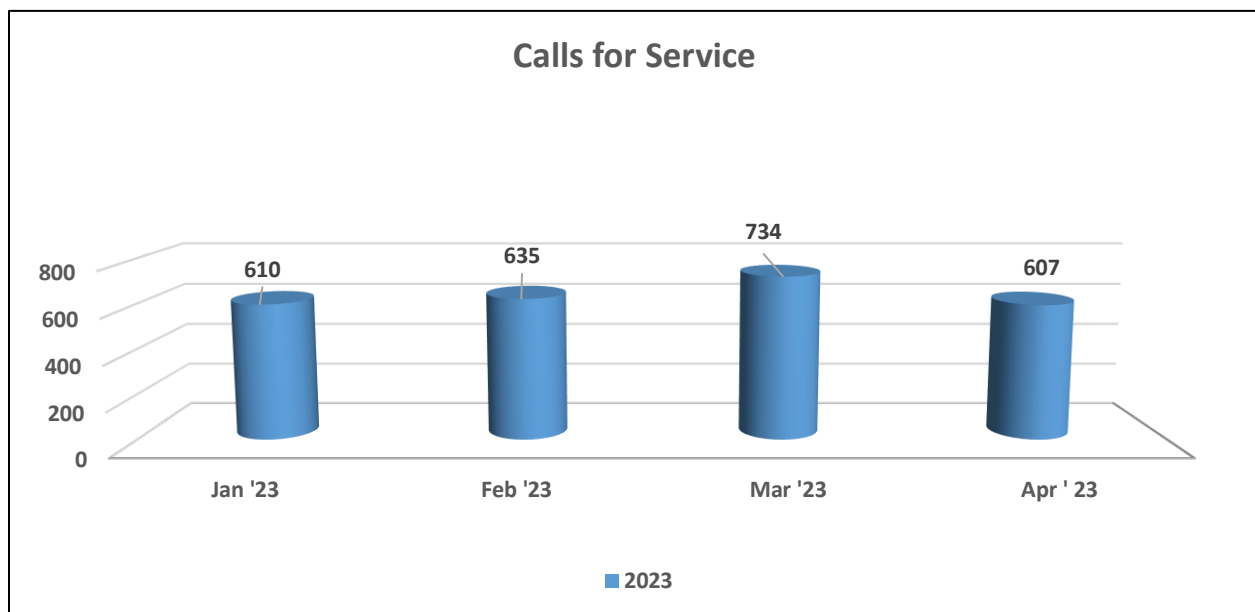
From: Lieutenant Aswegan

Date: May 10th, 2023

Re: April 2023 Monthly Report

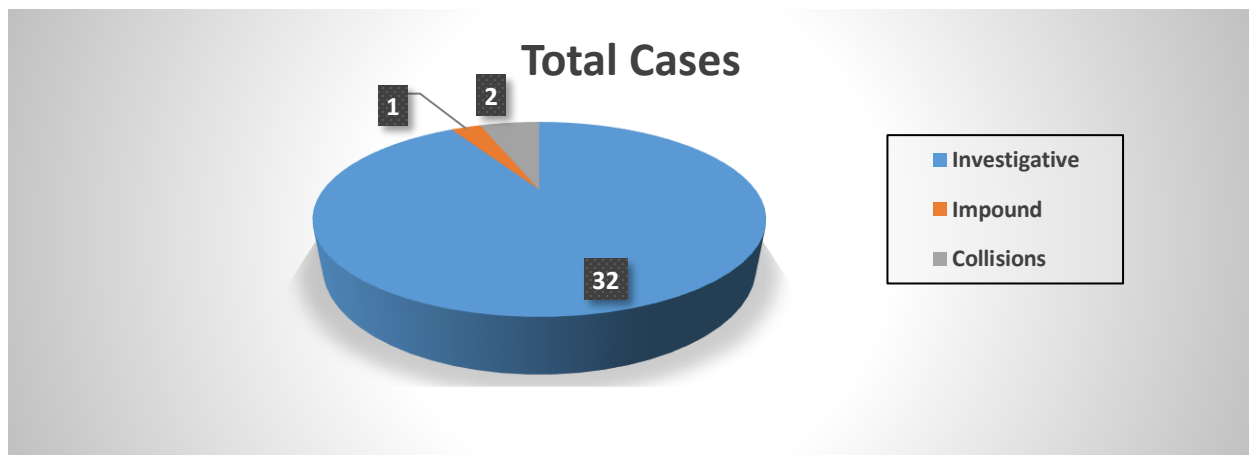
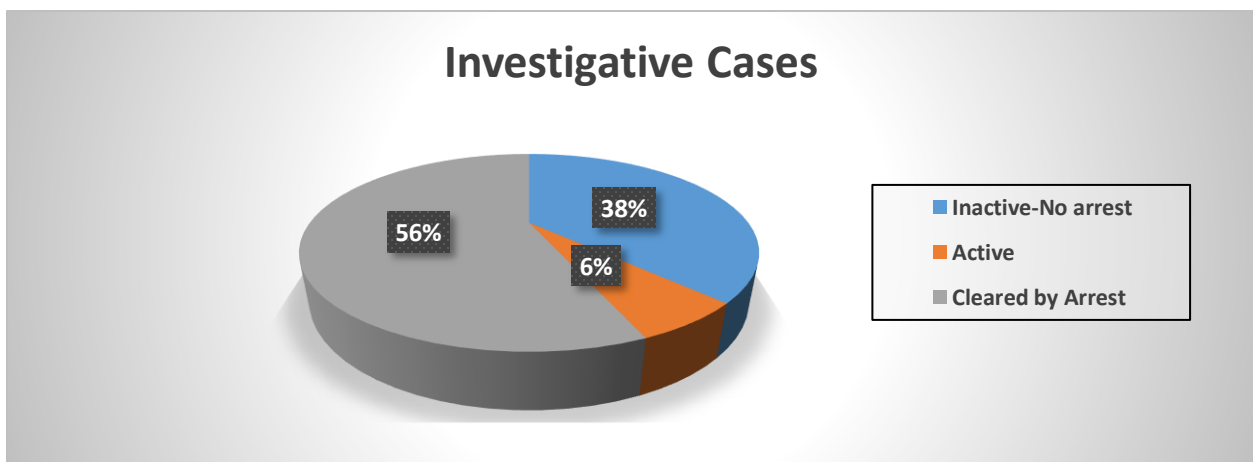
Calls for Service

The total calls for service for the month of April were **607**. This includes response to citizen complaints/reports, assists, self-initiated activities such as traffic stops, building checks, suspicious persons, and case follow up. Among these calls for service Polk City Officers conducted **192** traffic stops.



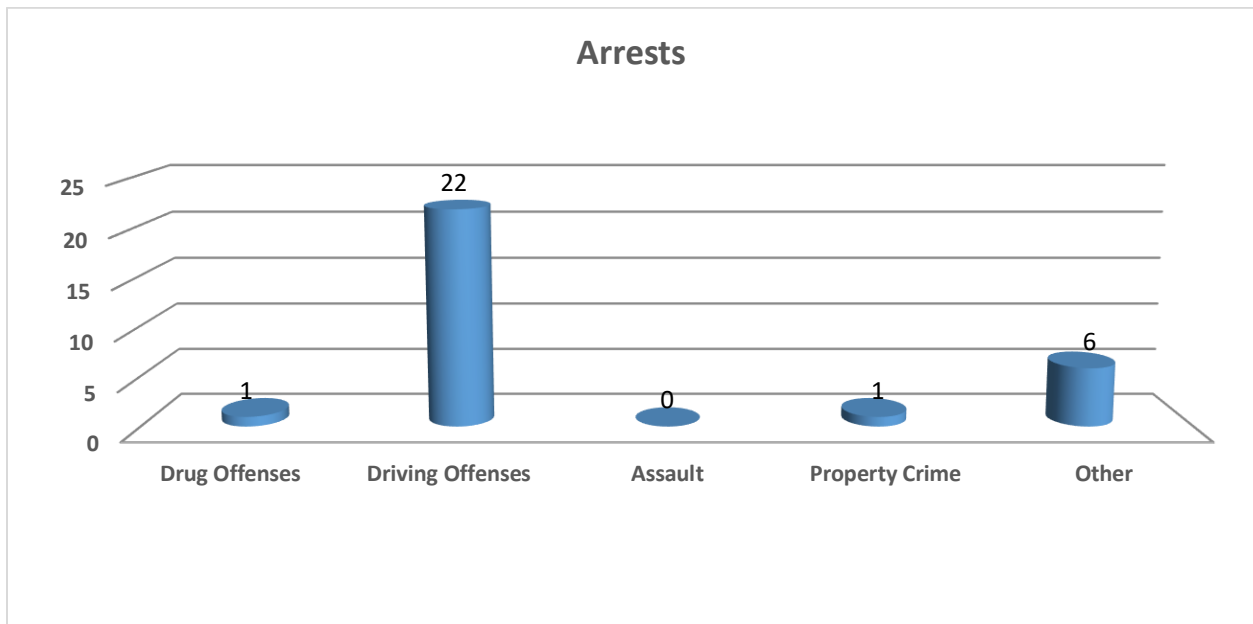
Cases Made

The Police Department had **39** total cases during the month of April. **32** of the cases were investigative incident reports and **3** were for vehicle collisions and **1** for vehicle impounds. There are **2** active investigations this month. There was a **56%** rate of cases cleared by arrest, for investigative cases in April.



Arrests Made

The Police Department made **30** arrests and issued **77** citations and **144** warnings. The arrests consisted of **22** driving related offenses, **1** drug related offense, **1** property crime, and **6** for miscellaneous offenses which included harassment and interference with official acts.



Notable Incidents

23-0125

On April 8th at about 4:00 pm, a Polk City Police Officer conducted a traffic stop on a vehicle. The driver was identified as a 25-year-old Des Moines woman. An investigation revealed the driver was impaired by alcohol. She was also found in possession of marijuana. The driver's young child was present in the vehicle. The driver was charged with Operating While Intoxicated-1st Offense, Possession of Marijuana, and Child Endangerment. She was booked into the Polk County jail.

23-0117

On April 7th at about 12:30 am a Polk City Police Officer conducted a traffic stop. The driver of the vehicle was identified as a 25-year-old Des Moines man. An investigation revealed he was impaired by alcohol. He was arrested for Operating While Intoxicated. The man resisted officers and attempted to escape out of the back of the patrol car. He was additionally charged with Interference with Official Acts.

23-0113

On April 3rd at about 8:30 pm, a Polk City Police Officer conducted a traffic stop on a vehicle. The driver of that vehicle was determined to have a barred license. He was arrested, taken to the police department, and charged with Driving While License Barred. He was released with a court date to appear.

Officer Training

Officers Blaha-Polson and Whipple completed the Basic Patrol Rifle Operator Course in April. The course is taught by a trained department instructor and consists of 24 hours of instruction on the AR15 patrol rifle including marksmanship, positional shooting,



deployment criteria and tactical applications. Officers qualify on state approved qualification

courses and are tested on their knowledge throughout the course. The patrol rifle is issued to each patrol officer and is a tool to help patrol officers solve major tactical problems which present a deadly force threat.

In-Service Training

April in-service training was taught by Officer Delaney who is a certified restraint and baton instructor. Officer Delaney instructed refresher training on applications of restraints and the deployment of the expandable baton.

Aicher 18

Delaney 1

Blaha-Polson 14

Sherman 2

Whipple 26

Aswegan 1

Siepkner 4

Total Training Hours: 66

K9 Program

Polk City PD K9 Team, Officer Aicher and Eudoris, logged 16 hours of training in April. Eight hours of training was done at Canine Tactical where the team worked on tactical trauma care and building searches. The team also trained during various times throughout April on basic obedience, article searches and drug detection.

Eudoris was deployed 3 times in April. All deployments were for drug detection.

On April 7th, the Polk City Police Department K9 Team deployed to support the United States Postal Service Inspectors on an investigation.



Community Outreach

On April 9th, Polk City PD K9 Team Officer Aicher and Eudoris visited with some children at the Polk City Library.





**APPLICATION FORM
FOR
Special Events**
City of Polk City, Iowa

Permit # _____
Application Fee* \$50

**application fee waived for 501(c)(3) organizations and block party requests*

Thank you for your interest in the City of Polk City!

A special event would be classified as a parade, run/walk/bike, fundraiser, farmers market, fair/festival, outdoor concert OR temporary structure including but not limited to tents over 200sf, canopy, stage, inflatables. The City of Polk City must approve your application prior to advertising your event on City's property or public right-of-way for a special event. Application process must begin at least a minimum of 45 days prior to the requested date of the event.

Please check the following type of event:

<input type="radio"/> Parade	<input type="radio"/> Farmers market
<input type="radio"/> Run/Walk/Bike	<input type="radio"/> Fair/Festival
<input type="radio"/> Outdoor Concert	<input type="radio"/> Temporary Structure(s)
<input checked="" type="radio"/> Fundraiser	<input type="radio"/> Other (please specify) _____

Contact Information:

Contact Name & Title: <small>*(contact must be onsite for setup & teardown of event)</small>	Jacob Duncalf, America Legion Rider
Contact Mailing Address:	114 W Broadway, Polk City IA 50226
Contact Phone number:	515-802-0423
Contact Email Address:	jjduncalf46@gmail.com
Sponsor Organization: <small>*(if applicable)</small>	Polk City American Legion

Event Information:

Name of Event:	Bike Night	Requested event location:	114 W Broadway Polk City IA 50226
Event Date(s) & Time(s):	6-9-2023	Event Setup & Teardown: (dates & times)	4am-9pm
Estimated Attendance:	200	Number of Vehicles:	300
Will Event Fee Be Charged?	Y or N NO	Event Fee Amount: (if applicable)	Free
Product Sales on Site:	Y or N no	Amplified sounds: (a noise waiver may be required)	Y or N Yes
Tent and/or canopy:	Y or N Qty. <u> </u> No	Inflatables: (valid State of Iowa permit required)	Y or N Qty. <u> </u> No
Access to water:	Y or N Yes	Access to electricity:	Y or N Yes
Alcoholic Beverages: <small>(must obtain Iowa Beverage Permit with outdoor services & area of alcohol must be fenced off)</small>	Y or N Yes	Portable Toilets: <small>*(1 toilet for every 250 people est.)</small>	Y or N Qty. <u> </u> No
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Information about temporary structures: (stage, tables, inflatables, etc.; include location(s) on the site plan illustration)

NA

Barricades Required:	Qty. <u>NA</u>	Security on site:	Y or N No
Traffic Control:	Y or N No	Emergency Services:	Y or N No

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Additional Remarks:

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Signature and Title of Applicant: Jacob Duncalf

Date: 3 / 20 / 2023

✓ *If Provided*

	Site Plan Illustration
	Certificate of Insurance with City of Polk City named as certificate holder; general liability in the amount of \$2,000,000 per incident/\$3,000,000 aggregate
	Application fee plus any other applicable fees

OFFICIAL USE ONLY:

Department approvals:

Fire Chief: _____ Police Chief: _____

Public Works Director: _____ City Manager: _____



**APPLICATION FORM
FOR
Special Events
City of Polk City, Iowa**

Permit # _____
Application Fee* \$50

**application fee waived for 501(c)(3) organizations and block party requests*

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Please check the following type of event:

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Contact Phone number:	515-802-0423
Contact Email Address:	jjduncalf46@gmail.com
Sponsor Organization: <small>*(if applicable)</small>	Polk City American Legion

Event Information:

Name of Event:	Bike Night	Requested event location:	114 W Broadway Polk City IA 50226
Event Date(s) & Time(s):	7-14-2023	Event Setup & Teardown: (dates & times)	4am-9pm
Estimated Attendance:	200	Number of Vehicles:	300
Will Event Fee Be Charged?	Y or N NO	Event Fee Amount: (if applicable)	Free
Product Sales on Site:	Y or N no	Amplified sounds: (a noise waiver may be required)	Y or N Yes
Tent and/or canopy:	Y or N Qty. <u> </u> No	Inflatables: (valid State of Iowa permit required)	Y or N No Qty. <u> </u>
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NA

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Signature and Title of Applicant: Jacob Duncalf

Date: 3 / 20 / 2023

✓ *If Provided*

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**APPLICATION FORM
FOR
Special Events
City of Polk City, Iowa**

Permit # _____
Application Fee* \$50

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Contact Email Address:	jjduncalf46@gmail.com
Sponsor Organization: <small>*(if applicable)</small>	Polk City American Legion

Event Information:

Name of Event:	Bike Night	Requested event location:	114 W Broadway Polk City IA 50226
Event Date(s) & Time(s):	8-11-2023	Event Setup & Teardown: (dates & times)	4am-9pm
Estimated Attendance:	200	Number of Vehicles:	300
Will Event Fee Be Charged?	Y or N NO	Event Fee Amount: (if applicable)	Free
Product Sales on Site:	Y or N no	Amplified sounds: (a noise waiver may be required)	Y or N Yes
Tent and/or canopy:	Y or N Qty. _____ No	Inflatables: (valid State of Iowa permit required)	Y or N No Qty. _____
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Signature and Title of Applicant: Jacob Duncalf

Date: 3 / 20 / 2023

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**APPLICATION FORM
FOR
Special Events
City of Polk City, Iowa**

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Event Information:

Name of Event:	Bike Night	Requested event location:	114 W Broadway Polk City IA 50226
Event Date(s) & Time(s):	9-8-2023	Event Setup & Teardown: (dates & times)	4am-9pm
Estimated Attendance:	200	Number of Vehicles:	300
Will Event Fee Be Charged?	Y or N NO	Event Fee Amount: (if applicable)	Free
Product Sales on Site:	Y or N no	Amplified sounds: (a noise waiver may be required)	Y or N Yes
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City of Polk City, Iowa

City Council Agenda Communication

Date: 05/17/2023
To: Mayor and Council
From: Mike Schulte
Subject: Budgeted Painting of Street markings-FY22/23

BACKGROUND: In the 22/23 budget, we allocated funds in the road use budget to repaint street lines and emblems on roadways through town. Some of these items are crosswalks, stop bars, bike lanes and street lines. We have this work scheduled every two years and it is due to be done again. All paint will meet I.D.O.T. requirements.

ALTERNATIVES: Do not approve

FINANCIAL CONSIDERATIONS: \$18,723.37

RECOMMENDATION: I would recommend that the Council approve the budgeted restriping and repainting of our pavement markings with Quality Striping, Inc.



1704 E. Euclid Avenue
 Des Moines, Iowa 50313
 Phone: 515-289-1370
 Fax: 515-289-1373

5/8/2023

City of Polk City
 Attention: Randy Frazen

Project No. 2023 City Restripe

ITEM NO.	DESCRIPTION	UNITS	UNIT PRICE	BID AMOUNT
1	Painted Pavement Markings, Waterborne	742.41 STA	\$15.30	\$11,358.87
2	Painted Symbols and Legends, Waterborne	25.00 EA	\$88.50	\$2,212.50
3	Painted Bike w/Straight Arrow	46.00 EA	\$112.00	\$5,152.00

Total Bid \$18,723.37

Conditions

UNLESS NOTED OR OTHERWISE AGREED TO, BID ITEMS ARE TIED.

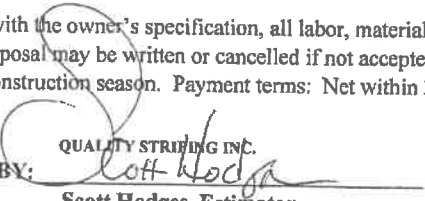
WE WILL MOBILIZE MEN AND EQUIPMENT SEVERAL TIMES TO RESTRIPE DESIGNATED CITY STREETS.

MATERIALS WILL MEET THE CURRENT I.D.O.T. REQUIREMENTS FOR WATERBORNE PAINT AND REFLECTIVE GLASS BEADS.

BOND NOT INCLUDED. PLEASE ADD \$11.00 PER \$1,000.00 FOR BOND, IF REQUIRED.

BY REFERENCE THE FOLLOWING IS PART OF THIS PROPOSAL

We will furnish and perform, in accordance with the owner's specification, all labor, material, equipment, and services reasonably necessary to complete the work identified above. This proposal may be written or cancelled if not accepted within 30 days. Unless stated otherwise, prices are based on completion during the current construction season. Payment terms: Net within 30 days after receipt of invoice.

QUALITY STRIPING INC.
 BY: 
 Scott Hodges, Estimator

The undersigned hereby accepts this proposal and agrees to be bound by the terms and conditions contained herein.

DATE: _____

BY: _____



City of Polk City, Iowa City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Jason Thraen, Parks & Recreation Director
Subject: 2023 Sports Complex Infield Replacement Project Payment

BACKGROUND: As Polk City Little League (PCLL) and Polk City Parks & Recreation (PCPR) participant numbers grow, so does the usage and wear/tear on the baseball/softball fields at the Sports Complex. After several consultations, PCLL and PCPR decided the most needed improvement was regrading/replacement of the infield material on all four fields. This improvement will improve drainage, player safety, and facility quality. The entire project cost is \$60,000.00 and PCLL has agreed to share 75% of the project cost. The FY23 Sports Complex has a remaining budget balance that allows the city to cover the other 25% of the project. This collaborative project will provide immediate quality improvements for PCLL and PCPR.

ALTERNATIVES: Do not approve the payment.

FINANCIAL CONSIDERATIONS: \$15,000.00.

RECOMMENDATION: Approve the payment for the 2023 Sports Complex Infield Replacement Project in the amount of \$15,000.00 to improve the quality of facilities at the Polk City Sports Complex.



Musco Sports Lighting, LLC
100 1st Avenue West
P.O. Box 808
Oskaloosa, IA 52577
USA

City of Polk City
112 3rd St
Polk City, IA 50226
USA

Account Statement

Page Page 1 of 1
Telephone 800-825-6020
Email ar@musco.com

Customer Account 9034
Statement Date 5/9/2023

Date	Invoice	PO #	Currency	Charge (Credit)	Credit Memo #	Credit Applied	Payment	Balance Due
4/14/2023	406980		USD	15,000.00				15,000.00

Remittance Information:

To remit payment by ACH or Wire:
Bank: Wells Fargo Bank, 420 Montgomery Street, San Francisco, CA 94104
ABA Routing Number: 121000248
SWIFT Number: WFBUS6S (USD Payment) WFBUS6WFFX (Non-USD Payment)
Account Number: 4121225395
Account Name: Musco Sports Lighting, LLC

To remit payment by check:
P.O. Box 200692
Dallas, TX 75320-0692
USA



City of Polk City, Iowa

City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Jason Thraen, Parks & Recreation Director
Subject: **Parks & Recreation Seasonal Employees**

BACKGROUND: Polk City Parks & Recreation relies heavily on seasonal employees for summer programming and park maintenance and upkeep. These seasonal positions include a Parks & Recreation Intern, Recreation Assistant I, and Recreation Assistant II. For 2023, I have hired Elizabeth Grell (Recreation Assistant I), Tanner Ramsey (Recreation Assistant I), Madison Major (Parks & Recreation Intern), and Sara Gilbreath (Recreation Assistant II). They have been offered and accepted positions with Polk City Parks & Recreation based on the wages mentioned below.

ALTERNATIVES: N/A

FINANCIAL CONSIDERATIONS: Set pay for Elizabeth Grell (\$12.00 per hour), Tanner Ramsey (\$12.00 per hour), Madison Major (\$14.00 per hour), and Sara Gilbreath (\$13.00 per hour).

RECOMMENDATION: Approve pay for Elizabeth Grell, Tanner Ramsey, Madison Major, and Sara Gilbreath.



City of Polk City, Iowa

City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager
Subject: Set pay for Billing Clerk

BACKGROUND: The City has been advertising for a Billing Clerk since March 2023. The City began advertising for the position and received over 60 applications for the position. After interviews were conducted, we have selected Devin Quindel to be Polk City's next Billing Clerk. Her hourly wage will be \$24.75 per hour.

ALTERNATIVES: Do not set the pay

FINANCIAL CONSIDERATIONS: \$24.75 per hour

RECOMMENDATION: It is my recommendation that the Council set the pay for Devin Quindel, and welcome her to the City of Polk City.

May 17, 2023

Honorable Mayor and City Council
City of Polk City
112 S. 3rd Street
Polk City, Iowa

RE: CHANGE ORDER NO. 3
PARTIAL PAYMENT APPLICATION NO. 11
NORTH 3RD STREET AND VISTA LAKE AVENUE
INTERSECTION IMPROVEMENTS PROJECT

Dear Honorable Mayor and City Council:

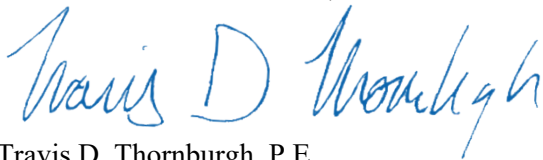
Please find the attached Partial Payment Application No. 11 and Change Order No. 3 for the North 3rd Street and Vista Lake Avenue Intersection Improvements Project. This payment application includes work completed by the Contractor through May 15, 2023. Work completed during this pay period includes all surface restoration work, the remainder of streetlighting work, and final landscaping operations.

Change Order No. 3 includes the omission of Bid Item 9.13 “Temporary RECP, Type 2C” and the replacement of that item with two new items, “Temporary RECP, Type 2C” and “Conventional Seeding, Type 1”. These replacement items were added to establish pricing that was more aligned with the work involved. The drastic increase in Rolled Erosion Control Product (RECP) allowed City Staff to renegotiate the unit price of that item. The seeding only item was added to ensure that the City was paying an appropriate price for seeding under the RECP mat that would not require mulching and fertilizing. These changes total a net addition of \$8,770.00 to the total contract price, but still leaves the project total \$14,856.67 under the original contract price.

We recommend approval of Change Order No. 3, totaling an addition of \$8,770.00, and payment of \$46,718.82 to the Contractor, Absolute Concrete, for work completed through May 15, 2023. Approximately 98.6% of the total contract work has been completed and 121.5 of the 130 working days for the project have been charged.

Please contact me should you have any questions on this pay application and change order. We will be in attendance at the May 22, 2023 City Council meeting to answer any questions regarding these items.

Sincerely,
SNYDER & ASSOCIATES, INC.



Travis D. Thornburgh, P.E.

Enclosure

cc: Mike Schulte, City of Polk City
Chelsea Huisman, City of Polk City
Kathleen Connor, Snyder & Associates

RESOLUTION NO. 2023-64

A RESOLUTION APPROVING CHANGE ORDER NO. 3 FOR THE NORTH 3RD STREET AND VISTA LAKE AVENUE INTERSECTION IMPROVEMENTS PROJECT

WHEREAS, the City of Polk City, City Council, approved Resolution 2021-124 ordering construction for the North 3rd Street and Vista Lake Avenue Intersection Improvements Project on November 22, 2021; and

WHEREAS, the City Council approved Resolution 2022-02 on January 10, 2022 awarding the construction contract to Absolute Concrete Construction, Inc of Granger, Iowa; and

WHEREAS, on January 24, 2022 the City Council approved Resolution 2022-12 approving the contract in the amount of \$1,534,961 with additive bid alternates totaling \$51,345 for a total contract of \$1,586,306; and

WHEREAS, on April 11, 2022 the City Council approved Resolution 2022-39 approving Change Order No. 1 in the amount of \$40,145; and

WHEREAS, on December 14, 2022 the City Council approved Resolution 2022-160 approving Change Order No. 2 in the reduction amount of ~~-\$63,771.67~~, and

WHEREAS, Absolute Concrete Construction, Inc. and the City Engineer have submitted to the City of Polk City, Change Order No. 3 in the reduction amount of \$8,770.00

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby approves Change Order No. 3 in the reduction amount of \$8,770.00 for the North 3rd Street and Vista Lake Avenue Intersection Improvements Project.

PASSED AND APPROVED the 22 day of May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

CHANGE ORDER NO. 3

OWNER: City of Polk City

PROJECT: N. 3rd Street and Vista Lake Avenue Intersection Improvements Project
S&A PROJECT #: 121.0455.01

To: Absolute Concrete Construction, Inc.
Contractor
1800 Burr Oak Blvd, PO Box 430
Address
Granger, IA 50109
City, State, Zip

You are directed to make the following changes in this contract:

1. **Description of change to be made:**
9.13. - Omit bid item in order to add item at more appropriate unit price.
CO3.1. - Addition of RECP at more appropriate unit price based on installed quantities.
CO3.2. - Addition of seeding only item for installation under Temporary RECP.

2. **Reason for Change:**
9.13. - A substantial increase in project quantity allowed for a more appropriate unit price to be established.
CO3.1. - A substantial increase in project quantity allowed for a more appropriate unit price to be established.
CO3.2. - Installation of RECP replaces the need for mulching and fertilizing. This item includes seeding only.

3. **Settlement for the cost of making the change shall be as follows:**

Item No.	Item Description	Quantity	Unit	Unit Price	Total Price
9.13.	Temporary RECP, Type 2C	-120	SY	\$4.50	-\$540.00
CO 3.1.	Temporary RECP, Type 2C	2370	SY	\$3.00	\$7,110.00
CO 3.2.	Conventional Seeding, Type 1	0.5	ACRE	\$4,400.00	\$2,200.00
				TOTAL	\$8,770.00


4. This change order will result in a net change in the contract completion time of 1 days and a net change in the cost of the project of \$8770.00 divided as follows:

	Contract Amount
Approved funds and contract completion date as per (Engineer's Estimate, Contract or last approved C.O.)	<u>\$1,573,679.33</u>
Change due to this C.O. (+ or -)	<u>\$8,770.00</u>
Totals including this C.O.:	<u>\$1,582,449.33</u>

The change described herein is understood, and the terms of settlement are hereby agreed to:

Absolute Concrete Construction, Inc.
CONTRACTOR
By 

DATE: 5-16-23

Snyder & Associates, Inc.
ENGINEER
By 

DATE: 05/17/2023

City of Polk City
OWNER
By _____

DATE: _____

RESOLUTION NO. 2023-65

**A RESOLUTION APPROVING THE APPLICATION FOR PARTIAL PAYMENT
APPLICATION NO. 11 FOR THE NORTH 3RD STREET AND VISTA LAKE AVENUE
INTERSECTION IMPROVEMENTS PROJECT**

WHEREAS, the City of Polk City, City Council, approved Resolution 2021-124 ordering construction for the North 3rd Street and Vista Lake Avenue Intersection Improvements Project on November 22, 2021; and

WHEREAS, the City Council approved Resolution 2022-02 on January 10, 2022 awarding the construction contract to Absolute Concrete Construction, Inc of Granger, Iowa; and

WHEREAS, on January 24, 2022 the City Council approved Resolution 2022-12 approving the contract in the amount of \$1,534,961 with additive bid alternates totaling \$51,345 for a total contract of \$1,586,306; and

WHEREAS, on April 11, 2022 the City Council approved Resolution 2022-39 approving Change Order No. 1 in the amount of \$40,145; and

WHEREAS, on December 14, 2022 the City Council approved Resolution 2022-160 approving Change Order No. 2 in the reduction amount of **-\$63,771.67**; and

WHEREAS, on May 22, 2023 the City Council approved Resolution 2023-64 approving Change Order No. 3 in the amount of \$8,770.00; and

WHEREAS, on April 11, 2022 the City Council approved Resolution 2022-40 approving Partial Pay App No. 1 in the amount of \$36,440.57; and

WHEREAS, on May 9, 2022 the City Council approved Resolution 2022-63 approving Partial Pay App No. 2 in the amount of \$164,734.07; and

WHEREAS, on June 13, 2022 the City Council approved Resolution 2022-70 approving Partial Pay App No. 3 in the amount of \$110,380.98; and

WHEREAS, on July 11, 2022 the City Council approved Resolution 2022-86 approving Partial Pay App No. 4 in the amount of \$79,332.60; and

WHEREAS, on August 8, 2022 the City Council approved Resolution 2022-93 approving Partial Pay App No. 5 in the amount of \$98,045.93; and

WHEREAS, on September 12, 2022 the City Council approved Resolution 2022-109 approving Partial Pay App No. 6 in the amount of \$420,570.23; and

WHEREAS, on October 10, 2022 the City Council approved Resolution 2022-118 approving Partial Pay App No. 7 in the amount of \$232,324.55; and

WHEREAS, on November 14, 2022 the City Council approved Resolution 2022-127 approving Partial Pay App No. 8 in the amount of \$176,286.66; and

WHEREAS, on December 14, 2022 the City Council approved Resolution 2022-161 approving Partial Pay App No. 9 in the amount of \$50,311.20; and

WHEREAS, on April 10, 2023 the City Council approved Resolution 2023-51 approving Partial Pay App No. 10 in the amount of \$71,283.10 and

WHEREAS, Absolute Concrete Construction, Inc and the City Engineer have submitted the Application for Partial Payment Application No. 11 giving a detailed estimate of work completed with an application for payment in the amount of \$46,718.82

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby approves the Application for Partial Payment Application No. 11 for the North 3rd Street and Vista Lake Avenue Intersection Improvements Project, and the City Clerk/Treasurer is hereby authorized to issue a check to Absolute Concrete Construction, Inc in the amount of \$46,718.82.

PASSED AND APPROVED the 22 day of May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

APPLICATION FOR PARTIAL PAYMENT NO. 11

PROJECT: N. 3rd Street and Vista Lake Avenue Intersection
Improvements Project

S&A PROJECT NO.: 121.0455.01

OWNER: City of Polk City
CONTRACTOR: Absolute Concrete Construction, Inc.
ADDRESS: 1800 Burr Oak Blvd
PO Box 430
Granger, IA 50109
DATE: 5/16/2023

PAYMENT PERIOD: 4/1/2023
to 5/15/2023

1. CONTRACT SUMMARY:

Original Contract Amount: \$ 1,586,306.00
Net Change by Change Order: \$ (14,856.67)
Contract Amount to Date: \$ 1,571,449.33

CONTRACT PERIOD: TOTAL WORKING DAY:

Original Contract Date: January 10, 2022

Original Contract Time: 120
(Milestone #1: Project Completion)

Added by Change Order: 10

Contract Time to Date: 130

Time Used to Date: 121.5

Contract Time Remaining: 8.5

2. WORK SUMMARY:

Total Work Performed to Date: \$ 1,564,658.64
Retainage: 5.00% \$78,232.93
Total Earned Less Retainage: \$ 1,486,425.71
Less Previous Applications for Payment: \$ 1,439,706.89
AMOUNT DUE THIS APPLICATION: \$ 46,718.82

Milestone #2: April 22, 2023
Landscape Completior

3. CONTRACTOR'S CERTIFICATION:

Milestone #3: Plant 180 Calendar Days

Watering and Maintenance Period:

The undersigned CONTRACTOR certifies that:

- (1) all previous progress payments received from OWNER on account of Work done under the contract referred to above have been applied to discharge in full all obligations of CONTRACTOR incurred in connection with the Work covered by prior Applications for Payment; and
- (2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by the application for Payment are free and clear of all liens, claims, security interests, and encumbrances

Absolute Concrete Construction, Inc.

CONTRACTOR

By



DATE:

5-16-23

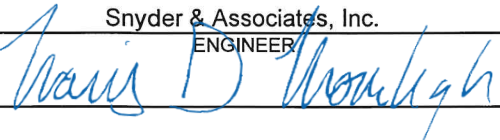
4. ENGINEER'S APPROVAL:

Payment of the above AMOUNT DUE THIS APPLICATION is recommended:

Snyder & Associates, Inc.

ENGINEER

By



DATE:

05/17/2023

5. OWNER'S APPROVAL

City of Polk City

OWNER

By

DATE:

6. DETAILED ESTIMATE OF WORK COMPLETED:

ITEM NO.	DESCRIPTION	CONTRACT ITEMS				COMPLETED WORK		
		PLAN QTY.	UNIT	UNIT COST	COST TOTAL	QTY. TO DATE	CO #	COST TOTAL
2.01.	Clearing and Grubbing	1	LS	\$ 9,000.00	\$ 9,000.00	1		\$ 9,000.00
2.02.	Topsoil, On-Site, 6" Depth	1,515	CY	21.75	32,951.25	1,515		32,951.25
2.03.	Topsoil, Compost-Amended, Contractor Provided	503	CY	17.50	8,802.50	503		8,802.50
2.04.	Excavation, Class 10, Roadway and Borrow	1,830	CY	3.80	6,954.00	1,830		6,954.00
2.05.	Excavation, Class 10, Contractor Provided	2,440	CY	30.00	73,200.00	2,440		73,200.00
2.06.	Below Grade Excavation (Core Out)	1,000	CY	40.30	40,300.00	250		10,075.00
2.07.	Subgrade Preparation, 12" Depth	4,826	SY	2.50	12,065.00	4,826		12,065.00
2.08.	Subgrade Treatment, Geogrid, Triangular	1,500	SY	4.50	6,750.00	1,500		6,750.00
2.09.	Subbase, Modified, 8" Depth	3,530	SY	13.50	47,655.00	3,530		47,655.00
2.10.	Subbase, Special Backfill, 8" Depth	1,296	SY	13.50	17,496.00	1,296		17,496.00
2.11.	Removal of Structure, 15" Pipe Apron	2	EA	350.00	700.00	2		700.00
2.12.	Removal of Known Pipe Culvert, RCP, 15"	102	LF	19.00	1,938.00	102		1,938.00
2.13.	Removal of Known Pipe Culvert, RCP, 24"	24	LF	28.00	672.00	24		672.00
2.14.	Compaction Testing	1	LS	5,000.00	5,000.00	1.00		5,000.00
2.15.	Granular Shoulder, 8" Depth	104	TON	39.50	4,108.00	104		4,108.00
2.16.	Temporary Granular Surfacing	150	TON	37.00	5,550.00	150		5,550.00
3.01.	Trench Compaction	1	LS	3,000.00	3,000.00	1.00		3,000.00
4.01.	Storm Sewer, Trenched, RCP, 15" Dia.	463	LF	74.75	34,609.25	463		34,609.25
4.02.	Removal of Storm Sewer, PVC Subdrain, 6" Dia.	76	LF	12.50	950.00	76		950.00
4.03.	Removal of Storm Sewer, CMP, 15"	312	LF	16.00	4,992.00	312		4,992.00
4.04.	Removal of Storm Sewer, RCP, 15"	67	LF	18.00	1,206.00	67		1,206.00
4.05.	Storm Sewer, Abandonment, Fill and Plug	23	LF	96.25	2,213.75	23		2,213.75
4.06.	Temporary Pipe Culvert, Trenched, CMP, 15" Dia.	312	LF	66.75	20,826.00	312		20,826.00
4.07.	Pipe Apron, Guard, & Footing, RCP 15"	1	EA	3,150.00	3,150.00	1		3,150.00
4.08.	Subdrain, Corrugated PVC, 6" Dia.	801	LF	21.00	16,821.00	833		17,493.00
4.09.	Subdrain Cleanouts, Type A-1	3	EA	950.00	2,850.00	3		2,850.00
4.10.	Subdrain Outlets and Connections	11	EA	555.00	6,105.00	11		6,105.00
4.11.	Subdrain Outlets and Connections, 6" Dia. DR-305 Type A	2	EA	635.00	1,270.00	2		1,270.00
4.12.	SW-211, Connect Existing Pipe to Structure	1	EA	2,325.00	2,325.00	1		2,325.00
5.01.	Water Main, Trenched, PVC C900, 8"	264	LF	54.00	14,256.00	264		14,256.00
5.02.	Water Main, Trenched, PVC C900, 12"	342	LF	84.00	28,728.00	356		29,904.00
5.03.	Fitting, 22.5 Degree Bend, 8"	2	EA	707.00	1,414.00	2		1,414.00
5.04.	Fitting, 45 Degree Bend, 8"	3	EA	775.00	2,325.00	3		2,325.00
5.05.	Fitting, 45 Degree Bend, 12"	4	EA	1,150.00	4,600.00	7		8,050.00
5.06.	Fitting, 90 Degree Bend, 8"	1	EA	750.00	750.00			-
5.07.	Fitting, Cross, 12" x 8"	1	EA	1,705.00	1,705.00	1		1,705.00
5.08.	Water Service Stub, 3/4" Copper, With Corporation, Curb Stop and Box	1	EA	1,945.00	1,945.00	1		1,945.00
5.09.	Water Service, 3/4", to Median w/ Meter and Backflow Prevention Device	1	LS	8,225.00	8,225.00	1.00		8,225.00
5.10.	Valve, Gate, 8"	3	EA	2,195.00	6,585.00	2		4,390.00
5.11.	Valve, Gate, 12"	1	EA	3,510.00	3,510.00	1		3,510.00
5.12.	Valve, Gate, Hot Tap, 12"	2	EA	8,900.00	17,800.00	1		8,900.00
5.13.	Fire Hydrant Assembly	2	EA	6,350.00	12,700.00	2		12,700.00
5.14.	Flushing Device, Blowoff	1	EA	2,780.00	2,780.00	1		2,780.00
5.15.	Fire Hydrant Assembly Removal	1	EA	600.00	600.00	1		600.00
5.16.	Removal of Water Main	490	LF	24.50	12,005.00	490		12,005.00

5.17.	Connection to Existing Water Main, Cut-In	2	EA	2,675.00	5,350.00	2	5,350.00
6.01.	Manhole, SW-401, 48" Diameter	4	EA	4,255.00	17,020.00	4	17,020.00
6.02.	Intake, SW-507S	2	EA	4,650.00	9,300.00	2	9,300.00
6.03.	Intake, SW-507L	4	EA	4,650.00	18,600.00	4	18,600.00
6.04.	Manhole Adjustment, Minor	1	EA	475.00	475.00	1	475.00
6.05.	Manhole Adjustment, Major	2	EA	2,516.00	5,032.00	2	5,032.00
6.06.	Remove Intake	1	EA	715.00	715.00	1	715.00
7.01.	Pavement, PCC, 8" Depth	3,400	SY	90.00	306,000.00	3,528.7	317,583.00
7.02.	Median Curb, PCC, 6" Height, 12" Width, Dowelled	124	LF	60.00	7,440.00		-
7.03.	Curb and Gutter, 2.5' Width, 6" Standard Curb, Dowelled	282	LF	50.00	14,100.00		-
7.04.	Curb and Gutter, 2.0' Width, 6" Standard Curb	111	LF	60.00	6,660.00	117	7,020.00
7.05.	PCC Median, Truck Apron, 8" Depth, Colored and Stamped	406	SY	200.00	81,200.00	406	81,200.00
7.06.	Raised PCC Median Pavement, 6" Depth	214	SY	80.00	17,120.00	258	20,640.00
7.07.	PCC Median Paving, 8" Depth, Dowelled	44	SY	150.00	6,600.00		-
7.08.	PCC Pavement Samples and Testing	1	LS	5,000.00	5,000.00	1.00	5,000.00
7.09.	HMA Base Widening, 8" Depth	193	SY	74.50	14,378.50	236.88	17,647.56
7.10.	HMA Overlay, Levelling Course, 1/2" PG 58-28S	45	TON	143.00	6,435.00	20	2,860.00
7.11.	Removal of Sidewalk	145	SY	11.00	1,595.00	150.3	1,653.30
7.12.	Sidewalk, PCC, 4" Depth	112	SY	60.00	6,720.00	112	6,720.00
7.13.	Shared Use Path, PCC, 5" Depth	332	SY	55.00	18,260.00	346	19,030.00
7.14.	Sidewalk, PCC, 6" Depth	96	SY	70.00	6,720.00	106.5	7,455.00
7.15.	Detectable Warning	162	SF	50.00	8,100.00	160	8,000.00
7.16.	Pavement Removal	4,800	SY	11.00	52,800.00	4,800	52,800.00
7.17.	Milling, Variable Depth	160	SY	20.00	3,200.00	160	3,200.00
7.18.	Temporary Roadway Pavement	1,950	SY	33.75	65,812.50	1,937.7	65,397.38
7.19.	Temporary Pavement Patch	84	SY	130.00	10,920.00		-
8.01.	Temporary Traffic Signal	1	LS	8,500.00	8,500.00	1.00	8,500.00
8.02.	Painted Pavement Markings, Solvent/Waterborne	16.5	STA	90.00	1,485.00	16.5	1,485.00
8.03.	Painted Pavement Markings, Durable	27.5	STA	300.00	8,250.00	27.5	8,250.00
8.04.	Grooves Cut for Pavement Markings	27.5	STA	150.00	4,125.00	27.5	4,125.00
8.05.	Pavement Markings Removed	4.5	STA	250.00	1,125.00	5.0	1,250.00
8.06.	Temporary Traffic Control	1	LS	9,400.00	9,400.00	1.0	9,400.00
8.07.	Street Lighting System	1	LS	79,494.00	79,494.00	1.0	79,494.00
8.08.	Street Signs	1	LS	10,200.00	10,200.00	1.0	10,200.00
8.09.	Flaggers	20	CDAY	650.00	13,000.00	12	7,800.00
8.10.	Portable Dynamic Message Sign (PDMS)	45	CDAY	75.00	3,375.00	46	3,450.00
8.11.	Rectangular Rapid Flashing Beacons (North Pedestrian Crossing)	1	LS	19,095.00	19,095.00	1.0	19,095.00
9.01.	Conventional Seeding, Fertilizing, Mulching, Type 1	1.5	AC	6,000.00	9,000.00	1.80	10,800.00
9.02.	Conventional Seeding, Fertilizing, Mulching, Type 4	1.5	AC	3,000.00	4,500.00	1.31	3,930.00
9.03.	Large Shrub, #5 Container, With Warranty	17	EA	85.00	1,445.00	17	1,445.00
9.04.	Native Forb, Plugs 5" D x 2.25" W, With Warranty	1,400	EA	12.00	16,800.00	1,400	16,800.00
9.05.	Native Grass Seeding and Mulching	1	LS	1,200.00	1,200.00	1.0	1,200.00
9.06.	Plant Maintenance and Watering	1	LS	2,500.00	2,500.00		-
9.07.	Median Electrical Service	1	LS	7,025.00	7,025.00	1.0	7,025.00
9.08.	PCC Maintenance Curb, 12" Colored	73	LF	85.00	6,205.00	130	11,050.00
9.09.	Stormwater Pollution Prevention Plan (SWPPP) Preparation	1	LS	1,250.00	1,250.00	1.0	1,250.00

