

Agenda -Notice of Meeting

Polk City | City Council

September 26, 2022 | 6:00 pm

City Hall Council Chambers

Public Meeting participation in person or via phone

Call in # 515-726-3598 Participant Code 535355

Public members can also provide comments* directly to support@polkcityia.gov

**any comments received before the time of the meeting will be made a part of the public hearing*

Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

Steve Karsjen | Mayor

Ron Anderson | Pro Tem

City Council Members: Jeff Walters | Dave Dvorak | Mandy Vogel | Rob Sarchet

1. Call to Order

2. Roll Call

3. Approval of Agenda

4. Public Hearing

a. Public Hearing for Annexation

- i. Resolution 2022-110 annexing certain parcels of real estate into the City of Polk City

5. Public Comments: *This is the time and place for comments for any item other than those that are a Public Hearing. If you wish to speak, please contact the City Clerk by 5pm on the date of the meeting by email at jcoffin@polkcityia.gov include your name and address for the record, if you are calling in please include the phone number you will be calling in with. The Mayor will recognize you for five minutes of comment.*

6. Consent Items

- a. City Council Meeting Minutes for September 12, 2022
- b. City Council Work Session Meeting Minutes for September 12, 2022
- c. Receive and file P&Z Meeting Minutes for September 19, 2022
- d. Claims listing September 26, 2022
- e. August 2022 Finance Report
- f. FY 21.22 Street Finance Report
- g. Receive and file the August 2022 Police Department Report
- h. Receive and file the August 2022 Water Department Report
- i. Receive and file the August 2022 Fire Department Report
- j. Acknowledge Library Resolution 2022-11L hiring Allyson Reister as Youth Services Librarian and setting pay at \$22.12 effective September 28, 2022
- k. Resolution 2022-111 approving Construction Drawings for Crossroads at the Lakes Plat 3
- l. Resolution 2022-112 setting Public Hearing on the Rezoning Petition for Holly Woods
- m. Addendum to T Mobile Antenna Lease Agreement
- n. Certificate of Completion of Public Improvements with Deer Haven Land Company
- o. Resolution 2022-113 approving construction contract and bond with Elder Corporation for the West Bridge Road Water Main Loop Project

7. Business Items

- a. Resolution 2022-114 approving Preliminary Plat for Antler Ridge

8. Reports & Particulars

Mayor, Council, City Manager, Staff, Boards, and/or Commissions

9. Adjournment

--next meeting date October 10, 2022



City of Polk City, Iowa City Council Agenda Communication

Date: September 26, 2022 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: Public Hearing & Resolution to approve annexation of certain property into the City of Polk City

BACKGROUND: On Monday evening, the City Council will hold a public hearing for a proposed voluntary annexation into the City of Polk City. After the public hearing, the City Council will consider approving the annexation by resolution. Because these properties are within 2 miles of Ankeny, after the City Council holds the public hearing and approves the annexation, it will need to go to the City Development Board for review. This voluntary annexation will involve several properties:

1. James & Connie Johnson Trust-29.38 acres-**District/Parcel ID 18000095003009**
2. James & Connie Johnson Trust—12.849 acres-**District/Parcel ID 18000095003008**
3. James & Connie Johnson Trust-5.24 acres-**District/Parcel ID 18000095003010**
4. Timbercrest Homes LLC (Formerly James & Connie Johnson Trust)-29.61 acres-**District/Parcel ID 18000856002000**
5. Jean & Jerry Johnson-3.886 acres-**District/Parcel ID 18000095003004**
6. Dina & Joel Johnson-1.43 acres-**District/Parcel ID 18000095003006**

ALTERNATIVES: Do not approve

FINANCIAL CONSIDERATIONS: The annexation of the 6 parcels above will generate approximately \$5,000 in property tax revenue for the City. The estimated revenue will increase in future years and if the property is further developed.

RECOMMENDATION: It is my recommendation that the Council approve the voluntary annexation.

RESOLUTION NO. 2022-110

**RESOLUTION ANNEXING CERTAIN PARCELS OF REAL ESTATE
INTO THE CITY OF POLK CITY, IOWA**

WHEREAS, the titleholders of the tracts of land, legally described as follows, have filed Application for Annexation of said tract into the City of Polk City:

PARCEL 1

OWNER: JAMES V. AND CONNIE L. JOHNSON TRUST. JAMES V. JOHNSON,
TRUSTEE. CONNIE L. JOHNSON, TRUSTEE.
PARCEL ID: 180/00095-003-009

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER (SE ¼) OF SECTION SEVEN (7), TOWNSHIP EIGHTY (80) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M. DESCRIBED AS FOLLOWS:

A PARCEL IN SAID SECTION BEGINNING THIRTY-THREE (33) FEET WEST OF THE NORTHEAST (NE) CORNER OF THE SOUTHEAST QUARTER (SE ¼) OF SAID SECTION; THENCE SOUTH 905.94 FEET; THENCE WEST 424.79 FEET; THENCE NORTHWESTERLY 633.09 FEET; THENCE SOUTHWESTERLY 228.74 FEET; THENCE NORTHWESTERLY 31.84 FEET; THENCE SOUTHWESTERLY 235 FEET; THENCE NORTHWESTERLY 195 FEET; THENCE NORTH 65 FEET; THENCE NORTHEASTERLY 185 FEET; THENCE NORTH 40 FEET; THENCE WEST 115 FEET; THENCE SOUTHWESTERLY 130 FEET; THENCE NORTHWESTERLY 265 FEET; THENCE WEST 330 FEET; THENCE NORTH 49.97 FEET; THENCE WEST 543.63 FEET; THENCE NORTH 185 FEET; THENCE EAST TO THE POINT OF BEGINNING,

ALL CONTAINING 29.38 ACRES, MORE OR LESS.

PARCEL 2

OWNER: JAMES V. AND CONNIE L. JOHNSON TRUST. JAMES V. JOHNSON,
TRUSTEE. CONNIE L. JOHNSON, TRUSTEE.
PARCEL ID: 180/00095-003-010

A TRACT OF LAND SITUATED IN THE COUNTY OF POLK, STATE OF IOWA, BEING THE FOLLOWING DESCRIBED PARCEL LOCATED IN THE SE ¼ OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH PRINCIPAL MERIDIAN, ALL BEARINGS BEING REFERRED TO THE IOWA COORDINATE SYSTEM, SOUTH ZONE (GRID NORTH BEARS 00°07'06" WEST OF TRUE NORTH).

COMMENCING AT THE NW CORNER OF SAID SE ¼ OF SECTION 7; THENCE SOUTH 63°10'29" EAST, 621.13 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°36'16" EAST, 330.00 FEET; THENCE SOUTH 64°23'44" EAST, 265.00 FEET; THENCE

NORTH 63°36'16" EAST, 130.00 FEET; THENCE SOUTH 78°23'44" EAST, 115.00 FEET; THENCE SOUTH 11°36'26" WEST, 40.00 FEET; THENCE SOUTH 88°36'16" WEST, 110.00 FEET; THENCE SOUTH 49°36'16" WEST, 75.00 FEET; THENCE SOUTH 07°23'44" EAST, 65.00 FEET; THENCE SOUTH 58°23'44" EAST, 195.00 FEET; THENCE NORTH 81°36'16" EAST, 235.00 FEET; THENCE SOUTH 63°23'44" EAST, 31.84 FEET; THENCE SOUTH 51°09'05" WEST, 141.52 FEET; THENCE SOUTH 38°50'55" EAST, 68.69 FEET; THENCE SOUTH 66°51'19" WEST, 302.46 FEET; THENCE NORTH 23°11'44" WEST, 53.11 FEET; THENCE NORTH 78°49'56" WEST, 30.00 FEET; THENCE SOUTH 50°26'56" WEST, 25.92 FEET; THENCE NORTH 61°32'30" WEST, 270.40 FEET; THENCE NORTH 67°55'04" WEST, 350.89 FEET; THENCE NORTH 16°23'44" WEST, 282.64 FEET TO THE POINT OF BEGINNING.