9.10.	Stormwater Pollution Prevention Plan (SWPPP) Management	1	LS	5,500.00	5,500.00	0.98		5,390.00
9.11.	Filter Sock, 9" Diameter	1,600	LF	1.75	2,800.00	2,034		3,559.50
9.12.	Filter Sock, Removal	1,600	LF	0.25	400.00			-
9.13.	Temporary RECP, Type 2C	120	SY	4.50	540.00			-
9.14.	Remove Existing Rip Rap	1	LS	1,450.75	1,450.75	1		1,450.75
9.15.	Rip Rap, Class D Revetment	62	TON	75.00	4,650.00	50.1		3,757.50
9.16.	Stabilized Construction Entrance	445	SY	11.50	5,117.50			-
9.17.	Silt Fence or Silt Fence Ditch Check	3,200	LF	1.75	5,600.00	338		591.50
9.18.	Silt Fence or Silt Fence, Removal of Sediment	3,200	LF	0.05	160.00			-
9.19.	Silt Fence or Silt Fence, Removal of Device	3,200	LF	0.05	160.00			-
9.20.	Inlet Protection Device, Open Throat	6	EA	150.00	900.00	6		900.00
9.21.	Inlet Protection Device, Maintenance	12	EA	50.00	600.00	2		100.00
9.22.	Chain Link Fence, Black Vinyl Chain Link, 42"	94	LF	57.00	5,358.00	118		6,726.00
11.01.	Mobilization	1	LS	100,000.00	100,000.00	1		100,000.00
11.02.	Concrete Washout	1	LS	2,000.00	2,000.00	1		2,000.00
11.03.	Remove Existing Monument Sign (Parcel 2)	1	LS	1,195.00	1,195.00	1		1,195.00
11.04.	Remove Existing Monument Sign (Parcel 4)	1	LS	1,615.00	1,615.00	1		1,615.00
ADDITIVE BID ALTERNATES:								
A.	Rectangular Rapid Flashing Beacons (East Pedestrian Crossing)	1	LS	19,095.00	19,095.00	1		19,095.00
B.	Median Pavement: Add Stamped Texture and Integral Color	258	SY	125.00	32,250.00	258		32,250.00
STORED MATERIALS SUMMARY:								
					-			-
					TOTAL ORIGINAL CONTRACT = \$ 1,586,306.00		\$ 1,514,493.24	
CHANGE ORDER SUMMARY:								
CO 1.1.	Pothole Existing Utilities	1	LS	2,389.00	2,389.00	1	1	2,389.00
CO 1.2.	Connection to Existing Manhole	1	EA	6,556.00	6,556.00	1	1	6,556.00
CO 1.3.	Sanitary Sewer, PVC, 8" Dia.	200	LF	138.00	27,600.00	200	1	27,600.00
CO 1.4.	Trench Box	1	LS	3,600.00	3,600.00	1	1	3,600.00
2.06.	Below Grade Excavation (Core Out)	(750)	CY	40.30	(30,225.00)		2	-
4.08.	Subdrain, Corrugated PVC, 6" Dia.	32	LF	21.00	672.00		2	-
5.02.	Water Main, Trenched, PVC C900, 12"	14	LF	84.00	1,176.00		2	-
5.05.	Fitting, 45 Degree Bend, 12"	3	EACH	1,150.00	3,450.00		2	-
5.06.	Fitting, 90 Degree Bend, 8"	(1)	EACH	750.00	(750.00)		2	-
5.10.	Valve, Gate, 8"	(1)	EACH	2,195.00	(2,195.00)		2	-
5.12.	Valve, Gate, Hot Tap, 12"	(1)	EACH	8,900.00	(8,900.00)		2	-
7.01.	Pavement, PCC, 8" Depth	128.7	SY	90.00	11,583.00		2	-
7.02.	Median Curb, PCC, 6" Height, 12" Width, Dowelled	(124)	LF	60.00	(7,440.00)		2	-
7.03.	Curb and Gutter, 2.5' Wdith, 6" Standard Curb, Dowelled	(282)	LF	50.00	(14,100.00)		2	-
7.04.	Curb and Gutter, 2.0' Width, 6" Standard Curb	6	LF	60.00	360.00		2	-
7.06.	Raised PCC Median Pavement, 6" Depth	44	SY	80.00	3,520.00		2	-
7.07.	PCC Median Paving, 8" Depth, Dowelled	(44)	SY	150.00	(6,600.00)		2	-
7.09.	HMA Base Widening, 8" Depth	43.88	SY	74.50	3,269.06		2	-
7.10.	HMA Overlay, Levelling Course, 1/2" PG 58-28S	(25)	TON	143.00	(3,575.00)		2	-
7.13.	Shared Use Path, PCC, 5" Depth	14	SY	55.00	770.00		2	-
7.14.	Sidewalk, PCC, 6" Depth	10.5	SY	70.00	735.00		2	-
7.15.	Detectable Warning	(2)	SF	50.00	(100.00)		2	-
7.18.	Temporary Roadway Pavement	(12.3)	SY	33.75	(415.13)		2	-
7.19.	Temporary Pavement Patch	(84)	SY	130.00	(10,920.00)		2	-

8.05.	Pavement Markings Removed	0.5	STA	250.00	125.00		2	-
8.09.	Flaggers	(8)	CDAY	650.00	(5,200.00)		2	-
8.10.	Portable Dynamic Message Sign (PDMS)	1	CDAY	75.00	75.00		2	-
9.08.	PCC Maintenance Curb, 12" Colored	57	LF	85.00	4,845.00		2	-
9.15.	Rip Rap, Class D Revetment	(11.9)	TON	75.00	(892.50)		2	-
9.16.	Stabilized Construction Entrance	(445)	SY	11.50	(5,117.50)		2	-
9.22.	Chain Link Fence, Black Vinyl Chain Link, 42"	24	LF	57.00	1,368.00		2	-
CO 2.1.	Additional Temp. Traffic Signal Mobilization	1	LS	710.40	710.40	1	2	710.40
9.13.	Temporary RECP, Type 2C	(120)	SY	4.50	(540.00)		3	-
CO 3.1.	Temporary RECP, Type 2C	2,370	SY	3.00	7,110.00	2,370	3	7,110.00
CO 3.2.	Conventional Seeding, Type 1	0.5	ACRE	4,400.00	2,200.00	0.5	3	2,200.00
					-			-
				TOTAL CHANGE ORDERS = \$ (14,856.67)				\$ 50,165.40
				TOTAL CONTRACT				
				& CHANGE ORDERS \$1,571,449.33				\$ 1,564,658.64

SITE PLAN REVIEW

Date: May 1, 2023
 Project: Ace Hardware Site Plan

Prepared by: Kathleen Connor
 Travis Thornburgh, P.E.
 Project No.: 123.0568.01

GENERAL INFORMATION:

Owner/ Applicant:	Kimberley Development Corp.
Requested Action:	Approval of Site Plan and POS
Location	Outlot Z, Crossroads at the Lakes Plat 1
Size:	2.113 acres
Zoning:	Planned Unit Development (PUD)
Proposed Use:	Hardware and Paint Store



BACKGROUND:

The subject property was rezoned to Planned Unit Development (PUD) on June 13, 2016. A Revised P.U.D. Master Plan for Crossroads at the Lakes was approved on October 13, 2017 which defined this property as Lot 83. Per the Revised P.U.D. Master Plan, Lot 83 shall comply with all C-2 regulations, except as follows:

- Automotive sales, service, and repairs; car washes, adult entertainment, convenience stores, gas stations and lumber yards are not permitted uses on this lot.
- Offices and/or residential uses are permitted on the second floor of this lot.
- A 30' buffer is required on the eastern and northern property line of this lot.
- A landscape buffer consisting of a berm with trees and shrubs, along with a 20' parking setback north of the back of curb, shall be provided to screen the commercial building from the townhomes south of Hickory Way,

The subject property was later platted as Outlot Z of Crossroads at the Lakes Plat 1 which requires the developer to replat the property in order to create a buildable lot. Plat improvements included construction of Hickory Way and Willow Way, both as private streets. Plat 1 also included extension of public water mains, sanitary sewers, and storm sewers along with a storm water management facility that serves the entire subdivision.

DESCRIPTION:

On behalf of Ace Hardware, Kimberley Development Corp. proposes construction of a new retail building to be located on the Outlot in front of Crossroads Townhomes on S. 3rd Street. The project will include a one-story building, facing S. 3rd Street, that is 15,200 sq. ft. in size. The building will be constructed of a combination of brown-tone brick and dry-vit that will need to conform to the Architectural Design Standards' requirement for 60% brick on the west side, facing the public street, and 50% brick on the north, south, and east sides.

The developer proposes outdoor merchandising areas along the west side of the proposed building. These outdoor merchandising areas will contain a propane exchange area along with lawn care, landscape products, snow maintenance products, and similar seasonal items.

The parking lot will have access from both Willow Way and Hickory Way. Parking will be provided on three sides of the building.

The 10' wide trail has been already been paved along S. 3rd Street and a 4' sidewalk will be constructed along Willow Way to provide connectivity for the townhomes. Buffer trees will be planted in the existing 30' wide buffer easement on the north and east side of this parcel. Additional trees will be planted along both streets and on the east side of the parking lot. Existing trees will be protected within the 30' landscape buffer easement adjacent to the townhomes in Crossroads at the Lakes Plat 1.

Detention has been provided in the existing basins that serve all of the Crossroads at the Lakes subdivision. Water service and sanitary sewer service was extended to the site as part of the Crossroads at the Lakes Plat 1 development. Private storm sewers were constructed with said plat to provide access to the storm water management facility.

REVIEW COMMENTS:

The Plat of Survey and Site Plan have been revised to address staff's review comments.

RECOMMENDATION:

Based on the foregoing, P&Z and staff recommends approval of the Site Plan and Plat of Survey for Parcel 2023-73 for Ace Hardware, subject to:

1. No Building Permit will be issued for Ace Hardware until the applicant provides a recorded copy of the Plat of Survey to the City Clerk.
2. No temporary or permanent Certificate of Occupancy will be issued for Ace Hardware until all site plan elements are complete, including landscaping, or an Agreement to Complete with surety is supplied to the City.
3. Payment in full of all fees and professional billings to the City of Polk City.

RESOLUTION NO. 2023-67

**A RESOLUTION APPROVING A PLAT OF SURVEY FOR
PARCEL NO. 2023-73**

WHEREAS, Kimberley Development Corporation has submitted a Plat of Survey, to be known as Parcel No. 2023-73 located within Outlot Z of Crossroads at the Lakes Plat 1 of Polk City, an official plat in the Polk County, Iowa to the City of Polk City for approval; and

WHEREAS, the intent of this Survey is to create a buildable parcel on Outlot Z of Crossroads at the Lake; and

WHEREAS, the City Attorney and City Engineer has reviewed the Plat of Survey and recommend approval of same.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa, hereby approves the Plat of Survey for Parcel No. 2023-73.

PASSED AND APPROVED the 22 day of May 2023.

Steve Karsjen Mayor

ATTEST:

Jenny Coffin, City Clerk

INDEX LEGEND

LOCATION: OUTLOT 'Z', CROSSROADS AT THE LAKES PLAT 1
POLK CITY, POLK COUNTY, IOWA

REQUESTOR: KIMBERLEY DEVELOPMENT CORPORATION

PROPRIETOR: KIMBERLEY DEVELOPMENT CORPORATION
POB 369
ANKENY, IA 50021-0369

SURVEYOR: LOUIS M. KELEHAN

COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: 515-369-4400

AREA RIGHT RESERVED
FOR RECORDING STAMP

PLAT OF SURVEY

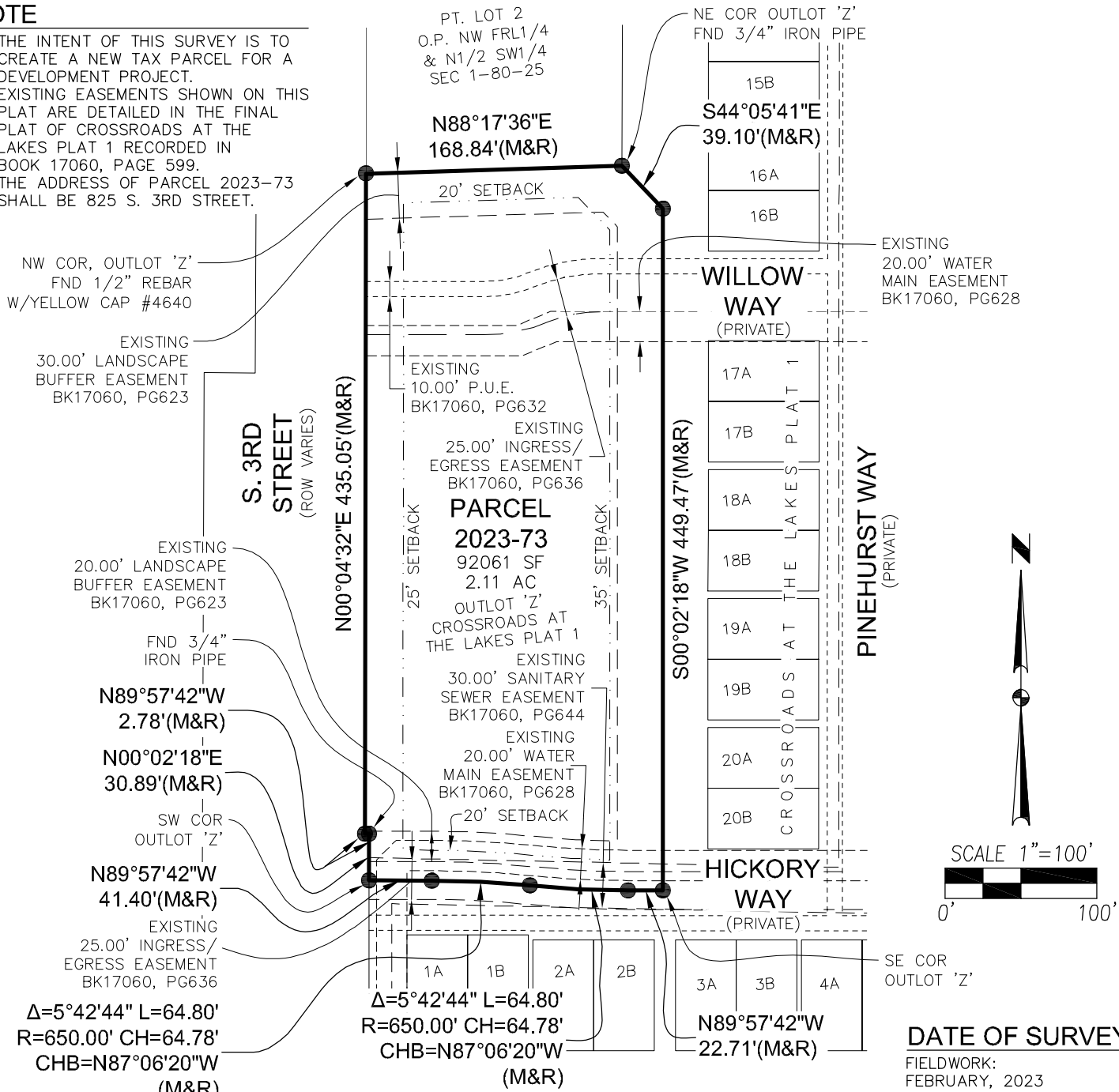
PARCEL 2023-73 LEGAL DESCRIPTION

OUTLOT 'Z', CROSSROADS AT THE LAKES PLAT 1, AN OFFICIAL PLAT IN THE CITY OF POLK CITY, POLK COUNTY, IOWA.

THE PROPERTY CONTAINS 2.11 ACRES (92,061 SQUARE FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

NOTE

1. THE INTENT OF THIS SURVEY IS TO CREATE A NEW TAX PARCEL FOR A DEVELOPMENT PROJECT.
2. EXISTING EASEMENTS SHOWN ON THIS PLAT ARE DETAILED IN THE FINAL PLAT OF CROSSROADS AT THE LAKES PLAT 1 RECORDED IN BOOK 17060, PAGE 599.
3. THE ADDRESS OF PARCEL 2023-73 SHALL BE 825 S. 3RD STREET.



LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP PLASTIC #18660 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
ARC LENGTH	AL	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	
PROPERTY BOUNDARY	---	

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

NOT FOR CONSTRUCTION

LOUIS M. KELEHAN, P.L.S.
18660

DATE _____
LICENSE NUMBER 18660
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET _____

RESOLUTION NO. 2023-67

**A RESOLUTION APPROVING THE SITE PLAN FOR
ACE HARDWARE**

WHEREAS, Kimberley Development Corporation has submitted a Site Plan for a new Ace Hardware to be located at 825 S 3rd Street; and

WHEREAS, on May 15, 2023 the Polk City Planning & Zoning Commission met and recommended approval of the Site Plan, subject to completion of the City Engineer's review comments and recommendations being satisfactorily addressed; and

WHEREAS, the City Engineer has reviewed the Site Plan and accompanying documents and recommends Council approval.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission, City Engineer and deems it appropriate to approve the Site Plan for Ace Hardware subject to (1) No Building Permit will be issued for Ace Hardware until the applicant provides a recorded copy of the Plat of Survey to the City Clerk and (2) No temporary or permanent Certificate of Occupancy will be issued for Ace Hardware until all site plan elements are complete, including site plantings, or an Agreement to Complete with surety has been supplied to the City.

PASSED AND APPROVED the 22 day May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

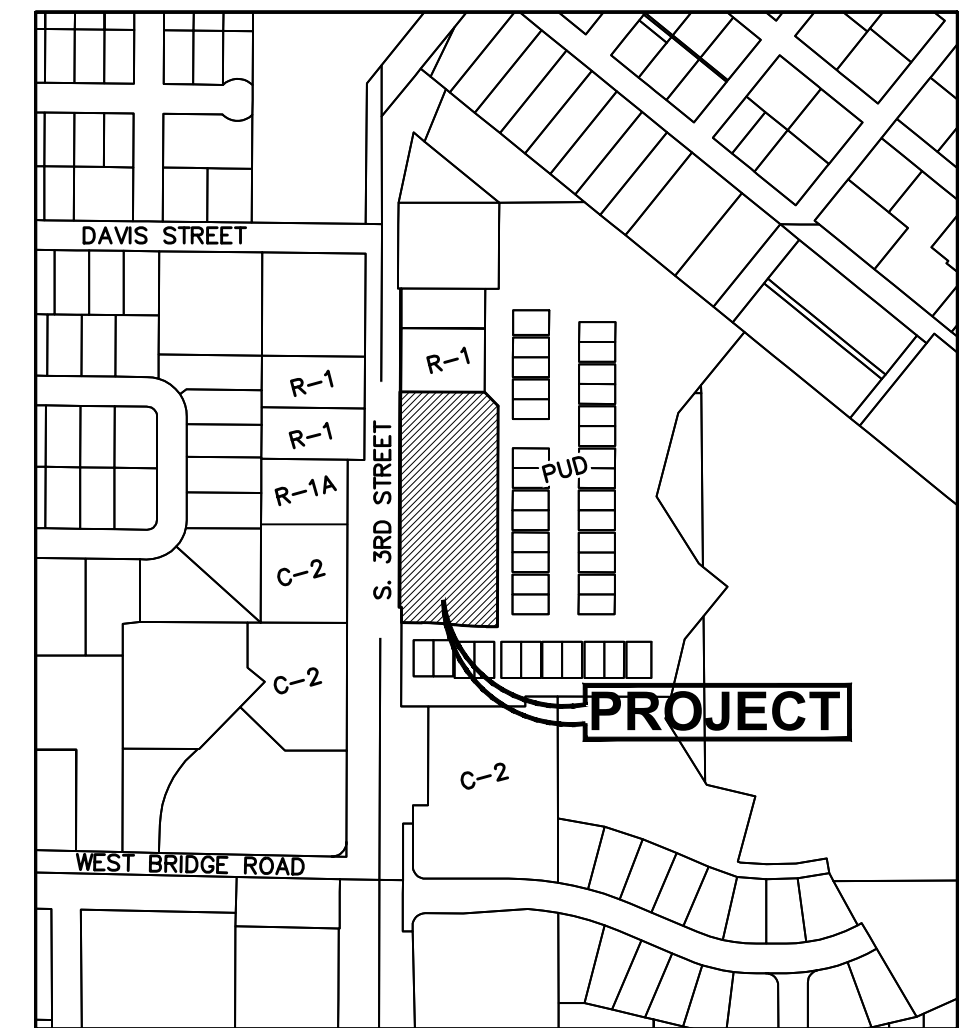
SITE PLAN FOR:

ACE HARDWARE

825 S. 3RD STREET, POLK CITY, IOWA

VICINITY MAP

NOT TO SCALE



POLK CITY, IOWA

OWNER / DEVELOPER

KIMBERLEY DEVELOPMENT CORPORATION
 CONTACT: JORDAN KRAMER
 2785 N. ANKENY BLVD.
 ANKENY, IA 50023
 PH: (515) 963-8335

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
 CONTACT: ERIN OLLENDIKE
 4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PH. (515) 369-4400
 FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
 CONTACT: CHARLIE MCGLOTHLEN
 4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PH. (515) 369-4400
 FX. (515) 369-4410

DATE OF SURVEY

MARCH 1, 2023

BENCHMARKS

SET BM: BURY BOLT ON HYDRANT AT THE SE CORNER OF WILLOW & 3RD ST. ELEVATION=939.72

CHECK BM: BURY BOLT ON HYDRANT AT THE NW CORNER OF HWY 415 & 3RD ST. ELEVATION=932.79

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2023
 ANTICIPATED FINISH DATE = DECEMBER 2023

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 04/19/2023
 -SITE PLAN SUBMITTAL TO CITY #2: 05/02/2023
 -SITE PLAN SUBMITTAL TO CITY #3: 05/11/2023

LEGAL DESCRIPTION

OUTLOT 'Z', CROSSROADS AT THE LAKES PLAT 1, AN OFFICIAL PLAT IN THE CITY OF POLK CITY, POLK COUNTY, IOWA.

THE PROPERTY CONTAINS 2.11 ACRES (92,061 SQUARE FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

P.U.D. IN ACCORDANCE WITH THE REVISED P.U.D. MASTER PLAN FOR CROSSROADS AT THE LAKES.

NOTES:

- THIS PARCEL SHALL COMPLY WITH ALL C-2 REGULATIONS UNLESS SPECIFICALLY WAIVED ON SAID P.U.D. MASTER PLAN. AUTOMOTIVE SALES, SERVICE AND REPAIRS; CAR WASHES, ADULT ENTERTAINMENT, CONVENIENCE STORES, GAS STATIONS AND LUMBER YARDS SHALL NOT BE ALLOWED.
- OFFICES AND/OR RESIDENTIAL USES ARE PERMITTED ON THE SECOND FLOOR.

PROJECT SITE ADDRESS

825 S. 3RD STREET

DEVELOPMENT SUMMARY

AREA: 2.11 ACRES (92,061 SF)

SETBACKS:

FRONT = 25'
 SIDE = 0' (ADJACENT TO COMMERCIAL)
 SIDE = 20' (ADJACENT TO RESIDENTIAL)
 REAR = 35'
 PARKING = 0' EXCEPT ADJACENT TO S. 3RD STREET (5')

OPEN SPACE REQUIRED:

13,810 SF (15%)

OPEN SPACE CALCULATION:

TOTAL SITE = 92,061 SF (2.11 AC)
 BUILDING = 15,380 SF
 PARKING AREAS = 10,987 SF
 DRIVEWAYS = 24,096 SF
 SIDEWALK = 5,143 SF
 OPEN SPACE PROVIDED = 36,455 SF (39%)

PRINCIPAL USE:

HARDWARE AND PAINT RETAIL STORE

NUMBER OF STORIES:

1-STORY BUILDING

BUILDING HEIGHT:

22'-0" (TOP OF PARAPHET WALL)

BUILDING FOOTPRINT:

TOTAL BUILDING = 15,380 SF

PARKING REQUIREMENTS:

SALES OF GOODS WITH LOW-VOLUME TRAFFIC GENERATION
 1 / 400 SF

TOTAL REQUIRED:

15,380 SF / 400 SF = 39 SPACES

TOTAL PROVIDED:

= 71 SPACES (3 ADA SPACES)

NOTES

THERE SHALL BE NO OUTDOOR STORAGE OR MERCHANDISING OTHER THAN IN LOCATIONS SPECIFICALLY DESIGNATED FOR SUCH PURPOSE ON THIS SITE PLAN.

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3-5	GRADING PLAN
6	UTILITY PLAN
7	EROSION AND SEDIMENT CONTROL PLAN
8	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	—————
LOT LINE	-----
SECTION LINE	-----
CENTER LINE	-----
RIGHT OF WAY	--- R/W ---
PERMANENT EASEMENT	--- P/E ---
TEMPORARY EASEMENT	--- T/E ---
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	
SANITARY SERVICE	
STORM SEWER	
STORM SERVICE	
WATERMAIN WITH SIZE	
WATER SERVICE	
SAWCUT (FULL DEPTH)	
SILT FENCE	
USE AS CONSTRUCTED	(U.A.C.)
FINISH GRADE AT HYDRANT	(F.G.H.)
FINISH FLOOR ELEVATION	FFE
TOP OF WALL	TW
FINISHED GRADE AT WALL	BW
DOWNSPOUT LOCATION	DS
TOP OF CURB	TC
FORM GRADE	FG

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	
GAS MAIN	
FIBER OPTIC	
UNDERGROUND TELEPHONE	
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
FIELD TILE	
SANITARY SEWER W/ SIZE	
STORM SEWER W/ SIZE	
WATER MAIN W/ SIZE	



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322
 PH: (515) 369-4400 Fax: (515) 369-4410
 2212.847

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF POLK CITY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

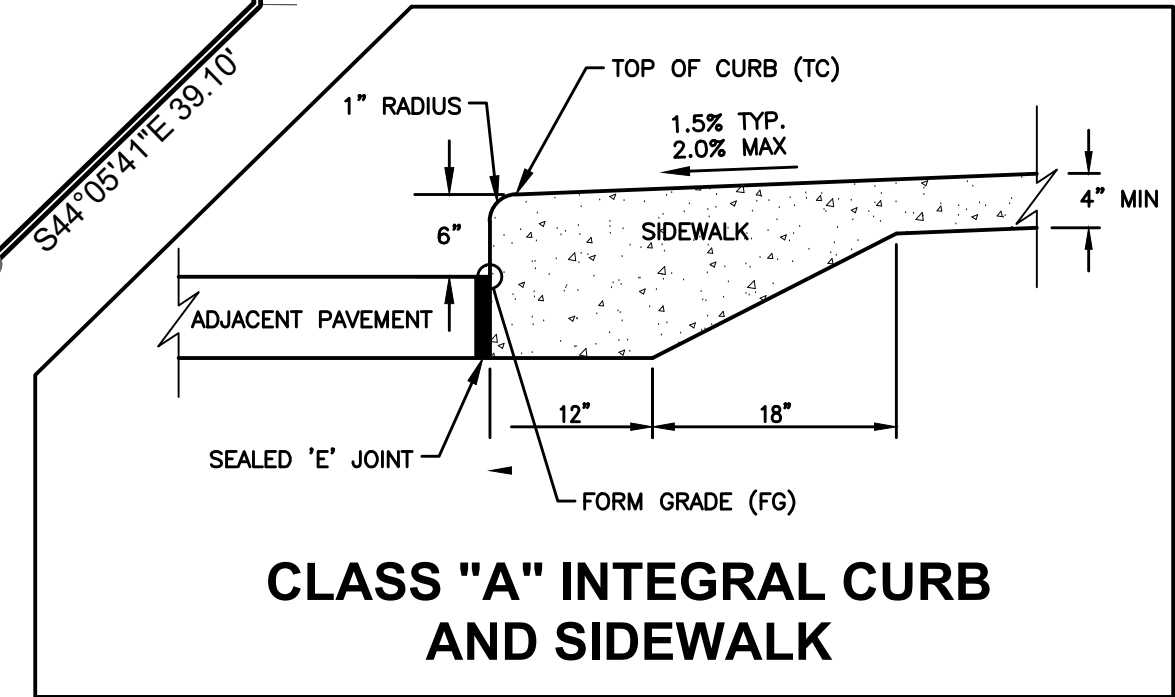
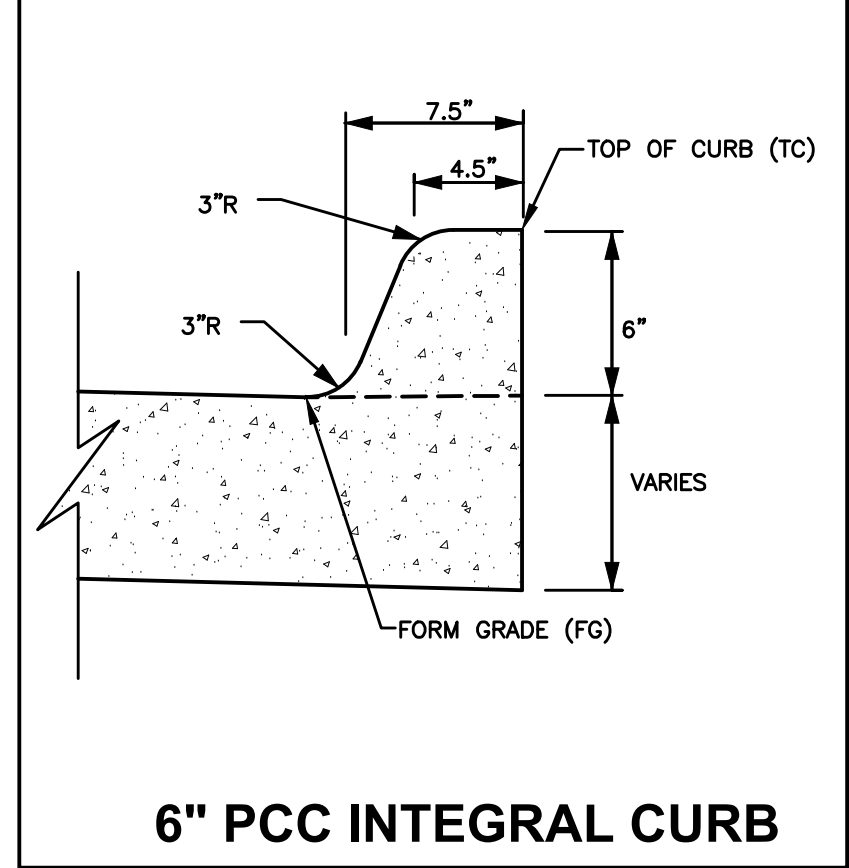
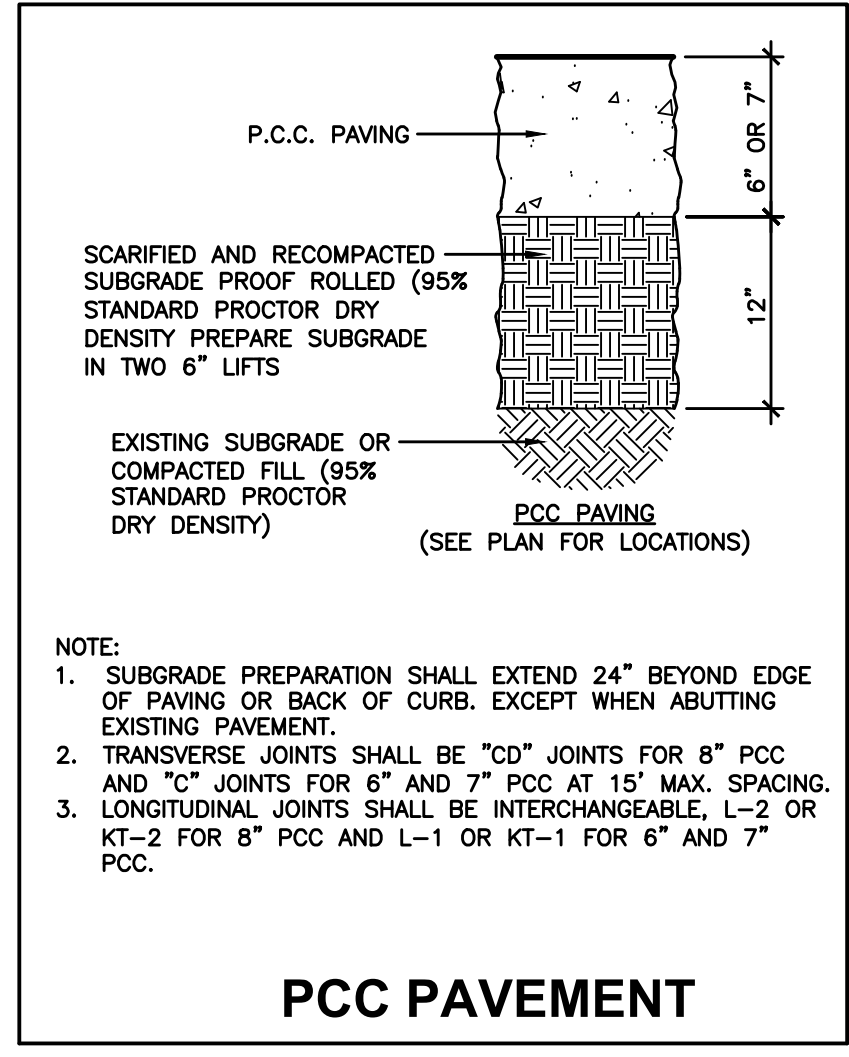
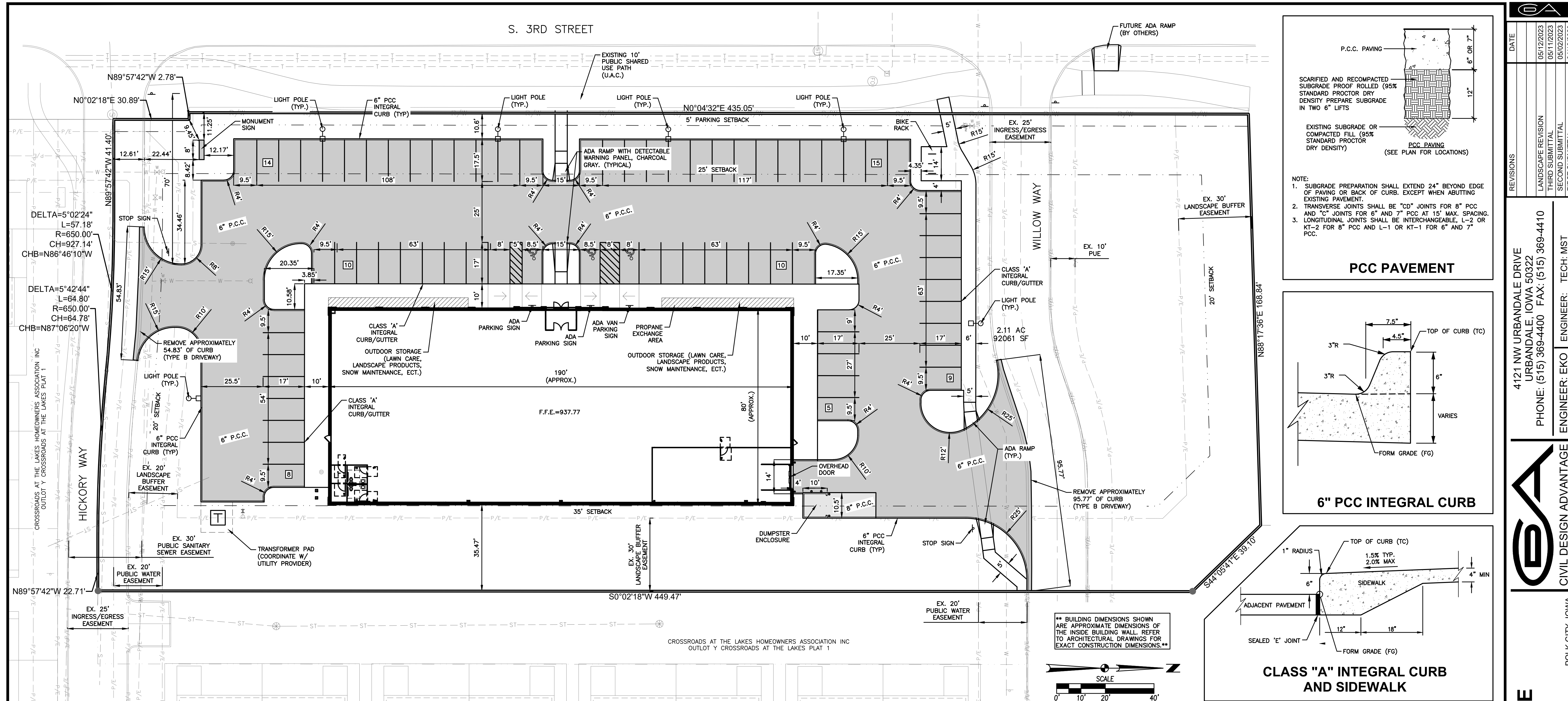
THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

ERIN K. OLLENDIKE, P.E.

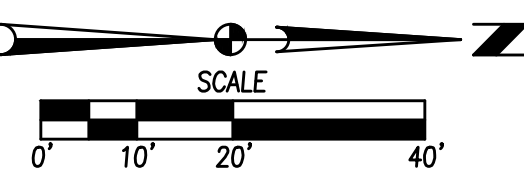
DATE _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
 PAGES OR SHEETS COVERED BY THIS SEAL:
 SHEETS 1-7

ACE HARDWARE



** BUILDING DIMENSIONS SHOWN ARE APPROXIMATE DIMENSIONS OF THE INSIDE BUILDING WALL. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT CONSTRUCTION DIMENSIONS.**



GENERAL NOTES

- THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.

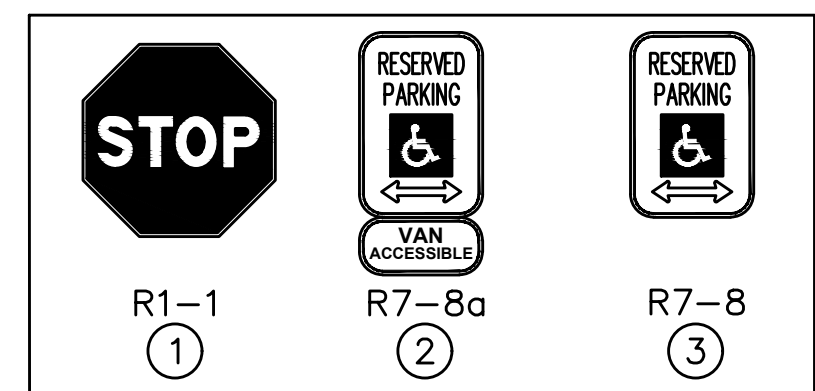
TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

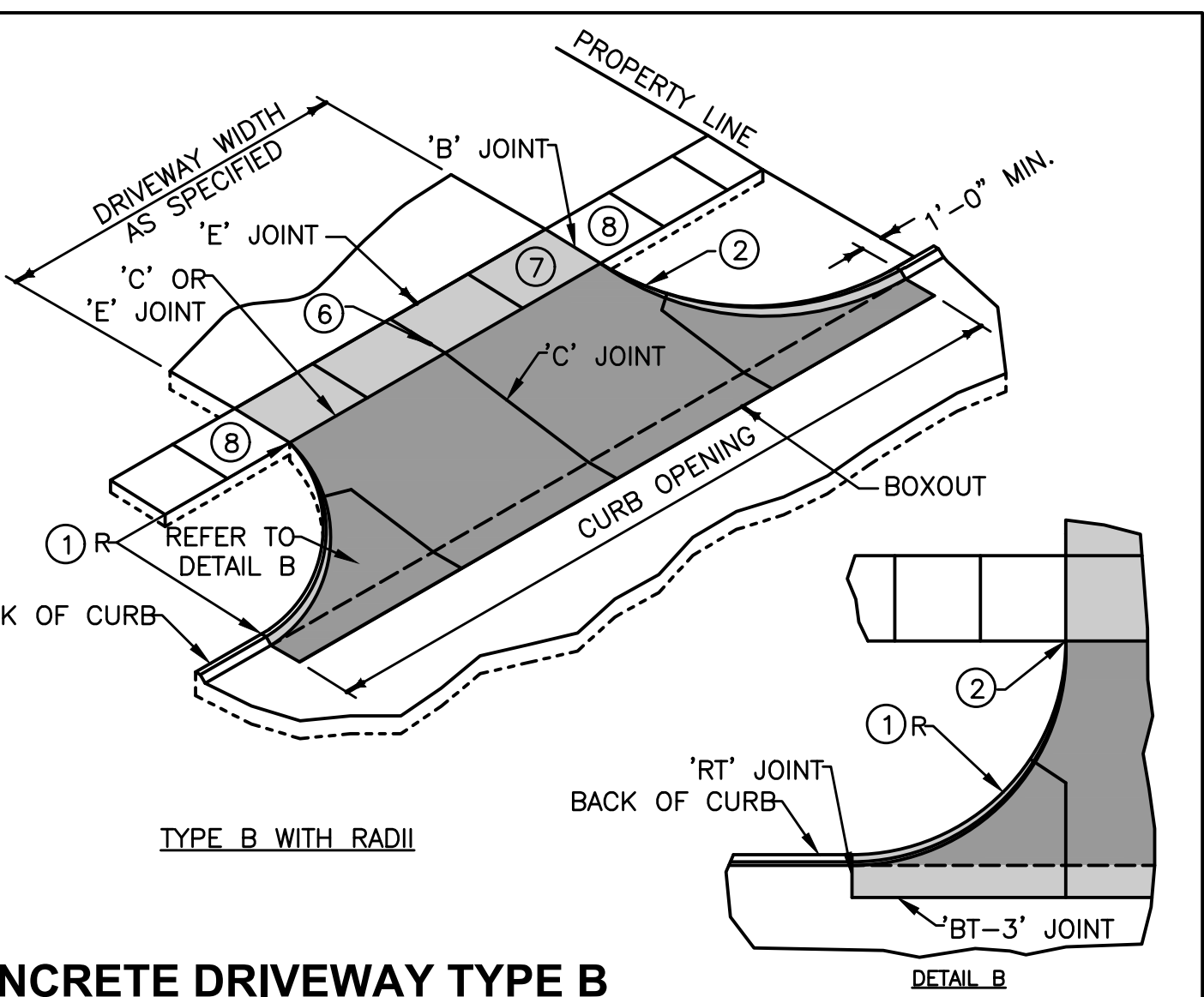
- SIDEWALKS 4\"/>

SIGN LEGEND



CONCRETE DRIVEWAY TYPE B

- DRIVEWAY RADIUS (R). RESIDENTIAL: 10 FOOT MINIMUM, 15 FOOT MAXIMUM. COMMERCIAL AND INDUSTRIAL: AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB CROSS SIDEWALK.
- PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- IF LONGITUDINAL JOINT IS LOCATED 48 INCHES OR LESS FROM THE BACK OF CURB, EXTEND BOXOUT TO JOINT LINE. FULL DEPTH SAW CUT IS STILL REQUIRED.
- FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD THE CENTER OF THE ALLEY.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF THE ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.
- TRANSITION STREET CURB AT MINIMUM 1:1 SLOPE TO MEET DRIVEWAY CURB



DATE	05/12/2023
REVISIONS	LANDSCAPE REVISION
	THIRD SUBMITTAL
	SECOND SUBMITTAL
	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: TECH. MST

ACE HARDWARE
CIVIL DESIGN ADVANTAGE
DIMENSION PLAN

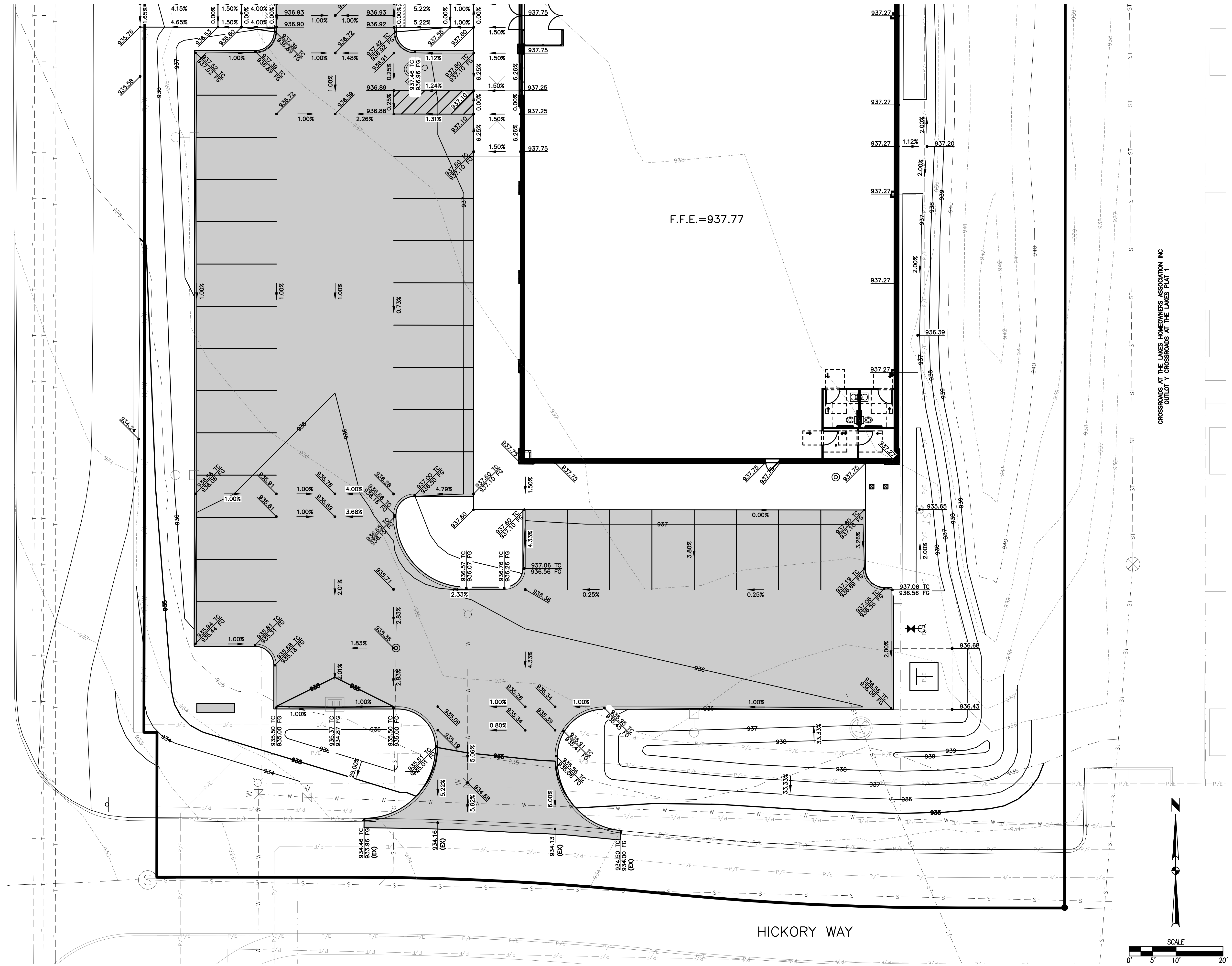
POLK CITY, IOWA

2/8
 2212.847

FILE: H:\2023\212847\WORK\212847- SITE PLAN.DWG
COMMENT: EXHIBIT
PLOTTED BY: AYAN LINDHOLM TECH
DATE: 5/12/2023 11:11 AM

JJM HOLDINGS LLC
LOT 35 EDGEWATER POINTE PLAT 2

S. 3RD STREET



CROSSROADS AT THE LAKES HOMEOWNERS ASSOCIATION, INC
OUTLOT 1 CROSSROADS AT THE LAKES PLAT 1

ACE HARDWARE GRADING PLAN

3/8
2212.847



POLK CITY, IOWA
ENGINEER: EKO
ENGINEER: TECH: MST

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410

REVISIONS	DATE
LANDSCAPE REVISION	05/12/2023
THIRD SUBMITTAL	05/12/2023
SECOND SUBMITTAL	05/02/2023
FIRST SUBMITTAL	04/19/2023

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 PLOTTED BY: AYAN UNDOHUA TECH 5/12/2023 11:11 AM

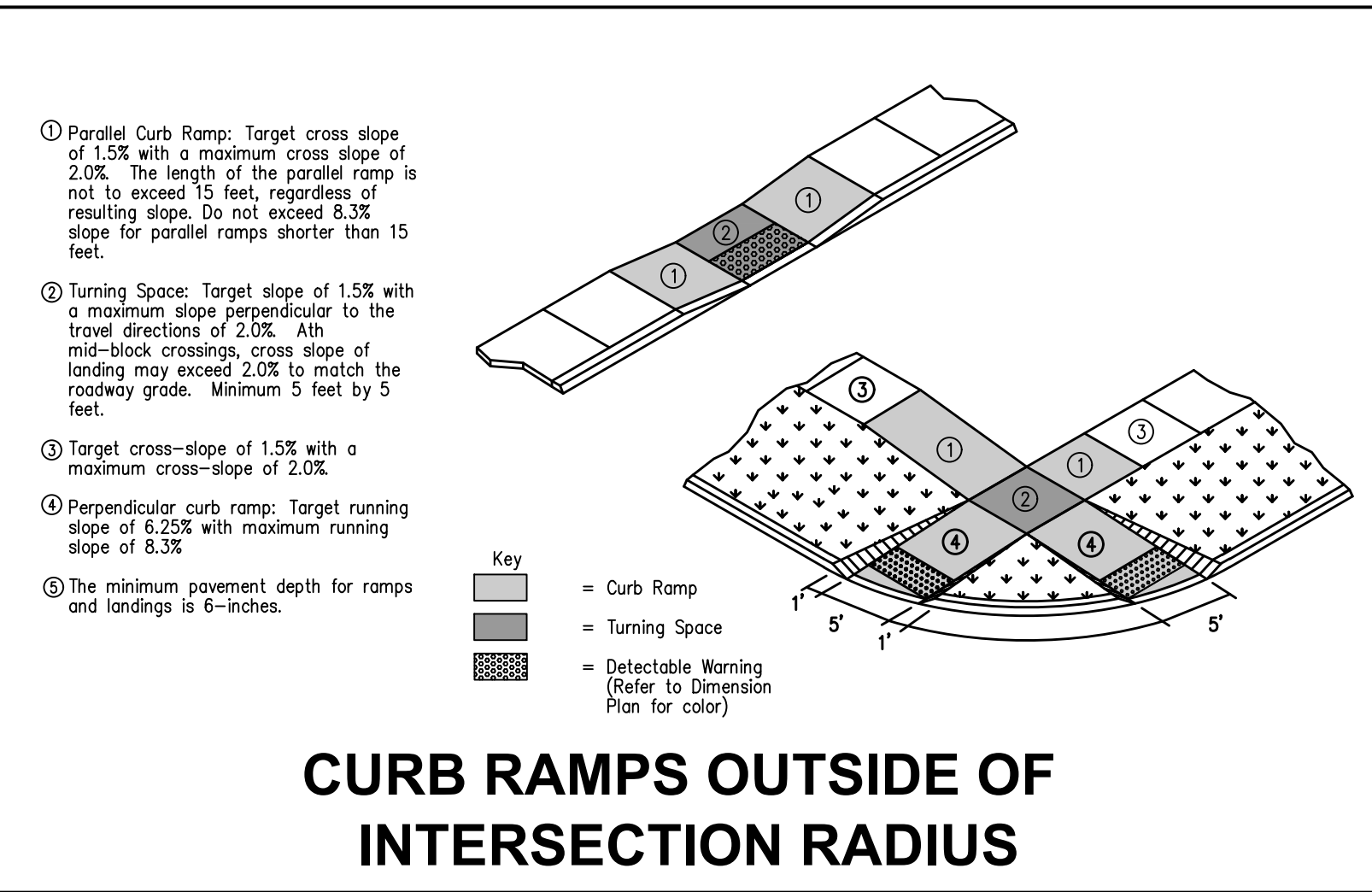
LOT 35 EDgewater POINTE PLAT 2



	ACE HARDWARE GRADING PLAN		POLK CITY, IOWA CIVIL DESIGN ADVANTAGE ENGINEER: EKO ENGINEER: TECH: MST
	4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410		
	REVISIONS LANDSCAPE REVISION THIRD SUBMITTAL SECOND SUBMITTAL FIRST SUBMITTAL		
	DATE 05/12/2023 05/11/2023 05/02/2023 04/19/2023		

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.
14. DISTURBED AREA =1.72 ACRES



CURB RAMPS OUTSIDE OF INTERSECTION RADIUS

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 PLOTTED BY: AYAN UNDOHOU, TECH
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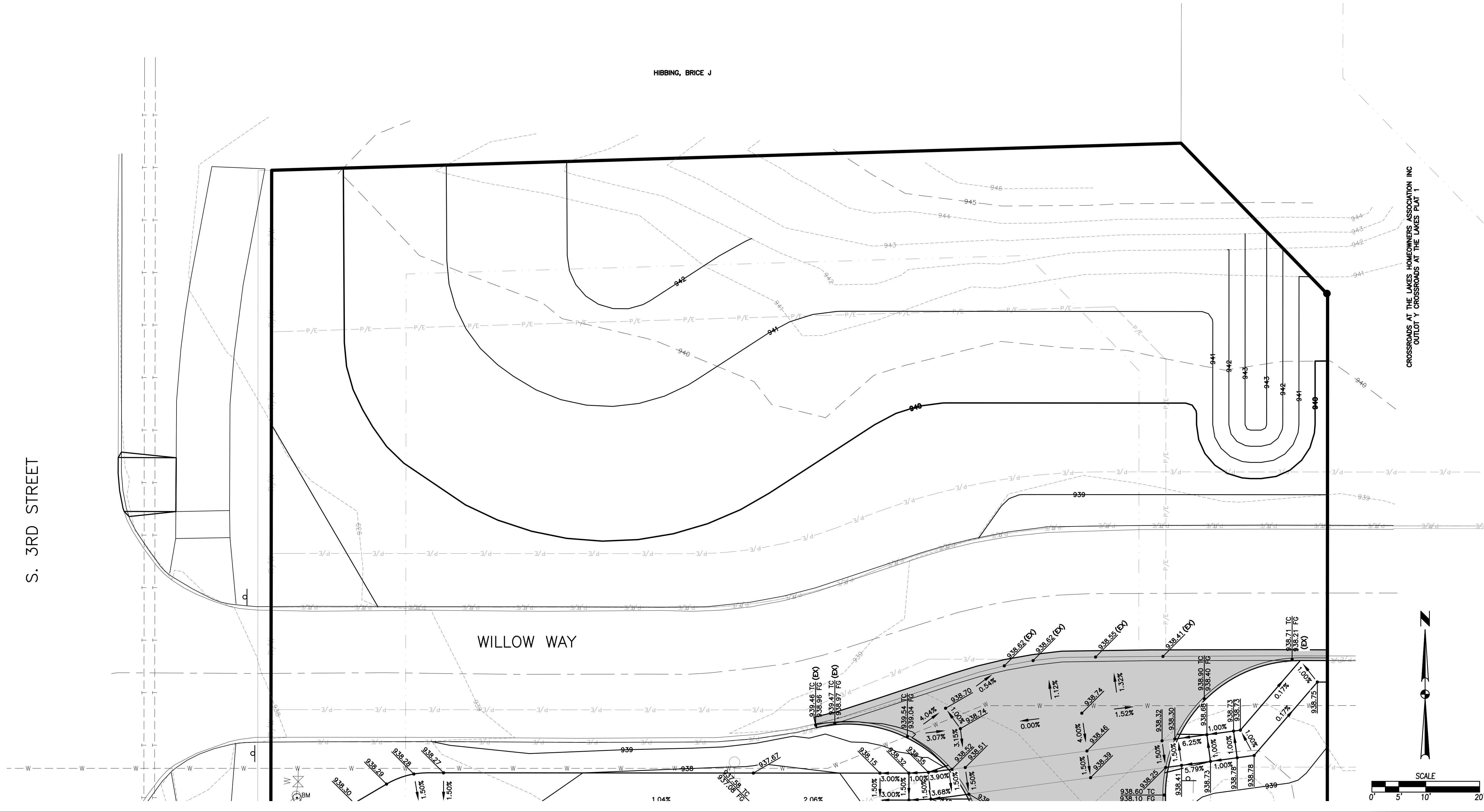
BERTELSEN, MARY

S. 3RD STREET

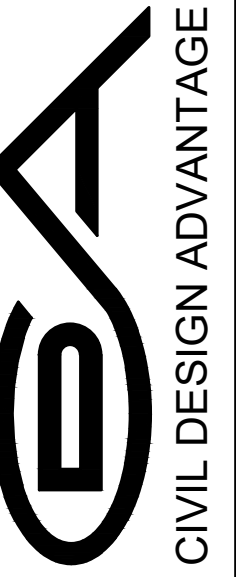
HIBBING, BRICE J

WILLOW WAY

CROSSROADS AT THE LAKES HOMEOWNERS ASSOCIATION INC
OUTLET 7 CROSSROADS AT THE LAKES PLAT 1



4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
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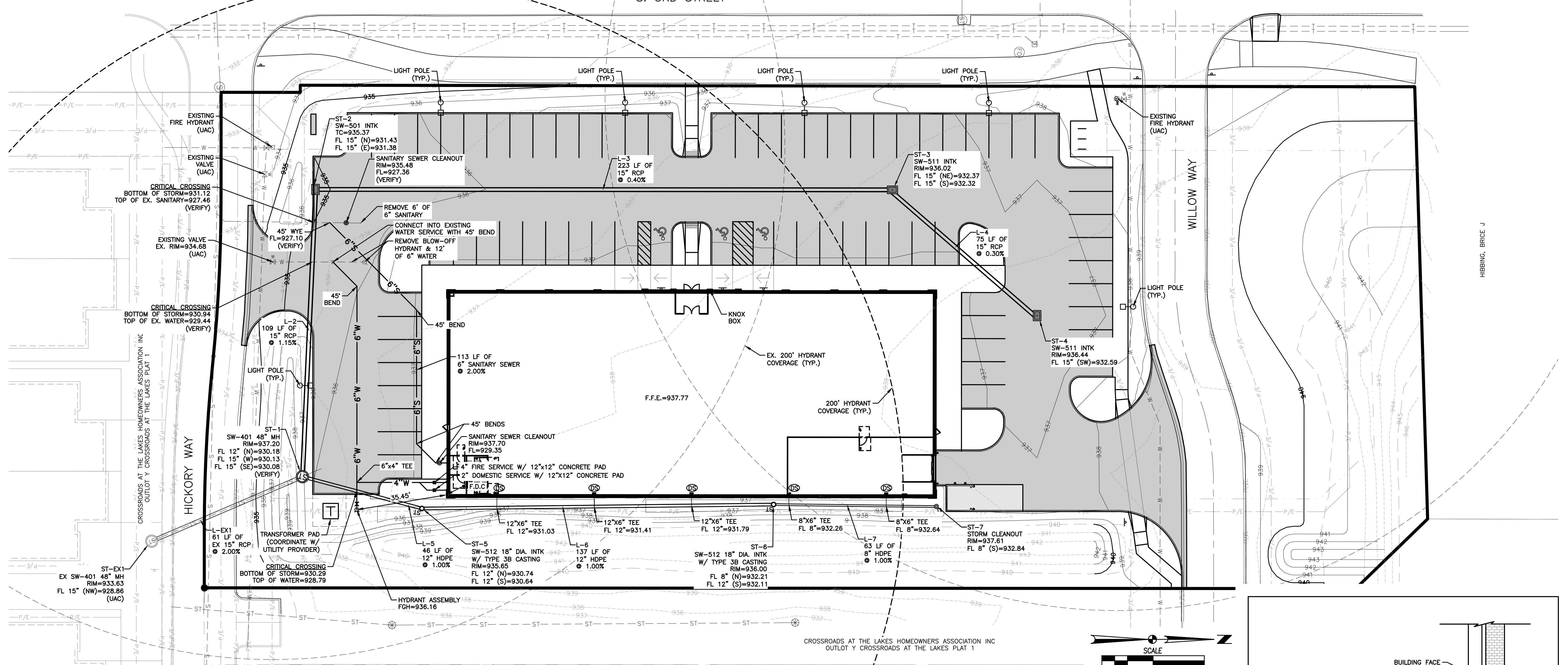


POLK CITY, IOWA

ACE HARDWARE
GRADING PLAN

REVISIONS	DATE
LANDSCAPE REVISION	05/12/2023
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FIRST SUBMITTAL	04/19/2023

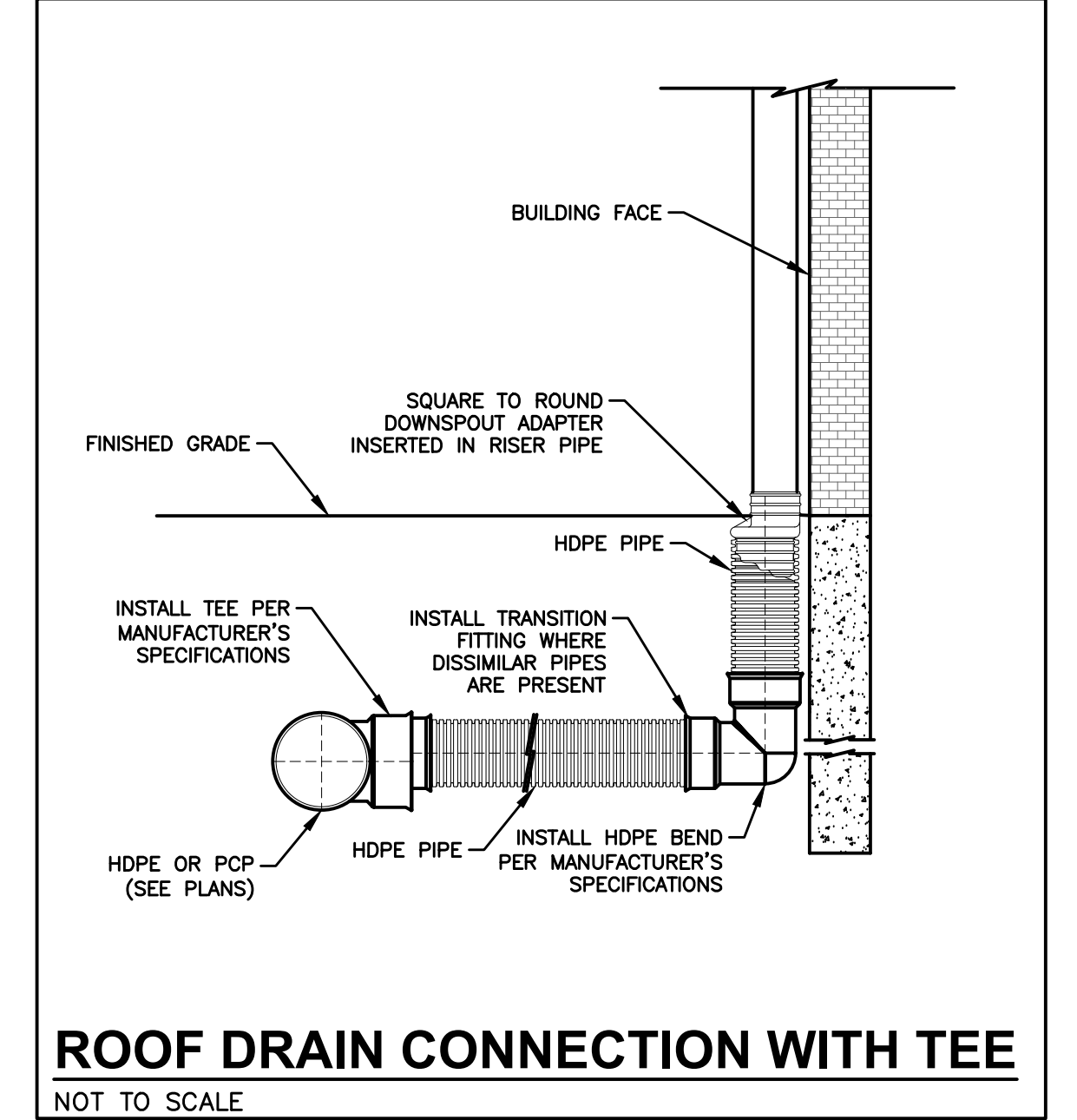
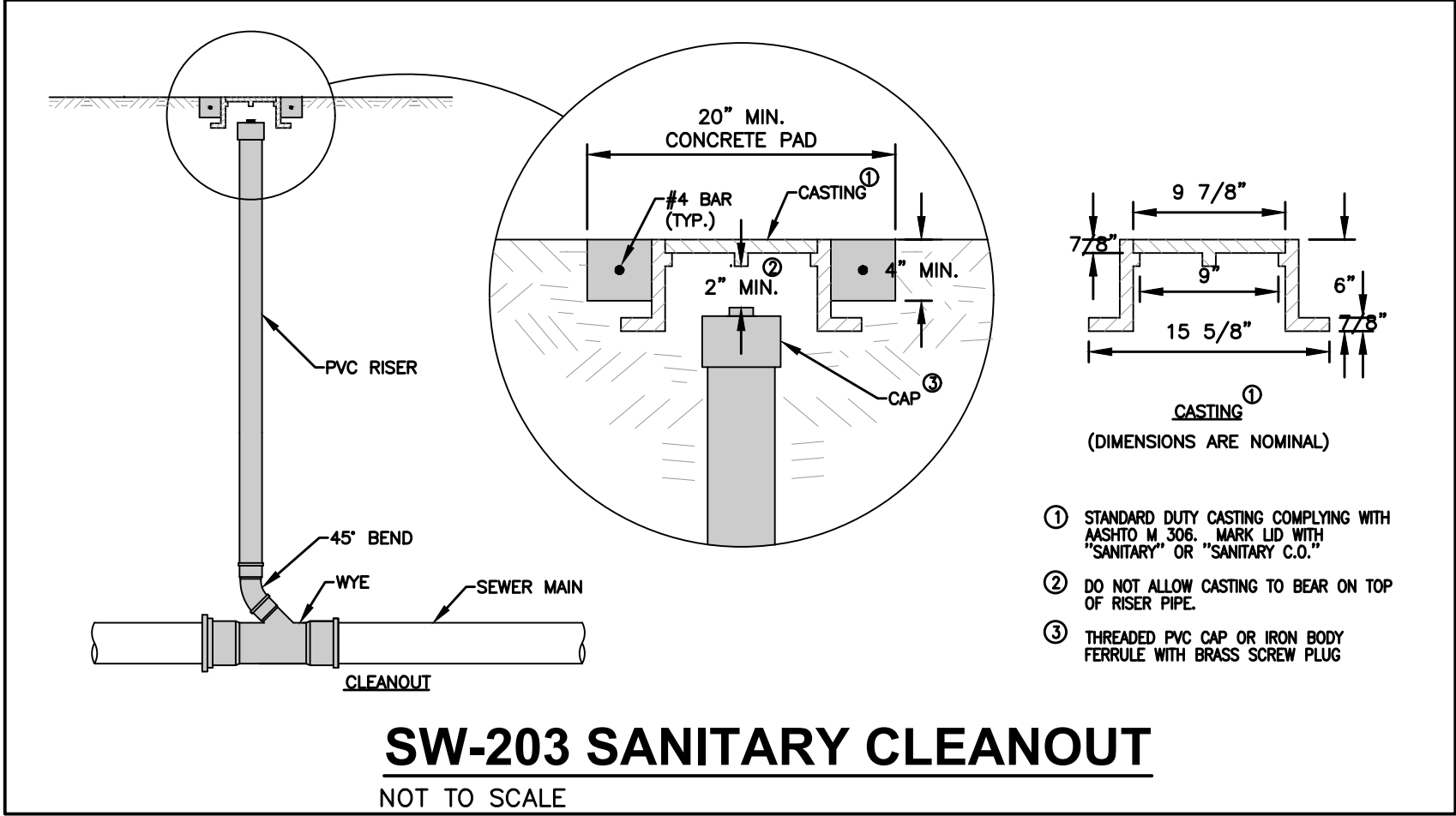
S. 3RD STREET



UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATIONS OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- BUILDING WILL BE SPRINKLED.
- ALL SERVICES SHALL BE BURIED AND CONSTRUCTED UNDERGROUND. OVERHEAD SERVICES WILL NOT BE ALLOWED.
- MECHANICAL UNITS FOR THIS BUILDING WILL BE ROOF MOUNTED. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND SCREENING.

DS DOWN SPOUT LOCATION



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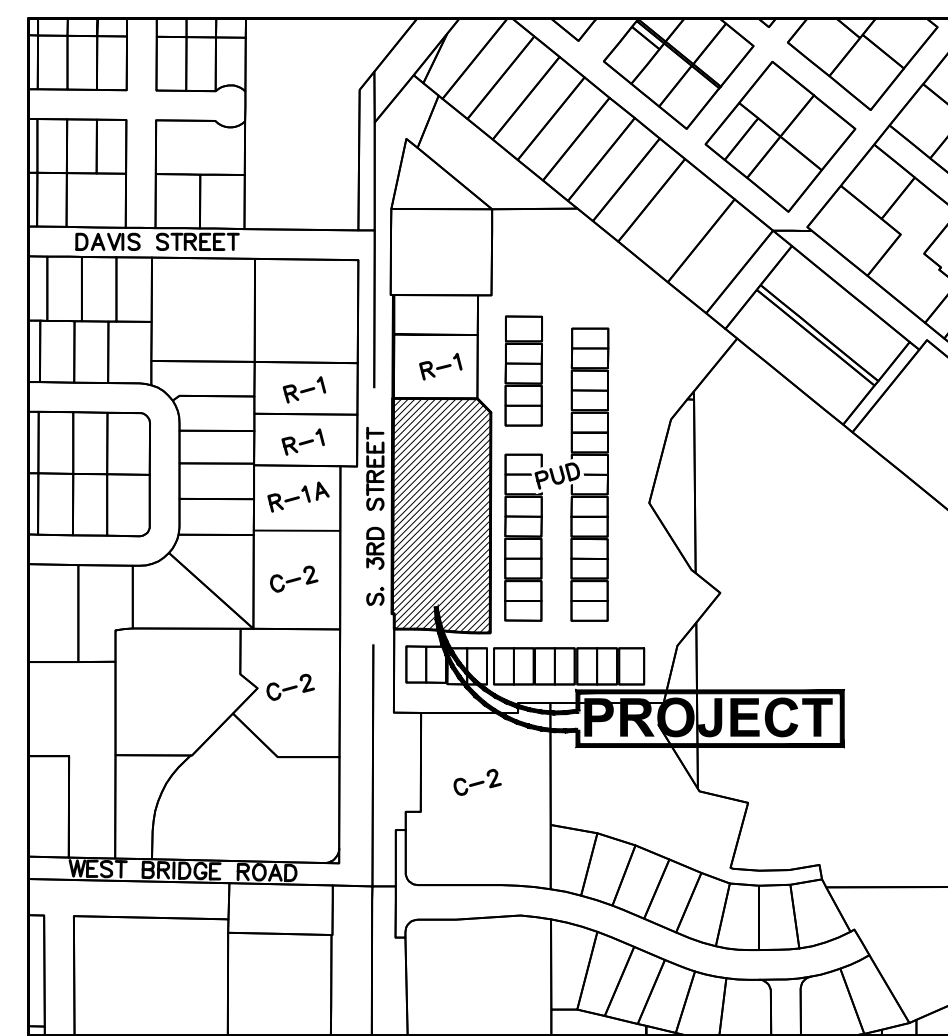
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REVISIONS		
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410		
ENGINEER: EKO ENGINEER: TECH: MST		
POLK CITY, IOWA		
ACE HARDWARE UTILITY PLAN		
6/8 2212.847		

ACE HARDWARE

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



POLK CITY, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	973
2	SEEDING, FERTILIZING, AND MULCHING	AC	0.59
3	INLET PROTECTION DEVICES	EA	3
4	CONCRETE WASHOUT PIT	EA	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO AN UNKNOWN TRIBUTARY OF BIG CREEK ±1.100 FT	1.71 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	6,156 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (973 LF @ 9 CU FT/LF OF FENCE)	8,757 CU FT
TOTAL VOLUME PROVIDED	8,757 CU FT

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- TREE PROTECTION FENCE SHALL BE INSTALLED AND INSPECTED BY A POLK CITY CONSTRUCTION OBSERVER PRIOR TO CONSTRUCTION STARTING.

SWPPP LEGEND

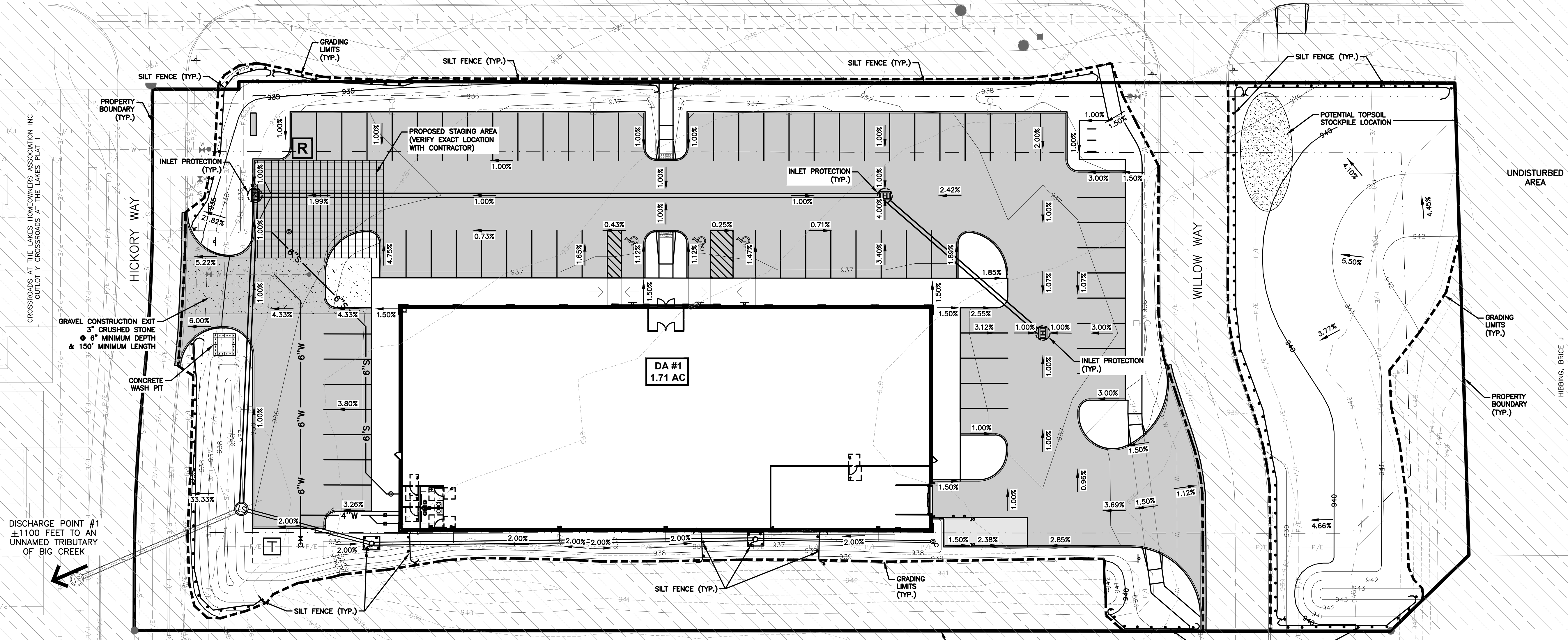
DRAINAGE ARROW		UNDISTURBED AREA	
GRADING LIMITS		RIP-RAP	
FILTER SOCK		GRAVEL ENTRANCE	
SILT FENCE		STAGING AREA	
INLET PROTECTION		CONCRETE WASHOUT PIT	
PORTABLE RESTROOM			

JJM HOLDINGS LLC
LOT 35 EDGEWATER POINTE PLAT 2

BERTELSEN, MARY

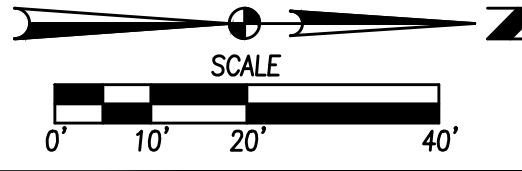
S. 3RD STREET

UNDISTURBED AREA



DISCHARGE POINT #1
±1100 FEET TO AN
UNNAMED TRIBUTARY
OF BIG CREEK

CROSSROADS AT THE LAKES HOMEOWNERS ASSOCIATION INC
OUTLOT Y CROSSROADS AT THE LAKES PLAT 1



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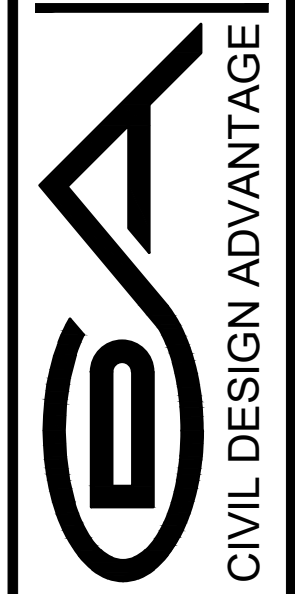
ACE HARDWARE
CIVIL DESIGN ADVANTAGE
POLK CITY, IOWA

EROSION AND SEDIMENT CONTROL PLAN

7
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2212.847

DATE	05/12/2023
REVISIONS	LANDSCAPE REVISION
	THIRD SUBMITTAL
	SECOND SUBMITTAL
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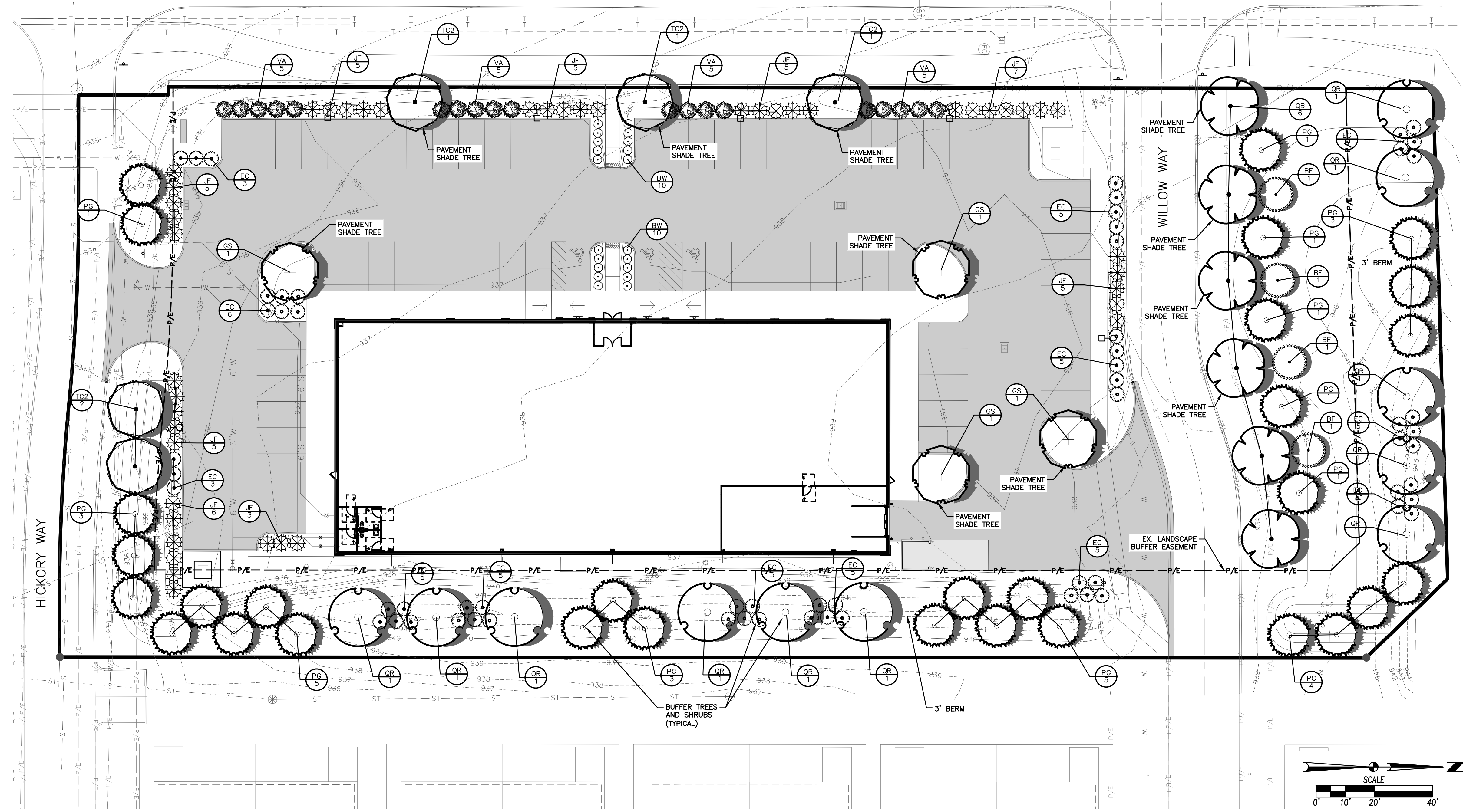
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POLK CITY, IOWA

ACE HARDWARE
LANDSCAPE PLAN

S. 3RD STREET



LANDSCAPE REQUIREMENTS

OPEN SPACE	= 92,061 SF
LOT AREA	= 13,810 SF (15%)
OPEN SPACE REQUIRED	= 36,455 SF (39%)
2 TREES AND 6 SHRUBS PER 3,000 SF OF REQ. OPEN SPACE	
TREES REQUIRED	= 10 TREES
SHRUBS REQUIRED	= 28 SHRUBS
TREES PROVIDED	= 11 TREES
SHRUBS PROVIDED	= 29 SHRUBS
PARKING LOT / PRIVATE ROAD LANDSCAPING	
20% OF PAVEMENT SHALL BE SHADED	
PAVEMENT	= 35,954 SF (INCLUDES EXISTING)
35,954 x 20%	= 7,191 SF
REQUIRED (7,191 SF / 700)	= 11 TREES
TREES PROVIDED	= 11 TREES
BUFFER	
TREES PROVIDED	= 38 TREES
SHRUBS PROVIDED	= 45 SHRUBS
3' BERM	
TOTAL TREES PROVIDED	= 60 TREES

SCREENING

NORTH	20' TYPE 'B'
	3' OPAQUE SCREEN WITH INTERMITTENT VISUAL OBSTRUCTION TO A HEIGHT OF 20 FEET. NO OPENINGS SHALL BE MORE THAN TEN FEET IN WIDTH.
EAST	20' TYPE 'B' SCREEN
	3' OPAQUE SCREEN WITH INTERMITTENT VISUAL OBSTRUCTION TO A HEIGHT OF 20 FEET. NO OPENINGS SHALL BE MORE THAN TEN FEET IN WIDTH.
WEST	20' TYPE 'B' SCREEN
	3' OPAQUE SCREEN WITH INTERMITTENT VISUAL OBSTRUCTION TO A HEIGHT OF 20 FEET. NO OPENINGS SHALL BE MORE THAN TEN FEET IN WIDTH.

LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.
- ALL PLANTING BEDS SHALL HAVE ROCK MULCH.

PLANT SCHEDULE				
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
PG	30	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6' HEIGHT
ORNAMENTAL TREES				
BF	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BF	4	Dakota Pinnacle® Asian White Birch	Betula platyphylla 'Fargo'	B&B, 6' HEIGHT
OVERSTORY TREES				
GS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
GS	4	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	B&B, 8' HEIGHT
QB	6	Swamp White Oak	Quercus bicolor	B&B, 8' HEIGHT
QR	11	Red Oak	Quercus rubra	B&B, 8' HEIGHT
TC2	5	Littleleaf Linden	Tilia cordata	B&B, 8' HEIGHT
SHRUBS				
BW	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BW	20	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	15" HT
EC	62	Compact Burning Bush	Euonymus alatus 'Compactus'	24" HT.
JF	46	Sea Green Juniper	Juniperus chinensis 'Sea Green'	24" HT.
VA	19	American Cranberrybush	Viburnum trilobum	36" HT.

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 CHECKED BY: MVA
 PLOTTED BY: MVA
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NOTE: THIS DRAWING AND ELEVATION VIEWS ARE AN ARTISTIC INTERPRETATION OF THE GENERAL APPEARANCE OF THE DESIGN. VERIFY WITH BUILDER FOR FINAL MATERIAL AND COLORS

NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED FOR FINAL CONSTRUCTION. PLEASE CALL OR SEE OWNER FOR UPDATED PLANS.

DRAWING LIST	
A.0-0	Cover Page
A.0-1	Cover Page -Rendering
A.0-2	Code Review Areas & Occupancy
A.0-3	Code Review Separation
A.0-4	Accessibility Standards
A.0-7	Schedules
A.0-8	Wall Types
A.1-0	Elevations
A.1-1	Elevations
A.2-1	First Floor Plan
A.3-1	First Floor Reflected Ceiling Plan
A.5-0	Building Sections
A.5-1	Building Sections
A.5-2	Wall Sections
A.6.0	Details



RIESBERG GROUP DESIGN
Grimes, Iowa
riesberggroup@gmail.com
Phone: 515-202-3386



Project ID:
23-2269

Drawn by: KMR

REVIEW SET
Rev. Date : 04-14-23
Rev. Date : 05-04-23
Rev. Date : 05-11-23
Rev. Date :
Rev. Date :
Rev. Date :

BID SET:
Date :

PERMIT SET:
Date :

MISC. SYMBOLS

- ⊕ FROST PROOF HOSE BIB
- FLOOR LINE ABOVE
- STRUCTURAL BEAM / HEADER OR GIRDER TRUSS
- █ LOAD BEARING WALL
- SOLID BLOCKING FROM CONCENTRATED LOAD
- ✕ CONCENTRATED LOAD FROM ABOVE. SOLID BLOCK TO FOUNDATION OR BEAM HEADER BELOW.
- ☒ SMOKE DETECTOR
- ☒ CARBON MONOXIDE AND SMOKE DETECTOR COMBO

DRAWING SYMBOLS LEGEND

- CEILING TAG**
A 9'-1 1/8" → CEILING HEIGHT
→ CEILING TYPE IN LEGEND
- DOOR TAG**
D10A 1'-0" → DOOR CALLOUT IN SCHEDULE
→ DOOR WIDTH
- STAIR TAG**
20R @ 7 1/2" → RISER HEIGHT PER TREAD
→ # OF RISER
- WINDOW TAG**
11 → WINDOW CALL OUT IN SCHEDULE
→ WINDOW SIZE (INCHES)
Type Name (e.g. MFR, SGL, etc.) → HEADER HGT FROM FLOOR DECKING
→ WINDOW SILL HGT FROM FLOOR DECKING
→ ROUGH FRAMING OPENING
- ELEVATION REFERENCE**
1 View Name → NAME AND SCALE OF ELEVATION
A101 1/8" = 1'-0" → DETAIL REFERENCE ON PAGE
→ INDICATES PAGE NUMBER
SECTION CAN BE FOUND ON
- BUILDING SECTION REFERENCE**
1 SIM → INDICATES DIRECTION SECTION IS LOOKING
A101 → INDICATES PAGE NUMBER SECTION CAN BE FOUND ON

PAPER SCALE: 24" X 36" SHEET (D SIZE) = SCALE ON PLAN

New Retail Building For:
Ace Hardware
Project Location:
825 South 3rd Street
Polk City, Iowa

RIESBERG GROUP DESIGN IS NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS. THE OWNER AND/OR CONTRACTOR RELEASES IT'S OWNER / EMPLOYEES FROM ANY CLAIMS OR LAWSUIT THAT MAY ARISE DURING CONSTRUCTION. CAREFULLY INSPECT ALL DIMENSION, STRUCTURE AND DETAILS IN THESE DOCUMENTS & NOTIFY RIESBERG GROUP DESIGN AND ANY DISCREPANCIES.