AND

EXCEPT PARCEL F AS DESCRIBED IN BOOK 12218, PAGE 770 OF THE POLK COUNTY, IOWA RECORDER'S OFFICE,

ALL CONTAINING 5.24 ACRES, MORE OR LESS.

PARCEL 3

OWNER: JOEL JAMES & DINA K. JOHNSON
PARCEL ID: 180/00095-003-006

A PART OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION SEVEN (7) TOWNSHIP EIGHTY (80) RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., POLK COUNTY, IOWA KNOWN AS PARCEL F AS SHOWN ON A SURVEY FILED OF RECORD AT BOOK 12218 PAGE 770 IN THE OFFICE OF THE POLK COUNTY RECORDER.

ALL CONTAINING 1.43 ACRES, MORE OR LESS.

PARCEL 4

OWNER: JERRY N. & JEAN M. JOHNSON
PARCEL ID: 180/00095-003-004

A PART OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., POLK COUNTY, IOWA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE N 00°25'59" E, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7, A DISTANCE OF 1211.30 FEET; THENCE N 89°34'01" W, A DISTANCE OF 498.74 FEET TO THE POINT OF BEGINNING SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF HIGHWAY #415; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, 635.91 FEET, ALONG A 1989.86 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, WHOSE CHORD BEARS N 51°42'29"

W, A CHORD DISTANCE OF 633.20 FEET; THENCE N 58°01'33" W, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 280.41 FEET; THENCE N 61°37'25" W, ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE, A DISTANCE OF 150.17 FEET; THENCE N 66°56'00" E, A DISTANCE OF 374.49 FEET; THENCE S 53°19'03" E, A DISTANCE OF 70.00 FEET; THENCE N 81°40'57" E, A DISTANCE OF 70.00 FEET; THENCE S 53°19'03" E, A DISTANCE OF 120.00 FEET; THENCE S 48°40'57" W, A DISTANCE OF 70.00 FEET; THENCE S 19°19'03" E, A DISTANCE OF 60.00 FEET; THENCE S 31°06'20" E, A DISTANCE OF 645.57 FEET TO THE POINT OF BEGINNING,

ALL CONTAINING 3.89 ACRES, MORE OR LESS.

PARCEL 5

OWNER: JAMES V. AND CONNIE L. JOHNSON TRUST. JAMES V. JOHNSON, TRUSTEE. CONNIE L. JOHNSON, TRUSTEE.

PARCEL ID: 180/00095-003-008

PARCEL ID: 180/00095-005-000

PART OF PARCEL ID: 180/00096-001-000

THAT PART OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN (5TH P.M.) DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 7; THENCE SOUTH 0°00'00" EAST ALONG SAID EAST LINE OF S.E. 1/4, 905.94 FEET TO THE POINT OF BEGINNING THENCE CONTINUING SOUTH 0°00'00" EAST ALONG SAID EAST LINE OF THE S.E. 1/4, 950.81 FEET; THENCE NORTH 90°00'00" WEST, 33.0 FEET; THENCE NORTH 54°08'35" WEST, 378.48 FEET; THENCE NORTH 39°16'55" WEST, 1272.18 FEET; THENCE NORTH 50°43'05" EAST, 370.26 FEET; THENCE SOUTH 39°16'55" EAST, 633.09 FEET; THENCE SOUTH 90°00'00" EAST, 457.79 FEET TO THE POINT OF BEGINNING

THE EAST LINE OF THE S.E. 1/2 OF SEC. 7 IS ASSUMED TO BEAR N 0°00'00" FOR PURPOSES OF THE DESCRIPTION.

AND

EXCEPT A PART OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., POLK COUNTY, IOWA KNOWN AS PARCEL E AS SHOWN ON A SURVEY FILED OF RECORD BOOK 11397 PAGE 144 IN THE OFFICE OF THE POLK COUNTY RECORDER.

SUBJECT TO ANY AND ALL EASEMENTS OR RECORDS.

AND

EXCEPT THAT PART LYING EASTERLY OF THE CENTERLINE OF NW 44TH STREET, BEGINNING AT THE INTERSECTION OF CENTERLINE NW POLK CITY DR (HIGHWAY 415) AND PROCEEDING NORTHERLY ALONG THE CENTERLINE OF NW 44TH STREET TO THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN (5TH P.M.).

AND

EXCEPT BOOK 7215 PAGE 534 AS RECORDED IN THE OFFICE OF THE POLK COUNTY, IOWA RECORDER'S OFFICE,

ALL CONTAINING 12.85 ACRES AND 0.88 ACRES FOR ROADWAY EASEMENT FOR A TOTAL OF 13.73 ACRES, MORE OR LESS.

PARCEL 6

OWNER: TIMBERCREST HOMES, LLC
PARCEL ID: 180/00856-002-000

OUTLOT "Y", JOHNSON/HALL PLAT 1, AN OFFICIAL PLAT IN POLK COUNTY, IOWA.

ALL CONTAINING 29.61 ACRES, MORE OR LESS.

WHEREAS, in addition, the following public lands are included in the annexation to include right of way and for the purpose of creating uniform boundaries and preventing islands:

PARCEL 7

OWNER: STATE OF IOWA
PARCEL ID: 180/00095-001-011

A TRACT OF LAND SITUATED IN THE COUNTY OF POLK, STATE OF IOWA, BEING THE FOLLOWING DESCRIBED PARCEL LOCATED IN THE SE 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH PRINCIPAL MERIDIAN, ALL BEARINGS BEING REFERRED TO THE IOWA COORDINATE SYSTEM, SOUTH ZONE (GRID NORTH BEARS 00°07'06" WEST OF TRUE NORTH).

COMMENCING AT THE SE CORNER OF SAID SE 1/4 OF SECTION 7, THENCE NORTH 26°31' WEST, 648.3 FEET TO THE POINT OF BEGINNING, SAID POINT BEING 95.0 FEET SOUTH 66°51' WEST OF STATION 46+00 AS SHOWN ON THE OFFICIAL PLANS FOR IOWA DOT PROJECT NO F-415-1(22)—20-77; THENCE SOUTH 89°59' WEST, 569.2 FEET; THENCE NORTH 28°36' WEST, 1049.5 FEET; THENCE NORTH 26°10' EAST, 85.0 FEET TO A POINT, SAID POINT BEING 100.00 FEET SOUTH 26°10' WEST OF STATION 30+00 AS SHOWN ON SAID OFFICIAL IOWA DOT PLANS; THENCE SOUTH 64°11' EAST, 269.8 FEET; THENCE SOUTHEASTERLY 1204.2 FEET ALONG A NON TANGENTIAL CURVE CONCAVE SOUTHWESTERLY HAVING A

RADIUS OF 1831.4 FEET, A CENTRAL ANGLE OF 37°40'31" AND A CHORD THAT BEARS SOUTH 42°00' EAST, 1182.7 FEET TO THE POINT OF BEGINNING.