Cover Page

A.0-0

Scale: As indicated

VICINITY LOCATION



PROJECT LOCATION

APPLICABLE CODES
City of Polk City, Iowa

1. BUILDING CODE	2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS
2. FIRE CODE	2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
3. MECHANICAL CODE	2021 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS
4. ELECTRICAL CODE	2020 NATIONAL ELECTRICAL CODE (NEC) WITH STATE AMENDMENTS
5. PLUMBING CODE	2021 UNIFORM PLUMBING CODE (UPC) WITH LOCAL AMENDMENTS
6. ENERGY CODE	2012 INTERNATIONAL ENERGY AND CONSERVATION CODE, WITH LOCAL AND STATE AMENDMENTS
7. FUEL GAS CODE	
8. ICC/ANSI A117.1 2009 (ADA STANDARDS)	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

FIRE ALARM AND SUPPRESSION PLANS TO BE SUBMITTED TO FIRE MARSHALL OFFICE FOR REVIEW AND APPROVAL

PROJECT TEAM

ARCHITECTURAL DRAFTING

COMPANY NAME	Riesberg Group Design
COMPANY ADDRESS	Grimes, IA
PHONE:	515-202-3386
FAX:	

MECHANICAL CONTRACTOR

COMPANY NAME	-
COMPANY ADDRESS	-
PHONE:	-
FAX:	-

STRUCTURAL

COMPANY NAME	
COMPANY ADDRESS	
PHONE:	
FAX:	

ELECTRICAL CONTRACTOR

COMPANY NAME	-
COMPANY ADDRESS	-
PHONE:	-
FAX:	-

CIVIL ENGINEER

COMPANY NAME	Civil Design Advantage
COMPANY ADDRESS	3405 SE Crossroads Drive Suburg Grimes, Iowa
PHONE:	
FAX:	515-369-4400

PLUMBING CONTRACTOR

COMPANY NAME	-
COMPANY ADDRESS	-
PHONE:	-
FAX:	-

HVAC/PLUMBING/ELECTRICAL/DESIGN/ENERGY REVIEW

COMPANY NAME	-
COMPANY ADDRESS	-
PHONE:	-
FAX:	-

SPRINKLER SYSTEMS CONTRACTOR

COMPANY NAME	-
COMPANY ADDRESS	-
PHONE:	-
FAX:	-

ABBREVIATIONS

- ABV: Above
- ACOUS: Acoustical
- ADDL: Additional
- ADH: Adhesive
- ADJ: Adjustable
- AF: Above Finish Floor
- AGS: Aggregate
- AHU: Authority Having Jurisdiction
- A/C: Air Conditioning
- ALT: Alternate
- ALUM: Aluminum
- ANC: Anchor, Anchorage
- AS: Anchor Bolt
- ANOD: Anodized
- APX: Approximate
- APT: Apartment
- ARCH: Architect (architectural)
- ASPH: Asphalt
- AUTO: Automatic
- AVE: Avenue
- AVR: Average
- AWN: Awning
- BSMT: Basement
- BM: Beam
- BVC: Beveled
- BITUM: Bituminous
- BLK: Block
- BLKG: Blocking
- BLW: Blow
- BLVD: Boulevard
- BTW: Between
- BD: Board
- BOT: Bottom
- BULD: Building
- BUR: Built Up Roofing
- B/O: By Others
- BO: Bottom Of
- BR: Bedroom
- CAB: Cabinet
- CALC: Calculation
- CD: Cabinet Door
- CG: Corner Guard
- CIP: Cast-In-Place (Concrete)
- CL: Cantilene
- CO: Clean Out
- CONTR: Contract (or)
- COORD: Coordinate
- CRPT: Carpet
- CIP: Cast-In-Place
- CLK: Caulking
- CAS: Casement
- CB: Catch Basin
- CLG: Ceiling
- CT: Ceramic Tile
- C/R: Circle
- CLR: Clear
- COL: Column
- CONC: Concrete
- CMU: Concrete Masonry Unit
- CONST: Construction
- CONT: Continuous
- CJT: Control Joint
- CORR: Corrugated
- CUFF: Cubic Foot
- CUYD: Cubic Yard
- DP: Dampproofing
- DTL: Detail
- DIA: Diameter
- DIM: Dimension
- DW: Dishwasher
- DIV: Division
- DR: Door
- DH: Double Hung
- DS: Downspout
- DRWR: Drawer
- DT: Drain Tile
- DWG: Drawing
- D: Nail Size
- EW: Each Way
- E: East
- EL: Elevation
- ELEV: Elevation
- EQ: Equal
- EQP: Equipment
- EXCV: Excavate
- EXH: Exhaust
- EXIST: Existing
- EXT: Exterior
- FOC: Face of Concrete
- FOF: Face of Finish
- FOM: Face of Masonry
- FOS: Face of Studs
- FOW: Face of Wall
- FBD: Fiberboard
- FCB: Fiber Cement Board
- FGL: Fiberglass
- FIN: Finish
- FIE: Finished Floor Elevation
- FA: Fire Alarm
- FE: Fire Extinguisher
- FPL: Fireplace
- FLR: Floor
- FLOR: Fluorescent
- FT: Foot, Feet
- FTG: Footing
- FND: Foundation
- FRM: Fram(D), (ing)
- FBO: Furnished by Others
- FUR: Furred
- GA: Gage, Gauge
- GAL: Gallon
- GL: Glass, Glazing
- GI: Galvanized Iron
- GLBK: Glass Block
- GLB: Glue Laminated Beam
- GT: Groat
- GRD: Grade, Grading
- GWB: Gypsum Wall Board
- HWD: Hardware
- HTG: Heating
- HVAC: Heating, Ventilation-Air Conditioning
- HT: Height
- HC: Hollow Core
- HOR: Horizontal
- HB: Hose Bib
- IN: Inch
- INCL: Include
- ID: Inside Diameter
- INS: Insulate
- INT: Interior
- INV: Invert
- JNT: Joint
- JST: Joist
- KD: Kin Dried
- KIT: Kitchen
- LB: Pound
- LAM: Laminated(d)
- LAV: Lavatory
- LH: Left Hand
- L: Length
- LOA: Length Overall
- LT: Light
- LF: Live Load
- LL: Live Load
- LVL: Laminated Veneer Lumber
- LVR: Lower
- MFR: Manufacturer
- MO: Masonry Opening
- MAX: Maximum
- MAS: Masonry
- MECH: Mechanical(s)
- MED: Medium
- MDF: Medium Density Fiberboard
- MIR: Mirror
- MDO: Medium Density Overlay
- MBR: Member
- MMB: Membrane
- MTL: Metal
- MWK: Millwork
- MIN: Minimum
- MIR: Mirror
- MISC: Miscellaneous
- MOD: Module
- MLD: Moulding
- MLB: Micro Laminated Beam
- NOM: Nominal
- N: North
- NIC: Not in Contract
- NTS: Not To Scale
- NO, #: Number
- O: Non-Operable Window Section
- OP: Opaque
- OPG: Opening
- OSP: Orientated Strand Board
- OD: Outside Diameter
- PMT: Painted
- PBD: Particle Board
- PRT: partition
- PVMT: Pavement
- PERF: Perforate(d)
- PLAS: Plaster
- PLAM: Plastic Laminate
- PLT: Plate
- PLYWD: Plywood
- PCC: Precast Concrete
- PCF: Pounds Per Cubic Foot
- PLF: Pounds Per Linear Foot
- PSF: Pounds Per Square Foot
- PSI: Pounds Per Square Inch
- PBF: Prefabricated
- PRF: Preformed
- PT: Pressure Treated
- PL: Property Line
- L: Length
- LOA: Length Overall
- LT: Light
- LF: Live Load
- LL: Live Load
- LVL: Laminated Veneer Lumber
- LVR: Lower
- RAD: Radius
- REF: Reference
- RFL: Reflected(Live), (or)
- REFR: Ref
- REG: Register
- RE: Reinforced
- REQD: Required
- RA: Return Air
- REV: Revision
- R: Riser
- RD: Roof
- RBS: Rod and Shelf
- RFG: Roofing
- RM: Room
- RO: Rough Opening
- SCH: Schedule
- SCN: Screen
- SECT: Section
- SGD: Sliding Glass Door
- SHTH: Sheathing
- SHT: Sheet
- SH: Shed, Shaving
- SIM: Similar
- SKL: Skylight
- S: South
- SLB: Slab
- SLG: Siding(ing)
- SPC: Specification
- SO: Square
- STD: Standard
- STV: Stove
- STL: Steel
- STR: Structural
- SA: Supply Air
- SC: Solid Core
- SW: Shear Wall
- SS: Stainless Steel
- SYS: System
- TEL: Telephone
- TEMP: Tempered
- TK: Tight Knot
- T&G: Tongue and Groove
- T/O: Top of
- TCC: Top of Concrete
- TOW: Top of Wall
- TB: Towel Bar
- T: Tread
- TS: Tubular Steel
- TYP: Typical
- UL: Underwriters Laboratory
- UNF: Unfinished
- UNO: Unless Noted Otherwise
- VB: Vapor Barrier
- VAR: Varnish
- VF: Verify in Field
- VRN: Vener
- VERT: Vertical
- VG: Vertical Grain
- VIN: Vinyl Sheet
- WL: Wall
- WC: Water Closet
- WH: Water Heater
- WH: Water Heater
- WP: Water Proofing
- WR: Weather Resistant
- WRB: Weather Resisive Barrier
- WAF: Welded Wire Fabric
- WWM: Welded Wire Mesh
- W: West
- WIN: Window
- WO: Without
- WI: With
- WD: Wood
- X: Operable Window Section



RIESBERG GROUP DESIGN
 Grimes, Iowa
 riesberggroup@gmail.com
 Phone: 515-202-3386



Project ID:
 23-2269

Drawn by: KMR

REVIEW SET

- Rev. Date : 04-14-23
- Rev. Date : 05-04-23
- Rev. Date : 05-11-23
- Rev. Date :
- Rev. Date :
- Rev. Date :

BID SET:

Date :

PERMIT SET:

Date :

New Retail Building For:
Ace Hardware

Project Location:
 825 South 3rd Street
 Polk City, Iowa

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Cover Page
-Rendering

A.0-1

Scale:



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 Grimes, Iowa
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 Phone: 515-202-3386

MEMBER
A I
B D
 AMERICAN INSTITUTE OF
 BUILDING DESIGN

Project ID:
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Drawn by: KMR

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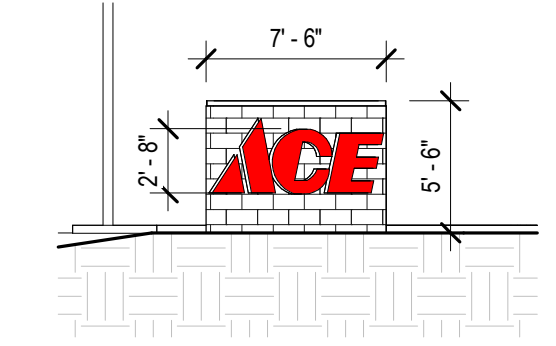
Elevations

A.1-0

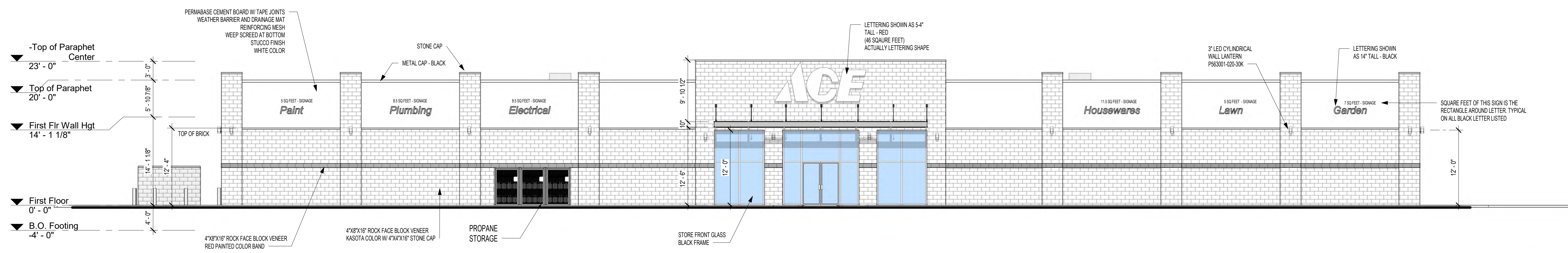
Scale: 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DRIP EDGE.
2. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS AND WHEREVER THERE'S A CHANGE IN ROOF SLOPE DIRECTION AND ROOF OPENINGS.
3. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
4. CALK & SEAL ALL TRANSITION CONTROL EXPANSION AT ALL EXTERIOR MATERIALS.
5. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND PIPE FREEZING.
6. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.



3 Monument Sign
 A.1-0 1/8" = 1'-0"

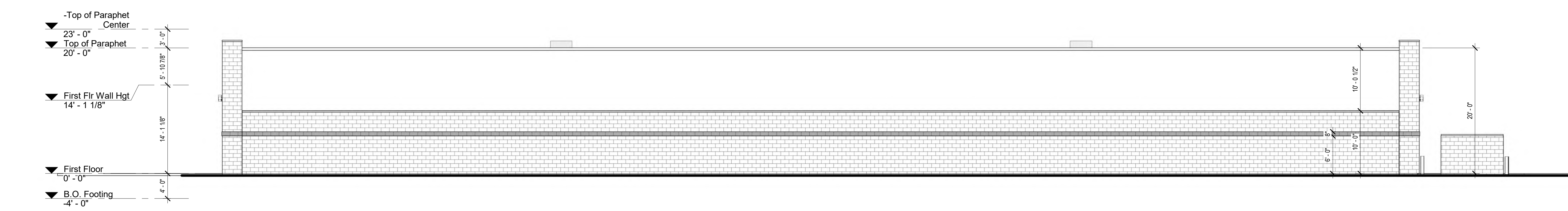


1 WEST ELEVATION
 A.1-0 1/8" = 1'-0"

Exterior Wall Covering Material - Estimate

MATERIAL TYPE	MATERIAL SF	MATERIAL %	MATERIAL ELEVATION
8x16 Brick	2004 SF	51.3%	East Elevation
Stucco	1901 SF	48.7%	East Elevation
8x16 Brick	954 SF	55.6%	North Elevation
Stucco	762 SF	44.4%	North Elevation
8x16 Brick	843 SF	53.0%	South Elevation
Stucco	747 SF	47.0%	South Elevation
8x16 Brick	2916 SF	61.0%	West Elevation
Stucco	1864 SF	39.0%	West Elevation

TOTAL SIGNAGE AREA:
 BLACK LETTER = 45.5
 RED LETTER = 46
 TOTAL SQ FEET = 91.5 SQUARE FEET



2 EAST ELEVATION
 A.1-0 1/8" = 1'-0"



RIESBERG GROUP DESIGN
 Grimes, Iowa
 riesberggroup@gmail.com
 Phone: 515-202-3386



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Project Location:
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Elevations

A.1-1

Scale: 1/4" = 1'-0"

GENERAL NOTES:

ROOF TRUSSES.
 WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATED WOOD TRUSS SHALL COMPLY WITH ANSITP1.
 REFER TO TRUSS MANUFACTURER TRUSS DESIGN DRAWINGS FOR THE FOLLOWING:
 A. TRUSS BEARING REQUIREMENTS
 B. HANGERS CONNECTION FOR TRUSS TO TRUSS CONNECTION
 C. MULTIPLY PLY TRUSS NAILING
 D. TRUSS UPLIFT FOR TRUSS TIE DOWNS REQUIREMENTS

TRUSS BRACING. TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS AND SBC'S BCSI GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

FLASHING
 1. FLASHING SHALL BE INSTALLED IN MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPING, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTION WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
 2. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF OR DIRECTION AND AROUND ROOF OPENINGS.

ROOFING UNDERLAYMENT
 1. UNDERLAYMENT FOR ASPHALT SHINGLES, CLAY, AND CONCRETE TILE, METAL ROOF SHINGLES, MINERAL SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND METAL ROOF PANELS SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THIS CHAPTER.
 2. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D 226, D 1970, D 4869 AND D 6757 SHALL BEAR A LABEL, INDICATING COMPLIANCE. UNDERLAYMENT SHALL BE ATTACHED IN ACCORDANCE WITH TABLE R906.1.1(2)

ICE BARRIERS.
 IF AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG EAVES CAUSING BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED. THE ICE BARRIER SHALL CONSIST OF TWO LAYERS OF UNDERLAYMENT OR SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND NOT LESS THAN 24" INSIDE THE EXTERIOR WALL. ON ROOFS OVER 8/12, THE ICE BARRIER SHALL BE APPLIED NOT LESS THAN 36".

ROOFING MATERIAL.
 WHERE CALLED OUT ON PLANS, ASPHALT SHINGLES CAN BE USED ON ROOF SLOPES OF 2/12 OR GREATER. FOR SLOPES FROM 2/12 UP TO 4/12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R906.1.1

A. SQUARE FOOTAGE LISTED IN SCHEDULE IS TAKEN FROM EXPOSED SURFACE OF THE ROOF AS SEEN FROM TOP VIEW.
 1. AREA UNDER VALLEY THAT MAY BE SHEATHED WITH OSB IS NOT INCLUDED.
 2. NO WASTE FACTOR HAS BEEN ADDED TO THESE NUMBER.

ROOF VENTILATION.
 ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. REQUIRED VENTILATION OPENINGS SHALL BE DIRECTLY TO THE OUTSIDE AIR.

A. THE SQUARE FOOTAGE OF ATTIC SPACE IN THE SCHEDULE IS TAKEN FROM THE OUTSIDE OF BUILDING AND DOES NOT INCLUDE COVERED ROOF AREA IN PORCHES/DECKS THAT ARE NOT CONDITION OR ENCLOSED.
 B. INSTALL A BALANCED SYSTEM OF INTAKE AND EXHAUST VENTILATION (50% INTAKE & 50% EXHAUST) ABOVE CALCULATION ARE FOR EXHAUST ONLY
 C. INSTALL VENTS AT SAME HEIGHT IN COMMON ROOF ZONES
 D. SEPARATE SPACES/ZONES WITH POLY OR OTHER DRAFTSTOPPING MATERIAL

GENERAL ELEVATION NOTES:

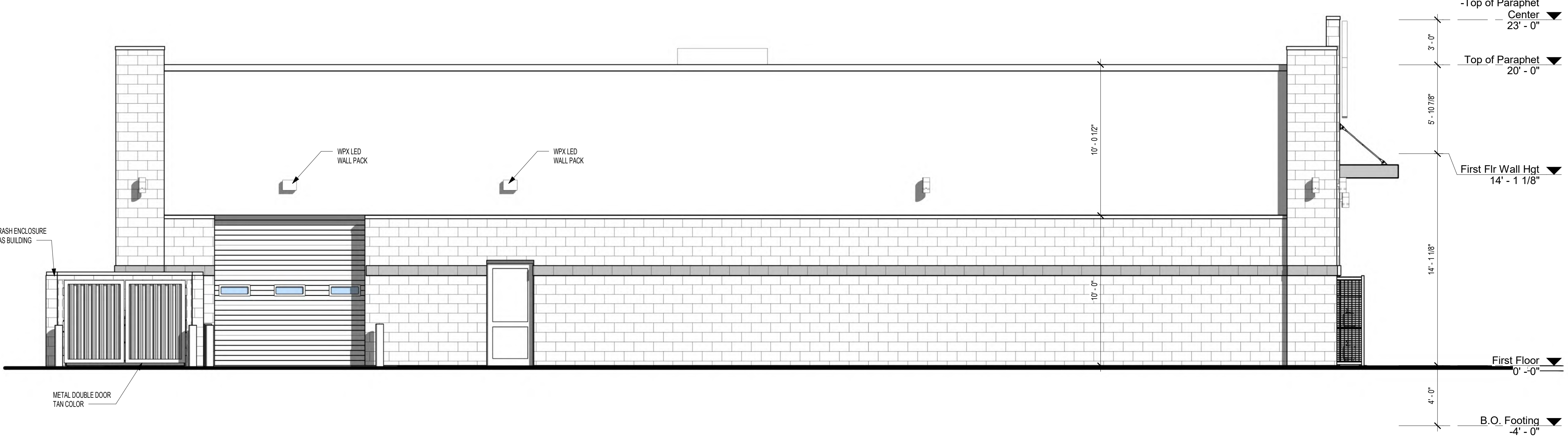
1. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DRIP EDGE.
 2. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS AND WHEREVER THERE'S A CHANGE IN ROOF SLOPE DIRECTION AND ROOF OPENINGS.
 2. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
 3. CAULK & SEAL ALL TRANSITION CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
 4. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND PIPE FREEZING.
 5. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS
 6. UNFINISHED ATTIC SPACES TO BE FILLED WITH INSULATION TO MEET CODES

GENERAL DRAFTSTOPPING

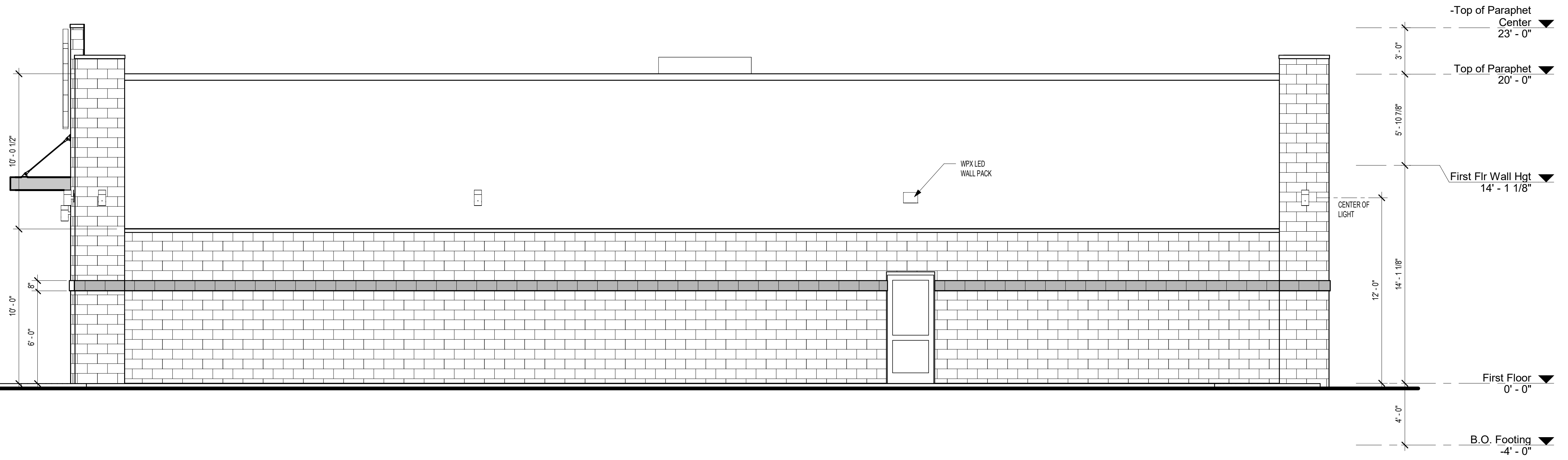
1. DRAFTSTOPPING IN FLOORS SHALL BE INSTALLED TO SUBDIVIDE FLOOR/CEILING ASSEMBLIES - SHALL BE LOCATED ABOVE AND IN-LINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATIONS
 2. DRAFTSTOPPING IN ATTICS SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES - SHALL BE LOCATED ABOVE AND IN-LINE WITH THE SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE AND EXTEND THROUGH OVERHANGS.
 EXCEPTION 1 - WHERE CORRIDOR WALLS PROVIDE A SEPARATION, DRAFTSTOPPING IS ONLY REQUIRED ABOVE ONE OF THE CORRIDOR WALLS.
 EXCEPTION 3 - R-2 THAT DO NOT EXCEED 4 STORIES ABOVE GRADE. THE ATTIC SPACE SHALL BE DIVIDED INTO AREAS NOT EXCEEDING 3,000 SF OR ABOVE EVERY 2 UNITS, WHICHEVER IS SMALLER.
 3. DRAFTSTOPPING MATERIAL SHALL BE NO LESS THAN 1/2" GYPSBOARD OR 3/8" OSB.
 4. OPENING IN THE DRAFTSTOPPING SHALL BE PROTECTED BY SELF CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR DRAFTSTOPPING PARTITIONS.

ACCESS TO UNOCCUPIED SPACES:

1. CRAWL SPACE BE PROVIDED WITH NO LESS THAN 1 ACCESS OPENING - MIN SIZE IS 18" X 24"
 2. ALL OPENING TO ANY ATTIC SPACE SHOULD NOT LESS THAN 20" X 30" WITH MIN 30" CLEARANCE ABOVE ATTIC OPENING.



1 NORTH ELEVATION
 A.1-1 1/4" = 1'-0"



2 SOUTH ELEVATION
 A.1-1 1/4" = 1'-0"



RIESBERG GROUP DESIGN

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Phone: 515-202-3386

MEMBER



AMERICAN INSTITUTE OF BUILDING DESIGN

Project ID:
23-2269

Drawn by: KMR

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New Retail Building For:
Ace Hardware

Project Location:
825 South 3rd Street
Polk City, Iowa

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First Floor Plan

A.2-1

Scale: 1/8" = 1'-0"

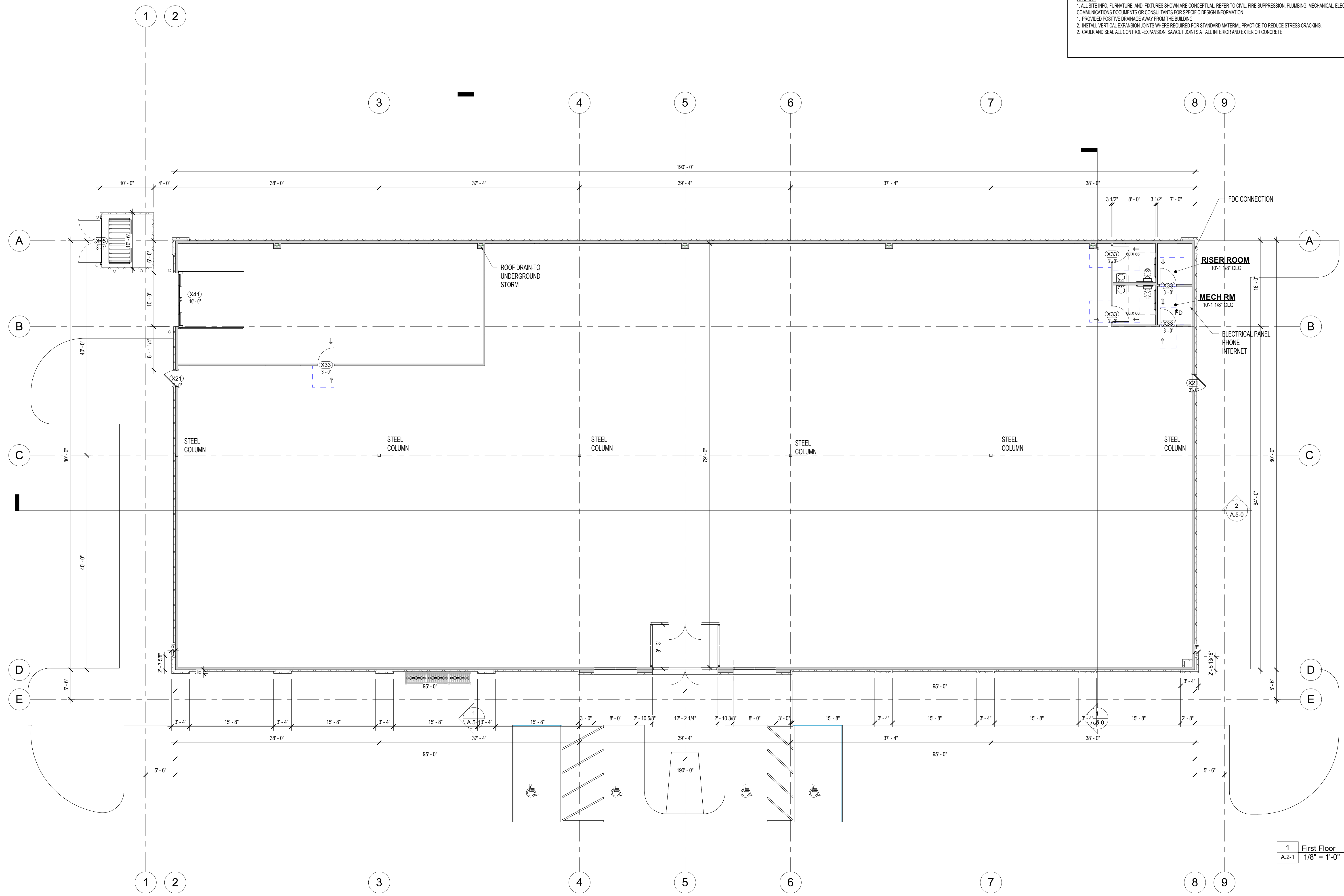
GENERAL FLOOR PLAN NOTES

DIMENSION ON PLAN:

- EXTERIOR DIMENSIONS ARE FROM THE OUTSIDE OF SHEATHING TO OUTSIDE OF SHEATHING OR FROM FACE OF MASONRY TO FACE OF MASONRY.
- INTERIOR DIMENSIONS ARE FROM THE FACE OF STUD TO FACE OF STUD.
- CEILING HEIGHT NOTES ARE FROM TOP OF FLOOR DECKING TO BOTTOM OF CEILING FRAMING MATERIAL.
- PORCH / DECK HEIGHTS NOTED ARE TAKEN FROM TOP OF MAIN FLOOR DECK AND NOT FROM DECK OR CONCRETE HGT. (UNLESS NOTED)

GENERAL:

- ALL SITE INFO, FURNITURE, AND FIXTURES SHOWN ARE CONCEPTUAL. REFER TO CIVIL, FIRE SUPPRESSION, PLUMBING, MECHANICAL, ELECTRICAL, COMMUNICATIONS DOCUMENTS OR CONSULTANTS FOR SPECIFIC DESIGN INFORMATION.
- PROVIDED POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- INSTALL VERTICAL EXPANSION JOINTS WHERE REQUIRED FOR STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING.
- CAULK AND SEAL ALL CONTROL - EXPANSION, SAWCUT JOINTS AT ALL INTERIOR AND EXTERIOR CONCRETE.



1 First Floor
A.2-1 1/8" = 1'-0"



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riesberggroup@gmail.com
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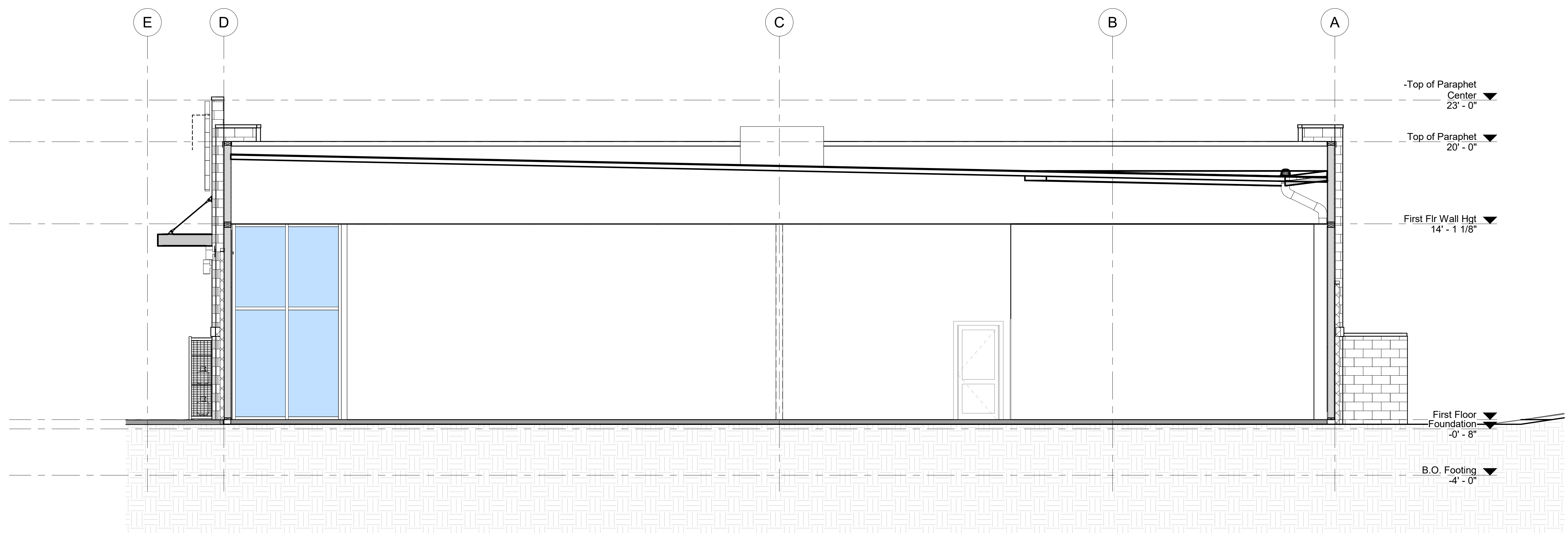
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Polk City, Iowa

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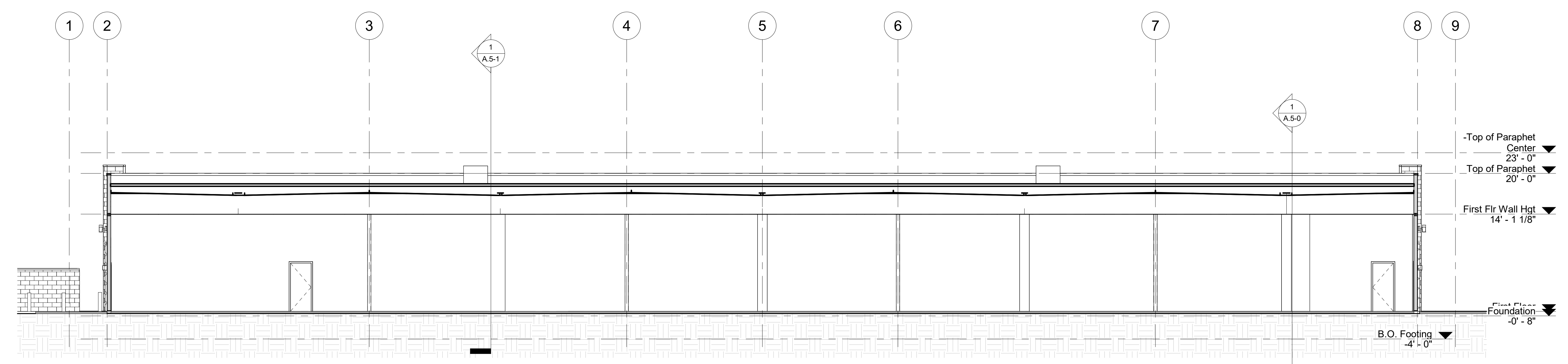
Building Sections

A.5-0

Scale: As indicated



1 Section 2
A.5-0 1/4" = 1'-0"



2 Section 3
A.5-0 1/8" = 1'-0"


May 3, 2023

Chelsea Huisman
City of Polk City
112 3rd Street
Polk City, Iowa 50226

RE: Ace Hardware Site Plan
Traffic Memo

The Ace Hardware project consists of the construction of a 15,380 square foot single story building to be utilized as a hardware store. The building will be constructed in one phase and sits on approximately 2.11 acres. The facility will have two entrances off Hickory Way and Willow Way which are private roadways owned and maintained by an association. These private drives funnel out to S. 3rd Street which is a major collector roadway through Polk City. Using the tables in the ITE Trip Generation book, 11th Edition, this site will generate the updated estimated AM peak, PM peak, and average daily traffic shown in the table below.

Land Use	ITE Code	Quantity	Unit	Average Daily Trips	AM Peak Trips	PM Peak Trips
Hardware/Paint Store	816	15.3	kSF	124	15	46
Total				124	15	46

	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p>	
	<p>ERIN K. OLLENDIKE, P.E.</p>	<p>DATE</p>
<p>LICENSE NUMBER 16926 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023 PAGES OR SHEETS COVERED BY THIS SEAL:</p>		

Ace Hardware - Polk City
 Traffic Memo
 Trip Generation
 5/3/2023

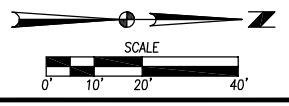
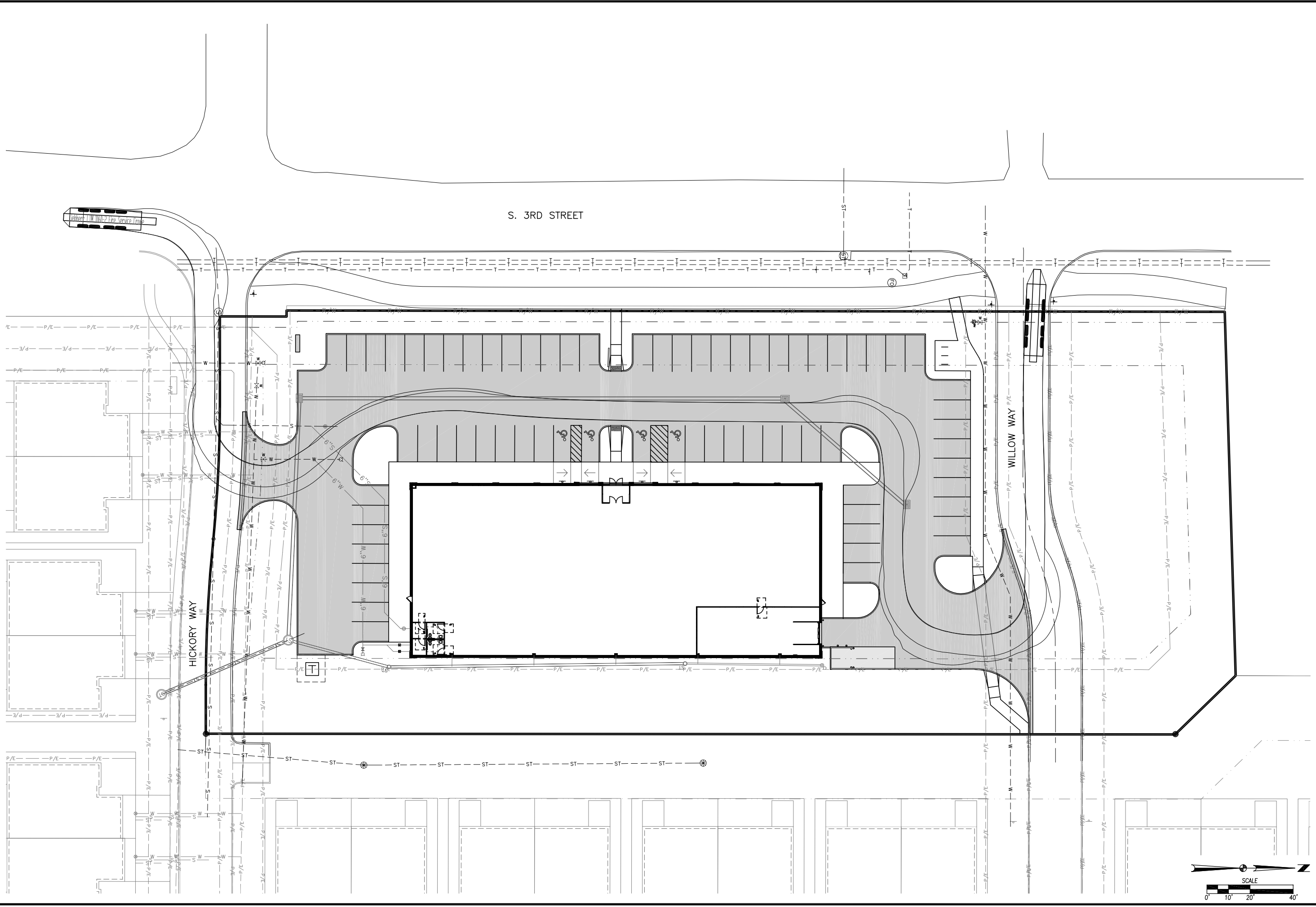
From ITE 11th Edition:

Hardware/Paint Store

Total

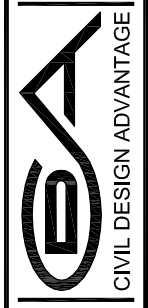
ITE Code	Area, ksf	# of Units	Average Daily		AM peak		PM peak	
			Rate	Trips	Rate	Trips	Rate	Trips
816	15.3		8.07	124	0.92	15	2.98	46
Total			124		15		46	

FILE: H:\2022\2212847\2212847-TURNING MOVEMENTS EXHIBITING MOVEMENTS
 PLOTTED BY: GAE HEROLD
 DATE: 5/2/2023 2:28 PM



REVISIONS	DATE

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
 POLK CITY, IOWA

ACE HARDWARE
FIRE TRUCK TURNING MOVEMENTS

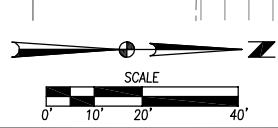
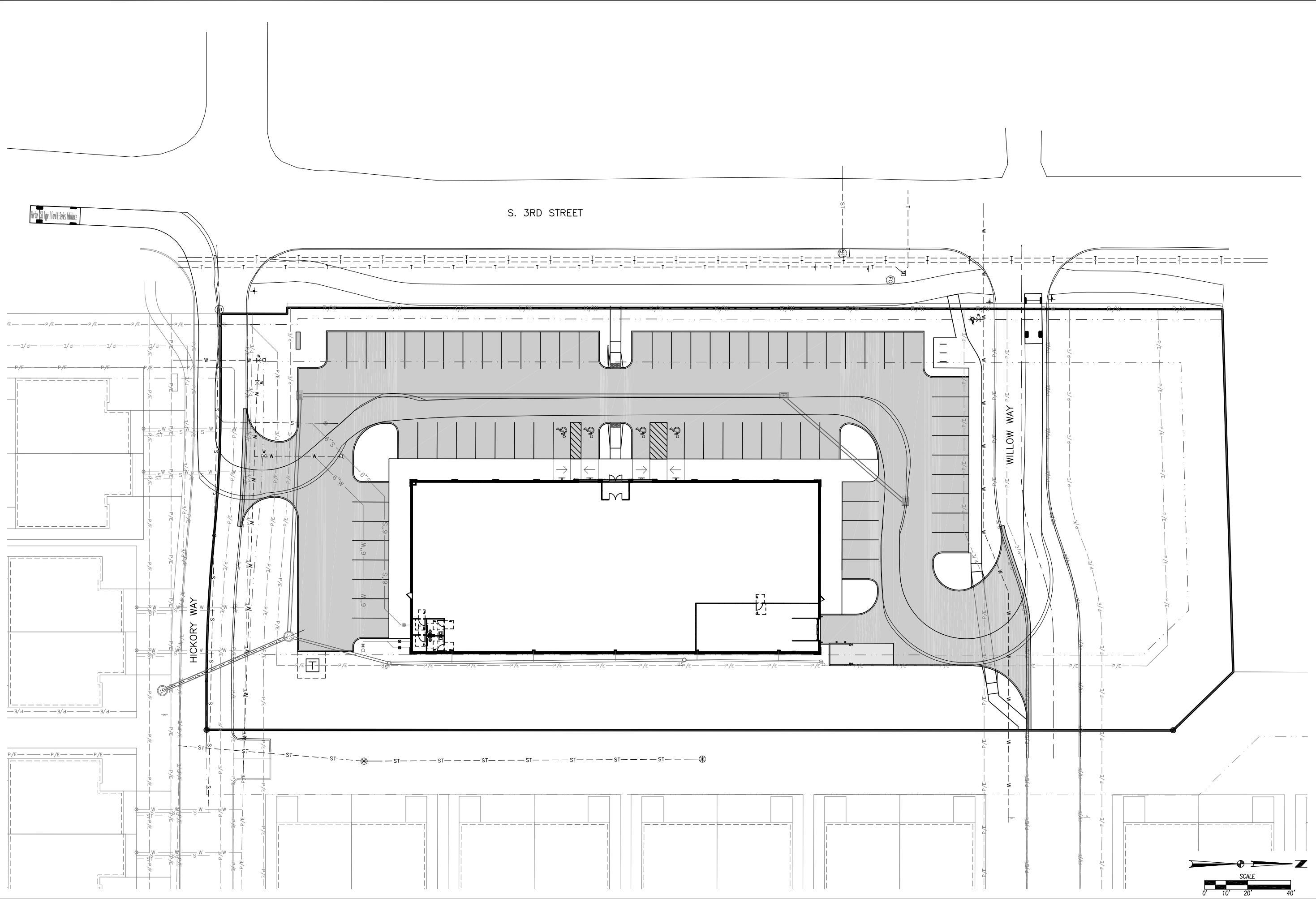
PREPARED

ENGINEER: GH

ENGINEER: EKO

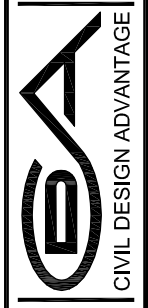
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REVISIONS	DATE
	05/02/2023

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 ENGINEER: GH

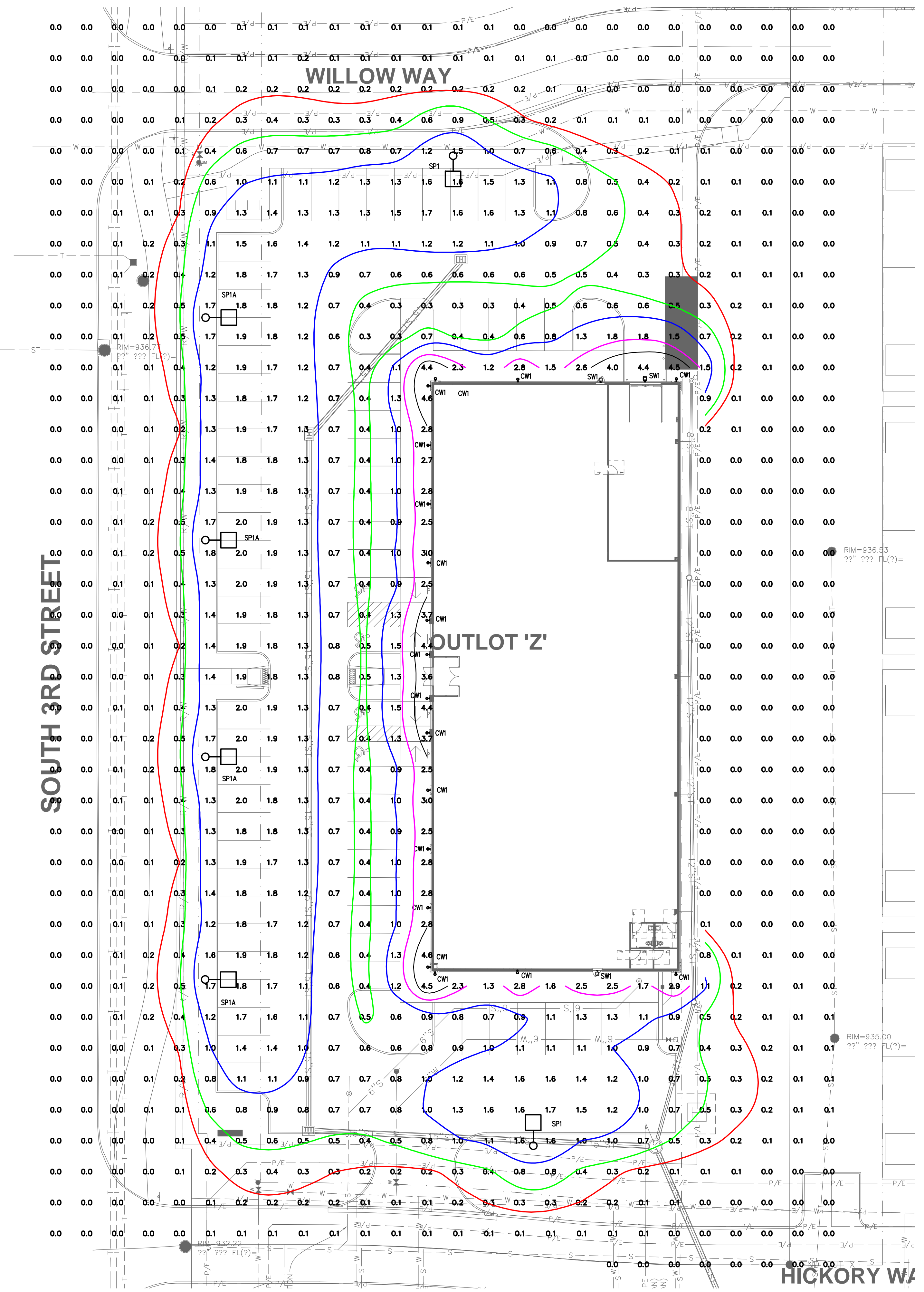


POLK CITY, IOWA

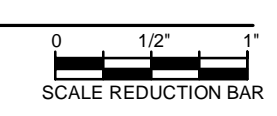
ACE HARDWARE
AMBULANCE TURNING MOVEMENTS

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	MODEL #	INPUT WATTS	VOLTS	QUANTITY	DEFAULT ELEVATION
CW1	-	(1) 44-Nichig 3000K, NF2L797GR1-V	3" Wall Mount Cylinder - Dark Bronze	ELECTRONIC	CEILING	PROGRESS, P563000-147-30K	PROGRESS, P563000-147-30K	24.1	120V 1P 2W	18	12'-0"
SP1	○	(1)	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	ELECTRONIC	CEILING	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M	50.9	120V 1P 2W	2	20'-0"
SPIA	○	(1)	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium HouseSide Shield	ELECTRONIC	CEILING	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M HS	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M HS	50.9015	120V 1P 2W	4	20'-0"
SW1	⬢	(1)	WPX1 LED wallpack 1500lm 3000K color temperature 120-277 Volts	ELECTRONIC	CEILING	Lithonia Lighting, WPX1 LED P1 30K Invert	Lithonia Lighting, WPX1 LED P1 30K Invert	11.49	120V 1P 2W	3	12'-0"



SITE PHOTOMETRICS PLAN
 1" = 20' - 0"
 NORTH




PROJECT	ACE HARDWARE 825 S. 3RD STREET POLK CITY, IOWA			
	DESIGNED	DATE	CLIENT	PROJECT
DRAWN	5/15/23	KIMBERLY DEVELOPMENT	ACE HARDWARE	
REVIEWED	BEC # 2302	BREWER ENGINEERING CONSULTANTS, PLC	ACE HARDWARE	
FILE	SCALE SEE DWG	905 WASHINGTON AVE SE - BONDPLANT, IOWA 50035	ACE HARDWARE	
SEE DWG	SEE DWG	515-587-8808 - FAX 515-587-8816 - www.brewer-engr.com	ACE HARDWARE	
DRAWING NO.	ME1.0			

ACE HARDWARE

STORM WATER MANAGEMENT PLAN POLK CITY, IOWA

CDA PROJECT NO. 2212.847



	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p>
	<p>ERIN K. OLLENDIKE, P.E. DATE _____ LICENSE NUMBER 16926 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023 PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS</p>

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE,
URBANDALE, IA 50322
(515) 369-4400

PREPARED BY: CIVIL DESIGN ADVANTAGE, LLC
PREPARED ON: APRIL 19, 2023
REVISED ON: MAY 02, 2023



PROJECT: Ace Hardware JOB NO. 2212.847 Page of Pages
 SUBJECT: Stormwater Calculations DATE: 05/03/23 COMP. BY: GH OK'D BY:

Project Description:

Existing Site Conditions

The proposed site is located at 825 S. 3rd Street and contains 2.11 acres. The site was mass graded with Crossroads At The Lakes Plat 1 and is slated for commercial uses. Refer to the Storm Water Management Plan titled "Crossroads At The Lakes Plat 1" detailed analysis of the existing site conditions.

Proposed Site Conditions

Proposed site improvements include a commercial building, parking, and associated utilities. Stormwater for the entire property will be conveyed via overland flowage and storm sewer to an existing detention basin installed with Crossroads At The Lakes Plat 1. Refer to the Storm Water Management Plan titled "Crossroads At The Lakes Plat 1" detailed analysis of the post-developed site conditions of the surrounding area.

Storm Water Analysis:

Storm Sewer Analysis

Storm sewer pipes were designed to convey the 100-year post-developed storm event with overflow paths defined to provide routing for larger storm events. The Rational Method was used to determine the flow rate for each drainage area and the Manning's equation was used to size the pipes.

Detention Analysis

Refer to the Storm Water Management Plan titled "Crossroads At The Lakes Plat 1" detailed analysis of the detention calculations.

Detention Summary

DB 2 (Ex. Area= 6.62 AC - Proposed Area = 6.82 AC) (Refer to Appendix for Additional Calculations)

Rainfall Return Frequency (Yrs)	Existing Runoff, cfs	(Allowable Release), cfs *	Post-Developed Runoff Release, cfs	Plat 1 Curve Number	Actual Curve Number
5	9.00	46.82	45.14	89	87
100	27.84	105.65	79.09		

* Includes routing of all offsite areas associated with DB 2.

Composite Curve Number (CN) Calculations - C Soils

Drainage Area ID	Open Space CN	Open Space Area, SF	Impervious CN	Impervious Area, SF	Total Area, SF	Total Area, Acres	Composite CN
DB 2	74	135435	98	161645	297080	6.82	87

*Calculations show that the calculated composite curve number is below the assumed curve shown in the original report. Therefore, the detention provided within the basin is adequate for this site plan.

Assumptions:

- * See attached Hydrologic Soil Map in the Appendix. For this analysis, Hydrologic Soil Group C will be used.
- * Assumed a 10 minute time of concentration for storm sewer design.
- * The runoff coefficients and curve numbers used to determine flow rates for the site are listed in the following tables.

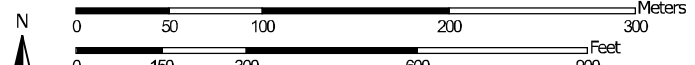
Land Use or Surface Characteristics	C Soils
	<u>100-yr</u>
Open Space - Good Condition	0.55
Impervious	0.98

Cover Type	C Soils
Open Space - Good Condition	74
Impervious	98

Hydrologic Soil Group—Polk County, Iowa

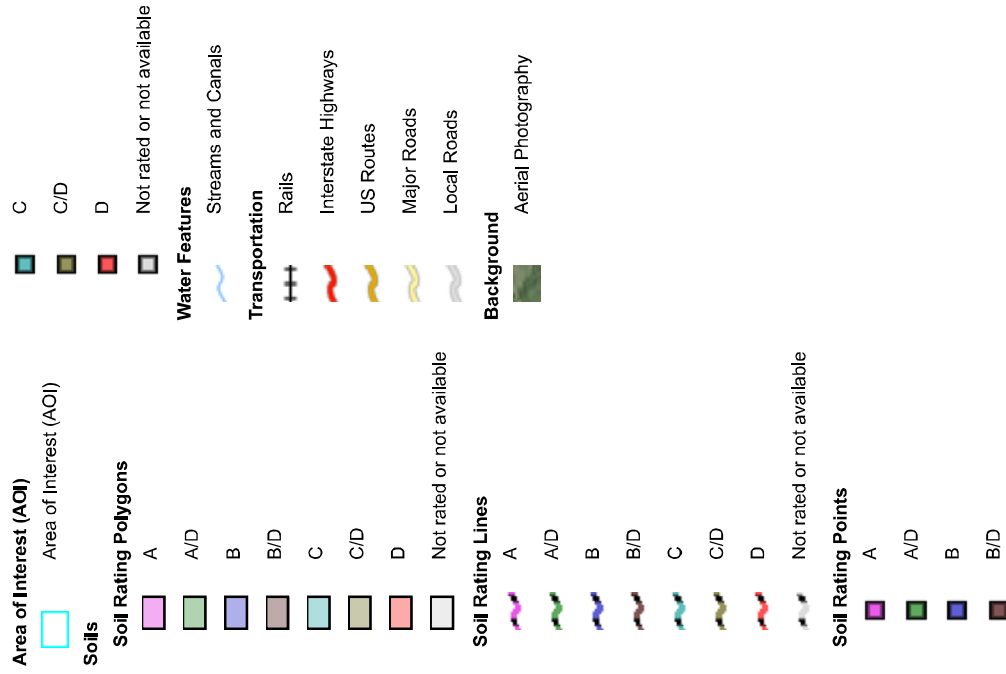


Map Scale: 1:4,060 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 15N WGS84

MAP LEGEND



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Polk County, Iowa
 Survey Area Data: Version 18; Sep 22, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Polk County, Iowa (IA153)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
108	Wadena loam, 0 to 2 percent slopes	B	0.4	0.8%
108B	Wadena loam, 2 to 6 percent slopes	B	0.4	0.8%
259	Biscay clay loam, 0 to 2 percent slopes	C/D	6.1	11.6%
L107	Webster clay loam, Bemis moraine, 0 to 2 percent slopes	C/D	1.5	2.8%
L168F	Hayden loam, Bemis moraine, 22 to 40 percent slopes	C	7.5	14.0%
L236B	Lester loam, Bemis moraine, 2 to 6 percent slopes	C	26.4	49.6%
L236C2	Lester loam, Bemis moraine, 6 to 10 percent slopes, moderately eroded	C	10.8	20.4%
Totals for Area of Interest			53.1	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

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DATE: 5/2/2023 11:31 AM
COMMENT:
ENCL:

SOUTH 3RD STREET

HICKORY WAY

WILLOW WAY

DA 2
0.35 AC

DA 3
0.19 AC

DA 4
0.28 AC

DA 6
0.27 AC

DA 7
0.14 AC

DA 5
0.05 AC

ST-2

ST-3

ST-4

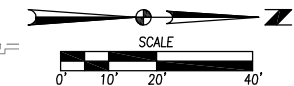
ST-1

ST-5

ST-6

ST-7

ST-EX1



ACE HARDWARE

STORM SEWER MAP

2212.847



POLK CITY, IOWA

ENGINEER: EKO

ENGINEER: GH

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

REVISIONS

DATE

FIRST SUBMITTAL

04/19/2023

Project: Ace Hardware
 Proj. No.: 2212.847
 Designed: GH
 Date: 5/2/2023

List of Intakes and Utility Accesses				
Structure Number ST-#	Location	Type or Standard Road Plan	FL / TC / RIM Elevation	Note
ST- EX1		EXISTING MANHOLE	RIM 933.63	
ST- 1		48" SW-401 MANHOLE	RIM 937.20	
ST- 2		SW-501 INTAKE	TC 935.37	
ST- 3		SW-511 INTAKE	RIM 936.02	
ST- 4		SW-511 INTAKE	RIM 936.44	
ST- 5		18" SW-512 INTAKE	RIM 935.65	
ST- 6		18" SW-512 INTAKE	RIM 936.00	
ST- 7		STORM SEWER CLEANOUT	RIM 937.61	

Notes:

List of Storm Sewer Pipe									
Pipe Number L-#	Structure		Storm Sewer				FL(out)	FL(in)	Note
	To ST-#	From ST-#	Material	Diameter inches	Length feet	Slope %			
L- EX1	ST- EX1	ST- 1	RCP	15	61	2.00	928.86	930.08	
L- 2	ST- 1	ST- 2	RCP	15	109	1.15	930.13	931.38	
L- 3	ST- 2	ST- 3	RCP	15	223	0.40	931.43	932.32	
L- 4	ST- 3	ST- 4	RCP	15	75	0.30	932.37	932.59	
L- 5	ST- 1	ST- 5	HDPE	12	46	1.00	930.18	930.64	
L- 6	ST- 5	ST- 6	HDPE	12	137	1.00	930.74	932.11	
L- 7	ST- 6	ST- 7	HDPE	8	63	1.00	932.21	932.84	

Notes:

Storm Sewer Pipe Design Information															
Manning's n -		RCP = 0.013		PVC = 0.011		Design Storm = 100 year									
Drainage Area A, acres	C	Equiv. Area CA	Accumulated Equiv. Area ΣCA	Time of Conc. min.	Rainfall Intensity in/hr	Storm Runoff cfs	Sump Lines units	Sump Flow cfs	Pipe Capacity		Flow Velocity		Travel Time min.	Note	
									Design cfs	Full Flow cfs	Design ft/sec	Full Flow ft/sec			
0.00	0.00	0.000	1.160	10	9.15	10.62				10.62	9.14	7.26	7.44	0.14	1
0.35	0.93	0.326	0.755	10	9.15	6.91				6.91	6.93	6.45	5.64	0.28	
0.19	0.95	0.181	0.430	10	9.15	3.93				3.93	4.09	3.80	3.33	0.98	
0.28	0.89	0.249	0.249	10	9.15	2.28				2.28	3.53	3.07	2.88	0.41	
0.05	0.55	0.028	0.405	10	9.15	3.71				3.71	4.21	6.04	5.36	0.13	
0.27	0.89	0.240	0.378	10	9.15	3.45				3.45	4.21	5.97	5.36	0.38	
0.14	0.98	0.137	0.137	10	9.15	1.26				1.26	1.43	4.61	4.09	0.23	

Notes: 1 REFER TO THE HYDRAULIC GRADE LINE CALCUALTIONS



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PROJECT: Ace Hardware JOB NO. 2212.847 Page of Pages

SUBJECT: Stormwater Calculations DATE: 05/02/23 COMP. BY: GH OK'D BY:

**Storm Sewer
Post-Developed Composite C-factor Calculations
100-Year**

Drainage Area ID	Lawn C-factor	Lawn Area, SF	Imperv. C-factor	Imperv. Area, SF	Total Area SF	Total Area Acres	Composite C-factor
DA 2	0.55	1,630	0.98	13,679	15,309	0.35	0.93
DA 3	0.55	531	0.98	7,809	8,340	0.19	0.95
DA 4	0.55	2,707	0.98	9,672	12,379	0.28	0.89
DA 5	0.55	2,280	0.98	-	2,280	0.05	0.55
DA 6	0.55	2,547	0.98	9,245	11,792	0.27	0.89
DA 7	0.55	-	0.98	6,160	6,160	0.14	0.98



CIVIL DESIGN ADVANTAGE

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PROJECT: Ace Hardware JOB NO. 2212.847 Page of Pages

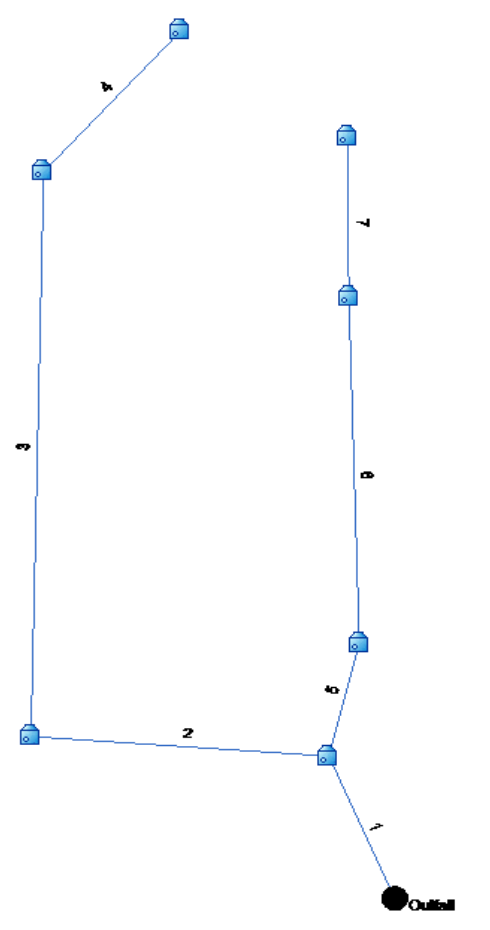
SUBJECT: Stormwater Calculations DATE: 05/02/23 COMP. BY: GH OK'D BY:

Hydraulic Grade Line

Plan Pipes Inlets Results

Summary DOT Inlet FL-DOT Calc Cost > MyReport ...

Line No.	Line ID	Flow Rate (cfs)	Line Size (Rise x Span) (in)	Line Type	Line Length (ft)	Invert Elev. Down (ft)	Invert Elev. Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor Loss (ft)	HGL Junct (ft)	Dn Str Line No.
1	EX1	10.62	15	Cir	61.001	928.86	930.08	2.00	930.06	931.64*	1.06	932.70	Outfall
2	2	6.91	15	Cir	109.000	930.13	931.44	1.20	932.70	933.94*	0.49	934.44	1
3	3	3.93	15	Cir	223.000	931.49	932.38	0.40	934.44	935.26*	0.11	935.37	2
4	4	2.28	15	Cir	75.000	932.43	932.66	0.31	935.37	935.47*	0.05	935.52	3
5	5	3.71	12	Cir	46.000	930.18	930.64	1.00	932.70	933.12*	0.11	933.23	1
6	6	3.45	12	Cir	137.000	930.74	932.11	1.00	933.23	934.32*	0.04	934.37	5
7	7	1.26	8	Cir	63.001	932.21	932.84	1.00	934.37	934.95*	0.20	935.16	6





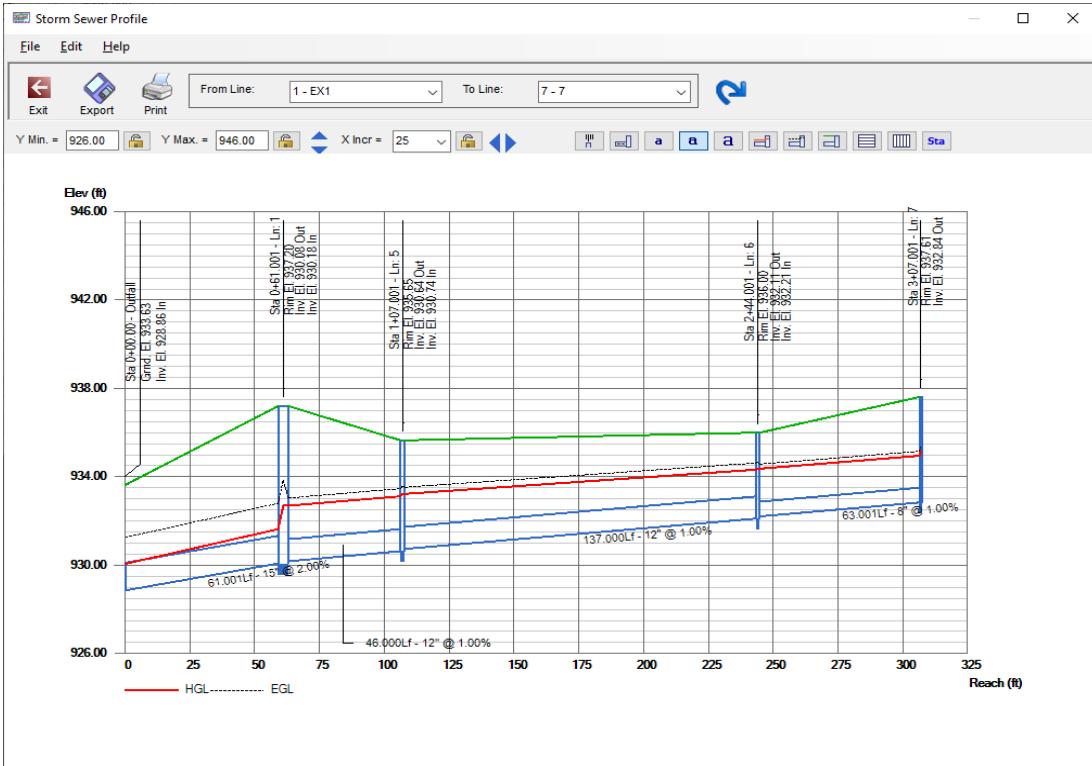
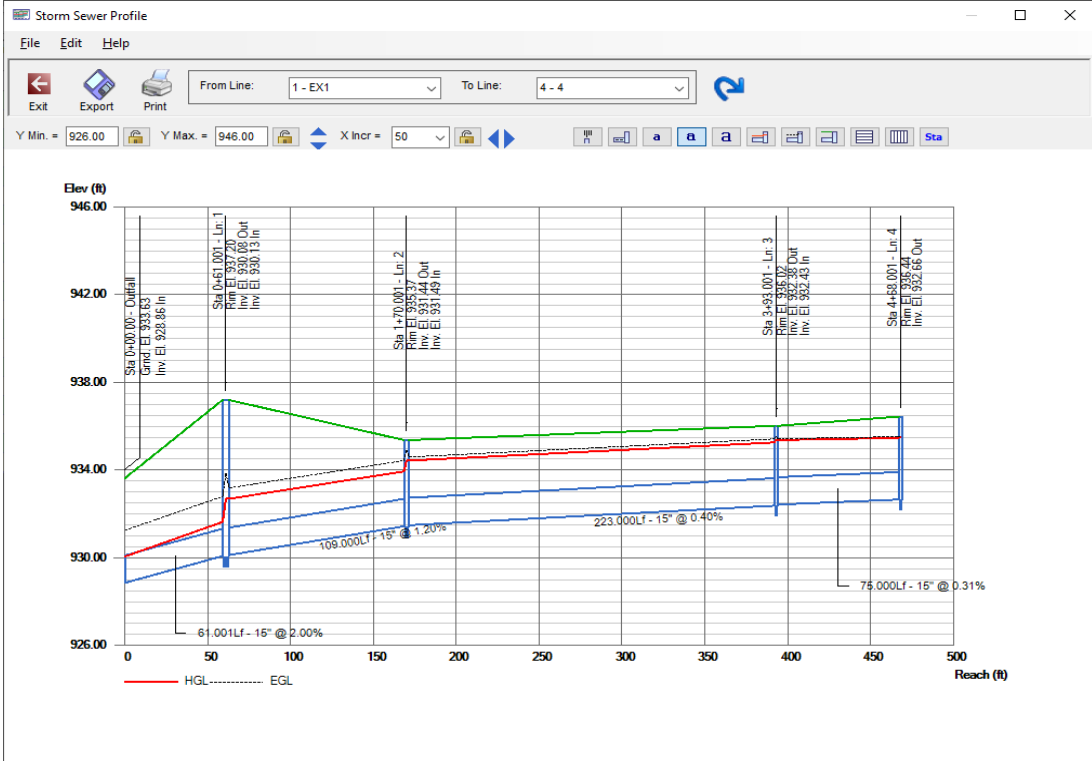
CIVIL DESIGN ADVANTAGE

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PROJECT: Ace Hardware JOB NO. 2212.847 Page of Pages

SUBJECT: Stormwater Calculations DATE: 05/02/23 COMP. BY: GH OK'D BY:

Hydraulic Grade Line





PROJECT: Ace Hardware JOB NO. 2212.847 Page ___ of ___ Pages
SUBJECT: 100-Year Elevation DATE: 05/02/23 DESIGNED: GH CHECKED: ___

INTAKE CAPACITY CALCULATIONS

EQUATIONS

DA 2 Runoff

Table with 2 columns: Variable, Value. Q = C * I * A, C = 0.97, I = 9.15, A = 0.33, Q = 2.93

1. ORIFICE: Q = 0.67 Ag (2gd)^0.5 (SUDAS Equation 2C-3.12)

WHERE - Q = flow, cfs
Ag = Clear opening of the grate, ft^2
g = gravitational constant (32.16 ft/s^2)
d = average depth across the grate, ft

2. WEIR: Q = 3.0 P d^1.5 (SUDAS Equation 2C-3.11)

WHERE - Q = flow, cfs
P = Perimeter of the grate disregarding the side against the curb, ft
d = average depth across the grate, ft

CALCULATIONS

1. Solve for required head given flow and open area for casting using Orifice Equation:

LOCATION: ST - 2

INPUT: Q100 = 2.93 cfs (From Rational Equation)
Ag = 1.95 sq. ft. (Open Area of Casting)

Required Depth at Grate: d = 0.078 ft.

2. Solve for required head given flow and open perimeter of casting using Weir Equation:

LOCATION: ST - 2

INPUT: Q100 = 2.93 cfs (From Rational Equation)
P = 5.86 ft. (Open Perimeter of Casting)

Required Depth at Grate: d = 0.303 ft.

GOVERNING EQUATION: Weir Equation
Required Depth = 0.303 ft = 4 inches

The 100-year elevation is 934.87 + 0.30 = 935.17
The 100-year elevation is less than the overflow elevation of 935.19; therefore, ponding depth ok.



PROJECT: Ace Hardware JOB NO. 2212.847 Page of Pages
SUBJECT: 100-Year Elevation DATE: 05/02/23 DESIGNED: GH CHECKED:

INTAKE CAPACITY CALCULATIONS

EQUATIONS

DA 3 Runoff

$Q = C * I * A$	
C =	0.97
I =	9.15
A =	0.19
Q =	1.69

1. ORIFICE: $Q = 0.67 A_g (2gd)^{0.5}$ (SUDAS Equation 2C-3.12)

WHERE - Q = flow, cfs
 A_g = Clear opening of the grate, ft²
g = gravitational constant (32.16 ft/s²)
d = average depth across the grate, ft

2. WEIR: $Q = 3.0 P d^{1.5}$ (SUDAS Equation 2C-3.11)

WHERE - Q = flow, cfs
P = Perimeter of the grate disregarding the side against the curb, ft
d = average depth across the grate, ft

CALCULATIONS

1. Solve for required head given flow and open area for casting using Orifice Equation:

LOCATION: **ST - 3**

INPUT: $Q_{100} = 1.69$ cfs (From Rational Equation)
 $A_g = 2.62$ sq. ft. (Open Area of Casting)

Required Depth at Grate: d = 0.014 ft.

2. Solve for required head given flow and open perimeter of casting using Weir Equation:

LOCATION: **ST - 3**

INPUT: $Q_{100} = 1.69$ cfs (From Rational Equation)
P = 9.91 ft. (Open Perimeter of Casting)

Required Depth at Grate: d = 0.148 ft.

GOVERNING EQUATION: **Weir Equation**

Required Depth = 0.148 ft = 2 inches

The 100-year elevation is 936.02 + 0.15 = 936.17

The 100-year elevation is less than the overflow elevation of 936.80; therefore, ponding depth ok.



PROJECT: Ace Hardware JOB NO. 2212.847 Page of Pages

SUBJECT: 100-Year Elevation DATE: 05/02/23 DESIGNED: GH CHECKED:

INTAKE CAPACITY CALCULATIONS

EQUATIONS

DA 4 Runoff

$Q = C * I * A$	
C =	0.89
I =	9.15
A =	0.29
Q =	2.36

1. ORIFICE: $Q = 0.67 A_g (2gd)^{0.5}$ (SUDAS Equation 2C-3.12)

WHERE - Q = flow, cfs
A_g = Clear opening of the grate, ft²
g = gravitational constant (32.16 ft/s²)
d = average depth across the grate, ft

2. WEIR: $Q = 3.0 P d^{1.5}$ (SUDAS Equation 2C-3.11)

WHERE - Q = flow, cfs
P = Perimeter of the grate disregarding the side against the curb, ft
d = average depth across the grate, ft

CALCULATIONS

1. Solve for required head given flow and open area for casting using Orifice Equation:

LOCATION: **ST - 4**

INPUT: Q₁₀₀ = **2.36** cfs (From Rational Equation)
A_g = **2.62** sq. ft. (Open Area of Casting)

Required Depth at Grate: d = 0.028 ft.

2. Solve for required head given flow and open perimeter of casting using Weir Equation:

LOCATION: **ST - 4**

INPUT: Q₁₀₀ = **2.36** cfs (From Rational Equation)
P = **9.91** ft. (Open Perimeter of Casting)

Required Depth at Grate: d = 0.185 ft.

GOVERNING EQUATION: **Weir Equation**

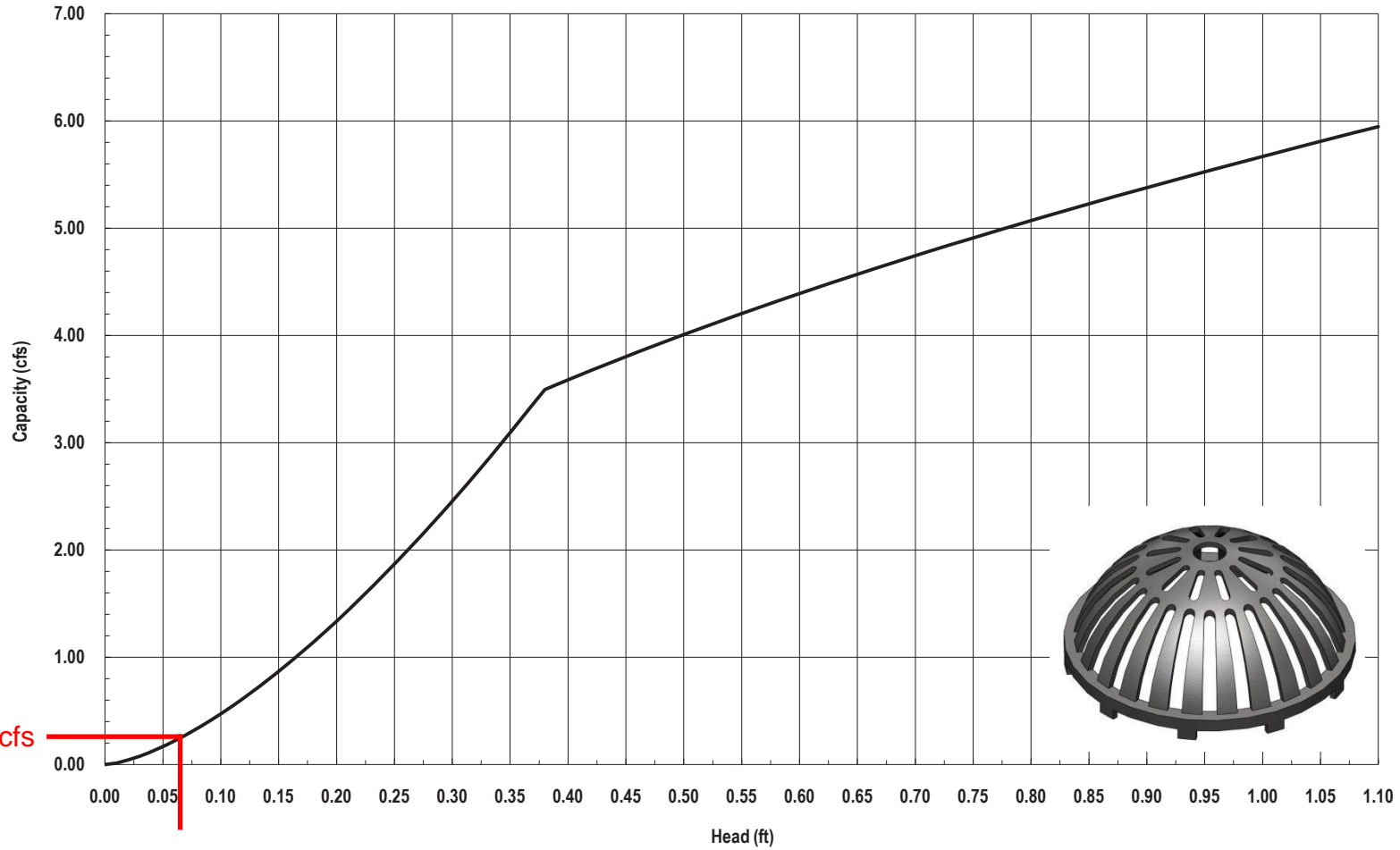
Required Depth = 0.185 ft = 2 inches

The 100-year elevation is 936.44 + 0.18 = 936.62

The 100-year elevation is less than the overflow elevation of 936.92; therefore, ponding depth ok.

ST-5

Nyloplast 18" Dome Grate Inlet Capacity Chart



Q100 = 0.25 cfs

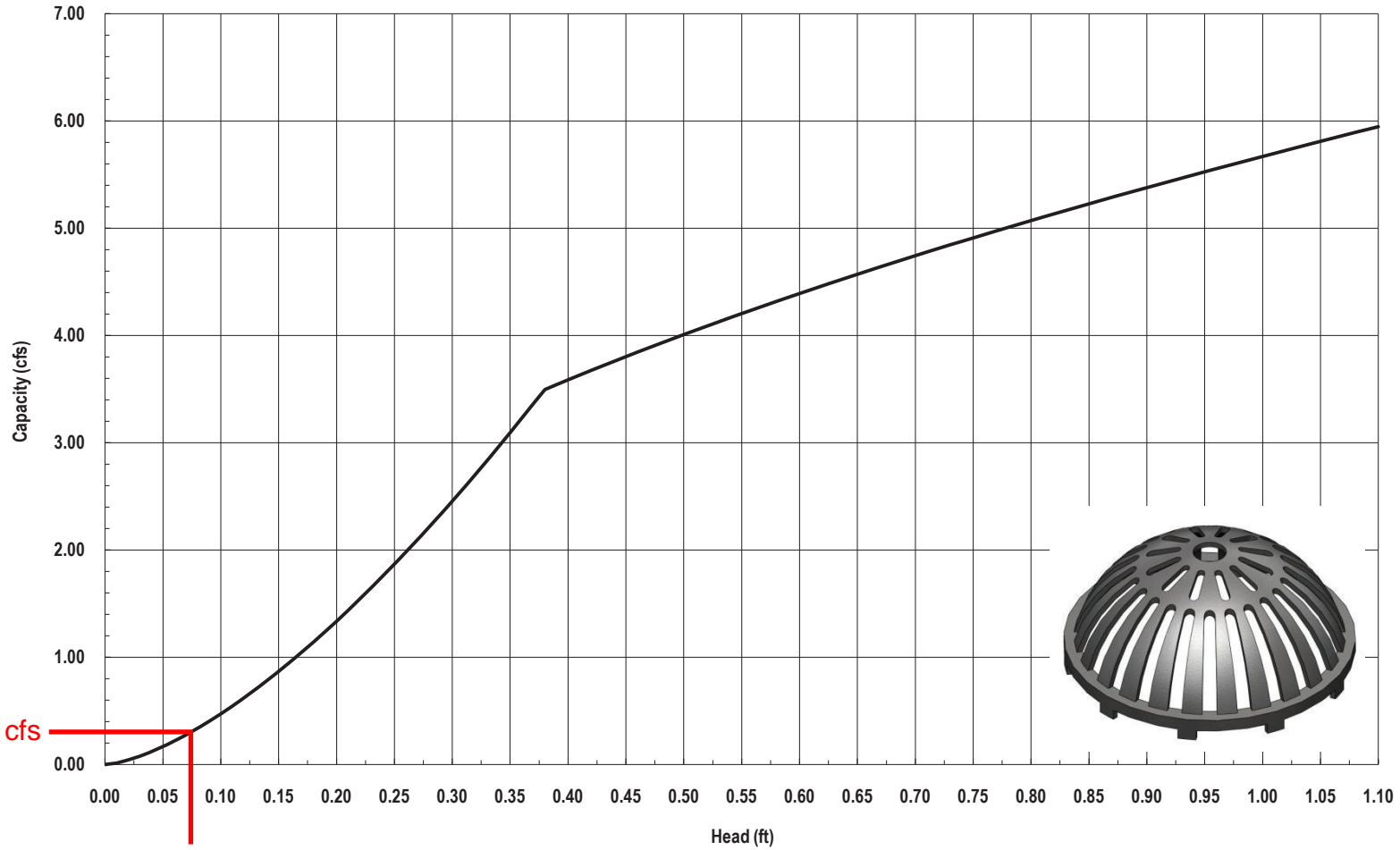
100-Year Elevation = 935.65 + 0.06 = 935.71



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ST-6

Nyloplast 18" Dome Grate Inlet Capacity Chart



Q100 = 0.30 cfs

100-Year Elevation = 936.00 + 0.08 = 936.08



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APPENDIX



CROSSROADS AT THE LAKES PLAT 1

STORM WATER MANAGEMENT PLAN POLK CITY, IOWA

CDA PROJECT NO. 1707.369

	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p><i>Erin K. Ollendike</i> 10-10-17 _____ ERIN K. OLLENDIKE, P.E. DATE</p> <p>MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017 PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS _____ _____</p>
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CIVIL DESIGN ADVANTAGE
3405 SE Crossroads Drive, Suite G
GRIMES, IOWA 50111
(515) 369-4400

PREPARED BY: CIVIL DESIGN ADVANTAGE, LLC
PREPARED ON: JULY 28, 2017
REVISED ON: AUGUST 15, 2017
REVISED ON: OCTOBER 10, 2017

PROJECT: Crossroads at the Lakes Plat 1 JOB NO. 1707.369 Page of PagesSUBJECT: Stormwater Calculations DATE: 10/10/17 COMP. BY: JMM OK'D BY: **Project Description:****Existing Site Conditions**

Crossroads at the Lakes Plat 1 is located directly east of the W Bridge Road and S 3rd Street Intersection in Polk City, Iowa. The site currently consists of woodland, open space and a single family home along the west side of the site. The property is slated for single family residential, townhomes and commercial uses. An existing high point bisects the site from the southeast corner of the property to the northwest corner of the property forcing storm water associated with DB 1 EX to discharge to the north and east and storm water associated with DB 2 EX to discharge to the south and west. Refer to the attached time of concentration, existing drainage map and Hydraflow Hydrographs analysis for detailed analysis of the existing site conditions.

Proposed Site Conditions

Proposed site improvements consist of 1 commercial lot to be developed at a future date, 38 townhome lots, roadways and associated utilities. Proposed grades generally follow existing drainage patterns throughout the overall site. Storm water will be collected in a series of low points along the proposed private streets and in the rear yards of the townhome lots. One dry-bottom detention basin (POND 2) will be constructed with this plat to provided detention for the townhomes and commercial lot associated with DB 2.

Offsite Conditions

Refer to the Storm Water Management Plan titled "Detention Pond Drainage Calculations for Bridge Pointe" dated July 2, 2014 for calculations regarding the revised detention basin located on the west side of S. 3rd Street

Storm Water Analysis:**Detention Analysis**

The existing site was analyzed in order to ensure that the on-site 5- and 100-year post-developed release rates of the contributing drainage areas are at or below the on-site 5- and 100-year existing release rates respectively. Off-site flows are allowed to pass-through the detention basin without being detained, however, the detention basin (POND 2) will be restricted as much as possible in order to reduce the amount of flow contributing to future downstream drainage basins. The ultimate outlet of the site at full-build out will be restricted by an existing 36" RCP at the west end of Whispering Pine Ave along the eastern property boundary of the overall Crossroads at the Lakes property. The current analysis of POND 2 will provide detention for the proposed townhomes and commercial lot associated with DB 2. POND 2 will need to be re-analyzed as the future development to the south occurs. Composite curve numbers have been calculated for post-developed drainage areas associated with DB 2.

Detention associated with DB 1 will be provided in a future plat. The existing area was analyzed in order to ensure that the on-site 5- and 100-year post-developed release rates of the contributing drainage areas are at or below the on-site 5- and 100-year existing release rates for the proposed condition. DB 1 will be re-analyzed in the future once the detention basin associated with DB 1 has been constructed. Composite curve numbers have been calculated for post-developed drainage areas associated with DB 1.

DB 1 UNDISTURBED is undisturbed area within the Crossroads at the Lakes Plat 1 property that was not included in calculations to determine existing or post-developed release rates.



PROJECT: Crossroads at the Lakes Plat 1 JOB NO. 1707.369 Page of Pages
SUBJECT: Stormwater Calculations DATE: 10/10/17 COMP. BY: JMM OK'D BY:

Storm Water Analysis:

Detention Summary

DB 1 (EXISTING AREA = 5.28 AC - PROPOSED AREA = 5.08 AC)

Rainfall Return Frequency (Yrs)	Existing Runoff, cfs	(Allowable Release), cfs	Post-Developed Runoff Release, cfs *
5	4.11	4.11	4.51
100	12.86	12.86	11.62

* Detention will be provided for DB 1 in a future plat. No temporary detention will be provided for the 5-year storm in order to prevent a point discharge into the existing wooded area.

DB 2 (EXISTING AREA = 6.62 AC - PROPOSED AREA = 6.82 AC)

Rainfall Return Frequency (Yrs)	Existing Runoff, cfs	(Allowable Release), cfs *	Post-Developed Runoff Release, cfs
5	9.00	46.82	45.14
100	27.84	105.65	79.09

* Includes routing of all offsite areas associated with DB 2.

Detention Basin Summary

	Pool WSE	100-yr WSE Elevation	Detention Overflow Elevation	Detention Freeboard, Feet	100-year Release Rate, cfs	100-year detention volume, cf ³	Pond Depth, Feet
POND 2	901.00	911.95	914.10	2.15	79.09	61,879	13.10



PROJECT: Crossroads at the Lakes Plat 1 JOB NO. 1707.369 Page of Pages

SUBJECT: Stormwater Calculations DATE: 10/10/17 COMP. BY: JMM OK'D BY:

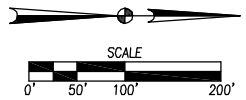
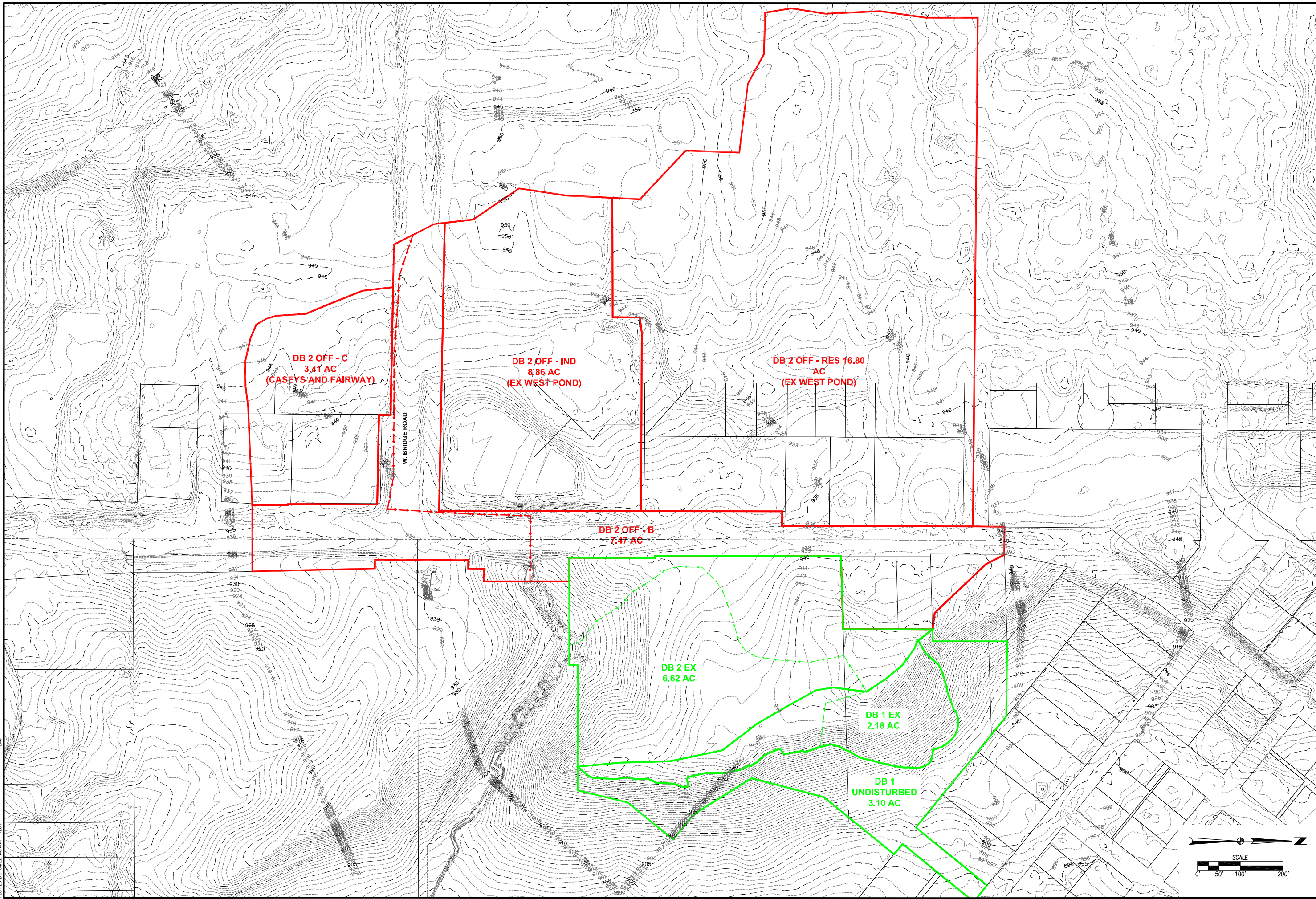
Assumptions:

- * See attached Hydrologic Soil Map in this section. For this analysis, Hydrologic Soil Group C will be used.
- * Assumed a 15 minute time of concentration for post-developed detention analysis.
- * Assumed a 10 minute time of concentration for storm sewer analysis.