ALL CONTAINING 10.53 ACRES, MORE OR LESS.

PARCEL 8

OWNER: UNITED STATES OF AMERICA

PARCEL ID: 180/00095-004-000

A TRACT OF LAND SITUATED IN THE COUNTY OF POLK, STATE OF IOWA, BEING THE FOLLOWING DESCRIBED PARCEL LOCATED IN THE SE 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH PRINCIPAL MERIDIAN, ALL BEARINGS BEING REFERRED TO THE IOWA COORDINATE SYSTEM, SOUTH ZONE (GRID NORTH BEARS 00°07'06" WEST OF TRUE NORTH).

COMMENCING AT THE SE CORNER OF SAID SE 1/4 OF SECTION 7; THENCE NORTH 18°07'10" WEST, 1066.16 FEET TO THE POINT OF BEGINNING, SAID POINT BEING 80.00 FEET NORTH 54°54'40" EAST OF STATION 41+98.83 AS SHOWN ON THE OFFICIAL PLANS FOR IOWA DOT PROJECT NO. F415-1(22)—20-77; THENCE NORTH 53°42'35" WEST, 0.65 FEET; THENCE NORTH 38°50'55" WEST, 265.01 FEET; THENCE SOUTHEASTERLY 265.83 FEET ALONG A NON-TANGENTIAL CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 2006.37 FEET, A CENTRAL ANGLE OF 07°35'28" AND A CHORD THAT BEARS SOUTH 38°53'04" EAST, 265.63 FEET TO THE POINT OF BEGINNING.

ALL CONTAINING 0.02 ACRE, MORE OR LESS.

OWNER: STATE OF IOWA

PART OF PARCEL ID: 180/00095-001-010

PART OF PARCEL ID: 180/00095-001-003

RIGHT OF WAY FOR NW POLK CITY DRIVE

THAT PART OF THE EXISTING RIGHT-OF-WAY OF NW POLK CITY DRIVE (HIGHWAY 415) IN THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK COUNTY, IOWA AND LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., INCLUDED IN AND FORMING A PART OF POLK COUNTY, IOWA, LYING NORTHERLY OF THE CENTERLINE OF NW POLK CITY DR (HIGHWAY 415) AND LYING WESTERLY OF THE CENTERLINE OF NW 44TH STREET, BEGINNING AT THE INTERSECTION OF SAID CENTERLINE OF NW POLK CITY DR (HIGHWAY 415) AND PROCEEDING NORTHERLY ALONG SAID CENTERLINE OF NW 44TH STREET TO THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 7;

AND

THAT PART OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., INCLUDED IN AND FORMING A PART OF POLK COUNTY, IOWA, LYING SOUTHWESTERLY OF THE CENTERLINE OF NW POLK CITY DR (HIGHWAY 415) AND LYING EAST OF THE WEST LINE OF OUTLOT Y OF JOHNSON/HALL PLAT 1, AN OFFICIAL PLAT, AND LYING EAST OF SAID WEST LINE OF OUTLOT Y EXTENDED NORTH TO THE CENTERLINE OF SAID CENTERLINE OF NW POLK CITY DR (HIGHWAY 415).

ALL CONTAINING 15.62 ACRES, MORE OR LESS.

OWNER: POLK COUNTY, IOWA

PARCEL ID: 180/00095-003-002

PART OF PARCEL ID: 180/00096-001-000

A PARCEL OF LAND LOCATED IN THE SE 1/4 SECTION 7, T-80-N, R-24-W, OF THE 5TH P.M., CROCKER TWP., POLK COUNTY, IOWA AND MORE SPECIFICALLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SE CORNER OF SECTION 7, T-80-N, R-24-W, OF THE 5TH P.M., CROCKER TWP., POLK COUNTY, IOWA; THENCE N 0°00'00" E – 1,500.00 FEET; THENCE S 90°00'00" W – 33.00 FEET TO THE POINT OF BEGINNING; THENCE S 90°00'00" W – 117.00 FEET; THENCE N 0°00'00" E – 236.36 FEET; THENCE N 90°00'00" E – 117.00 FEET; THENCE S 0°00'00" W – 236.36 FEET TO THE POINT OF BEGINNING,

AND

EXISTING RIGHT OF WAY OF NW 44TH STREET IN THE SOUTHEAST ¼ OF SECTION 7, T-80-N, R-24-W, OF THE 5TH P.M., CROCKER TWP., POLK COUNTY, IOWA LYING EASTERLY AND ADJACENT TO THE FOLLOWING DESCRIBED PARCEL:

A PARCEL IN SAID SECTION BEGINNING THIRTY-THREE (33) FEET WEST OF THE NORTHEAST (NE) CORNER OF THE SOUTHEAST QUARTER (SE ¼) OF SAID SECTION; THENCE SOUTH 905.94 FEET; THENCE WEST 424.79 FEET; THENCE NORTHWESTERLY 633.09 FEET; THENCE SOUTHWESTERLY 228.74 FEET; THENCE NORTHWESTERLY 31.84 FEET; THENCE SOUTHWESTERLY 235 FEET; THENCE NORTHWESTERLY 195 FEET; THENCE NORTH 65 FEET; THENCE NORTHEASTERLY 185 FEET; THENCE NORTH 40 FEET; THENCE WEST 115 FEET; THENCE SOUTHWESTERLY 130 FEET; THENCE NORTHWESTERLY 265 FEET; THENCE WEST 330 FEET; THENCE NORTH 49.97 FEET; THENCE WEST 543.63 FEET; THENCE NORTH 185 FEET; THENCE EAST TO THE POINT OF BEGINNING,

ALL CONTAINING 1.33 ACRES, MORE OR LESS.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Polk City, Iowa, that the above-described real estate should be annexed to and made a part of the City of Polk City, Iowa, including public land to include right of way, create uniform boundaries and prevent islands.

BE IT FURTHER RESOLVED by the City Council of the City of Polk City, Iowa that the City will provide the maximum benefit allowed by the State of Iowa for the transition in the imposition of City taxes against the property, not to exceed the following abatement schedule:

- a. For the first and second years, seventy-five percent (75%).
- b. For the third and fourth years, sixty percent (60%).
- c. For the fifth and sixth years, forty-five percent (45%).
- d. For the seventh and eighth years, thirty percent (30%).
- e. For the ninth and tenth years, fifteen percent (15%).

BE IT FURTHER RESOLVED by the City Council of the City of Polk City, Iowa, that the City Clerk be and is hereby authorized to forward the annexation proposal to the City of Development Board in accordance with the Code of Iowa.