Cover Type	C Soils
Open Space - Good Condition	74
Woods - Good Condition	70
Impervious	98
Commercial	94

Land Use or Surface Characteristics	C Soils	
	5-yr	100-yr
Impervious	0.95	0.98
Lawns	0.35	0.55
Commercial	0.85	0.90

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PLOT BY: JACOB MURRAY TECH: ENK



DATE	
REVISIONS	
3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410	
ENGINEER: EKO	TECH:

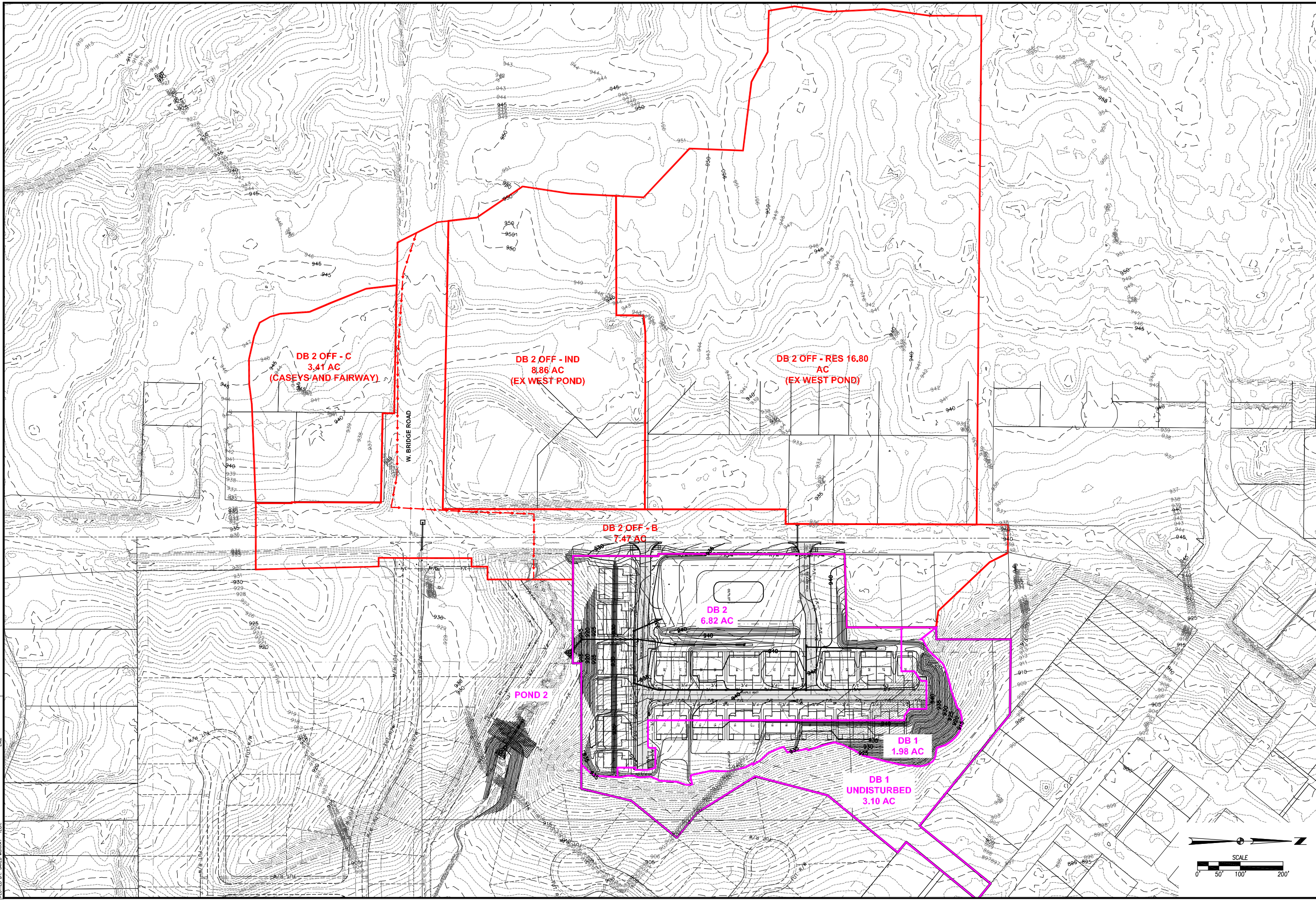
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CIVIL DESIGN ADVANTAGE


CROSSROADS AT THE LAKES PLAT 1
EXISTING DRAINAGE MAP

POLK CITY, IOWA

1707.369

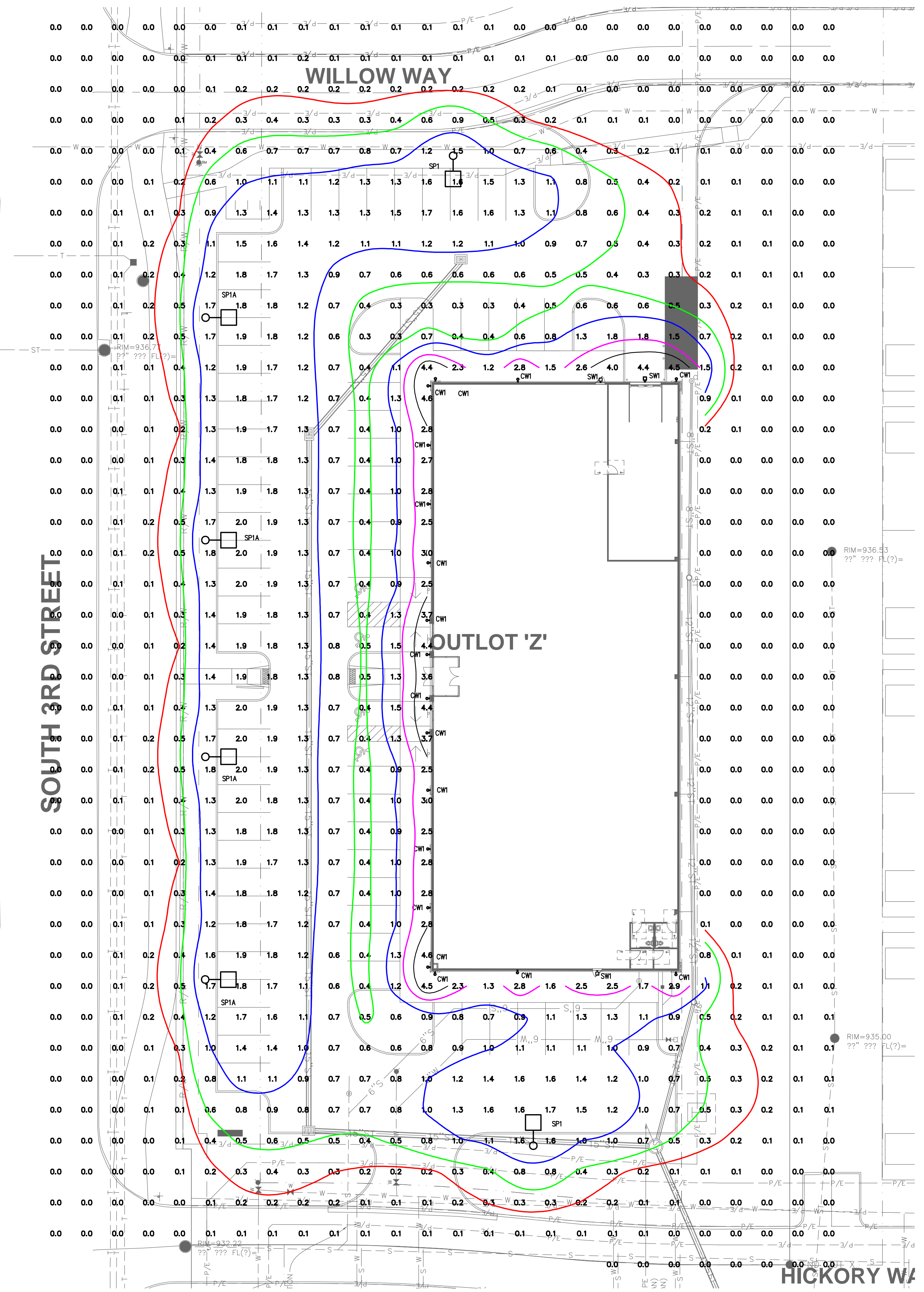
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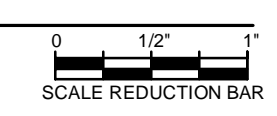
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REVISIONS	
3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410	TECH:
 CIVIL DESIGN ADVANTAGE	
POLK CITY, IOWA	
CROSSROADS AT THE LAKES PLAT 1 EXISTING DRAINAGE MAP	
1707.369	

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	MODEL #	INPUT WATTS	VOLTS	QUANTITY	DEFAULT ELEVATION
CW1	•	(1) 44-Nichig 3000K, NF2L797GR1-V	3" Wall Mount Cylinder - Dark Bronze	ELECTRONIC	CEILING	PROGRESS, P563000-147-30K	PROGRESS, P563000-147-30K	24.1	120V 1P 2W	18	12'-0"
SP1	○	(1)	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	ELECTRONIC	CEILING	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M	50.9	120V 1P 2W	2	20'-0"
SPIA	○	(1)	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium HouseSide Shield	ELECTRONIC	CEILING	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M HS	Lithonia Lighting, DSX1 LED P1 40K 80CRI T2M HS	50.9015	120V 1P 2W	4	20'-0"
SW1	•	(1)	WPX1 LED wallpack 1500lm 3000K color temperature 120-277 Volts	ELECTRONIC	CEILING	Lithonia Lighting, WPX1 LED P1 30K Invert	Lithonia Lighting, WPX1 LED P1 30K Invert	11.49	120V 1P 2W	3	12'-0"



SITE PHOTOMETRICS PLAN
 1" = 20' - 0"
 NORTH



PROJECT	ACE HARDWARE 825 S. 3RD STREET POLK CITY, IOWA			
	DESIGNED	DATE	BEC #	SCALE
CLIENT	KIMBERLY DEVELOPMENT			
	DRAWN	5/15/23	2302	SEE DWG
REVISION	BREWSTER ENGINEERING CONSULTANTS, PLC			
	REVIEWED	BEC #	SCALE	SEE DWG
DATE	905 WASHINGTON AVE SE - BONDPLANT, IOWA 50035 515-587-8808 - FAX 515-587-8816 - www.brewster-engr.com			
DRAWING NO.	ME1.0			



D-Series Size 1 LED Area Luminaire

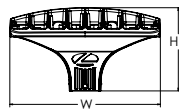
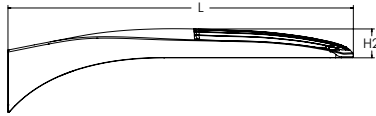
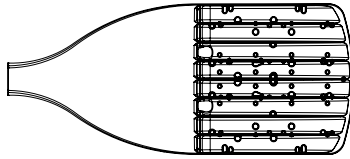


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED								
Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution		Voltage	Mounting	
DSX1 LED	Forward optics	(this section 70CRI only)		AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare ³ T4M Type IV medium T4LG Type IV low glare ³ TFTM Forward throw medium	T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control ³ BLC4 Type IV backlight control ³ LCCO Left corner cutoff ³ RCCO Right corner cutoff ³	MVOLT (120V-277V) ⁴ HVOLT (347V-480V) ^{5,6} XVOLT (277V - 480V) ^{7,8}	Shipped included SPA Square pole mounting (#8 drilling) RPA Round pole mounting (#8 drilling) SPA5 Square pole mounting #5 drilling ⁹ RPA5 Round pole mounting #5 drilling ⁹ SPA8N Square pole mounting #8 drilling WBA Wall bracket ¹⁰ MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	
		P1 P6	30K 3000K					70CRI
		P2 P7	40K 4000K					70CRI
	P3 P8	50K 5000K	70CRI					
	P4 P9	(this section 80CRI only, extended lead times apply)						
	P5							
	Rotated optics			80CRI				
	P10 ¹ P12 ¹	27K 2700K	80CRI					
	P11 ¹ P13 ¹	30K 3000K	80CRI					
		35K 3500K	80CRI					
		40K 4000K	80CRI					
		50K 5000K	80CRI					

Control options	Other options	Finish (required)
<p>Shipped installed</p> <p>NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc^{11, 12, 20, 21}</p> <p>PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc^{13, 20, 21}</p> <p>PER NEMA twist-lock receptacle only (controls ordered separate)¹⁴</p> <p>PER5 Five-pin receptacle only (controls ordered separate)^{14, 21}</p>	<p>PER7 Seven-pin receptacle only (controls ordered separate)^{14, 21}</p> <p>FAO Field adjustable output^{15, 21}</p> <p>BL30 Bi-level switched dimming, 30%^{16, 21}</p> <p>BL50 Bi-level switched dimming, 50%^{16, 21}</p> <p>DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)¹⁷</p> <p>DS Dual switching^{18, 19, 21}</p> <p>Shipped installed</p> <p>SPD20KV 20KV surge protection</p> <p>HS Houseside shield (black finish standard)²²</p> <p>L90 Left rotated optics¹</p> <p>R90 Right rotated optics¹</p> <p>CCE Coastal Construction²³</p> <p>HA 50°C ambient operation²⁴</p> <p>Shipped separately</p> <p>EGSR External Glare Shield (reversible, field install required, matches housing finish)</p> <p>BSDB Bird Spikes (field install required)</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured dark bronze</p> <p>DBLBXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p>



Ordering Information

Accessories

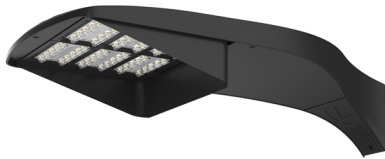
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁵
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁵
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁵
DSHORT SBK	Shorting cap ²⁵
DSX1HS P#	House-side shield (enter package number 1-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSX1EGSR (FINISH)	External glare shield (specify finish)
DSX1B5DB (FINISH)	Bird spike deterrent bracket (specify finish)

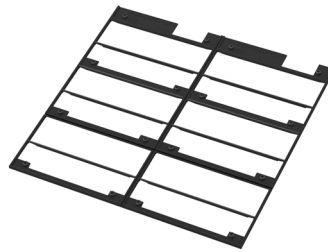
NOTES

- Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- HVOLT not available with package P1 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- XVOLT not available in packages P1 or P10.
- SPA5 and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- WBA cannot be combined with Type 5 distributions plus photocell (PER).
- NLTAIR2 and PIRHN must be ordered together. For more information on nLight AIR2 visit this [link](#).
- NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50, DMG and DS. NLTAIR2 PIRHN not available with P1 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1 and P10 using XVOLT.
- PIR not available with NLTAIR2 PIRHN, PER, PER5, PER7, FAO BL30, BL50, DMG and DS. PIR not available with P1 and P10 using HVOLT. PIR not available with P1 and P10 using XVOLT.
- PER/PER5/PER7 not available with NLTAIR2 PIRHN, PIR, BL30, BL50, FAO, DMG and DS. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, DMG and DS.
- BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO, DMG and DS.
- DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DS.
- DS not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DMG.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers. DS only available with packages P8, P9, P10, P11, P12 and P13.
- Reference Motion Sensor Default Settings table on page 4 to see functionality.
- Reference Controls Options table on page 4.
- HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- CCE option not available with option BS and EGSR. Contact Technical Support for availability.
- Option HA not available with performance packages P4, P5, P7, P8, P9 and P13.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.

Shield Accessories



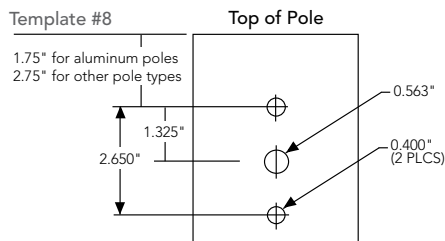
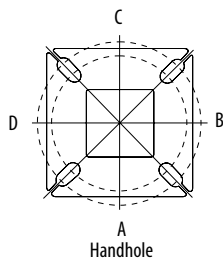
External Glare Shield (EGSR)



House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX1 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 with SPA	0.69	1.38	1.23	1.54	---	1.58
DSX1 with SPA5, SPA8N	0.70	1.40	1.30	1.66	---	1.68
DSX1 with RPA, RPA5	0.70	1.40	1.30	1.66	1.60	1.68
DSX1 with MA	0.83	1.66	1.50	2.09	2.09	2.09

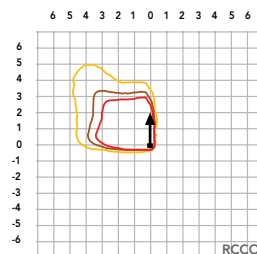
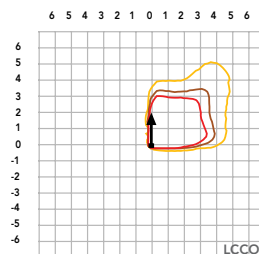
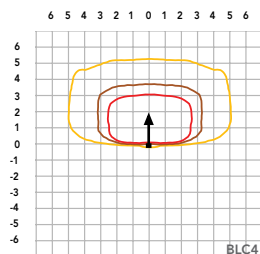
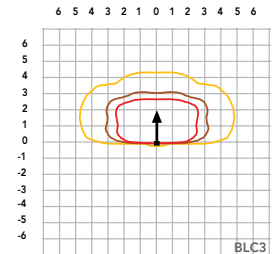
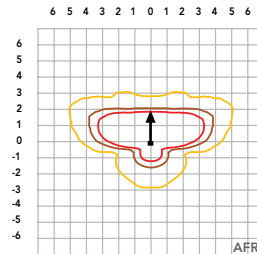
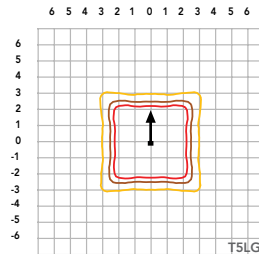
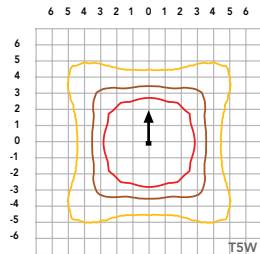
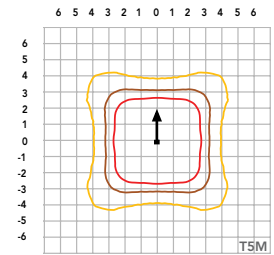
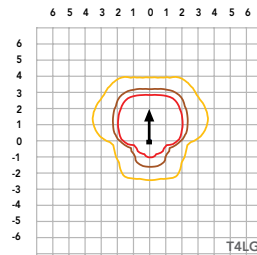
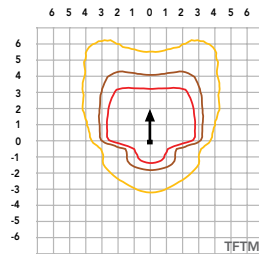
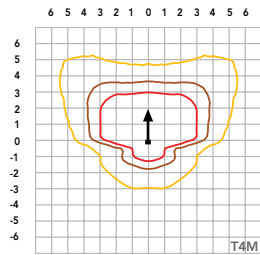
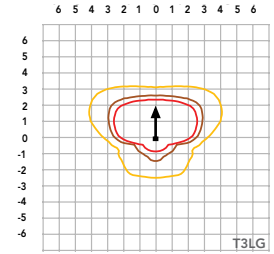
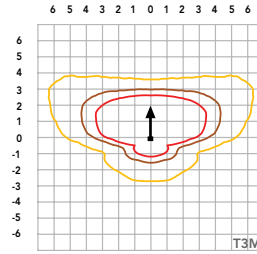
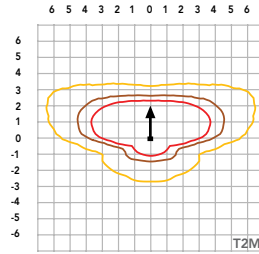
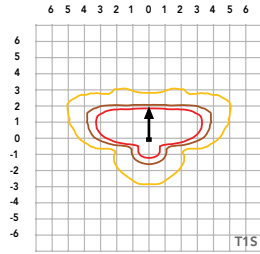
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [homepage](#).

Isofootcandle plots for the DSX1 LED P9 40K 70CRI. Distances are in units of mounting height (25').

LEGEND

- 0.1 fc
- 0.5 fc
- 1.0 fc



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.95
50,000	0.90
100,000	0.81

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use maximum published values by package listed on specification sheet (input watts and lumens by optic type).

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P2	30	700	68	0.56	0.33	0.28	0.24	0.20	0.14
	P3	30	1050	104	0.85	0.49	0.43	0.37	0.29	0.21
	P4	30	1250	125	1.03	0.60	0.52	0.45	0.36	0.26
	P5	30	1400	142	1.15	0.66	0.58	0.50	0.40	0.29
	P6	40	1250	167	1.38	0.79	0.69	0.60	0.48	0.34
	P7	40	1400	188	1.54	0.89	0.77	0.67	0.53	0.38
	P8	60	1100	216	1.80	1.04	0.90	0.78	0.62	0.45
	P9	60	1400	279	2.31	1.33	1.15	1.00	0.80	0.58
Rotated Optics (Requires L90 or R90)	P10	60	530	101	0.84	0.49	0.42	0.37	0.29	0.21
	P11	60	700	135	1.12	0.65	0.56	0.49	0.39	0.28
	P12	60	1050	206	1.72	0.99	0.86	0.74	0.59	0.43
	P13	60	1400	279	2.30	1.33	1.15	1.00	0.79	0.57

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Elypse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	30	530	T1S	7,776	1	0	2	153	8,104	1	0	2	159	8,262	1	0	2	162
				T2M	7,203	1	0	3	142	7,507	2	0	3	147	7,653	2	0	3	150
				T3M	7,287	1	0	3	143	7,594	1	0	3	149	7,742	1	0	3	152
				T3LG	6,509	1	0	1	128	6,783	1	0	1	133	6,916	1	0	1	136
				T4M	7,395	1	0	3	145	7,707	1	0	3	151	7,857	1	0	3	154
				T4LG	6,726	1	0	1	132	7,010	1	0	1	138	7,146	1	0	1	140
				TFTM	7,446	1	0	3	146	7,760	1	0	3	152	7,912	1	0	3	155
				T5M	7,609	3	0	2	149	7,930	3	0	2	156	8,084	3	0	2	159
				T5W	7,732	3	0	2	152	8,058	4	0	2	158	8,215	4	0	2	161
				T5LG	7,631	3	0	1	150	7,953	3	0	1	156	8,108	3	0	1	159
				BLC3	5,300	0	0	2	104	5,524	0	0	2	109	5,631	0	0	2	111
				BLC4	5,474	0	0	3	108	5,705	0	0	3	112	5,816	0	0	3	114
				RCCO	5,348	0	0	2	105	5,573	0	0	2	109	5,682	0	0	2	112
				LCCO	5,348	0	0	2	105	5,573	0	0	2	109	5,682	0	0	2	112
				AFR	7,776	1	0	2	153	8,104	1	0	2	159	8,262	1	0	2	162
				P2	68W	30	700	T1S	9,997	1	0	2	147	10,418	1	0	2	154	10,621
T2M	9,260	2	0					3	137	9,651	2	0	3	142	9,839	2	0	3	145
T3M	9,368	2	0					3	138	9,763	2	0	3	144	9,953	2	0	3	147
T3LG	8,368	1	0					2	123	8,721	1	0	2	129	8,891	1	0	2	131
T4M	9,507	2	0					3	140	9,909	2	0	3	146	10,102	2	0	3	149
T4LG	8,647	1	0					2	128	9,012	1	0	2	133	9,187	1	0	2	136
TFTM	9,573	2	0					3	141	9,977	2	0	3	147	10,172	2	0	3	150
T5M	9,782	4	0					2	144	10,195	4	0	2	150	10,393	4	0	2	153
T5W	9,940	4	0					2	147	10,360	4	0	2	153	10,562	4	0	2	156
T5LG	9,810	3	0					1	145	10,224	3	0	1	151	10,423	3	0	1	154
BLC3	6,814	0	0					2	101	7,101	0	0	2	105	7,240	0	0	2	107
BLC4	7,038	0	0					3	104	7,334	0	0	3	108	7,477	0	0	3	110
RCCO	6,875	1	0					2	101	7,165	1	0	2	106	7,305	1	0	2	108
LCCO	6,875	1	0					2	101	7,165	1	0	2	106	7,305	1	0	2	108
AFR	9,997	1	0					2	147	10,418	1	0	2	154	10,621	1	0	2	157
P3	102W	30	1050					T1S	14,093	2	0	2	138	14,687	2	0	2	144	14,973
				T2M	13,055	2	0	3	128	13,605	2	0	3	133	13,871	2	0	3	136
				T3M	13,206	2	0	4	129	13,763	2	0	4	135	14,031	2	0	4	137
				T3LG	11,797	2	0	2	115	12,294	2	0	2	120	12,534	2	0	2	123
				T4M	13,403	2	0	4	131	13,968	2	0	4	137	14,241	2	0	4	139
				T4LG	12,190	2	0	2	119	12,704	2	0	2	124	12,952	2	0	2	127
				TFTM	13,496	2	0	4	132	14,065	2	0	4	138	14,339	2	0	4	140
				T5M	13,790	4	0	2	135	14,371	4	0	2	141	14,652	4	0	2	143
				T5W	14,013	4	0	3	137	14,605	4	0	3	143	14,889	4	0	3	146
				T5LG	13,830	3	0	2	135	14,413	3	0	2	141	14,694	3	0	2	144
				BLC3	9,606	0	0	2	94	10,011	0	0	2	98	10,206	0	0	2	100
				BLC4	9,921	0	0	3	97	10,340	0	0	3	101	10,541	0	0	3	103
				RCCO	9,692	1	0	2	95	10,101	1	0	2	99	10,298	1	0	2	101
				LCCO	9,692	1	0	2	95	10,101	1	0	2	99	10,298	1	0	2	101
				AFR	14,093	2	0	2	138	14,687	2	0	2	144	14,973	2	0	2	147



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P4	124W	30	1250	T1S	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				T2M	15,207	3	0	4	123	15,849	3	0	4	128	16,158	3	0	4	130
				T3M	15,383	2	0	4	124	16,032	2	0	4	129	16,345	2	0	4	132
				T3LG	13,742	2	0	2	111	14,321	2	0	2	116	14,600	2	0	2	118
				T4M	15,613	2	0	4	126	16,272	2	0	4	131	16,589	2	0	4	134
				T4LG	14,200	2	0	2	115	14,799	2	0	2	119	15,087	2	0	2	122
				TFTM	15,721	2	0	4	127	16,384	2	0	4	132	16,703	2	0	4	135
				T5M	16,063	4	0	2	130	16,741	4	0	2	135	17,067	4	0	2	138
				T5W	16,324	5	0	3	132	17,013	5	0	3	137	17,344	5	0	3	140
				T5LG	16,110	3	0	2	130	16,790	4	0	2	135	17,117	4	0	2	138
				BLC3	11,190	0	0	3	90	11,662	0	0	3	94	11,889	0	0	3	96
				BLC4	11,557	0	0	3	93	12,044	0	0	3	97	12,279	0	0	3	99
				RCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				LCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				AFR	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				P5	138W	30	1400	T1S	18,052	2	0	3	131	18,814	2	0	3	136	19,180
T2M	16,723	3	0					4	121	17,428	3	0	4	126	17,768	3	0	4	129
T3M	16,917	3	0					4	122	17,630	3	0	4	128	17,974	3	0	4	130
T3LG	15,111	2	0					2	109	15,749	2	0	2	114	16,055	2	0	2	116
T4M	17,169	3	0					5	124	17,893	3	0	5	130	18,242	3	0	5	132
T4LG	15,615	2	0					2	113	16,274	2	0	2	118	16,591	2	0	2	120
TFTM	17,288	2	0					4	125	18,017	2	0	5	130	18,368	3	0	5	133
T5M	17,664	5	0					3	128	18,410	5	0	3	133	18,768	5	0	3	136
T5W	17,951	5	0					3	130	18,708	5	0	3	135	19,073	5	0	3	138
T5LG	17,716	4	0					2	128	18,463	4	0	2	134	18,823	4	0	2	136
BLC3	12,305	0	0					3	89	12,824	0	0	3	93	13,074	0	0	3	95
BLC4	12,709	0	0					4	92	13,245	0	0	4	96	13,503	0	0	4	98
RCCO	12,416	1	0					3	90	12,940	1	0	3	94	13,192	1	0	3	95
LCCO	12,416	1	0					3	90	12,940	1	0	3	94	13,192	1	0	3	95
AFR	18,052	2	0					3	131	18,814	2	0	3	136	19,180	2	0	3	139
P6	165W	40	1250					T1S	21,031	2	0	3	127	21,918	2	0	3	133	22,345
				T2M	19,482	3	0	4	118	20,303	3	0	4	123	20,699	3	0	4	125
				T3M	19,708	3	0	5	119	20,539	3	0	5	124	20,939	3	0	5	127
				T3LG	17,604	2	0	2	107	18,347	2	0	2	111	18,704	2	0	2	113
				T4M	20,001	3	0	5	121	20,845	3	0	5	126	21,251	3	0	5	129
				T4LG	18,191	2	0	2	110	18,959	2	0	2	115	19,328	2	0	2	117
				TFTM	20,140	3	0	5	122	20,989	3	0	5	127	21,398	3	0	5	129
				T5M	20,579	5	0	3	125	21,447	5	0	3	130	21,865	5	0	3	132
				T5W	20,912	5	0	3	127	21,795	5	0	3	132	22,219	5	0	3	134
				T5LG	20,638	4	0	2	125	21,509	4	0	2	130	21,928	4	0	2	133
				BLC3	14,335	0	0	3	87	14,940	0	0	3	90	15,231	0	0	3	92
				BLC4	14,805	0	0	4	90	15,430	0	0	4	93	15,731	0	0	4	95
				RCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				LCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				AFR	21,031	2	0	3	127	21,918	2	0	3	133	22,345	2	0	3	135

Performance Data

Lumen Output

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Forward Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P7	184W	40	1400	T1S	22,741	2	0	3	123	23,700	2	0	3	129	24,162	3	0	3	131				
				T2M	21,066	3	0	4	114	21,955	3	0	4	119	22,383	3	0	4	121				
				T3M	21,311	3	0	5	116	22,210	3	0	5	120	22,642	3	0	5	123				
				T3LG	19,036	2	0	2	103	19,839	2	0	3	108	20,226	2	0	3	110				
				T4M	21,628	3	0	5	117	22,541	3	0	5	122	22,980	3	0	5	125				
				T4LG	19,671	2	0	2	107	20,501	2	0	3	111	20,900	2	0	3	113				
				TFTM	21,778	3	0	5	118	22,697	3	0	5	123	23,139	3	0	5	125				
				T5M	22,252	5	0	3	121	23,191	5	0	3	126	23,643	5	0	3	128				
				T5W	22,613	5	0	3	123	23,567	5	0	4	128	24,027	5	0	4	130				
				T5LG	22,317	4	0	2	121	23,258	4	0	2	126	23,712	4	0	2	129				
				BLC3	15,501	0	0	3	84	16,155	0	0	4	88	16,470	0	0	4	89				
				BLC4	16,010	0	0	4	87	16,685	0	0	4	90	17,010	0	0	4	92				
				RCCO	15,641	1	0	3	85	16,301	1	0	3	89	16,619	1	0	3	90				
				LCCO	15,641	1	0	3	85	16,301	1	0	3	89	16,619	1	0	3	90				
				AFR	22,741	2	0	3	123	23,700	2	0	3	129	24,162	3	0	3	131				
				P8	216W	60	1100	T1S	28,701	3	0	3	133	29,912	3	0	4	139	30,495	3	0	4	141
								T2M	26,587	3	0	5	123	27,709	3	0	5	128	28,249	3	0	5	131
T3M	26,895	3	0					5	125	28,030	3	0	5	130	28,576	3	0	5	132				
T3LG	24,025	3	0					3	111	25,038	3	0	3	116	25,526	3	0	3	118				
T4M	27,296	3	0					5	127	28,448	3	0	5	132	29,002	3	0	5	134				
T4LG	24,826	3	0					3	115	25,873	3	0	3	120	26,378	3	0	3	122				
TFTM	27,485	3	0					5	127	28,645	3	0	5	133	29,203	3	0	5	135				
T5M	28,084	5	0					4	130	29,269	5	0	4	136	29,839	5	0	4	138				
T5W	28,539	5	0					4	132	29,743	5	0	4	138	30,323	5	0	4	141				
T5LG	28,165	4	0					2	131	29,354	4	0	2	136	29,926	4	0	2	139				
BLC3	19,563	0	0					4	91	20,388	0	0	4	94	20,786	0	0	4	96				
BLC4	20,205	0	0					5	94	21,057	0	0	5	98	21,468	0	0	5	99				
RCCO	19,740	1	0					4	91	20,572	1	0	4	95	20,973	1	0	4	97				
LCCO	19,740	1	0					4	91	20,572	1	0	4	95	20,973	1	0	4	97				
AFR	28,701	3	0					3	133	29,912	3	0	4	139	30,495	3	0	4	141				
P9	277W	60	1400					T1S	34,819	3	0	4	126	36,288	3	0	4	131	36,996	3	0	4	134
								T2M	32,255	3	0	5	116	33,616	3	0	5	121	34,271	3	0	5	124
				T3M	32,629	3	0	5	118	34,006	3	0	5	123	34,668	3	0	5	125				
				T3LG	29,146	3	0	3	105	30,376	3	0	4	110	30,968	3	0	4	112				
				T4M	33,116	3	0	5	120	34,513	3	0	5	125	35,185	3	0	5	127				
				T4LG	30,119	3	0	3	109	31,389	3	0	4	113	32,001	3	0	4	116				
				TFTM	33,345	3	0	5	120	34,751	3	0	5	125	35,429	3	0	5	128				
				T5M	34,071	5	0	4	123	35,509	5	0	4	128	36,201	5	0	4	131				
				T5W	34,624	5	0	4	125	36,084	5	0	4	130	36,788	5	0	4	133				
				T5LG	34,170	5	0	3	123	35,612	5	0	3	129	36,306	5	0	3	131				
				BLC3	23,734	0	0	4	86	24,735	0	0	4	89	25,217	0	0	4	91				
				BLC4	24,513	0	0	5	88	25,547	0	0	5	92	26,045	0	0	5	94				
				RCCO	23,948	1	0	4	86	24,958	1	0	4	90	25,445	1	0	4	92				
				LCCO	23,948	1	0	4	86	24,958	1	0	4	90	25,445	1	0	4	92				
				AFR	34,819	3	0	4	126	36,288	3	0	4	131	36,996	3	0	4	134				

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

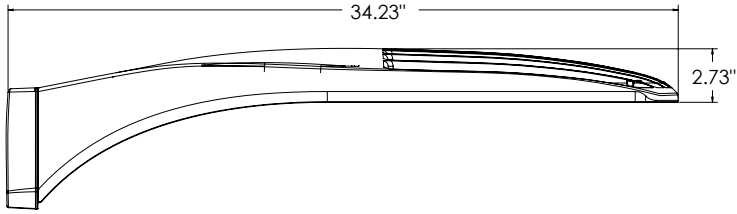
Rotated Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P10	101W	60	530	T1S	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	159
				T2M	14,047	4	0	4	139	14,640	4	0	4	145	14,925	4	0	4	147
				T3M	14,208	4	0	4	140	14,807	4	0	4	146	15,096	4	0	4	149
				T3LG	12,693	3	0	3	125	13,229	3	0	3	131	13,487	3	0	3	133
				T4M	14,420	4	0	4	142	15,028	4	0	4	148	15,321	4	0	4	151
				T4LG	13,115	3	0	3	129	13,668	3	0	3	135	13,934	3	0	3	138
				TFTM	14,522	4	0	4	143	15,134	4	0	4	149	15,429	4	0	4	152
				T5M	14,836	4	0	2	146	15,462	4	0	2	153	15,763	4	0	2	156
				T5W	15,076	4	0	3	149	15,712	5	0	3	155	16,019	5	0	3	158
				T5LG	14,879	3	0	2	147	15,507	3	0	2	153	15,809	3	0	2	156
				BLC3	10,335	3	0	3	102	10,771	4	0	4	106	10,981	4	0	4	108
				BLC4	10,674	4	0	4	105	11,124	4	0	4	110	11,341	4	0	4	112
				RCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	109
				LCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	109
				AFR	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	159
				P11	135W	60	700	T1S	19,437	4	0	4	144	20,257	4	0	4	150	20,651
T2M	18,005	4	0					4	133	18,765	4	0	4	139	19,131	4	0	4	142
T3M	18,211	4	0					4	135	18,980	4	0	4	141	19,350	4	0	4	143
T3LG	16,270	3	0					3	121	16,957	3	0	3	126	17,287	4	0	4	128
T4M	18,483	4	0					4	137	19,263	5	0	5	143	19,638	5	0	5	146
T4LG	16,810	3	0					3	125	17,519	3	0	3	130	17,861	3	0	3	132
TFTM	18,614	4	0					4	138	19,399	4	0	4	144	19,777	5	0	5	147
T5M	19,017	5	0					3	141	19,819	5	0	3	147	20,205	5	0	3	150
T5W	19,325	5	0					3	143	20,140	5	0	3	149	20,533	5	0	3	152
T5LG	19,072	4	0					2	141	19,876	4	0	2	147	20,264	4	0	2	150
BLC3	13,247	4	0					4	98	13,806	4	0	4	102	14,075	4	0	4	104
BLC4	13,682	4	0					4	101	14,259	4	0	4	106	14,537	4	0	4	108
RCCO	13,367	1	0					3	99	13,931	1	0	3	103	14,203	1	0	3	105
LCCO	13,367	1	0					3	99	13,931	1	0	3	103	14,203	1	0	3	105
AFR	19,437	4	0					4	144	20,257	4	0	4	150	20,651	4	0	4	153
P12	206W	60	1050					T1S	27,457	4	0	4	133	28,616	4	0	4	139	29,174
				T2M	25,436	5	0	5	124	26,509	5	0	5	129	27,025	5	0	5	131
				T3M	25,727	5	0	5	125	26,812	5	0	5	130	27,335	5	0	5	133
				T3LG	22,984	4	0	4	112	23,954	4	0	4	116	24,421	4	0	4	119
				T4M	26,110	5	0	5	127	27,212	5	0	5	132	27,742	5	0	5	135
				T4LG	23,747	4	0	4	115	24,749	4	0	4	120	25,231	4	0	4	123
				TFTM	26,295	5	0	5	128	27,404	5	0	5	133	27,938	5	0	5	136
				T5M	26,864	5	0	4	130	27,997	5	0	4	136	28,543	5	0	4	139
				T5W	27,299	5	0	4	133	28,451	5	0	4	138	29,006	5	0	4	141
				T5LG	26,942	4	0	2	131	28,078	4	0	2	136	28,626	4	0	2	139
				BLC3	18,714	4	0	4	91	19,504	4	0	4	95	19,884	4	0	4	97
				BLC4	19,327	5	0	5	94	20,143	5	0	5	98	20,535	5	0	5	100
				RCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	97
				LCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	97
				AFR	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	142
				P13	276W	60	1400	T1S	34,436	5	0	5	125	35,889	5	0	5	130	36,588
T2M	31,900	5	0					5	116	33,246	5	0	5	121	33,894	5	0	5	123
T3M	32,265	5	0					5	117	33,626	5	0	5	122	34,282	5	0	5	124
T3LG	28,826	4	0					4	105	30,042	4	0	4	109	30,628	4	0	4	111
T4M	32,746	5	0					5	119	34,128	5	0	5	124	34,793	5	0	5	126
T4LG	29,782	4	0					4	108	31,039	4	0	4	113	31,644	5	0	4	115
TFTM	32,978	5	0					5	120	34,369	5	0	5	125	35,039	5	0	5	127
T5M	33,692	5	0					4	122	35,113	5	0	4	127	35,797	5	0	4	130
T5W	34,238	5	0					4	124	35,682	5	0	4	129	36,378	5	0	4	132
T5LG	33,789	5	0					3	122	35,215	5	0	3	128	35,901	5	0	3	130
BLC3	23,471	5	0					5	85	24,461	5	0	5	89	24,937	5	0	5	90
BLC4	24,240	5	0					5	88	25,262	5	0	5	92	25,755	5	0	5	93
RCCO	23,683	1	0					4	86	24,682	1	0	4	89	25,163	1	0	4	91
LCCO	23,683	1	0					4	86	24,682	1	0	4	89	25,163	1	0	4	91
AFR	34,436	5	0					5	125	35,889	5	0	5	130	36,588	5	0	5	133



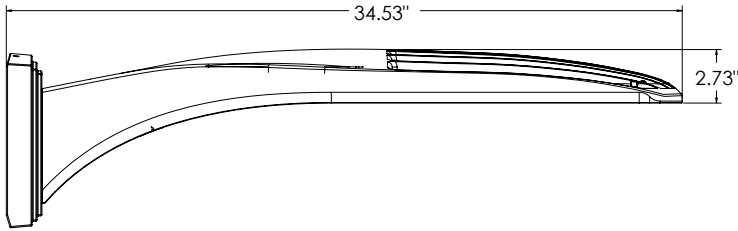
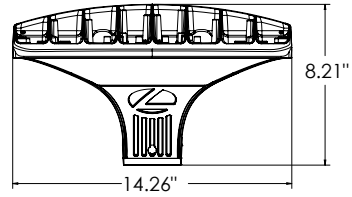
COMMERCIAL OUTDOOR

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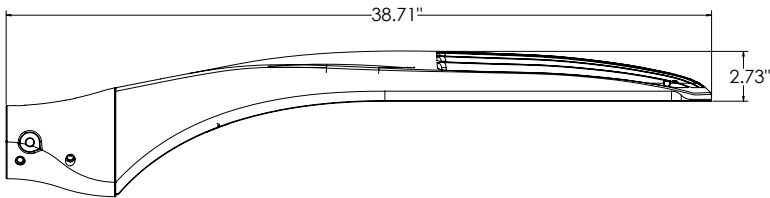
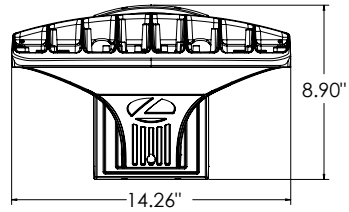
Dimensions



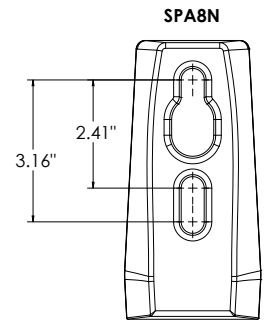
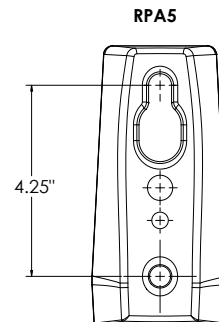
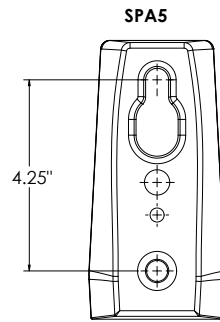
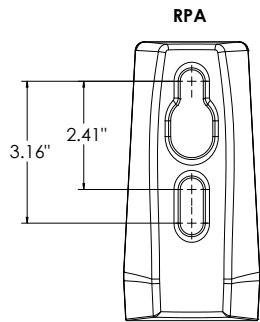
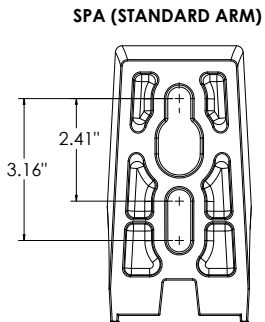
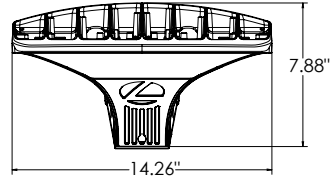
DSX1 with RPA, RPA5, SPA5, SPA8N mount
Weight: 36 lbs



DSX1 with WBA mount
Weight: 38 lbs

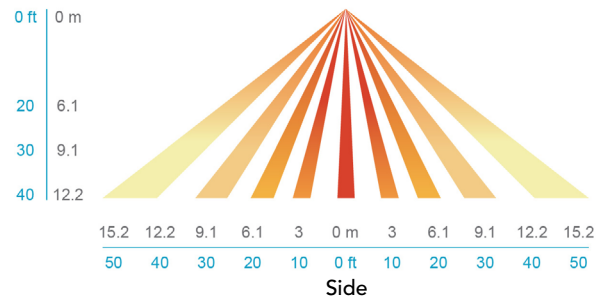
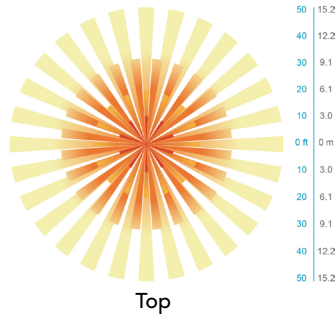


DSX1 with MA mount
Weight: 39 lbs



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G for SPA and MA. 1.5G for mountings RPA, RPA5, SPA5 and SPA8N. Low EPA (0.69 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

Coastal Construction (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L81/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensor with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Cylinders

Wall Mounted • Wet Location Listed PROGRESS LED



Description:

Sleek, 3" LED cylindrical wall lantern with up/downlight in elegant Antique Bronze finish. Die-cast aluminum wall brackets and heavy-duty aluminum framing. Fade and chip-resistant. UL listed for wet locations. Can be used indoor or outdoor.

Specifications:

- Clear glass lens
- 3" LED wall mount up/downlight cylinder
- This sleek, contemporary cylinder is ideal for indoor or outdoor applications
- An Antique Bronze finish complements a variety of exteriors
- Warm white, 3000K, color temperature, 90 CRI
- 1484 lumens, 62 lumens per watt (delivered)
- Die Cast Aluminum construction with durable powder coated finish
- Dimmable to 10% brightness with many Forward Phase (Triac) and Reverse Phase (ELV) dimmers
- Energy Star Qualified
- Meets California T24 JA8-2016.
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.378 in W., 4.378 in ht., 0.86 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

Performance:

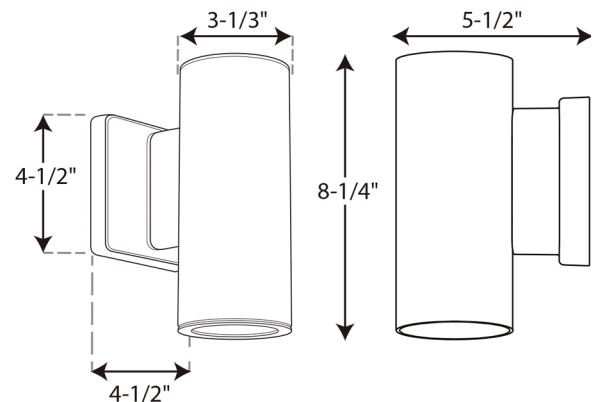
Number of Modules	2
Input Power	12 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Delivered)	1,484/62 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	50000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	40 °C
Warranty	5-year Limited Warranty
Labels	CSA Wet Location Listed
	ENERGY STAR® qualified
	Meets California Title 24 JA8-2016

P563001-020-30K



Dimensions:

Width: 4-1/2 in
 Height: 8-1/4 in
 Depth: 5-1/2 in
 H/CTR: 5 in

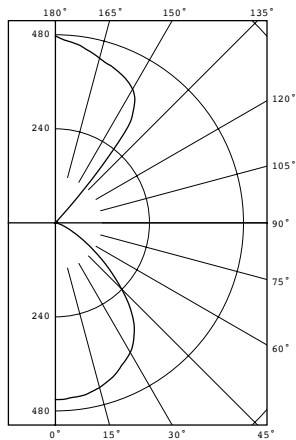


Photometrics:

P563001-020-30K

ELECTRICAL DATA	P563001-020-30K
Input Voltage	120 V
Input Frequency	60 Hz
Input Current	0.202 A
THD	<20%
EMI/RFI	FCC Title 47, Part 15, Class B
Operating Temperature	-10 °C
Dimming	Yes*
Over-voltage, over-current, short-circuit protected	
*See Dimming Notes for more information	

P563001-020-30K
 LED Light Engine: 3000 K 90 CRI
 System Wattage: 24
 Fixture delivered lumens: 1484
 Fixture Efficacy: 62
 Spacing Criteria: 1.25



CANDELA DISTRIBUTION

DEG	CANDELA	LUMENS
0	451	
5	448	43
15	435	123
25	401	185
35	350	218
45	239	183
55	113	103
65	39	40
75	10	12
85	1	1
90	0	
95	0	0
105	1	1
115	1	1
125	4	3
135	6	16
145	345	198
155	412	190
165	435	123
175	463	44
180	477	

ZONAL LUMEN SUMMARY

ZONE	LUMENS	%FIXT
0-30	351	23.6
0-40	568	38.3
0-60	855	57.6
0-90	908	61.2
90-120	2	0.1
90-130	6	0.4
90-150	220	14.8
90-180	576	38.8
0-180	1484	100.0

Test 17.02586 Test Date 10/10/17



P563001-020-30K

Dimming Notes:

P563001-020-30K is designed to be compatible with many Triac/Forward Phase ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

Dimming Controls:

Lutron_Diva DVELV-300P

Lutron_Caseta Wireless

Leviton_SureSlide 6672

Lutron_Ariadni AYCL-153P

Lutron_Toggler TGCL-153PH-WH

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.



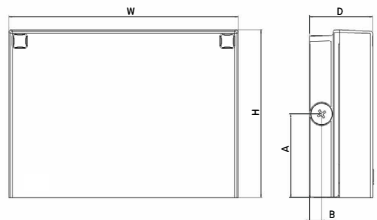
WPX LED Wall Packs



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED			PE Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

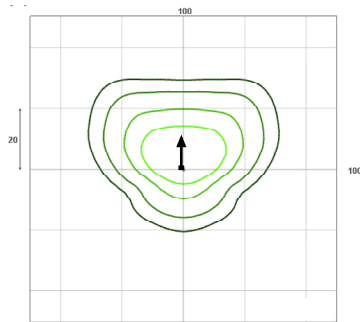
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

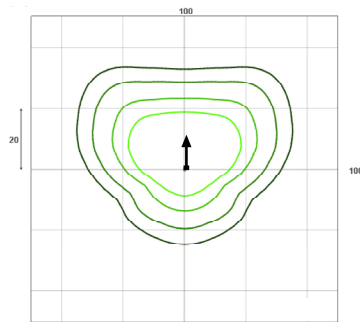
LEGEND

	0.1 fc
	0.2 fc
	0.5 fc
	1.0 fc

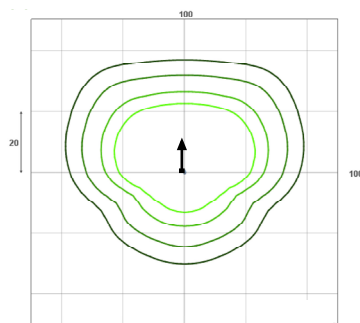
WPX1 LED P1



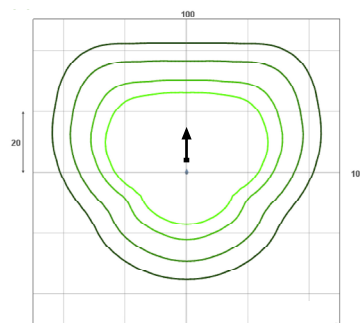
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.

PRELIMINARY PLAT & FINAL PLAT REVIEW

Date: May 17, 2023

Prepared by: Travis D. Thornburgh, P.E.
Kathleen Connor

Project: Lakeside Commercial Plat 1

Project No.: 123.0275.01

GENERAL INFORMATION:

Applicant:	Vinton P. Watson Jr,
Property Owner:	Vinton P. Watson Jr.
Requested Action:	Approval of Preliminary Plat And Approval of Final Plat
Location	East of SE 14 th Street & North of IA Highway 415
Size:	7.50 acres
Zoning:	M-1 (R) – Light Industrial
Proposed Use:	3 Light Industrial Lots, including Marine Sales and Service on Lots 2 & 3 and Mini-Storage on Lot 1



BACKGROUND & DESCRIPTION:

A Plat of Survey for this entire property, then described as Parcel “G”, was approved by City Council on November 26, 2007. On March 10, 2008, the north 5.09 acres only of Parcel ‘G’ was rezoned to M-1 (R) Light Industrial with restrictions on use, permitting only boat, RV, and mini-storage facilities in addition to C-2 uses. The Site Plan for the five storage buildings on the northern portion of the parcel was approved on May 27, 2008 in two phases. On February 28, 2011, Council approved rezoning of the south 2.42 acres to M-1 (R) Light Industrial, with restrictions regarding the use of the property, architectural design standards based on C-2 requirements, and phasing of the project. At that meeting, the Phase 3 Site Plan was approved for the marine retail/service building and two storage buildings. The improvements associated with all three phases, including the deferred paving between the two Phase 3 storage buildings, are complete.

The property owner plans to sell the marine retail/service business on the south side of their parcel while continuing to own the mini-storage business on the north side of the property. Per Code, this lot split requires a Plat of Subdivision since the property has already been split via Plat of Survey. Per the Plat of Survey, a rear yard setback of 40’ was required along the north property line. However, by splitting the lot, the 40’ rear yard would then be moved to the east side of the lot where the existing buildings are set only 10’ from the property line.

On January 26, 2023, the Board of Adjustment granted a variance of the rear yard setback for this property, which reduced the rear yard setback for the mini-storage parcel to 10’ in order to

allow this existing parcel to be subdivided. The existing uses and structures will remain compliant with zoning regulations and this variance.

At this time, Vinton P. Watson Jr. requests approval of a minor Plat of Subdivision that will allow the mini-storage facility and existing boat sales facility to be split and sold separately. No public improvements are required in conjunction with this Plat of Subdivision, thus allowing this plat to be considered a minor Plat of Subdivision.

The Planning & Zoning Commission recommended approval of the Preliminary Plat at their March 20, 2023 meeting, subject to all review comments being addressed. The Final Plat is in substantial conformance with the Preliminary Plat and therefore did not require a recommendation from the commission.

PRELIMINARY PLAT REVIEW COMMENTS: Pursuant to discussion at the P&Z meeting, the following comments will need to be addressed before this item is scheduled for Council approval:

1. Provide a Site Plan Amendment for administrative approval that shows the location of the proposed trash enclosure on Lot 1 and includes a detail of this trash enclosure, labeling materials including screening gate, and including dimensions for the structure. The Site Plan Amendment should include appropriate landscape screening from the public right-of-way, labeling species and size.

FINAL PLAT REVIEW COMMENTS: Pursuant to our review of the revised Final Plat, we offer the following comments:

1. The developer's professionals have provided, or will need to provide, the following legal documents for review by staff:
 - a) Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement, with legal description
 - b) Record of Lot Tie Agreement permanently tying Lots 2 and 3 together.
 - c) Necessary platting documents to the City Attorney for review, including Title Opinion, Consent to Plat by both titleholders, and Certificate of Treasurer, and Auditor's approval of subdivision name.
2. The following legal documents were recorded prior to sale of Lots 2 and 3:
 - a) Shared Driveway Easement covering ingress/egress and shared parking stalls
 - b) Storm Water Discharge Agreement covering surface water flowage across Lot 1

RECOMMENDATION:

Based on the satisfactory resolution of the foregoing comments, we recommend approval of the Preliminary Plat and Final Plat for Lakeside Commercial Plat 1. This approval shall be subject to the following:

1. The property owner of Lot 1 of Lakeside Commercial Plat 1 shall be required to construct a trash enclosure on said Lot 1 in accordance with a Site Plan Amendment that has been

approved by the City Manager within six months following Council approval of this Preliminary Plat.

2. City Attorney approval of all legal documents prior to these items being placed on the City Council agenda.
3. Recordation by the City Clerk of the Final Plat for Lakeside Commercial Plat 1 and associated legal documents including easements with the applicant responsible for reimbursement of all fees related to such recordation.
4. Payment of applicable fees for the Preliminary Plat and Final Plat.

RESOLUTION NO. 2023-68

**A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR
LAKESIDE COMMERCIAL PLAT 1**

WHEREAS, Phil Watson submitted a Preliminary Plat to subdivide Parcel G in order to sell the marine retail/service business on the south side of parcel while continuing to own the mini-storage business on the north side of the property; and

WHEREAS, on March 20, 2023, the Polk City Planning & Zoning Commission met and recommended approval of the Preliminary Plat for Lakeside Commercial Plat 1, subject to completion of the City Engineer’s review comments and recommendations being satisfactorily addressed; and

WHEREAS, the City Engineer has reviewed the Preliminary Plat and finds that all review comments have been satisfactorily addressed, with the exception of construction of a trash enclosure on Lot 1 of Lakeside Commercial Plat 1 in accordance with a Site Plan Amendment that has been approved by the City Manager, and therefore recommends approval of said Preliminary Plat subject to construction of said trash enclosure.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and deems it appropriate to approve the Preliminary Plat for Lakeside Commercial Plat 1 subject to the property owner of Lot 1 of Lakeside Commercial Plat 1 being required to construct a trash enclosure in accordance with a Site Plan Amendment that has been approved by the City Manager within six months following Council approval of this Preliminary Plat.

PASSED AND APPROVED the 22 day May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

RESOLUTION NO. 2023-69

**A RESOLUTION APPROVING THE FINAL PLAT FOR LAKESIDE COMMERCIAL PLAT 1,
INCLUDING RECORD OF LOT TIE AGREEMENT, STORM WATER MANAGEMENT
FACILITY MAINTENANCE COVENANT AND PERMANENT EASEMENT AGREEMENT,
AND PLATTING LEGAL DOCUMENTS**

WHEREAS, Phil Watson has submitted a Final Plat including a Record of Lot Tie Agreement and a Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement and platting legal documents for Lakeside Commercial Plat 1; and

WHEREAS, the City Engineer and City Attorney have reviewed the Final Plat and all necessary legal documents and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Final Plat subject to completion of all site improvements in accordance with the Site Plan Amendment approved by the City Manager.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the City Engineer and the City Attorney and deems it appropriate to approve the Final Plat including Record of Lot Tie, Shared Driveway Agreement, and Legal Documents for Lakeside Commercial Plat 1 subject to completion of all site improvements in accordance with the Site Plan Amendment approved by the City Manager within six months following Council approval of this Preliminary Plat.

PASSED AND APPROVED the 22 day May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

MINOR FINAL PLAT LAKESIDE COMMERCIAL PLAT I SHEET 1 OF 1

OWNER/DEVELOPER
OWNER OF LOT 1
VINTON P WATSON JR
1120 CARDINAL DR
POLK CITY, IA 50226-0004
PHONE: (515) 201-4215
EMAIL: PHIL@WATERSJEDGEMARINE.COM

OWNER OF LOTS 2 & 3
HPS 28 LLC
3160 SE GRIMES BLVD STE 100
GRIMES, IA 50111-5018

ZONING: M-1 LIGHT INDUSTRIAL DISTRICT
M-1 ZONING RESTRICTION PER ORD 2008-100
THE PRINCIPAL PERMITTED USE OF LOT 1 SHALL BE RESTRICTED TO ENCLOSED BOAT AND RECREATIONAL VEHICLE STORAGE AND USES PERMITTED IN THE C-2 DISTRICTS ONLY.

M-1 ZONING RESTRICTIONS PER ORD 2011-200
A) THE PRINCIPAL PERMITTED USE OF LOT 2 SHALL BE RESTRICTED TO BOAT AND PERSONAL WATERCRAFT SALES AND SERVICE, PROVIDED ALL OUTSIDE STORAGE, DISPLAY AND PARKING AREAS ARE USED IN ACCORDANCE WITH THE APPROVED SITE PLAN AND ALL STORAGE SHALL BE ON PAVED SURFACES.
B) THE PRINCIPAL PERMITTED USE OF LOT 3 SHALL BE RESTRICTED TO ENCLOSED BOAT AND RECREATIONAL VEHICLE STORAGE AS AN ACCESSORY USE TO THE RETAIL USE ON LOT 2 AND USES PERMITTED IN THE C-2 DISTRICTS ONLY.
C) BUILDINGS ON LOTS 2 AND 3 SHALL CONFORM TO THE ARCHITECTURAL DESIGN STANDARDS FOR THE C-2 COMMERCIAL DISTRICT.
D) THE SOUTH AND WEST SIDES OF THE SOUTH STORAGE BUILDING ON LOT 3 SHALL BE EFFECTIVELY SCREENED WITH EVERGREEN TREES OF A SIZE AND TYPE IN ACCORDANCE WITH THE APPROVED SITE PLAN.

BULK REGULATIONS
BUILDING HEIGHT LIMITS 4 STORIES OR 75 feet
MINIMUM LOT AREA NONE
MINIMUM LOT WIDTH NONE
MINIMUM FRONT YARD DEPTH 30 feet
MINIMUM SIDE YARD DEPTH 30 feet (ADJACENT TO RESIDENTIAL)
MINIMUM REAR YARD DEPTH 40 feet LOT 1=10 feet

SETBACKS WERE ESTABLISHED VIA THE POLK CITY BOARD OF ADJUSTMENT, AND INCLUDE THE SPECIFIC SETBACKS AS ESTABLISHED BY THE POLK CITY BOARD OF ADJUSTMENT.

SETBACKS AREA AS FOLLOWS:
REAR YARD SETBACK FOR LOT 1 IS 10.00'

LEGAL DESCRIPTION

PARCEL G OF PLAT OF SURVEY RECORDED IN BOOK 12494, PAGE 686, BEING A PART OF LOTS 2 AND 4 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE NORTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH PM, POLK COUNTY, POLK CITY, POLK COUNTY, IOWA. CONTAINING 150 ACRES, MORE OR LESS.

TOTAL AREA OF PLAT = 7.5 ACRES

PLAT PREPARER

ASSOCIATED ENGINEERING COMPANY OF IOWA
1830 S.E. PRINCETON DRIVE, SUITE M
GRIMES, IOWA 50111
PHONE: (515) 255-3156
CONTACT: VICTOR AGENTINI
EMAIL: VICPA@AECOFIOWA.COM

BENCHMARK

RCS ZONE 8, IOWA DOT NETWORK

LOT CORNERS

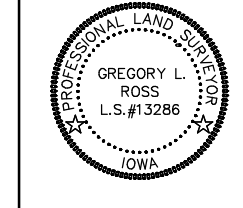
NEW CORNER MONUMENTS WILL BE INSTALLED, AND MISSING PROPERTY CORNERS WILL BE REPLACED AS PART OF PLATTING. NOTE SHALL FURTHER CLARIFY THAT THE SURVEYOR SHALL SUBMIT A LETTER TO THE CITY OF POLK CITY CONFIRMING SETTING OF PROPERTY PINS WITHIN 90 DAYS OF APPROVAL OF THE FINAL PLAT.

LOT #	AREA	ADDRESS
LOT 1	4.30 ACRES	1905 SE 14TH STREET
LOT 2	1.45 ACRES	1413 NW POLK CITY DRIVE
LOT 3	1.75 ACRES	NW POLK CITY DRIVE

CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEY DOCUMENT WAS PREPARED BY ME AND BY A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
LICENSE NUMBER: DATE: 03-2024 PAGES COVERED BY THIS SEAL: THIS PAGE ONLY

SIGNED: GREGORY L. ROSS P.L.S. 13286 DATE: _____



LEGEND

- MONUMENT FOUND AS NOTED
- SET 1/2" IR IN ORANGE CAP #13286
- ▲ SECTION CORNER SET AS NOTED
- ▲ SECTION CORNER SET AS NOTED
- ▲ SANITARY MANHOLE AS NOTED
- STORM MANHOLE AS NOTED
- TRAFFIC MANHOLE AS NOTED
- UTILITY MANHOLE AS NOTED
- PHONE MANHOLE AS NOTED
- ELECTRIC MANHOLE AS NOTED
- GAS VALVE AS NOTED
- UTILITY POLE AS NOTED
- WELL AS NOTED
- FIREHYDRANT AS NOTED
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- CURB INTAKE AS NOTED
- AREA INTAKE AS NOTED
- HANDICAPPED PARKING AS NOTED
- UTILITY BOX AS NOTED
- PERK TEST SITE AS NOTED
- SANITARY SEWER AS NOTED
- PROPOSED SPOT ELEVATION
- MEASURED DISTANCE OR BEARING
- RECORDED DISTANCE OF BEARING
- EXISTING CONTOUR
- 100' PROPOSED CONTOUR
- FENCE LINE AS NOTED
- TVC BURIED TELEVISION AS NOTED
- BURIED ELECTRIC AS NOTED
- OVER-HEAD UTILITIES
- GAS MAIN AS NOTED
- WATER MAIN AS NOTED
- STORM SEWER AS NOTED
- SANITARY SEWER AS NOTED
- BURIED TELEPHONE
- BURIED CABLE/UTILITIES

**ASSOCIATED ENGINEERING
AEC COMPANY OF IOWA**
1830 SE Princeton Dr. Ste M Grimes, IA 50111
Phone: (515) 255-3156 Fax: (515) 255-3157

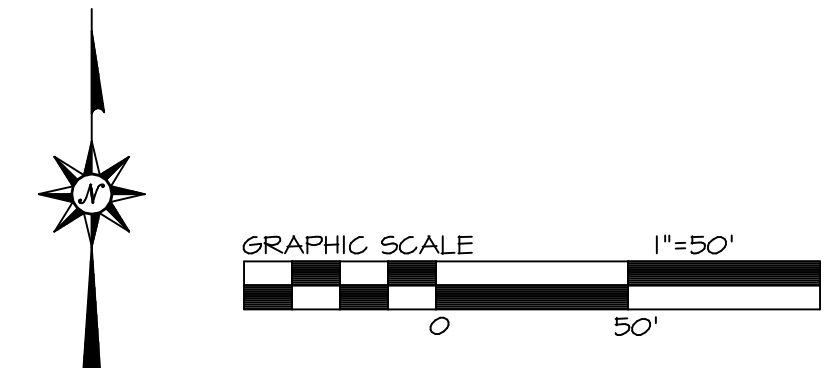
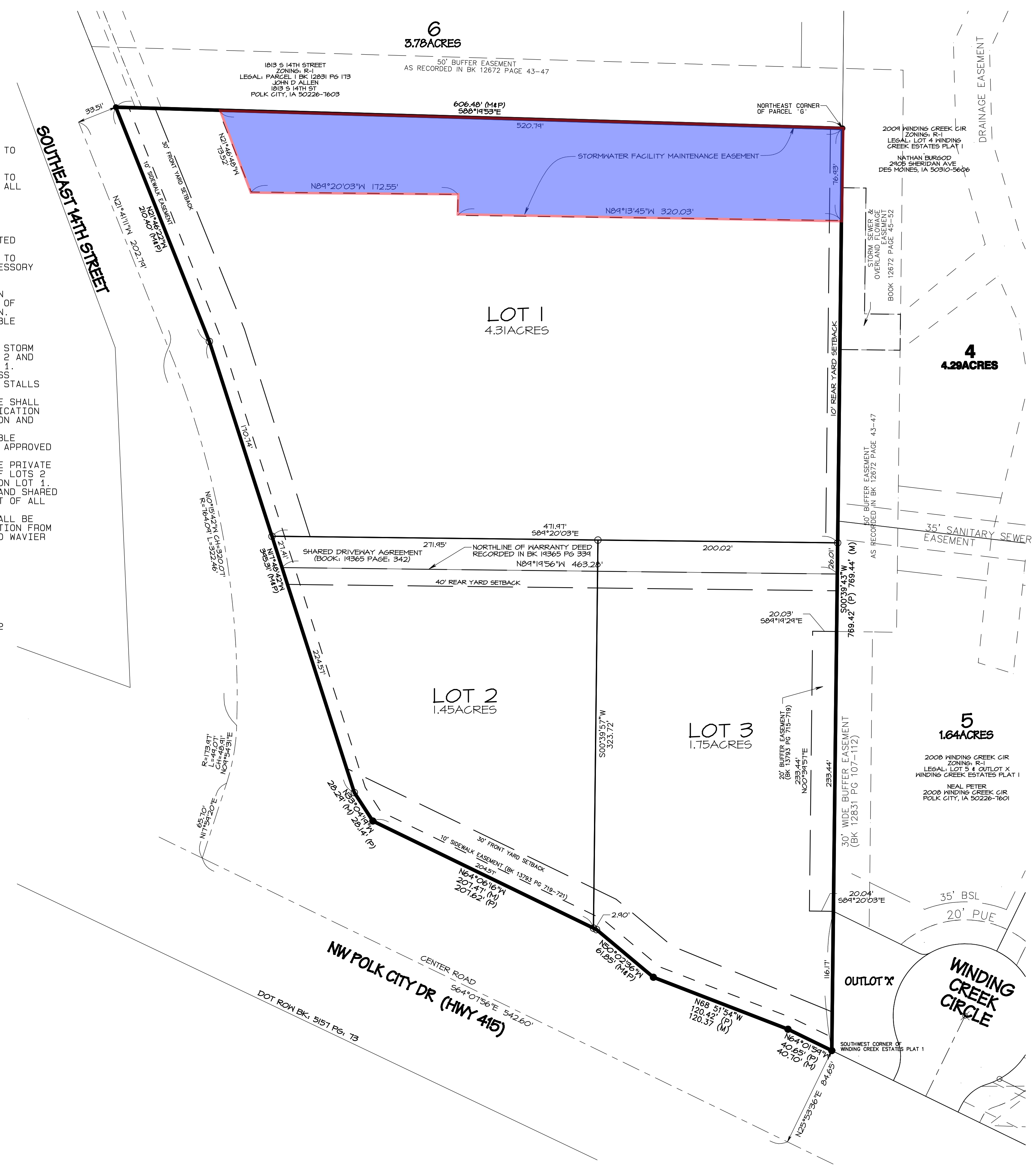
INDEX LEGEND	
LOCATION:	PARCEL G BK 12494 PG 686 S1/2 NW1/4 SW1/4 SECTION 07-80-24
REQUESTOR:	VINTON P WATSON JR
PROPRIETOR:	VINTON P WATSON JR 1120 CARDINAL DR, POLK CITY, IA 50226
SURVEYOR:	GREGORY L ROSS, IA PLS NO. 13286
COMPANY:	ASSOCIATED ENGINEERING COMPANY OF IOWA 1830 SE PRINCETON DR, SUITE M GRIMES, IA 50111
RETURN TO:	ASSOCIATED ENGINEERING COMPANY OF IOWA 1830 SE PRINCETON DR, SUITE M GRIMES, IA 50111
POLK CITY APPROVAL	

GENERAL NOTES

- THE PRINCIPAL PERMITTED USE OF LOT 1 SHALL BE RESTRICTED TO ENCLOSED BOAT AND RECREATIONAL VEHICLE STORAGE AND USES PERMITTED IN THE C-2 DISTRICTS ONLY.
- THE PRINCIPAL PERMITTED USE OF LOT 2 SHALL BE RESTRICTED TO BOAT AND PERSONAL WATERCRAFT SALES AND SERVICE, PROVIDED ALL OUTSIDE STORAGE, DISPLAY AND PARKING AREAS ARE USED IN ACCORDANCE WITH THE APPROVED SITE PLAN AND ALL STORAGE SHALL BE ON PAVED SURFACES.
- THE PRINCIPAL PERMITTED USE OF LOT 3 SHALL BE RESTRICTED TO ENCLOSED BOAT AND RECREATIONAL VEHICLE STORAGE AS AN ACCESSORY USE TO THE RETAIL USE ON LOT 2 AND USES PERMITTED IN THE C-2 DISTRICTS ONLY.
- THE PRINCIPAL PERMITTED USE OF LOT 3 SHALL BE RESTRICTED TO ENCLOSED BOAT AND RECREATIONAL VEHICLE STORAGE AS AN ACCESSORY USE TO THE RETAIL USE ON LOT 2 AND USES PERMITTED IN THE C-2 DISTRICTS ONLY.
- THE SOUTH AND WEST SIDES OF THE SOUTH STORAGE BUILDING ON LOT 3 SHALL BE EFFECTIVELY SCREENED WITH EVERGREEN TREES OF A SIZE AND TYPE IN ACCORDANCE WITH THE APPROVED SITE PLAN.
- THE PROPERTY OWNERS OF LOTS 1, 2 AND 3 SHALL BE RESPONSIBLE FOR MAINTAINING THEIR PROPERTIES IN CONFORMANCE WITH THE APPROVED SITE PLAN ON RECORD AT POLK CITY CITY HALL.
- A BLANKET EASEMENT PROVIDED ACROSS LOT 1 FOR THE PRIVATE STORM SEWERS AND SURFACE WATER FLOWAGE FOR THE BENEFIT OF LOTS 2 AND 3, ALLOWING ACCESS TO THE PRIVATE DETENTION BASIN ON LOT 1.
- THE OWNERS OF LOTS 1, 2, & 3 HAVE A BLANKET INGRESS/EGRESS EASEMENT ACROSS SAID 3 LOTS FOR ACCESS TO SHARED PARKING STALLS ON LOTS 1, 2 & 3.
- THE SIDEWALKS ALONG SE 14TH STREET AND NW POLK CITY DRIVE SHALL BE CONSTRUCTED BY THE ADJOINING PROPERTY OWNER UPON NOTIFICATION FROM THE CITY OF POLK CITY IN ACCORDANCE WITH THE PETITION AND WAIVER RECORDED ON BK 12672, PAGE 53-56.
- THE PROPERTY OWNERS OF LOTS 1, 2 AND 3 SHALL BE RESPONSIBLE FOR MAINTAINING THEIR PROPERTIES IN CONFORMANCE WITH THE APPROVED SITE PLAN ON RECORD AT POLK CITY CITY HALL.
- THERE IS A BLANKET EASEMENT PROVIDED ACROSS LOT 1 FOR THE PRIVATE STORM SEWERS AND SURFACE WATER FLOWAGE FOR THE BENEFIT OF LOTS 2 AND 3 BY ALLOWING ACCESS TO THE PRIVATE DETENTION BASIN ON LOT 1.
- THERE IS A BLANKET EASEMENT PROVIDED FOR INGRESS/EGRESS AND SHARED PARKING STALLS ON ACROSS LOTS 1, 2, AND 3 FOR THE BENEFIT OF ALL THREE LOTS.
- SIDEWALKS ALONG SE 14TH STREET AND NW POLK CITY DRIVE SHALL BE CONSTRUCTED BY THE ADJOINING PROPERTY OWNER UPON NOTIFICATION FROM THE CITY OF POLK CITY IN ACCORDANCE WITH THE PETITION AND WAIVER RECORDED ON BK 12672, PAGE 53-56.

LOT ADDRESSES

- LOT 1 - 1905 S.E. 14TH STREET
- LOT 2 - 1413 N.W. POLK CITY DRIVE
- LOT 3 - NOT APPLICABLE, LOT 3 IS PERMANENTLY TIED TO LOT 2



REVISIONS	DESCRIPTION
02-04-2023	1ST SUBMITTAL
03-04-2023	REVISED COMMENTS FROM 03-03-2023
04-21-2023	REVISED COMMENTS DATED 03-23-2023

Recorded: 12/30/2022 at 3:15:10.0 PM
County Recording Fee: \$17.00
Iowa E-Filing Fee: \$3.00
Combined Fee: \$20.00
Revenue Tax:
Polk County, Iowa
Julie M. Haggerty RECORDER
Number: 202200094379
BK: 19365 PG: 342

Return To: Phil Watson, PC., 535 E. Army Post Rd, Des Moines, IA 50315
Taxpayer: NA
Preparer: Phil Watson, Esq, 535 E. Army Post Rd, Des Moines, IA 50315 Phone: (515) 287-7000

SHARED DRIVEWAY AGREEMENT

AGREEMENT made this 29 day of December, 2022, between Vinton Philip Watson, Jr., ("Watson") and HPS 28, LLC.

RECITALS

Watson owns the following-described real estate in Polk County, Iowa:

Parcel "G" as recorded in Book 12494, Page 686 at the Polk County Recorder's Office, Polk County, Iowa;

EXCEPT:

thence North 64°02'35" West, a distance of 40.65 feet; thence North 68°52'01" West, a distance of 120.42 feet; thence North 50°02'19" West, a distance of 61.85 feet; thence North 64°05'51" West, a distance of 207.62 feet; thence North 32°46'30" West, a distance of 28.14 feet; thence North 17°48'16" West, a distance of 197.16 feet; thence South 89°19'30" East, a distance of 463.26 feet; thence South 00°40'23" West, a distance of 397.57 feet to the Point of Beginning.

Containing 2.91 acres, more or less together with all easements appurtenant and subject to easements of record. Of Section 7, Township 80 North, Range 24 West of the 5th p.m., Polk County, Iowa.

Locally known as:

1905 S. 14th Street
Polk City, IA 50226

HPS 28, LLC, owns the following-described real estate which is adjacent to and south of the real estate owned by Watson.

Beginning at the Southeast Corner of Parcel "G" as recorded in Book 12494, Page 686 at the Polk County Recorder's Office, Polk County, Iowa; thence North 64°02'35" West, a distance of 40.65 feet; thence North 68°52'01" West, a distance of 120.42 feet; thence North 50°02'19" West, a distance of 61.85 feet; thence North 64°05'51" West, a distance of 207.62 feet; thence North 32°46'30" West, a distance of 28.14 feet; thence North 17°48'16" West, a distance of 197.16 feet; thence South 89°19'30" East, a distance of 463.26 feet; thence South 00°40'23" West, a distance of 397.57 feet to the Point of Beginning. Containing 2.91 acres, more or less together with all easements appurtenant and subject to easements of record. Of Section 7, Township 80 North, Range 24 West of the 5th p.m., Polk County, Iowa.
Locally known as:

1413 NW Polk City Drive
Polk City, IA 50226

In consideration of the mutual promises contained herein, the parties enter into the following

Shared Driveway Agreement.

1. Watson and Hicklin will share the common driveway which provides ingress and egress to both parties' property from South 14th. The shared driveway is located on the south edge of the Watson property and the north edge of the HPS 28 property.
2. Each parties' business shall have the right to the use of the driveway and both parties agree to keep the driveway open so as not to restrict the use of the other party.
3. Parties agree to share the cost of maintenance on the shared driveway, to include snow removal, repair, and/or replacement of paving.
4. HPS 28 shall have the unfettered right to the use of the boat hoist which is partially located on the Watson property.
5. HPS 28 shall also be entitled to the use of the employee parking area that is located on the Watson property.
6. This agreement is binding on the parties as well as their successors and assigns. The rights and obligations created hereby shall run with the land.

Signed effective the day and year above written.

HPS 28, LLC

Phil Watson
Vinton Philip Watson, Jr.

By: *Barton Hicklin*
Barton Hicklin, Member-Manager

Cynthia Watson
Cynthia Watson, spouse of Vinton Philip Watson, Jr.

STATE OF IOWA)
) ss:
POLK COUNTY)

This record was acknowledged before me on December 29, 2022, by Vinton Philip Watson, Jr., and Cynthia Watson.



Phil Watson
Notary Public in and for the State of Iowa

STATE OF IOWA)
) ss:
POLK COUNTY)

This record was acknowledged before me on December 29, 2022, by Barton Hicklin as Member-Manager of HPS 28, LLC.



Keith Welling
Notary Public in and for the State of Iowa

245
9300
CK



Doc ID: 038616820003 Type: GEN
Kind: AGREEMENT MISCELLANEOUS
Recorded: 04/04/2023 at 12:18:19 PM
Fee Amt: \$17.00 Page 1 of 3
Revenue Tax: \$0.00
Polk County Iowa
JULIE M. HAGGERTY RECORDER
File# 2023-00015373

BK **19436** PG **561-563**

Return To: Phil Watson, PC., 535 E. Army Post Rd, Des Moines, IA 50315
Taxpayer: ~~NA~~ **RETURN TO:**
Preparer: Phil Watson, Esq, 535 E. Army Post Rd, Des Moines, IA 50315 Phone: (515) 287-7000

STORM WATER DISCHARGE AGREEMENT

AGREEMENT made this 28th day of March, 2023, between Vinton Philip Watson, Jr., ("Watson") and HPS 28, LLC.

RECITALS

Watson owns the following-described real estate in Polk County, Iowa:

Parcel "G" as recorded in Book 12494, Page 686 at the Polk County Recorder's Office, Polk County, Iowa;

EXCEPT:

thence North 64°02'35" West, a distance of 40.65 feet; thence North 68°52'01" West, a distance of 120.42 feet; thence North 50°02'19" West, a distance of 61.85 feet; thence North 64°05'51" West, a distance of 207.62 feet; thence North 32°46'30" West, a distance of 28.14 feet; thence North 17°48'16" West, a distance of 197.16 feet; thence South 89°19'30" East, a distance of 463.26 feet; thence South 00°40'23" West, a distance of 397.57 feet to the Point of Beginning. Containing 2.91 acres, more or less together with all easements appurtenant and subject to easements of record.

Locally known as:

1905 S. 14th Street
Polk City, IA 50226

HPS 28, LLC, owns the following-described real estate which is adjacent to and south of the real estate owned by Watson.

Beginning at the Southeast Corner of Parcel "G" as recorded in Book 12494, Page 686 at the Polk County Recorder's Office, Polk County, Iowa; thence North 64°02'35" West, a distance of 40.65 feet; thence North 68°52'01" West, a distance of 120.42 feet; thence North 50°02'19" West, a distance of 61.85 feet; thence North 64°05'51" West, a distance of 207.62 feet; thence North 32°46'30" West, a distance of 28.14 feet; thence North 17°48'16" West, a distance of 197.16 feet; thence South 89°19'30" East, a distance of 463.26 feet; thence South 00°40'23" West, a distance of 397.57 feet to the Point of Beginning. Containing 2.91 acres, more or less together with all easements appurtenant and subject to easements of record.

Locally known as:
1413 NW Polk City Drive
Polk City, IA 50226

The HPS property lies immediately south of the Watson property on NW Polk City Drive.

The location of the HPS property is such that run-off water and storm water drains onto and through the Watson property and into a retention pond constructed on the Watson property.

The parties wish to create a permanent easement that runs with the land allowing discharge of storm water and run-off water to continue in the manner that it has in the past.

In consideration of the mutual promises contained herein, the parties enter into the following Storm Water Discharge Agreement.

AGREEMENT

In consideration of the mutual promises contained herein, the parties agree as follows:

Watson grants to HPS a permanent easement allowing the storm water and run-off water to continue across the Watson property into the retention pond created on the Watson property.

Watson agrees not to construct any dams or improvements on the Watson property that would impede the flow of the storm water from south to north to retention area and maintain the retention pond so that it may continue to accommodate the storm water and run-off water from the HPS Property.

This Agreement is binding on the parties as well as their successors and assigns. The rights and obligations created hereby shall run with the land.

Signed effective the day and year above written.

HPS 28, LLC

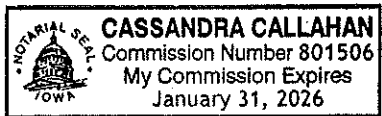
Philip Watson
Vinton Philip Watson, Jr.

By: *Bart Hicklin*
Barton Hicklin, Member-Manager

Cynthia Watson
Cynthia Watson, spouse of Vinton Philip Watson, Jr.

STATE OF IOWA)
) ss:
POLK COUNTY)

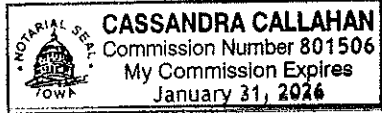
This record was acknowledged before me on March 29th, 2023, by Vinton Philip Watson, Jr., and Cynthia Watson.



Cassandra Callahan
Notary Public in and for the State of Iowa

STATE OF IOWA)
) ss:
POLK COUNTY)

This record was acknowledged before me on March 28th, 2023, by Barton Hicklin as Member-Manager of HPS 28, LLC.



Cassandra Callahan
Notary Public in and for the State of Iowa

RECORD OF LOT TIE

WHEREAS, the City Council of Polk City approved a Final Plat for Lakeside Commercial Plat 1, an Official Plat, now included in and forming a part of the City of Polk City, Polk County, Iowa; and

WHEREAS, HPS 28, LLC, an Iowa limited liability company (hereinafter referred to as "Owner") state that Owner is the owner of Lot 2 and Lot 3 in Lakeside Commercial Plat 1 (hereinafter referred to as "Properties"); and

WHEREAS, Lot 3 of Lakeside Commercial Plat 1, an Official Plat, now included in and forming a part of the City of Polk City, Polk County, Iowa, does not meet the requirements of the Zoning Ordinance as an independent parcel; and

WHEREAS, it is the desire of the City of Polk City and Owner to combine said Properties into one parcel for the purpose of permanently tying the properties together.

NOW, THEREFORE, Owner does hereby impose the following restrictions:

1. That Lot 2, is now part and parcel with Lot 3; and
2. That no portion of said Properties shall be transferred, sold, or conveyed independent of the remainder of the Properties, without the approval of the City Council, upon recommendation of the Planning and Zoning Commission, of the City of Polk City, Iowa.

This Agreement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's heirs, lessee, occupants, successors and assigns.

Signature Page to Follow

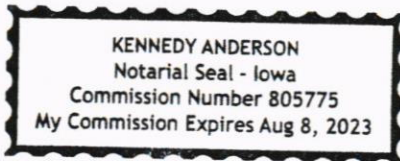
SIGNED on this 19th day of April, 2023.

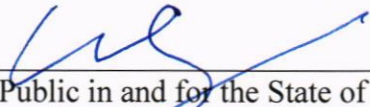
PROPERTY OWNER: HPS 28, LLC

By: 
Billy Mallory, Authorized Agent for HPS 28, LLC

STATE OF IOWA)
) ss:
COUNTY OF POLK)

On this 19th day of April, 2023, before me, the undersigned, a Notary Public in and for said County and State, personally appeared Billy Mallory, Agent for HPS 28, LLC, to me known to be the person named in and who executed the foregoing instrument to which is attached; and acknowledged he executed this instrument as his voluntary act and deed.




Notary Public in and for the State of Iowa
My Commission expires Aug 8, 2023

ACCEPTANCE BY CITY

STATE OF IOWA)
) ss:
COUNTY OF POLK)

I, Jenny Coffin, City Clerk of the City of Polk City, Iowa, do hereby certify that the within and foregoing Agreement was duly approved and accepted by the City Council of said City of Polk City by Resolution No. _____, passed on the ___ day of _____, 2023, and this certificate is made pursuant to authority contained in said Resolution.

Signed this _____ day of _____, 2023.

Jenny Coffin, City Clerk of Polk City, Iowa



City of Polk City, Iowa City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: Resolution approving Offer to Purchase Real Estate and Acceptance

BACKGROUND: The City has reached an agreement with Michael Bueltel for the purchase of 306 S. 3rd Street. For the Council's consideration on Monday is a purchase agreement for that property. The purchase agreement outlines that the City is offering to buy the property for \$200,000.

ALTERNATIVES: Do not approve the purchase agreement.

FINANCIAL CONSIDERATIONS: The financial considerations are \$200,000. This is rental property, and the City may have some additional relocation expenses associated with this purchase.

RECOMMENDATION: It is my recommendation that the Council approve the purchase agreement for 306 S. 3rd Street.

RESOLUTION NO. 2023-70

**A RESOLUTION AUTHORIZING THE PURCHASE OF CERTAIN REAL ESTATE
LOCATED AT 306 S. 3RD STREET FOR PUBLIC SAFETY FACILITY PROJECT**

WHEREAS, the City Council of the City of Polk City has determined the City has a need for a new Public Safety Facility (“Project”);

WHEREAS, the City has determined the properties needed to construct the Project;

WHEREAS, the real estate owned by Mr. Bueltel and located at 306 S. 3rd Street is needed for the Project;

WHEREAS, an agreement has been negotiated with Mr. Bueltel to purchase the real estate;

WHEREAS, the real estate Purchase Agreement is attached hereto as Exhibit “A”;
and

WHEREAS, it is in the best interest of Polk City to enter into said Purchase Agreement.

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Polk City hereby approves the real estate Purchase Agreement attached as Exhibit “A” to purchase the real estate located at 306 S 3rd Street, in the amount of \$200,000.

BE IT FURTHER RESOLVED that the Mayor and City Clerk are hereby authorized to execute the Purchase Agreement and other documents needed to complete the transaction and the City staff is authorized to complete the transaction on behalf of the City.

PASSED AND APPROVED the 22nd day of May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

WHEN RECORDED RETURN TO:

Amy S. Beattie
6701 Westown Parkway, Suite 100
West Des Moines, Iowa 50266

Preparer Information: Amy S. Beattie, 6701 Westown Parkway, Suite 100, West Des Moines, Iowa 50266 (515) 274-1450
Project Name: Parcel No.: Activity ID:

OFFER TO PURCHASE REAL ESTATE AND ACCEPTANCE

TO: Michael Bueltel, PO Box 353, Polk City, IA 50226-0353

The City of Polk City, a municipal corporation of the State of Iowa (hereinafter referred to as the "City") acting by and through its authorized agent who is the undersigned, hereby offers to purchase the real estate situated in Polk County, Iowa, locally known as 306 S 3rd Street, Polk City, Iowa 50226 and which is legally described as:

Lot 1 and the 16 ½ foot Alley lying Northwesterly and adjoining said Lot 1, and ½ of the Alley lying Southwesterly and adjoining said Lot 1 in Block 18, Polk City, Polk County, Iowa, subject to easements and restrictions of record.

Which property is also described and depicted on the plat attached hereto as Exhibit "A" (hereinafter referred to as the "Property"), together with any easements and servient estates appurtenant thereto, buildings and improvements.

1. PURCHASE PRICE.

City offers to buy said Property for the total purchase price:

Fee Acquisition	\$200,000.00
Total	\$200,000.00

payable in full immediately after delivery of the Deed to the City and acceptance thereof by the City Council of the City of Polk City.

2. TITLE AND POSSESSION.

The Seller shall deliver legal title for the Property by Warranty Deed prior to full payment by the City of the purchase price. The Seller shall surrender possession of the property no later than the date of closing on June 15, 2023, and as provided below.

3. **DEED.**

The Seller shall convey title by Warranty Deed, with terms and provisions as per form approved by the City, free and clear of liens and encumbrances, including leasehold interests and leasehold claims, reservations or modifications except as in this instrument otherwise expressly provided. All warranties shall extend to time of closing, with special warranties as to acts of the Seller up to time of delivery of deed.

4. **ABSTRACT AND TITLE.**

Seller shall promptly provide Seller's abstract of title to the City for continuation and examination at the City's expense. Seller's abstract of title shall show marketable title in conformity with this agreement, the land title law of the State of Iowa and the Iowa Land Title Standards of the Iowa State Bar Association.

5. **STATUS QUO MAINTAINED.**

The Seller will preserve the Property in its present condition as of the date of this Offer and will deliver it intact at the time possession is given; in case of loss or destruction of part or all of said premises from causes covered by insurance, the City agrees to accept such insurance recovery (proceeds to be applied as the interests of the parties appear) in lieu of that part of the damaged or destroyed improvements and the Seller shall not be required to repair or replace same.

6. **SPECIAL ASSESSMENTS AND UTILITIES.**

The Seller shall pay all special assessments which are a lien on the date of closing, including but not limited to water, sewer rental and solid waste charges which were incurred prior to the closing date.

7. **TAXES.**

- A. The Seller shall pay all real estate taxes for the Property that are due and payable as of the date of closing, including any unpaid real estate taxes for prior years, as they come due.
- B. The Seller shall pay real estate taxes for the fiscal year in which closing occurs that are due and payable in the subsequent fiscal year.

8. RIGHT OF ENTRY

The Seller hereby grants the City, its officers, agents, employees and independent contractors, the right to enter upon and access the Property Interests at reasonable times upon reasonable notice, oral or written, from time to time after the date the City submitted its offer to the Seller for the purposes of inspecting and testing the Property where the Property Interests are to be acquired, to begin construction of the public improvements and for other purposes consistent with the City's interest under this Agreement. The City agrees to defend, indemnify and hold harmless the Seller, its officers, directors, agents and employees, from any liability and expense, including reasonable attorney's fees that result from the exercise by the City of its right of entry onto the Property Interests prior to Closing.

9. TIME IS OF THE ESSENCE.

Time is of the essence of this Agreement.

10. COUNCIL APPROVAL.

This contract is subject to the approval of the City Council of the City of Polk City, Iowa, and neither the City nor its representatives in this matter shall be bound by the contract until said approval is given and is public record.

11. PURPOSE OF ACQUISITION / EXERCISE OF THE POWER OF EMINENT DOMAIN.

The parties acknowledge and agree that the City is acquiring the Property subject of this Offer for the City Services Building Project. The parties further acknowledge and agree that the City has the authority, under Chapters 6A and 6B of the Iowa Code, to exercise the power of eminent domain to acquire property for said project, and that the City could have acquired the Property by condemnation, should the Seller have declined this Offer.

PRESENTED ON BEHALF OF THE CITY OF POLK CITY ON THE _____ DAY OF _____, 2023.

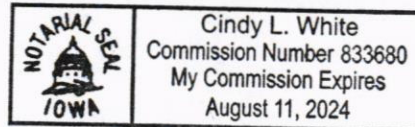
BY: _____
Amy S. Beattie, City Attorney

SELLER: ACCEPTED BY THE SELLER ON THE 17th DAY OF May, 2023:
Michael Bueltel
Michael Bueltel

STATE OF IOWA, POLK COUNTY, ss:

On this 17th day of May, 2023, before me the undersigned, a Notary Public in and for said State, personally appeared Michael Bueltel, to me known to be the person named in and who executed the foregoing instrument to which is attached; and acknowledged that they executed the instrument as their voluntary act and deed.

Cindy L. White
Notary Public in and for the State of Iowa



BUYER: APPROVED AND ACCEPTED BY THE CITY OF POLK CITY ON THE _____ DAY OF _____, 2023.

Attest: _____
Jenny Coffin, City Clerk

By: _____
Steve Karsjen, Mayor

APPROVED AS TO FORM:

Amy S. Beattie, City Attorney

STATE OF IOWA)
) ss.
COUNTY OF POLK)

On this ____ day of _____, 2023, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Steve Karsjen and Jenny Coffin, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Polk City, Iowa; that the instrument was signed on behalf of the corporation, by authority of its City Council, as contained in Roll Call No. _____ passed and approved by the City Council on the _____ day of _____, 2023, and that Steve Karsjen and Jenny Coffin acknowledged the execution of the instrument to be the voluntary act and deed of said City by it and by them voluntarily executed.

Notary Public in and for the State of Iowa



City of Polk City, Iowa City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: Resolution approving Offer to Purchase Real Estate and Acceptance

BACKGROUND: The City has reached an agreement with Michael Bueltel for the purchase of 314 W. Wood Street. For the Council's consideration on Monday is a purchase agreement for that property. The purchase agreement outlines that the City is offering to buy the property for \$140,000.

ALTERNATIVES: Do not approve the purchase agreement.

FINANCIAL CONSIDERATIONS: The financial considerations are \$140,000. This is currently vacant property, and we will not have any relocation expenses associated with the purchase of this property.

RECOMMENDATION: It is my recommendation that the Council approve the purchase agreement for 314 W. Wood Street.

RESOLUTION NO. 2023-71

**A RESOLUTION AUTHORIZING THE PURCHASE OF CERTAIN REAL ESTATE
LOCATED AT 314 W WOOD STREET FOR PUBLIC SAFETY FACILITY
PROJECT**

WHEREAS, the City Council of the City of Polk City has determined the City has a need for a new Public Safety Facility (“Project”);

WHEREAS, the City has determined the properties needed to construct the Project;

WHEREAS, the real estate owned by Mr. Bueltel and located at 314 W Wood Street is needed for the Project;

WHEREAS, an agreement has been negotiated with Mr. Bueltel to purchase the real estate;

WHEREAS, the real estate Purchase Agreement is attached hereto as Exhibit “A”;
and

WHEREAS, it is in the best interest of Polk City to enter into said Purchase Agreement.

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Polk City hereby approves the real estate Purchase Agreement attached as Exhibit “A” to purchase the real estate located at 314 W Wood Street, in the amount of \$140,000.

BE IT FURTHER RESOLVED that the Mayor and City Clerk are hereby authorized to execute the Purchase Agreement and other documents needed to complete the transaction and the City staff is authorized to complete the transaction on behalf of the City.

PASSED AND APPROVED the 22nd day of May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

WHEN RECORDED RETURN TO:

Amy S. Beattie
6701 Westown Parkway, Suite 100
West Des Moines, Iowa 50266

Preparer Information: Amy S. Beattie, 6701 Westown Parkway, Suite 100, West Des Moines, Iowa 50266 (515) 274-1450
Project Name: Parcel No.: Activity ID:

OFFER TO PURCHASE REAL ESTATE AND ACCEPTANCE

TO: Michael Bueltel, PO Box 353, Polk City, IA 50226-0353

The City of Polk City, a municipal corporation of the State of Iowa (hereinafter referred to as the "City") acting by and through its authorized agent who is the undersigned, hereby offers to purchase the real estate situated in Polk County, Iowa, locally known as 314 W Wood Street, Polk City, Iowa 50226 and which is legally described as:

Lots 2 and 3 in Block 18 in POLK CITY, Polk County, Iowa, except that portion thereof described as follows: Beginning at the westerly corner of said Lot 3, lying at the intersection of Church Street and Fourth Street thence Northeasterly along Fourth Street, 63 feet; thence Southeasterly and parallel to Church Street, 99 feet; thence Southwesterly and parallel to Fourth Street, 63 feet; thence Northwesterly along Church Street, 99 feet to the place of beginning and except a portion of Lot 3, Block 18, in Polk City, Polk County, Iowa, described as follows: Beginning at the East corner of said Lot 3, thence SW on the Southeast line of Lot 3, 36 feet, thence NW on a line parallel to the SW line of Lot 3, 6 feet, thence NE parallel to SE line, 36 feet, thence SE on the NE line of Lot 3, 6 feet to the point of beginning.