DATED at Polk City, Iowa, this 26th day of September 2022.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

MEETING MINUTES
The City of Polk City
City Council Meeting
6:00 p.m. September 12, 2022
City Hall – Council Chambers

Polk City, City Council held a meeting in the City Hall Council Chambers with public participation in person and via phone at 6:00 p.m., September 12, 2022. The agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Mayor Karsjen called the meeting to order at 6:00 p.m.
2. **Roll Call** | Walters, Dvorak, Anderson, Vogel, Sarchet | In attendance
3. **MOTION:** A motion was made by Vogel and seconded by Dvorak to approve the agenda
MOTION CARRIED UNANIMOUSLY
4. **Public Hearing**
 - a. Mayor Karsjen opened the Public Hearing on the proposed West Bridge Road Water Main Loop Project Improvements at 6:01pm. City Clerk Coffin said that the notice was published September 2, 2022, and no comments had been received for or against the proposed project. City Engineering Representative, Travis Thornburgh provided a report. No one was present to be heard for or against the proposed project.
MOTION: A motion was made by Anderson and seconded by Vogel to close the public hearing at 6:08 pm.
MOTION CARRIED UNANIMOUSLY
 - i. **MOTION:** A motion was made by Vogel and seconded by Sarchet to approve Resolution 2022-107 adopting plans, specifications, form of contract, and opinion of probable construction cost
MOTION CARRIED UNANIMOUSLY
 - ii. **MOTION:** A motion was made by Walters and seconded by Vogel to approve Resolution 2022-108 making award of construction contract with Elder Corporation in the amount of \$79,200
MOTION CARRIED UNANIMOUSLY
 - b.
5. **Public Comments** | None
6. **Consent Items** |
 - a. City Council Meeting Minutes for August 22, 2022
 - b. Claims listing September 12, 2022
 - c. Approve City Manager Employment Agreement Addendum
 - d. City Hall closed September 28, 2022 through September 30, 2022 for Iowa League of Cities Conference
 - e. Receive and file the August 2022 Parks & Recreation Director Report
 - f. Add AEMT/Firefighter to the Fire Department Pay Scale and set TJ Schaffer, AEMT/Firefighter pay at \$18.50 an hour
 - g. Authorize the Fire Department to sell the 20' enclosed trailer on GovDeals for auction
 - h. Acknowledge revision of the Fire Department Policies and Procedures
 - i. Special Event Permit for Fall Fest October 1st 3p-7p including street closures from 12p-10p on W. Van Dorn between S 3rd and S 2nd and a portion of 2nd Street between W Van Dorn and W Broadway St.
 - j. Receive and file Library Board Meeting Minutes for August 1, 2022
 - k. Receive and file August 2022 Library Director Report
 - l. Acknowledge Library Alternating Operating Hours for September 2022
 - m. Acknowledge Library Resolution 2022-09L authorizing the Library Director to proceed with replacing locks on the Polk City Community Library Doors in accordance with the Budget
 - n. Acknowledge Library Resolution 2022-10L authorizing purchase from a special revenue fund, expendable trust account for the creation of a library app from myLIBRRO to be used by patrons
 - o. Resolution 2022-109 approving Pay Application No. 6 for the N. 3rd Street & Vista Lake Avenue Intersection Improvements in the amount of \$420,570.23
 - p. Authorize the Public Works Department to sell the 2012 F-350 Super Duty Pick-up Truck (Unit #212)
 - q. Release of Amended and Substituted Development Agreement with R.T. & T. LLC**MOTION:** A motion was made by Vogel and seconded by Dvorak to approve the consent agenda items
MOTION CARRIED UNANIMOUSLY

7. Business Items

a. FEH Architecture Design Proposals

- i. **MOTION:** A motion was made by Walters and seconded by Dvorak to approve Architecture Design Services Proposal for Fire Station Remodel in the amount of \$99,237

MOTION CARRIED UNANIMOUSLY

- ii. **MOTION:** A motion was made by Vogel and seconded by Sarchet to approve Architecture Design Services Proposal for City Hall/Community Center Project in the amount of \$362,149

YES: Sarchet, Dvorak, Anderson, Vogel

ABSTAIN: Walters

MOTION CARRIED

- b. **MOTION:** A motion was made by Anderson and seconded by Vogel to approve the Third Reading of Ordinance 2022-2100 Amending chapter 101, Regulation of Industrial Wastewater, Commercial Wastewater, and Hauled Waste
MOTION CARRIED UNANIMOUSLY

- c. **MOTION:** A motion was made by Vogel and seconded by Walters to approve Third Reading of Ordinance 2022-1900 approving rezoning petition for 5810 NW 118th Avenue and 1000 E Northside Drive, of 95.2 acres from A-1 to R-1
MOTION CARRIED UNANIMOUSLY

- d. **MOTION:** A motion was made by Anderson and seconded by Vogel to approve Snyder & Associates July 2022 Engineering Services Invoice in the amount of \$21,687

YES: Vogel, Sarchet, Dvorak, Anderson

ABSTAIN: Walters

MOTION CARRIED

8. Reports & Particulars | Mayor, Council, City Manager, Staff, Boards, and/or Commissions

- City Manager Huisman notified Mayor and Council the Citizen Academy would be postponed until Spring of 2023 due to the lack of enough applications to make a full class.
- Council Member Sarchet welcomed the new Fire Department member. He said he was proud of the Library Board and Library staff for the work done during and after Covid to keep the Polk City Library thriving.
- Council Member Dvorak congratulated Officer Lamfers on his retirement and thanked him for 20 years of amazing service. He said he is impressed by the continued working of the K9 helping get drugs off the streets of Polk City. He told Chief Hogrefe he is glad to see the paramedic coverage getting better.
- Mayor Karsjen invited everyone out to the Fall Fest scheduled on October 1st with a bike ride from noon to 3pm followed by activities on the square 3p-7p.

9. Adjournment

MOTION: A motion was made by Dvorak and seconded by Walters to adjourn at 6:18 p.m.

MOTION CARRIED UNANIMOUSLY

Next Meeting Date –September 26, 2022

Attest

Jenny Coffin, City Clerk

Steve Karsjen, Mayor

MEETING MINUTES
The City of Polk City
Work Session
5:00 p.m., Monday, September 12, 2022
City Hall Council Chambers

A Council Work Session was held on September 12, 2022 at 5:00 p.m. at the City Hall Council Chambers in Polk City, Iowa.

<p><u>Mayor and City Council Members Present:</u></p> <p>Steve Karsjen Mayor Ron Anderson Pro Tem Jeff Walters City Council Member David Dvorak City Council Member Mandy Vogel City Council Member Robert Sarchet City Council Member</p>	<p><u>Staff Members Present:</u></p> <p>Chelsea Huisman City Manager Jenny Coffin City Clerk/Treasurer Mike Schulte Public Works Director Jeremy Siepker Police Chief Jamie Noack Library Director Jason Thraen Parks and Recreation Director Karla Hogrefe Fire Chief</p>
---	---

Minutes

Cory Sharp with FEH Designs presented an in-depth review of the proposed schematic designs for the Fire Station remodel and the City Hall/Community Center Project. Council consulted with Staff to confirm the designs would meet the immediate and future needs of the departments. Sharp reviewed the proposed schedule of design phases and construction estimates.

Motion was made by Sarchet to Adjourn at 5:55 p.m.

Motion carried Unanimously.

Steve Karsjen, Mayor

Jenny Coffin, City Clerk

MEETING MINUTES
The City of Polk City
Planning and Zoning Commission
6:00 p.m., Monday, September 19, 2022

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on September 19, 2022, in City Hall Council Chambers.

The agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Sires called the meeting to order at 6:00 p.m.
2. **Roll Call** | Bowersox, Triplett, Sires, Ohlfest, Pringnitz (via Zoom), Vogel| In attendance
Hankins | Absent
3. **Approval of Agenda**
MOTION: A motion was made by Bowersox and seconded by Triplett to approve the agenda.
MOTION CARRIED UNANIMOUSLY
4. **Public Comments** | None
5. **Approval of Meeting Minutes**
MOTION: A motion was made by Ohlfest and seconded by Bowersox to approve P&Z Commission Meeting Minutes for August 15, 2022
MOTION CARRIED UNANIMOUSLY
6. **Rezoning Petition for Holly Woods**
MOTION: A motion was made by Ohlfest and seconded by Vogel to recommend Council approve the Rezoning Petition for Holly Woods.
MOTION CARRIED UNANIMOUSLY
7. **Preliminary Plat for Antler Ridge**
MOTION: A motion was made by Ohlfest and seconded by Vogel to recommend Council approve the Preliminary Plat for Antler Ridge subject to Staff and Engineering Comments dated 9/5/2022.
YES: Vogel, Bowersox, Sires, Ohlfest, Pringnitz
NO: Triplett
MOTION CARRIED
8. **Reports & Particulars**
Ohlfest asked for update regarding project at Bridge and Parker.
Sires asked for update on Hy-Vee project
9. **Adjournment**
MOTION: A motion was made by Triplett and seconded by Bowersox to adjourn at 6:28 p.m.
MOTION CARRIED UNANIMOUSLY

Next Meeting Date – Monday, October 17, 2022

Attest:

Jenny Coffin - City Clerk

CLAIMS REPORT		
CITY OF POLK CITY	DATED	9/26/2022
VENDOR	REFERENCE	AMOUNT
4IMPRINT	GOLF BALL STRESS BALL	\$ 262.59
911 CUSTOM	VEST AND CARRIER	\$ 1,090.00
AMAZON BUSINESS	CRAFT SUPPLIES	\$ 237.59
ARBORCARE BY KLUVER	EAB TREATMENT/SPORTS COMPLEX	\$ 2,600.00
ARDICK EQUIPMENT CO.	STREET SIGNS	\$ 532.25
AVESIS	CITY VISION INSURANCE	\$ 299.76
Barco Products Company	LOST LAKE PARK/DUGOUT BENCHES	\$ 3,755.96
BOMGAARS	BOOTS	\$ 114.99
Bound Tree Medical	MEDICAL SUPPLIES	\$ 521.13
BUSINESS PUBLICATIONS CORP	PUBLICATIONS	\$ 274.36
CATCH DES MOINES	APR-JUN 2022 HOTEL/MOTEL TAX	\$ 2,016.18
CHELSEA HUISMAN	ICMA CONFERENCE EXPENSES	\$ 140.43
CITY LAUNDERING	FLOOR MAT SERVICE	\$ 167.32
CITY OF POLK CITY	UB ASSISTANCE SEP2022	\$ 125.00
Crystal Clear Water Co	PURCHASED WATER	\$ 46.25
RLC ENTERPRISES	PEST MANAGEMENT	\$ 194.00
Delta Dental	CITY DENTAL INSURANCE	\$ 1,290.08
EAGLE ENGRAVING, INC	PASSPORT TAGS/ACCOUNTABILITY	\$ 107.40
ELECTRONIC ENGINEERING CO.	ALARM MONITORING	\$ 70.00
ETECH SOLUTIONS LLC	OFFICE 365 - SHARED INVOICE	\$ 429.00
FAREWAY	FIRE CHIEFS ASSOC MEETING	\$ 93.62
Ferguson Waterworks	1' WATER METERS - PRE ORDERED	\$ 36,119.10
GALL'S INC.	CLASS A - BLAHA	\$ 45.76
GENE GRANDSTAFF	CONCRETE WORK	\$ 1,570.00
GET SOME GUNS LLC	UNIFORMS/EQUIPMENT - WHIPPLE	\$ 1,576.03
HAWKINS INC	METER PUMP AND SUPPLIES	\$ 2,761.71
Interstate Batteries	BATTERIES FOR WARNING SIGN	\$ 1,217.70
Iowa Prison Industries	BUSINESS CARDS/PARKING TICKETS	\$ 882.00
JENNY COFFIN	GCMOA BOARD MEETING MILEAGE	\$ 30.63
KANSAS CITY LIFE INS. CO	CITY LIFE INSURANCE	\$ 1,250.88
KIMBALL MIDWEST	SUPPLIES	\$ 493.21
LINDE GAS & EQUIPMENT INC	OXYGEN	\$ 398.36
LOGAN CONTRACTORS SUPPLY	POTHOLE MIX	\$ 728.00
MALLORY SAFETY & SUPPLY LLC	GLOCK HOLSTER	\$ 173.99
MCCLURE ENGINEERING COMPANY	ENGINEERING REPORT/WATER TOWER	\$ 6,623.00
METRO WASTE AUTHORITY	\$1 EXTRA TRASH STICKERS	\$ 50.00
MICROBAC LABORATORIES INC	LAB TESTS	\$ 349.75
MIDAMERICAN ENERGY	ELECTRIC CHARGES	\$ 12,520.78
MIDLAND POWER CO-OP	STREET LIGHTING	\$ 963.04
OVERDRIVE INC	DIGITAL BOOKS	\$ 422.51
POLK CITY KIWANIS CLUB	MEMBERSHIP DUES 2022/23	\$ 240.00
RACOM	RADIO REPAIR	\$ 231.25
Sandry Fire Supply L.L.C.	HOSE PARTS FOR REPAIR	\$ 46.22

SECURITY EQUIPMENT, INC	DEPOSIT FOR DOOR PROJECT	\$ 5,118.00
SEILER INSTRUMENT INC	GPS EQUIPMENT	\$ 45.61
Smith's Sewer Service	SHELTER HOUSE SEWER REPAIR	\$ 220.00
STEVE KARSJEN	MILEAGE REIMBURSEMENT	\$ 24.94
STRYKER SALES CORPORATION	MEDICAL SUPPLIES	\$ 28.90
UNITED HEALTHCARE	HEALTH INSURANCE	\$ 34,227.89
VERIZON WIRELESS	PHONE AND DATA PLAN	\$ 369.50
Accounts Payable Total		\$ 123,096.67
GENERAL		\$ 54,105.35
ROAD USE		\$ 4,540.72
L.M.I		\$ 125.00
CAPITAL WATER PROJECT		\$ 6,623.00
WATER		\$ 13,703.58
SEWER		\$ 43,949.02
SOLID WASTE/RECYCLING		\$ 50.00
TOTAL FUNDS		\$ 123,096.67



POLK CITY - A City For All Seasons -

Monthly Finance Report

August 2022

Prepared By:

Jenny Coffin
City Clerk/Treasurer

ACCOUNT TITLE	LAST REPORT END BALANCE	RECEIVED	DISBURSED	CHANGE IN LIABILILTY	ENDING BALANCE
001 GENERAL	3,484,766.62	125,380.79	356,019.84	112.36-	3,254,015.21
110 ROAD USE	330,532.15	56,552.61	49,179.09	7.73-	337,897.94
111 I-JOBS	.00	.00	.00	.00	.00
121 LOCAL OPTION SALES TAX	1,206,175.59	76,920.48	.00	.00	1,283,096.07
125 TIF	303,730.41	22,525.90	.00	.00	326,256.31
135 L.M.I	1,170,466.77	.00	1,298.13	.00	1,169,168.64
167 PC COMM. LIB TRUST	14,124.34	165.00	.00	.00	14,289.34
177 ASSET FORFEITURE	1,685.81	.00	.00	.00	1,685.81
200 DEBT SERVICE	13,286.99-	.00	1,200.00	.00	14,486.99-
301 CAPITAL IMPROVEMENTS	6,575,606.72	.00	211,911.03	.00	6,363,695.69
302 CAPITAL WATER PROJECT	241,075.94	370,891.66	.00	.00	611,967.60
303 CAPITAL EQUIPMENT/VEHIC	146,574.62	.00	35,028.84	.00	111,545.78
304 FOUR SEASONS PUB IMPROV	18,000.00	.00	.00	.00	18,000.00
600 WATER	1,576,083.92	227,360.45	133,989.77	70.87-	1,669,383.73
610 SEWER	1,437,745.25	173,489.71	93,385.15	70.89-	1,517,778.92
670 SOLID WASTE/RECYCLING	24,668.19	31,563.59	7,990.06	.00	48,241.72
740 STORM WATER UTILITY	106,293.11	7,789.61	1,300.00	.00	112,782.72
920 ESCROW	.00	.00	.00	.00	.00
Report Total	16,624,242.45	1,092,639.80	891,301.91	261.85-	16,825,318.49

BANK CASH REPORT 2022

BANK FUND GL	BANK NAME	JULY CASH BALANCE	AUGUST RECEIPTS	AUGUST DISBURSMENTS	AUGUST CASH BALANCE	OUTSTANDING TRANSACTIONS	AUG BANK BALANCE
Grinnell State Bank BK#1							
BANK	Grinnell State Bank BK#1						11,730,639.38
001	CHECKING - GENERAL	623,320.35-	121,978.70	358,678.08	860,019.73-	10,965.76	
110	CHECKING - ROAD USE	330,532.15	56,573.34	49,207.55	337,897.94	475.84	
111	CHECKING - I-JOBS	0.00	0.00	0.00	0.00		
112	CHECKING - EMPLOYEE BENEFIT	0.00	0.00	0.00	0.00		
121	CHECKING - LOCAL OPTION	1,206,175.59	76,920.48	0.00	1,283,096.07		
125	CHECKING - TIF	303,730.41	22,525.90	0.00	326,256.31		
135	CHECKING - L.M.I.	451,423.91	0.00	1,298.13	450,125.78		
167	CHECKING - PC COMM. LIB TRUST	14,124.34	165.00	0.00	14,289.34		
177	CHECKING - FORFEITURE	1,685.81	0.00	0.00	1,685.81		
200	CHECKING - DEBT SERVICE	13,286.99-	0.00	1,200.00	14,486.99-		
301	CHECKING - CAPITAL PROJECT	6,575,606.72	0.00	211,911.03	6,363,695.69	1,500.00	
302	CHECKING - CAPITAL WATER PROJ	241,075.94	370,891.66	0.00	611,967.60		
303	CHECKING - CAP EQUIP/VEHICLE	146,574.62	0.00	35,028.84	111,545.78	33,440.80	
304	CHECKING	18,000.00	0.00	0.00	18,000.00		
600	CHECKING - WATER UTILITY	1,576,082.92	234,904.82	141,605.01	1,669,382.73	174.50	
610	CHECKING - SEWER UTILITY	1,437,744.25	174,063.50	94,029.83	1,517,777.92	123.16	
670	CHECKING-SOLID WASTE/RECYCLING	24,668.19	31,637.70	8,064.17	48,241.72		
740	CHECKING	106,293.11	7,826.36	1,336.75	112,782.72		
920	CHECKING - ESCROW BANK ACCOUNT	0.00	0.00	0.00	0.00		
	PENDING CREDIT-CARD DEPOSITS					296,882.85	
	DEPOSITS					14,046.77	
	WITHDRAWALS					2,650.25	
Grinnell State Bank TOTALS		11,797,110.62	1,097,487.46	902,359.39	11,992,238.69	261,599.31-	11,730,639.38

3/2023 Transaction cleared on statement was entered in a future period.							197.59
8/31/2022 Calculated Statement Balance							11,730,836.97

LUANA SAV. BK MM BK#2							
BANK	LUANA SAV. BK MM BK#2						3,284,338.10
001	Luana Savings Bank - M.M. Acco	2,560,040.72	5,255.52	0.00	2,565,296.24		
135	Luana Money Market Account	719,041.86	0.00	0.00	719,041.86		
LUANA SAV. BK MM TOTALS		3,279,082.58	5,255.52	0.00	3,284,338.10	0.00	3,284,338.10
GRINNELL STATE BK- C.D. BK#3							
BANK	GRINNELL STATE BK- C.D. BK#3						1,084,567.26
001	GRINNELL STATE BANK CD	0.00	0.00	0.00	0.00		
	DEPOSITS					1,366.85	
	TRANSFER-OUT					1,085,934.11-	
GRINNELL STATE BK- C.D. TOTALS		0.00	0.00	0.00	0.00	1,084,567.26	1,084,567.26

**BANK CASH REPORT
2022**

BANK NAME FUND GL NAME	JULY CASH BALANCE	AUGUST RECEIPTS	AUGUST DISBURSMENTS	AUGUST CASH BALANCE	OUTSTANDING TRANSACTIONS	AUG BANK BALANCE
GRINNELL STATE BK-MM BK#4 -----						
BANK GRINNELL STATE BK-MM BK#4 001 SUPER MONEY MKT II	1,547,610.25	692.45	0.00	1,548,302.70		1,548,302.70
GRINNELL STATE BK-MM TOTALS	1,547,610.25	692.45	0.00	1,548,302.70	0.00	1,548,302.70
LUANA SAVINGS BANK CD BK#6 -----						
BANK LUANA SAVINGS BANK CD BK#6 001 LUANA BANK C.D.-1.85%	0.00	0.00	0.00	0.00		
LUANA SAVINGS BANK CD TOTALS	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL OF ALL BANKS	16,623,803.45	1,103,435.43	902,359.39	16,824,879.49	822,967.95	17,647,847.44

BUDGET REPORT
CALENDAR 8/2022, FISCAL 2/2023

PCT OF FISCAL YTD 16.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	GENERAL TOTAL	4,112,784.00	356,019.84	881,989.74	21.45	3,230,794.26
	ROAD USE TOTAL	699,950.00	49,179.09	95,908.67	13.70	604,041.33
	LOCAL OPTION SALES TAX TOTAL	940,000.00	.00	.00	.00	940,000.00
	TIF TOTAL	534,409.00	.00	.00	.00	534,409.00
	L.M.I TOTAL	60,000.00	1,298.13	1,548.13	2.58	58,451.87
	DEBT SERVICE TOTAL	932,930.00	1,200.00	1,500.00	.16	931,430.00
	CAPITAL IMPROVEMENTS TOTAL	3,871,000.00	211,911.03	247,832.79	6.40	3,623,167.21
	CAPITAL EQUIPMENT/VEHICLE TOTA	555,750.00	35,028.84	95,827.14	17.24	459,922.86
	WATER TOTAL	1,616,828.00	133,989.77	257,276.96	15.91	1,359,551.04
	SEWER TOTAL	1,905,843.00	93,385.15	246,712.88	12.95	1,659,130.12
	SOLID WASTE/RECYCLING TOTAL	401,000.00	7,990.06	50,411.23	12.57	350,588.77
	STORM WATER UTILITY TOTAL	115,000.00	1,300.00	1,300.00	1.13	113,700.00
	TOTAL EXPENSES BY FUND	=====	=====	=====	=====	=====
		15,745,494.00	891,301.91	1,880,307.54	11.94	13,865,186.46
		=====	=====	=====	=====	=====