AND

All that part of the 16 ½ foot alley lying southwesterly and adjacent to Lot 2 in Block 18, Original Plat, Polk City, Iowa.

Which property is also described and depicted on the plat attached hereto as Exhibit "A" (hereinafter referred to as the "Property"), together with any easements and servient estates appurtenant thereto, buildings and improvements.

1. PURCHASE PRICE.

City offers to buy said Property for the total purchase price:

Fee Acquisition	\$140,000.00
Total	\$140,000.00

payable in full immediately after delivery of the Deed to the City and acceptance thereof by the City Council of the City of Polk City.

2. TITLE AND POSSESSION.

The Seller shall deliver legal title for the Property by Warranty Deed prior to full payment by the City of the purchase price. The Seller shall surrender possession of the property no later than the date of closing on June 15, 2023, and as provided below.

3. DEED.

The Seller shall convey title by Warranty Deed, with terms and provisions as per form approved by the City, free and clear of liens and encumbrances, including leasehold interests and leasehold claims, reservations or modifications except as in this instrument otherwise expressly provided. All warranties shall extend to time of closing, with special warranties as to acts of the Seller up to time of delivery of deed.

4. ABSTRACT AND TITLE.

Seller shall promptly provide Seller's abstract of title to the City for continuation and examination at the City's expense. Seller's abstract of title shall show marketable title in conformity with this agreement, the land title law of the State of Iowa and the Iowa Land Title Standards of the Iowa State Bar Association.

5. STATUS QUO MAINTAINED.

The Seller will preserve the Property in its present condition as of the date of this Offer and will deliver it intact at the time possession is given; in case of loss or destruction of part or all of said premises from causes covered by insurance, the City agrees to accept such insurance recovery (proceeds to be applied as the interests of the parties appear) in lieu of that part of the damaged or destroyed improvements and the Seller shall not be required to repair or replace same.

6. SPECIAL ASSESSMENTS AND UTILITIES.

The Seller shall pay all special assessments which are a lien on the date of closing, including but not limited to water, sewer rental and solid waste charges which were incurred prior to the closing date.

7. TAXES.

- A. The Seller shall pay all real estate taxes for the Property that are due and payable as of the date of closing, including any unpaid real estate taxes for prior years, as they come due.
- B. The Seller shall pay real estate taxes for the fiscal year in which closing occurs that are due and payable in the subsequent fiscal year.

8. RIGHT OF ENTRY

The Seller hereby grants the City, its officers, agents, employees and independent contractors, the right to enter upon and access the Property Interests at reasonable times upon reasonable notice, oral or written, from time to time after the date the City submitted its offer to the Seller for the purposes of inspecting and testing the Property where the Property Interests are to be acquired, to begin construction of the public improvements and for other purposes consistent with the City's interest under this Agreement. The City agrees to defend, indemnify and hold harmless the Seller, its officers, directors, agents and employees, from any liability and expense, including reasonable attorney's fees that result from the exercise by the City of its right of entry onto the Property Interests prior to Closing.

9. TIME IS OF THE ESSENCE.

Time is of the essence of this Agreement.

10. COUNCIL APPROVAL.

This contract is subject to the approval of the City Council of the City of Polk City, Iowa, and neither the City nor its representatives in this matter shall be bound by the contract until said approval is given and is public record.

11. PURPOSE OF ACQUISITION / EXERCISE OF THE POWER OF EMINENT DOMAIN.

The parties acknowledge and agree that the City is acquiring the Property subject of this Offer for the City Services Building Project. The parties further acknowledge and agree that the City has the authority, under Chapters 6A and 6B of the Iowa Code, to exercise the power of eminent domain to acquire property for said project, and that the City could have acquired the Property by condemnation, should the Seller have declined this Offer.

PRESENTED ON BEHALF OF THE CITY OF POLK CITY ON THE _____ DAY OF _____, 2023.

BY: _____
Amy S. Beattie, City Attorney

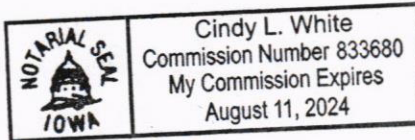
SELLER: ACCEPTED BY THE SELLER ON THE 17th DAY OF May,
2023:

Michael Bueltel
Michael Bueltel

STATE OF IOWA, POLK COUNTY, ss:

On this 17th day of May, 2023, before me the undersigned, a Notary Public in and for said State, personally appeared Michael Bueltel, to me known to be the person named in and who executed the foregoing instrument to which is attached; and acknowledged that they executed the instrument as their voluntary act and deed.

Cindy L. White
Notary Public in and for the State of Iowa



BUYER: APPROVED AND ACCEPTED BY THE CITY OF POLK CITY ON THE _____
DAY OF _____, 2023.

Attest: _____
Jenny Coffin, City Clerk

By: _____
Steve Karsjen, Mayor

APPROVED AS TO FORM:

Amy S. Beattie, City Attorney

STATE OF IOWA)
) ss.
COUNTY OF POLK)

On this ____ day of _____, 2023, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Steve Karsjen and Jenny Coffin, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Polk City, Iowa; that the instrument was signed on behalf of the corporation, by authority of its City Council, as contained in Roll Call No. _____ passed and approved by the City Council on the _____ day of _____, 2023, and that Steve Karsjen and Jenny Coffin acknowledged the execution of the instrument to be the voluntary act and deed of said City by it and by them voluntarily executed.

Notary Public in and for the State of Iowa



City of Polk City, Iowa City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: 1st Reading of Water Rate Ordinance

BACKGROUND: On Monday, the City Council will have the 1st reading for an ordinance related to water rates. The City is proposing a 10% increase to water rates, effective for the utility bills in July. The new rates are as follows:

Service Availability Charge	\$10.62 (minimum bill)
Usage Charge	\$7.10 per 1,000 gallons
Irrigation usage charge	\$12.12 (minimum bill) & per 1,000 gallons

Over the last few years, the city has had to increase water rates to Polk City residents. Most of these proposed rate increases for the next several years are due to the significant costs associated with construction of the new water tower project. When we estimated the cost of a water tower project 5 years ago, we had assumed the project would cost \$3 million. We have expanded the size of the water tower but are now expecting the water tower to cost closer to \$8 million for the project to be completed.

ALTERNATIVES: Do not approve the 1st reading of the proposed Ordinance

FINANCIAL CONSIDERATIONS: 10% revenue increase

RECOMMENDATION: It is my recommendation that the Council approve the 1st reading of an Ordinance related to water rates for the next fiscal year.

ORDINANCE NO. 2023-9000

**AN ORDINANCE AMENDING CHAPTER 92, WATER RATES, SECTION 92.02,
RATES FOR SERVICE**

BE IT ORDAINED By the City Council of the City of Polk City, Iowa, that:

Section 1. Chapter 92, of the Polk City Code of Ordinances; Water Rates, Section 92.02, Rates for Service is hereby amended by deleting the section and inserting the following: 92.02 Water Service. Service shall be furnished at the following monthly rates and classification within the City:

1. Domestic rate is the water used for human consumption and needs of a particular location.

<u>Gallons Used per Month</u>	<u>Rate</u>
Service Availability Charge	\$10.62 (minimum bill)
Usage Charge	\$7.10 per 1,000 gallons

2. Irrigation/Garden rate is the water used for irrigation/garden purposes and these water uses are billed on a separate meter from the domestic meter.

<u>Gallons Used per Month</u>	<u>Rate</u>
All usage/1000 gallons	\$12.12 (minimum bill)

Section 2. The new water rates will start with meter reads in the month of June 2023, payable in July 2023.

Section 3. All Ordinances or parts of any Ordinance in conflict with the provisions of this Ordinance are hereby repealed to the extent of the conflict.

Section 4. This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND APPROVED this ____ day of _____ 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

First Reading:

Second Reading:

Third Reading:

Date Adopted:

Date of Publication by posting:



City of Polk City, Iowa

City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: 1st Reading of Sewer Rate Ordinance

BACKGROUND: On Monday, the City Council will have the 1st reading for an ordinance related to sewer rates. The City is proposing a 6% increase to sewer rates, effective for the utility bills in July. The new rates are as follows:

Service Availability Charge	\$19.74 (minimum bill)
Usage Charge	\$13.07 per 1,000 gallons

ALTERNATIVES: Do not approve the 1st reading of the proposed Ordinance

FINANCIAL CONSIDERATIONS: 6% revenue increase

RECOMMENDATION: It is my recommendation that the Council approve the 1st reading of an Ordinance related to sewer rates for the next fiscal year.

CITY OF POLK CITY, IOWA

Ordinance No. 2023-9100

AN ORDINANCE AMENDING CHAPTER 99, SECTION 99.02, SEWER SERVICE CHARGES

BE IT ORDAINED by the City Council of the City of Polk City, Iowa:

Section 1. The Polk City Code, Chapter 99, Section 99.02, Sewer Service Charges, is hereby amended by deleting the section and inserting the following:

99.02 SEWER SERVICE. Each customer shall pay sewer service charges for the use of and for the service supplied by the municipal sanitary sewer system as follows:

1. Service Availability Charge. A service availability charge of \$19.74 per month (minimum bill).
2. Usage Charge. A usage charge of \$13.07 per each 1,000 gallons of water used.

Section 2. The new Sanitary Sewer rates will start with meter reads in the month of June 2023, payable in July 2023.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 4. This ordinance shall be in full force and effect after passage, approval and publication as provided by law.

PASSED AND ADOPTED by the City Council of Polk City, Iowa, on this _____ day of _____ 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

First reading:
Second reading:
Third reading:
Publication Date by posting:



City of Polk City, Iowa

City Council Agenda Communication

Date: May 22, 2023 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: Metro Waste Authority agreement for managed recycling and solid waste collection services

BACKGROUND: Metro Waste Authority will be increasing solid waste and recycling fees effective July 1st. MWA did come present to the Council in the spring of 2022, with a new contract our community would be entering into, but advised that rates may increase annually. The new monthly rate for residential users will be **\$15.67**-\$11.13 per household for solid waste and \$4.54 per household for recycling services. This is an increase of \$.40 for solid waste and \$.22 for recycling per month.

This new rate still includes one annual curb-side pickup event, which typically takes place in the spring.

ALTERNATIVES: Do not approve

FINANCIAL CONSIDERATIONS: No financial considerations for the City, the services are paid for by the residents. The monthly cost will be \$15.67.

RECOMMENDATION: It is my recommendation that we approve the resolution with the new rates.

RESOLUTION NO. 2023-72

**A RESOLUTION AMENDING FEES CHARGED FOR COLLECTION OF
RESIDENTIAL SOLID WASTE AND RECYCLING**

WHEREAS, the Code of Ordinances of the City of Polk City allows for Solid Waste and Recycling Collection Fees to be amended by adoption of a resolution; and

WHEREAS, Metro Waste Authority has notified the City of new monthly rates for collection of solid waste and recycling effective July 1, 2023; and

WHEREAS, the City will charge \$11.13 for each solid waste cart (96 or 48 gallon) and \$4.54 for each recycling cart (96 or 48 gallon) issued to each residence.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby adopts the monthly service rates listed above, effective July 1, 2023.

PASSED AND APPROVED the 22 day of May 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

ORDINANCE NO. 2023-6000

AN ORDINANCE AMENDING CHAPTER 157, SITE PLAN, OF THE CITY CODE OF POLK CITY, IOWA

WHEREAS, the City Council of the City of Polk City, Iowa, deems it necessary and proper to amend Chapter 157 of the Code of Ordinances to match current standards and practices.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:

Section 1: That Section 157.09 Architectural Standards, subsection 2 Architectural Standards by Zoning District, shall be amended to include residential zoning districts as follows:

A. The architectural theme of any development within a R-3, R-4, C-TS, C-2, C-3 or C-4 District and non-residential uses within the C-1, R-1, R-1A, R-2, and R-2A District shall be dominated with permanency and strength of materials in proportion to the aesthetic characteristics of the architectural bulk, shape, materials and color, and shall be compatible with other structures within the immediate surrounding development area and the zoning district. The buildings within this district, both as principal permitted uses and accessory uses, shall be designed and constructed with such materials as may be necessary in order to assure durability, permanency and continued aesthetic quality. The general manner in which any use and development is accomplished shall be compatible to and in harmony with the character of the zoning district as established or proposed. Existing or potential land use conflicts shall be avoided through proper orientation, open space, setbacks, landscaping and screening, grading, traffic circulation and architectural compatibility.

Section 2: That Section 157.03 Site Plan Requirements For One- and Two-Family Residential Dwellings, shall be amended as follows:

The Planning and Zoning Commission shall not review plans of single-family or two-family residential dwellings unless requested by the Building Inspector. When so requested, completed plans for single-family or two-family residential dwellings shall be provided to the Planning and Zoning Commission at least five business days in advance of their regularly scheduled meeting. Site plans of residential dwellings that are part of a townhome or condominium development shall be required to comply with Section 157.04 of this chapter and the completed work shall be reviewed by the Public Works Director for compliance with the approved site plan. All exterior wall areas of single-family or two-family residential dwellings and permitted residential accessory structures, **but specifically excluding those dwellings and accessory structures in an Agricultural Zoning District (A-1)**, shall be an acceptable finish material as defined in Section 157.09-4-A. Up to 30 percent of the total wall area of a primary single-family or two-family residential dwelling may be an architectural panel system of fiber cement, solid wood, engineered wood, or similar.

Section 3. That Section 157.08 Architectural Standards, subsection 7-C(2)(b) shall be amended by deleting the sentences “The average illumination must be less than 50 foot-candles under the canopy. The maximum illumination under the canopy must be 40 foot-candles” and inserting the sentences “The average illumination must be less than 40 foot-candles under the canopy. The maximum illumination under the canopy must be 50 foot-candles” in lieu thereof.

Section 4. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 5. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

Section 6. This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND ADOPTED by the City Council of Polk City, Iowa on this _____ day of _____ 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

First reading:

Second reading:

Third reading:

Published by posting:

ORDINANCE NO. 2023-8000

AN ORDINANCE AMENDING CHAPTER 165 ZONING REGULATIONS AS IT PERTAINS TO THE REGULATIONS FOR THE U-1 PUBLIC UTILITY DISTRICT AND GF GOVERNMENT FACILITY DISTRICT

BE IT ORDAINED by the Mayor and City Council of the City of Polk City, Iowa, the Municipal Code of the City of Polk City, Iowa, is hereby amended as follows:

Section 1. Section 165.04 of Chapter 165 Zoning Regulations is hereby amended by replacing the clause “U-1 Public Utility District” with the clause “GF-1 Government Facilities District”.

Section 2. Section 165.04 of Chapter 165 Zoning Regulations is hereby amended by deleting the clause “GF Government Facility District”.

Section 3. Section 165.12 of Chapter 165 Zoning Regulations is hereby amended by deleting the current Section 165.12 in its entirety and replacing it with the following Section 165.12:

165.12 GOVERNMENT FACILITIES DISTRICT REGULATIONS (GF-1). The government facilities district zoned districts are intended to provide for publicly-owned and maintained buildings, utilities, parks and open space and related infrastructure and the development or redevelopment of major public ~~utility~~ facilities as needed on a City, State, or national level, while promoting the quality of life, health, and general welfare desired by the citizens of the City, all consistent with the Comprehensive Plan. It is intended that these districts shall not be used indiscriminately to permit any use that could potentially be detrimental to the intent of the Zoning Ordinance.

1. Government Facilities District. The GF-1 district is intended to provide for the development and redevelopment of publicly-owned and maintained facilities for uses such as civic, educational, public and franchise utilities facilities. The GF-1 district is also intended to provide for parks and reserve open space ~~for including~~ wildlife refuges, reservoirs and stormwater management facilities, ~~and the development or redevelopment of major public utility facilities, maintenance facilities or franchise utility facilities.~~
2. Principal Permitted Uses. Principal permitted uses for public utility districts are as follows:

PUBLIC UTILITY ZONING DISTRICTS	
PRINCIPAL PERMITTED USE	GF-1
Animal Livery stable or riding academy.	P
Cemetery Services – Funeral Homes, Mortuaries.	P
Cemetery Services – Cemeteries <u>including accessory mortuaries if publicly owned.</u>	P
Civic – <u>City Hall, Police Station, Fire Station,</u> Libraries, Museums and similar institutions of an <u>a civic,</u> educational or philanthropic nature.	P
Civic - Public parks and playgrounds.	P

<u>Civic – Public open space, wildlife refuges, and stormwater management facilities.</u>	
Education - Primary and Secondary schools, public & private.	P
Public Transportation terminals, including bus stations, airports and landing fields.	PR
Public uses maintained by any agency of federal, State, or local government and or public or franchise utility structures and equipment	P
<u>Religious Institutions.</u>	<u>P</u>
Other public uses equivalent to the permitted uses listed above.	P
<p>Key: P = Permitted Use PR = Permitted Use With Restrictions, provided said use is permitted as determined by P&Z and approved by City Council Blank = Use Not Permitted</p>	

3. Restrictions for Principal Permitted Uses. The following restrictions shall apply to the appropriate Permitted Use with Restrictions:

A. Public transportation terminals are not permitted in the GF-1 District except and specifically approved by Council on a Plat of Subdivision and the necessary public improvements and easements have been provided to support such use.

4. Accessory Uses. Uses not permitted as a Principal Permitted Use for that zoning district shall not be permitted as an accessory use except as specifically permitted herein. The following accessory uses are permitted in industrial zoning districts:

A. Customary accessory uses and structures incidental to permitted principal uses.

B. Temporary buildings for uses incidental to construction work, which buildings shall be removed upon the completion or abandonment of the construction work.

5. Accessory Structures. Accessory structures may be constructed on commercial-government facilities properties as permitted in Section 165.06.

6. Site Development Regulations. Dimensional requirements for government facilities districts are as follows:

SITE DEVELOPMENT REGULATIONS FOR GOVERNMENT FACILITIES DISTRICTS	
Regulator	U-1
Building Height Limit	2 ½ stories or 35 feet
Minimum Lot Area	None
Minimum Lot Width	None
Minimum Front Yard Depth	50 feet ¹
Minimum Side Yard Depth	50 feet ¹
Minimum Rear Yard Depth	50 feet ¹
<p>Notes:</p> <p>1. Building setback requirements for publicly-owned lands shall correspond to the minimum required yards for the abutting properties based on zoning of the abutting property, unless such setbacks are may be reduced or waived by City Council, after notice and public hearing.</p>	

2. Utility structures that are primarily located below ground, such as sanitary sewer lift stations and valve vaults, are exempt from building setback requirements. However, the building setback requirements for associated above-grade structures shall correspond to the minimum required yards for the abutting properties based on zoning of the abutting property, unless such setbacks are reduced or waived by City Council, after notice and public hearing.

7. Off-Street Loading. Off-street loading shall be provided as required by Section 165.17 for all government facilities districts.
8. Off-Street Parking. Off-street parking shall be provided as required by Section 165.18 for all government facilities districts.
9. Site Plans. Site plans shall be required for all uses in all government facilities districts except for improvements located on federally-owned lands. See Chapter 157 for Site Plan requirements.
10. Exceptions and Modifications. See Section 165.16.

Section 4. Section 165.14 of Chapter 165 Zoning Regulations is hereby amended by deleting the current Section 165.14 in its entirety

Section 5. Section 165.19-4-C of Chapter 165 Zoning Regulations is hereby amended by replacing the clause “U-1” in the Table of Screening Requirements with the clause “GF-1” in two locations in said Table.

Section 6. All Ordinances or parts of any Ordinance in conflict with the provisions of this Ordinance are hereby repealed to the extent of the conflict.

Section 7. This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

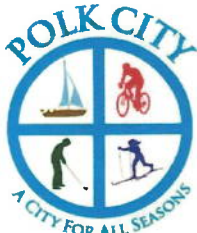
PASSED AND APPROVED this _____ day of _____, 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

First Reading: _____
Second Reading: _____
Third Reading: _____
Date Adopted: _____
Date of Publication: _____



**APPLICATION FORM
FOR
Special Events**
City of Polk City, Iowa

Permit # _____

Application Fee* **\$50**

**application fee waived for 501(c)(3) organizations and block party requests*

Thank you for your interest in the City of Polk City!

A special event would be classified as a parade, run/walk/bike, fundraiser, farmers market, fair/festival, outdoor concert OR temporary structure including but not limited to tents over 200sf, canopy, stage, inflatables. The City of Polk City must approve your application prior to advertising your event on City's property or public right-of-way for a special event. Application process must begin at least a minimum of 45 days prior to the requested date of the event.

Please check the following type of event:

<input checked="" type="radio"/> Parade	} ← including ←	<input type="radio"/> Farmers market
<input checked="" type="radio"/> Run/Walk/Bike		<input checked="" type="radio"/> Fair/Festival
<input checked="" type="radio"/> Outdoor Concert		<input type="radio"/> Temporary Structure(s)
<input type="radio"/> Fundraiser		<input type="radio"/> Other (please specify) _____

Contact Information:

Contact Name & Title: <small>*(contact must be onsite for setup & teardown of event)</small>	Brandon Converse Go Polk City Board, Treasurer
Contact Mailing Address:	PO Box 226 Polk City, IA 50226
Contact Phone number:	515-360-0587
Contact Email Address:	admin@polkcitychamber.com
Sponsor Organization: <small>*(if applicable)</small>	Go Polk City, Chamber & Economic Development

Event Information:

Name of Event:	Four Seasons Festival	Requested event location:	Town Square on + streets identified map
Event Date(s) & Time(s):	July 14th Noon - Midnight July 15th All Day Pan - Midnight	Event Setup & Teardown: (dates & times)	July 14th 6am Start July 16th teardown 6am-9am
Estimated Attendance:	2,000 - 3,000	Number of Vehicles:	Parade July 15th 10am 30-50
Will Event Fee Be Charged?	Y or N	Event Fee Amount: (if applicable)	NA
Product Sales on Site:	Y or N Food Vendors	Amplified sounds: (a noise waiver may be required)	Y or N
Tent and/or canopy:	Y or N Qty. <u>4</u>	Inflatables: (valid State of Iowa permit required)	Y or N Qty. <u>5</u>
Access to water:	Y or N	Access to electricity:	Y or N
Alcoholic Beverages: <small>(must obtain Iowa Beverage Permit with outdoor services & area of alcohol must be fenced off)</small>	Y or N	Portable Toilets: <small>*(1 toilet for every 250 people est.)</small> + 5 port-a-potties	Y or N Qty. <u>15</u>
Street Closure: See below & attached	Y or N Qty. <u>4</u>	On Street Parking Closure:	Y or N Qty. _____

Parade: ① Washington from Parker to Tyler, ② Tyler from Washington to Broadway, ③ Broadway from Tyler to 2nd St & ④ 3rd St from Broadway to Church St
 @ Square: 3rd St. between Broadway & Van Dora

Event Description: (describe activities)

The Four Seasons Festival is a community event for Polk City, held to promote businesses and provide a fun, family event for area residents & visitors to our city to enjoy. (See attached for more info)

Information about temporary structures: (stage, tables, inflatables, etc.; include location(s) on the site plan illustration)

See attached for detail

Barricades Required:	Qty. <u>30-40</u>	Security on site:	7/14 & 7/15 <input checked="" type="radio"/> Y or N
Traffic Control:	<input checked="" type="radio"/> Y or N	Emergency Services:	Y or <input checked="" type="radio"/> N

See attached Security Services Form

Street or parking closures require barricades/setup & removal by maintenance staff. Applicant will be billed at a rate of \$115/hour per staff person/equipment. * fees waived for 501(c)(3) and block party requests

Security Services are available if the need is anticipated during the event.

Events serving alcohol will require Law Enforcement Officers to be on-site at each entrance/exit during said event and events interfering with non-participating vehicle traffic will require crowd/traffic control by a Law Enforcement Officer at each location. Applicant will be billed at a rate of \$50/hour per officer – minimum 3 hours.

Emergency Services are available if the need is anticipated during the event.

Events requesting first aid stations will require a gator & stand-by staff at each location. Applicant will be billed at a rate of \$50/hour per staff personnel/equipment

Events requesting ambulance on site will require stand-by staff with equipment. Applicant will be billed at a rate of \$75/hour per for ambulance and \$23.22/hour per staff personnel

Events requesting firetruck protection on site will require stand-by staff with equipment. Applicant will be billed at a rate of \$300/hour for 4 personnel/equipment.

Additional Remarks: Volunteers will assist with barricades. Barricades may be left on corners of streets & event hosts will open/close streets. Noise ordinance to Midnight 7/14 & 7/15.

Applicant understands and agrees that by submitting this application to the City, applicant certifies the information provided is true and correct, and that false information may be grounds for denial of this application. In addition to the City's approval, applicant is responsible to obtain any additional permits or approvals required by State or Federal regulations applicable to the Special Event. Further, it is understood, that the activities at all times during the event shall comply with all City, State and Federal laws, ordinances and regulations. The City reserves the right to impose special guidelines and restrictions based on the nature of the proposed event and its attendant circumstances.

Signature and Title of Applicant:

 Go Polk City Board Treasurer
Brandon Converse

Date: 5 / 4 / 2023

✓ If Provided

<input checked="" type="checkbox"/>	Site Plan Illustration
<input type="checkbox"/>	Certificate of Insurance with City of Polk City named as certificate holder; general liability in the amount of \$2,000,000 per incident/\$3,000,000 aggregate
<input type="checkbox"/>	Application fee plus any other applicable fees

OFFICIAL USE ONLY:

Department approvals:

Fire Chief: _____ Police Chief: _____
Public Works Director: _____ City Manager: _____

Supplemental Detail for Application Form for Special Events: Four Seasons Festival 2023 (Revised 5/17/23)

Page 1: Street Closures:

4 Street Closures for Parade: Saturday, July 15th 9am to Noon

Washington Ave, from Parker to Tyler

Tyler St, from Washington to Broadway

Broadway St, from Tyler to 2nd St

3rd St, from Broadway to Church St

4 Street Closures on Saturday, July 15th (from 8am to 8pm)

Broadway St, starting at 3rd St (barricade in front of The Creamery) and ending through 1st St intersection
2nd St, from E Broadway to Wood St

Van Dorn St, starting at 3rd St intersection and ending through 1st St intersection

3rd St, starting at Van Dorn and north up to (but not through) 3rd St intersection

Note: On Friday, July 14th, we are having Police presence at the 3rd St. and Van Dorn Crosswalk for traffic control from 4pm to 8pm on Friday, rather than a street closure. This has been communicated and confirmed with the Polk City Police Department.

Page 2: Event Description

The Four Seasons Festival is a community event for Polk City, held to promote businesses and provide a fun, family event for area residents and visitors to our city to enjoy. This is a 2 day event for 2023, starting Friday, July 14th at 4pm in the afternoon, and ending at Midnight on Saturday, July 15th. The Polk City Square will have activities including, a Parade Saturday morning at 10am, kids activities and inflatables + bands/concerts both Friday and Saturday, a Vendor Market on Saturday (Noon to 8pm), and a beer tent Friday and Saturday night. There is also a 2.5K, 5K, and 8K run on Saturday before the parade (see map).

Page 2: Information about temporary structures: (stage, tables, inflatables, etc)

Location of Inflatables: in Kid Zoe; on 2nd St, and at the intersection of Van Dorn (see map)

Location of Vendor Booths: in Vendor Market; on 3rd St before/between Broadway intersection, and Van Dorn. **The Vendor Market will operate only on Saturday, following the Parade, from Noon to 8pm** and the tents will be on the Square side parking on 3rd as well as the City Hall/Historical Society side of 3rd in the parking spots, with customer traffic flow in the middle (map on shows Square side).

Location of Stage: at the intersection of Broadway and 2nd St. angled and facing the Square (#1 on Map)

Location of Beer Tent: at Broadway between Cupp Ins and Grinnell Bank (#2 on map). Will have large tent (#4 Tent on Broadway), tables, and chairs in fenced off area, with designated location for wristbands and tickets. A beer truck will be parked near this area as well (#3 on map)

Location of Food Court: on Van Dorn between 3rd St (Vendor Market) and 2nd St (Kid Zone). Food court will have Tent (#4 Tent on Van Dorn) tables, chairs, and food trucks within this zone.

Location of Portable Toilets, Wash Stations, Trash Bins: these will be on and around The Square, spread out amongst the activity zones (some in fenced beer garden, some outside fence near Grinnell Bank). The Square greenspace will also have an information tent (HQ), volunteer tent, and first aid tent.

Location of Shuttle Dropoff/Pickup: there will be a designated shuttle drop off/pick up location on Broadway in front of The Creamery/The Pub (see map – Safety Zone). This is for Lyft/Uber and also space in this area for the police department/security if they wish to do so.

Location of Detour -Message Board- Signs (see Detour Map): in partnership with Public Works, we will utilize 3 illuminated Message Board signs, very similar to the 2022 Festival Event. One will be located along 3rd St. immediately North of Bridge Rd showing “Festival Traffic Only”, another on Bridge Rd across from the Soccer complex, and the third one across from Kiwanis Park. We will need Public Works to place these message boards, then, like last year, volunteers will swing the boards in position when the detours are in place. These will be utilized on Saturday from 7am to ~8:30pm after Market Vendors are cleared out on 3rd St.

Location of Barricades (see Barricades Map)



Application FORM for Security Services at private events

City of Polk City, Iowa

*Application process must begin at least a minimum of 45 days prior to the requested date of the event

Contact Information:

Contact Name	Brandon Converse
Contact Mailing Address	PO Box 226 Polk City, IA 50226
Contact Email Address	admin@polkcitychamber.com
Contact Phone Number	515-360-0587

Contact Information:

Event Description	Four Seasons Festival
Event Location	Polk City Town Square, Parade Route in Town
Estimated Attendance	2,000 - 3,000
Event Date(s)	Friday, July 14th Saturday, July 15th
Event Time(s) <small>*3 hour minimum</small>	Friday 14th 5pm - 1am on 15th 2 officers Saturday 15th 7am - 12pm Noon: 2 officers (assist w/ traffic & crowd for fun run & parade) 12pm Noon - 6pm: 1 officer 6pm - 1am on 16th 2 officers

Security Services will be billed at a rate of \$50/hour per officer.

Payment due once request has been confirmed.

Additional Remarks	
--------------------	--

Signature of Applicant: _____

Brandon Converse
Brandon Converse

Date: 5 / 5 / 23

FOUR SEASONS FESTIVAL DETOUR



Maps Contributors, Iowa DNR, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/
NASA, USGS, EPA, NPS, US Census Bureau, USDA

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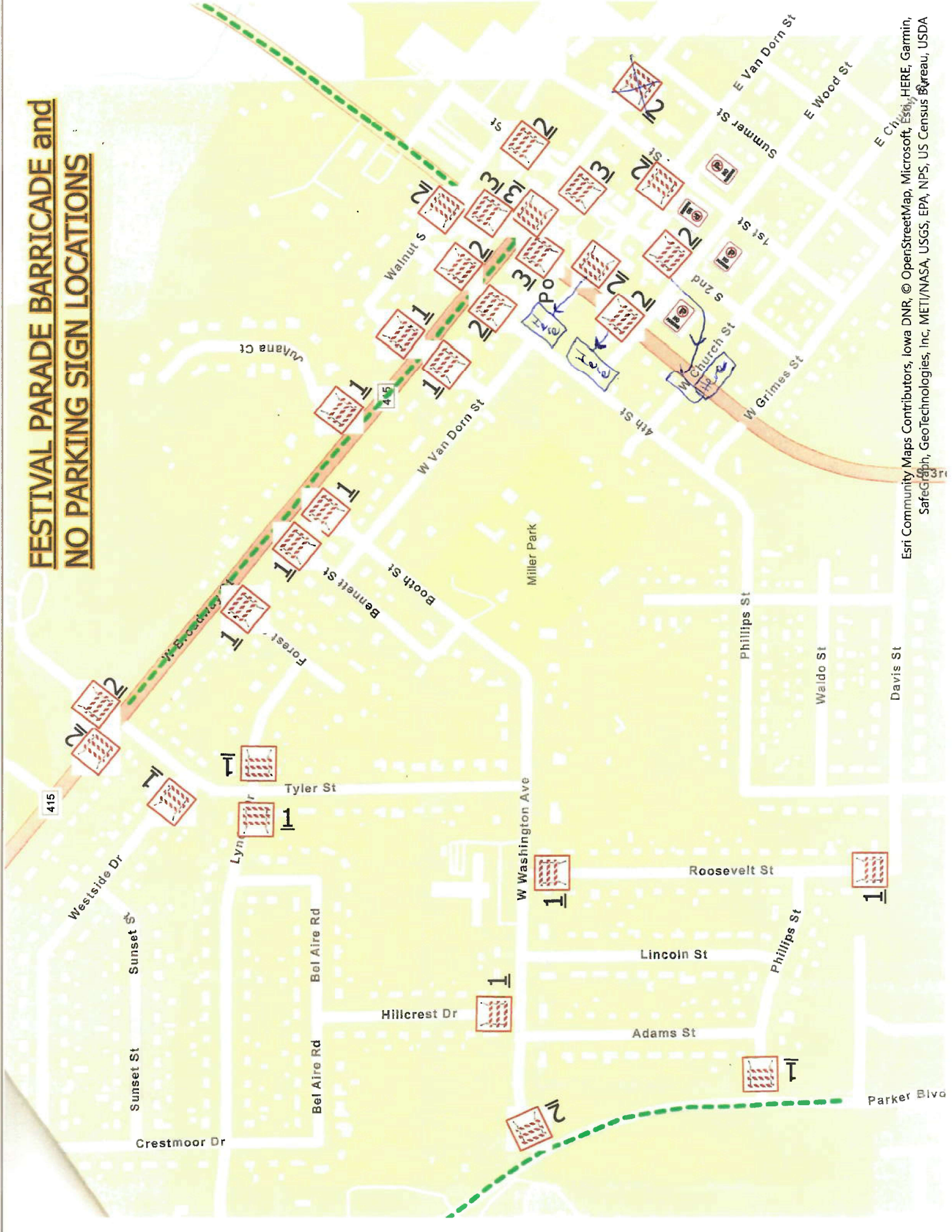
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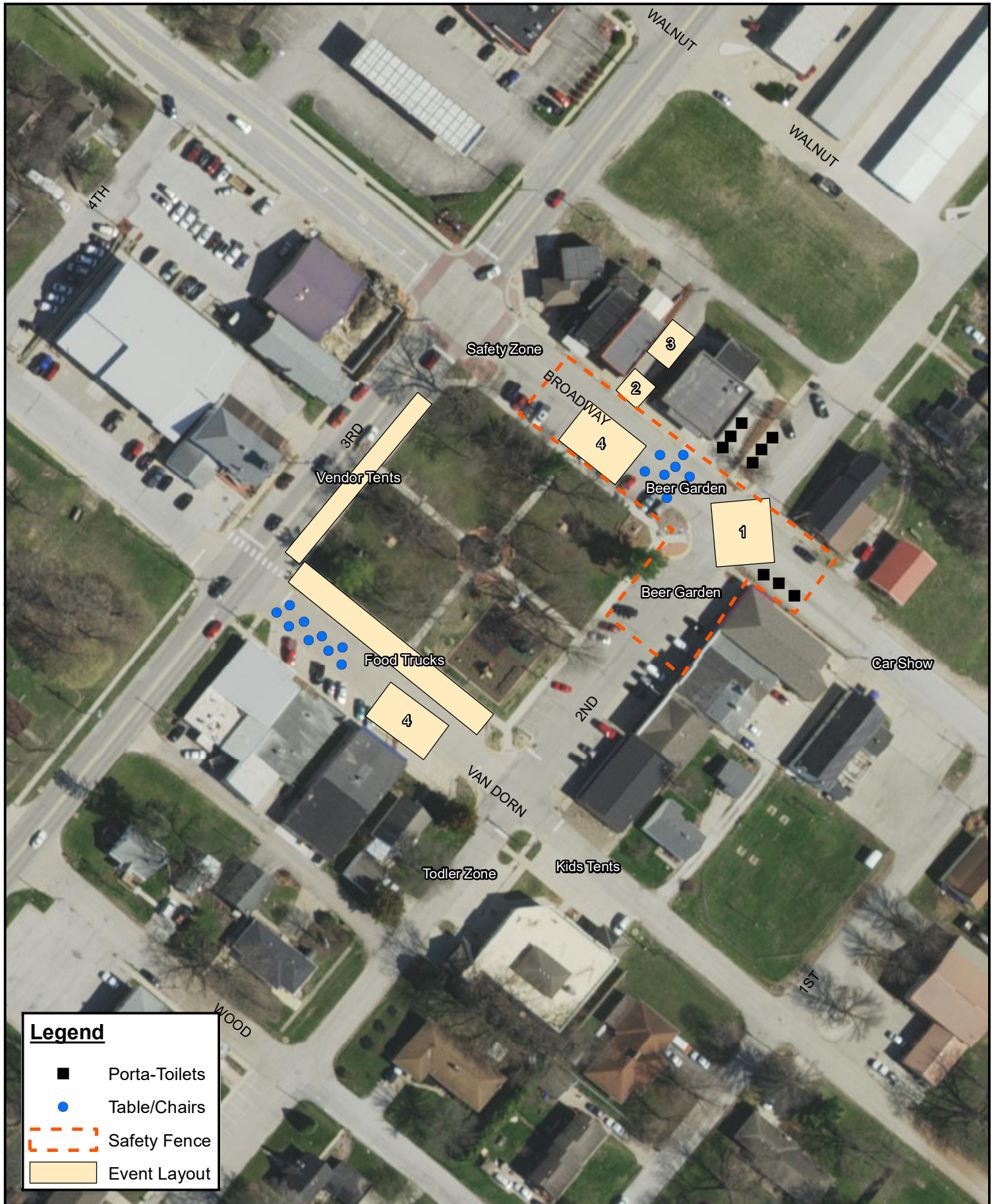
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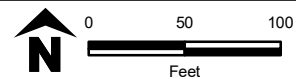
FESTIVAL PARADE BARRICADE and NO PARKING SIGN LOCATIONS

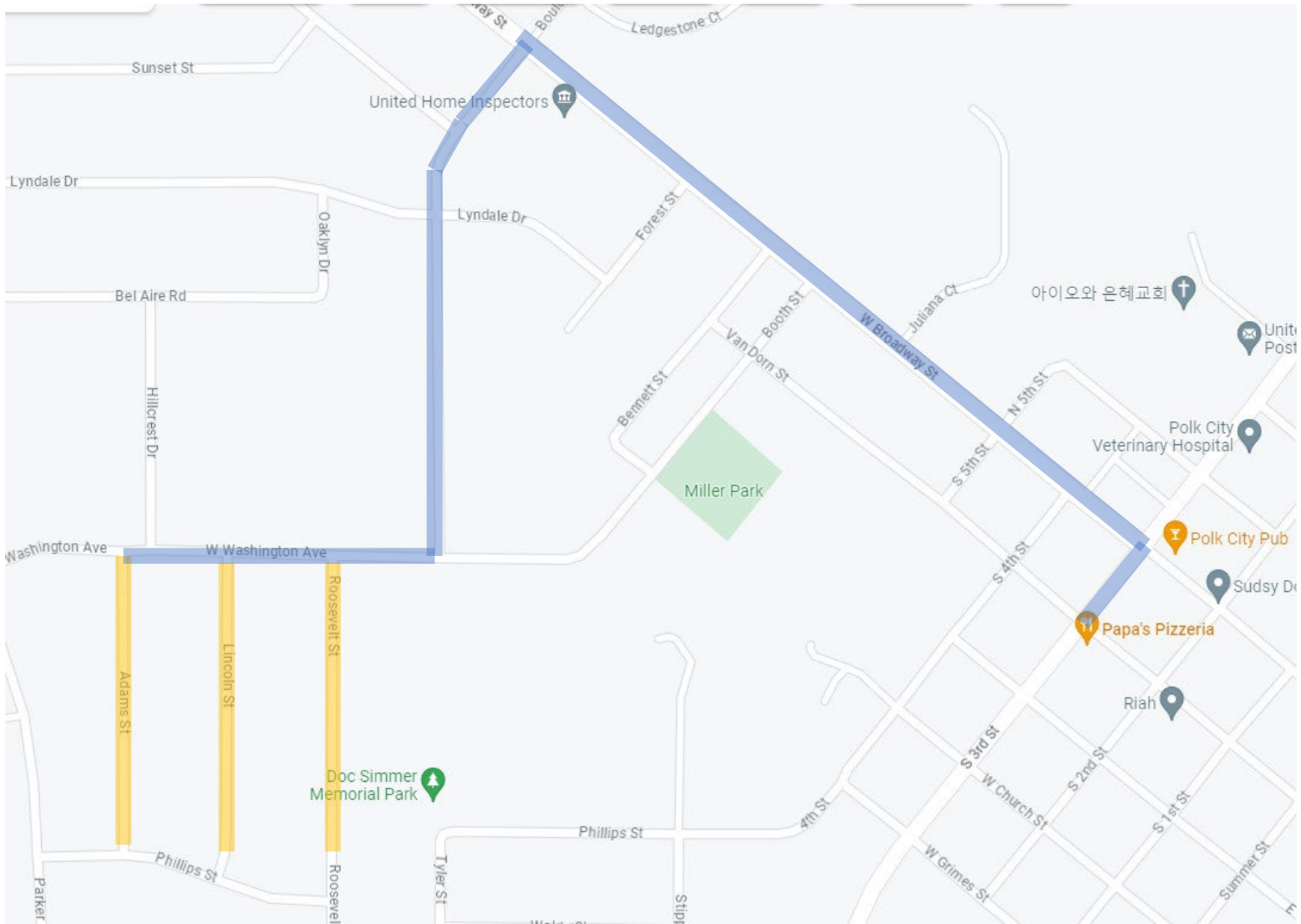



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- 1 - Stage
- 2 - Beer Tent
- 3 - Beer Track
- 4 - Tent

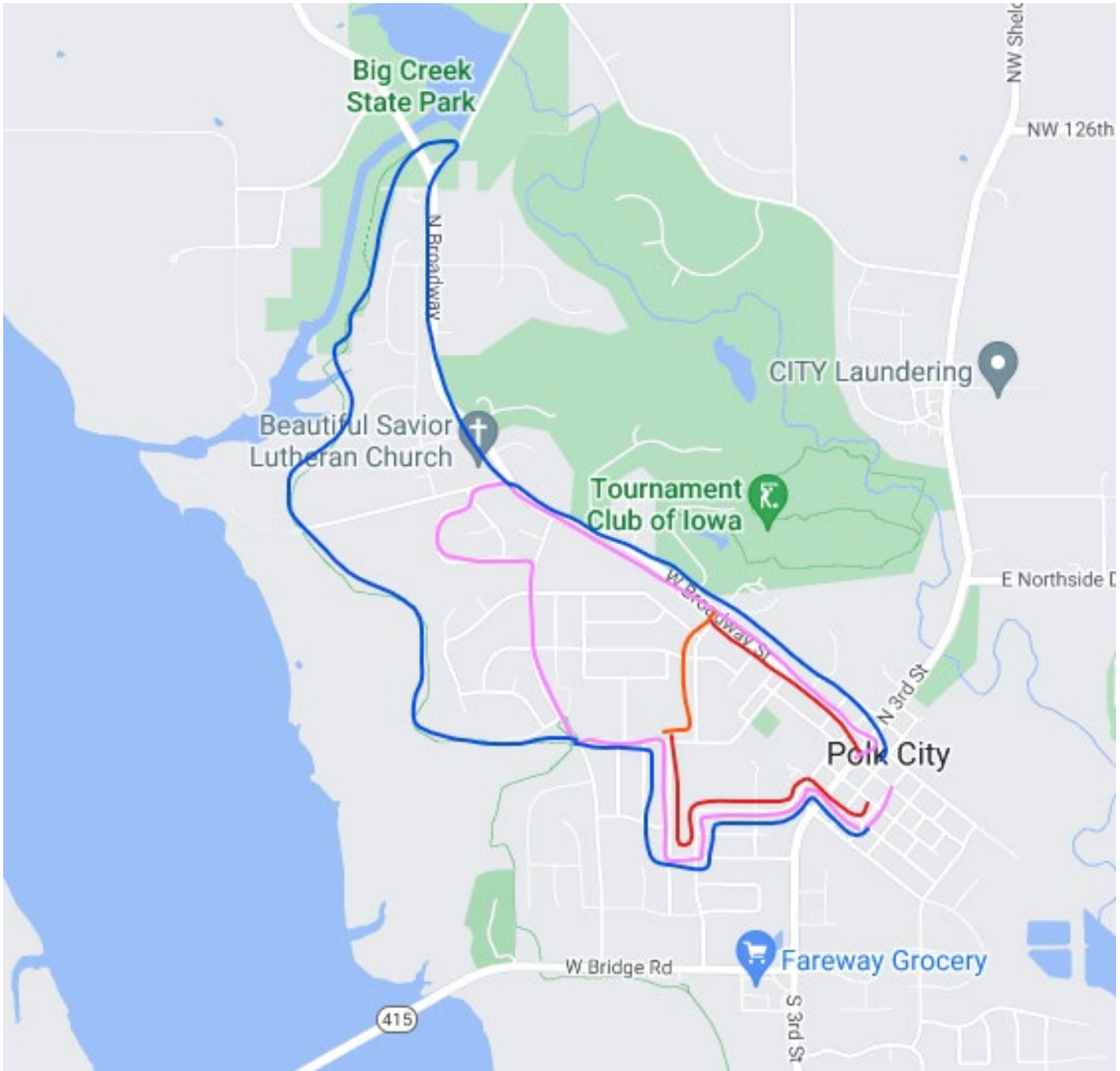






Parade Staging 

Parade Route 





Race Length	Route Color
8K	
5K	
2.5K	