BUDGET REPORT
CALENDAR 8/2022, FISCAL 2/2023

PCT OF FISCAL YTD 16.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	1,123,926.00	94,561.08	230,452.58	20.50	893,473.42
	CIVIL DEFENSE TOTAL	31,500.00	115.19	1,257.08	3.99	30,242.92
	FIRE TOTAL	873,450.00	75,894.43	175,749.04	20.12	697,700.96
	BUILDING/HOUSING TOTAL	548,500.00	55,418.72	116,883.72	21.31	431,616.28
	DOG CONTROL TOTAL	5,100.00	125.00	2,874.00	56.35	2,226.00
	PUBLIC SAFETY TOTAL	2,582,476.00	226,114.42	527,216.42	20.42	2,055,259.58
	ROAD USE TOTAL	692,318.00	59,305.00	119,172.86	17.21	573,145.14
	STREET LIGHTING TOTAL	60,000.00	5,029.62	10,072.62	16.79	49,927.38
	PUBLIC WORKS TOTAL	752,318.00	64,334.62	129,245.48	17.18	623,072.52
	ENV.HEALTH SERVICES TOTAL	2,000.00	.00	.00	.00	2,000.00
	HEALTH & SOCIAL SERVICES TOTA	2,000.00	.00	.00	.00	2,000.00
	LIBRARY TOTAL	417,760.00	30,873.67	75,115.83	17.98	342,644.17
	PARKS TOTAL	377,395.00	51,746.43	111,908.59	29.65	265,486.41
	COMMUNITY CENTER TOTAL	15,600.00	213.75	2,548.23	16.33	13,051.77
	CULTURE & RECREATION TOTAL	810,755.00	82,833.85	189,572.65	23.38	621,182.35
	TIF/ECON DEV TOTAL	416,009.00	1,298.13	1,548.13	.37	414,460.87
	COMMUNITY & ECONOMIC DEV TOTA	416,009.00	1,298.13	1,548.13	.37	414,460.87
	MAYOR COUNCIL TOTAL	97,038.00	13,940.13	22,108.43	22.78	74,929.57
	POLICY ADMINISTRATION TOTAL	156,247.00	6,926.22	25,723.81	16.46	130,523.19
	CITY ATTORNEY TOTAL	60,500.00	3,585.00	9,225.00	15.25	51,275.00
	CITY HALL TOTAL	78,600.00	3,464.69	67,831.62	86.30	10,768.38
	OTHER CITY GOVERNMENT TOTAL	157,800.00	4,000.00	6,975.00	4.42	150,825.00
	GENERAL GOVERNMENT TOTAL	550,185.00	31,916.04	131,863.86	23.97	418,321.14
	DEBT SERVICE TOTAL	932,930.00	1,200.00	1,500.00	.16	931,430.00
	DEBT SERVICE TOTAL	932,930.00	1,200.00	1,500.00	.16	931,430.00
	POLICE TOTAL	75,750.00	1,588.04	62,386.34	82.36	13,363.66
	FIRE TOTAL	135,000.00	.00	.00	.00	135,000.00
	OTHER PUBLIC WORKS TOTAL	345,000.00	33,440.80	33,440.80	9.69	311,559.20
	CAPITAL IMPROVEMENT TOTAL	3,871,000.00	211,911.03	247,832.79	6.40	3,623,167.21

BUDGET REPORT
CALENDAR 8/2022, FISCAL 2/2023

PCT OF FISCAL YTD 16.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	CAPITAL PROJECTS TOTAL	4,426,750.00	246,939.87	343,659.93	7.76	4,083,090.07
	WATER UTILITY TOTAL	1,367,950.00	133,989.77	257,276.96	18.81	1,110,673.04
	SEWER UTILITY TOTAL	1,725,843.00	93,385.15	246,712.88	14.30	1,479,130.12
	RECYCLING TOTAL	401,000.00	7,990.06	50,411.23	12.57	350,588.77
	STORM WATER TOTAL	115,000.00	1,300.00	1,300.00	1.13	113,700.00
	ENTERPRISE FUNDS TOTAL	3,609,793.00	236,664.98	555,701.07	15.39	3,054,091.93
	TRANSFER TOTAL	1,662,278.00	.00	.00	.00	1,662,278.00
	TRANSFER OUT TOTAL	1,662,278.00	.00	.00	.00	1,662,278.00
	TOTAL EXPENSES	15,745,494.00	891,301.91	1,880,307.54	11.94	13,865,186.46

REVENUE REPORT
CALENDAR 8/2022, FISCAL 2/2023

PCT OF FISCAL YTD 16.6%

ACCOUNT NUMBER	ACCOUNT TITLE	BUDGET	MTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	GENERAL TOTAL	4,192,028.00	125,380.79	231,155.91	5.51	3,960,872.09
	ROAD USE TOTAL	700,000.00	56,552.61	115,206.75	16.46	584,793.25
	LOCAL OPTION SALES TAX TOTAL	940,000.00	76,920.48	159,242.30	16.94	780,757.70
	TIF TOTAL	534,409.00	22,525.90	22,657.55	4.24	511,751.45
	L.M.I TOTAL	118,400.00	.00	.00	.00	118,400.00
	PC COMM. LIB TRUST TOTAL	.00	165.00	165.00	.00	165.00-
	DEBT SERVICE TOTAL	932,930.00	.00	708.71	.08	932,221.29
	CAPITAL IMPROVEMENTS TOTAL	3,490,000.00	.00	.00	.00	3,490,000.00
	CAPITAL WATER PROJECT TOTAL	370,000.00	370,891.66	370,891.66	100.24	891.66-
	CAPITAL EQUIPMENT/VEHICLE TOTA	555,750.00	.00	27,615.94	4.97	528,134.06
	WATER TOTAL	1,639,100.00	227,360.45	370,887.02	22.63	1,268,212.98
	SEWER TOTAL	1,909,000.00	173,489.71	331,334.41	17.36	1,577,665.59
	SOLID WASTE/RECYCLING TOTAL	401,000.00	31,563.59	61,819.02	15.42	339,180.98

REVENUE REPORT
CALENDAR 8/2022, FISCAL 2/2023

PCT OF FISCAL YTD 16.6%

ACCOUNT NUMBER	ACCOUNT TITLE	BUDGET	MTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	STORM WATER UTILITY TOTAL	115,000.00	7,789.61	15,384.68	13.38	99,615.32
	TOTAL REVENUE BY FUND	=====	=====	=====	=====	=====
		15,897,617.00	1,092,639.80	1,707,068.95	10.74	14,190,548.05
		=====	=====	=====	=====	=====

BALANCE SHEET
CALENDAR 8/2022, FISCAL 2/2023

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING - GENERAL	236,699.38-	860,019.73-
001-000-1725	ACCUM.DEPR. - LIBRARY BLDG	.00	.00
001-000-1745	ACCUM.DEPR. - PWD EQUIPMENT	.00	.00
001-000-1755	ACCUM.DEPR. - POLICE	.00	.00
001-000-1756	ACCUM.DEPR. - FIRE DEPT.	.00	.00
001-000-1805	ACCUM.DEPR. - SIDEWALKS	.00	.00
001-000-1806	ACCUM.DEPR.- PARKER BLVD	.00	.00
110-000-1110	CHECKING - ROAD USE	7,365.79	337,897.94
111-000-1110	CHECKING - I-JOBS	.00	.00
121-000-1110	CHECKING - LOCAL OPTION	76,920.48	1,283,096.07
125-000-1110	CHECKING - TIF	22,525.90	326,256.31
135-000-1110	CHECKING - L.M.I.	1,298.13-	450,125.78
167-000-1110	CHECKING - PC COMM. LIB TRUST	165.00	14,289.34
177-000-1110	CHECKING - FORFEITURE	.00	1,685.81
200-000-1110	CHECKING - DEBT SERVICE	1,200.00-	14,486.99-
301-000-1110	CHECKING - CAPITAL PROJECT	211,911.03-	6,363,695.69
302-000-1110	CHECKING - CAPITAL WATER PROJ	370,891.66	611,967.60
303-000-1110	CHECKING - CAP EQUIP/VEHICLE	35,028.84-	111,545.78
304-000-1110	CHECKING	.00	18,000.00
600-000-1110	CHECKING - WATER UTILITY	93,299.81	1,669,382.73
600-000-1805	ACCUM. DEPR. - WATER	.00	.00
610-000-1110	CHECKING - SEWER UTILITY	80,033.67	1,517,777.92
610-000-1805	ACCUM. DEPR. - SEWER	.00	.00
670-000-1110	CHECKING-SOLID WASTE/RECYCLING	23,573.53	48,241.72
740-000-1110	CHECKING	6,489.61	112,782.72
920-000-1110	CHECKING - ESCROW BANK ACCOUNT	.00	.00
	CHECKING TOTAL	195,128.07	11,992,238.69
600-000-1111	WAT.SINKING/CKG	.00	.00
610-000-1111	SEWER SINKING FUND	.00	.00
	WATER SINKING TOTAL	.00	.00
600-000-1112	WATER TRUST CHECKING	.00	.00
610-000-1112	SEW.IMPR.CHECKING	.00	.00
	CHECKING TOTAL	.00	.00
600-000-1113	WAT.IMPR/CHECKING	.00	.00
610-000-1113	79 SANITARY SEWER DISTRICT	.00	.00
	CHECKING TOTAL	.00	.00
600-000-1115	Water Holding Account	.00	.00
	TOTAL	.00	.00

BALANCE SHEET
CALENDAR 8/2022, FISCAL 2/2023

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1120	LIBR.PETTY CASH	.00	35.00
600-000-1120	WATER PETTY CASH	.00	.00
		-----	-----
	PETTY CASH TOTAL	.00	35.00
001-000-1121	GENERAL PETTY CASH	.00	100.00
		-----	-----
	PETTY CASH TOTAL	.00	100.00
001-000-1122	PETTY CASH-POLICE	.00	300.00
		-----	-----
	PETTY CASH-POLICE TOTAL	.00	300.00
001-000-1150	GENERAL RESERVE IPAIT A/C	.00	1.00
125-000-1150	TIF RESERVE IPAIT A/C	.00	.00
135-000-1150	LMI - IPAIT Account	.00	1.00
200-000-1150	DEBT/TIF/CHECKING	.00	.00
301-000-1150	TIF SPECIAL REVENUES	.00	.00
600-000-1150	WATER FUND IPAIT A/C	.00	1.00
610-000-1150	SEWER FUND IPAIT A/C	.00	1.00
		-----	-----
	CHECKING TOTAL	.00	4.00
001-000-1151	GENERAL INVESTMENT	.00	.00
600-000-1151	WATER RESERVE INVESTMENT	.00	.00
610-000-1151	Sewer Fund CD	.00	.00
		-----	-----
	SAVINGS TOTAL	.00	.00
600-000-1152	WATER TRUST INVESTMT.	.00	.00
		-----	-----
	WATER TRUST INVESTMENT TOTAL	.00	.00
001-000-1160	SUPER MONEY MKT II	692.45	1,548,302.70
110-000-1160	SAVINGS	.00	.00
125-000-1160	SAVINGS	.00	.00
		-----	-----
	SUPER MONEY MKT II TOTAL	692.45	1,548,302.70
001-000-1161	GRINNELL STATE BANK CD	.00	.00
610-000-1161	Polk County Bank CD	.00	.00
		-----	-----
	GRINNELL STATE BANK CD TOTAL	.00	.00

BALANCE SHEET
CALENDAR 8/2022, FISCAL 2/2023

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1162	LUANA BANK C.D. -1.85%	.00	.00
	TOTAL	----- .00	----- .00
001-000-1163	Luana Savings Bank - M.M. Acco	5,255.52	2,565,296.24
135-000-1163	Luana Money Market Account	.00	719,041.86
600-000-1163	Luana Money Market Account	.00	.00
610-000-1163	Luana Money Market Account	.00	.00
	LUANA MONEY MARKET TOTAL	----- 5,255.52	----- 3,284,338.10
600-000-1220	ACCOUNTS RECEIVABLE	.00	.00
610-000-1220	ACCOUNTS RECEIVABLE	.00	.00
	TOTAL	----- .00	----- .00
	TOTAL CASH	=====	=====
		201,076.04	16,825,318.49
		=====	=====



City Street Finance Report

Fiscal Year 2022

Bureau of Local Systems

Polk City

Ames, IA 50010

9/15/2022 4:01:54 PM

Expenses

	General Fund Streets (001)	Road Use (110)	Other Special Revenues	Debt Service (200)	Capital Projects (300)	Utilities (600 & U0)	Grand Total
Salaries - Roads/Streets	\$50,725	\$152,175					\$202,900
Benefits - Roads/Streets	\$20,243	\$52,823					\$73,066
Training & Dues	\$42	\$2,980					\$3,022
Building & Grounds Maint. & Repair		\$3,276					\$3,276
Road Beautification	\$23,138						\$23,138
Vehicle & Office Equip Operation and Repair		\$25,883					\$25,883
Operational Equipment Repair		\$22,660					\$22,660
Engineering	\$3,013						\$3,013
Insurance		\$4,030					\$4,030
Payments to othe agencies		\$673					\$673
Street Maintenance Expense		\$20,000					\$20,000
Chemicals		\$9,090					\$9,090
Minor Equipment Purchases		\$3,833					\$3,833
Office Supplies		\$511					\$511
Operating Supplies		\$597					\$597
Other Supplies		\$2,643					\$2,643
Office Equipment		\$491					\$491



City Street Finance Report

Fiscal Year 2022

Bureau of Local Systems

Polk City

Ames, IA 50010

9/15/2022 4:01:54 PM

	General Fund Streets (001)	Road Use (110)	Other Special Revenues	Debt Service (200)	Capital Projects (300)	Utilities (600 & U0)	Grand Total
Other Capital Equipment		\$475					\$475
Right-of-Way		\$60,915					\$60,915
Buildings		\$289					\$289
Street - Capacity Improvement		\$97,896			\$19,102		\$116,998
Street - Preservation		\$19,792			\$67,229		\$87,021
Street - Safety/ Environment					\$622,818		\$622,818
Principal Payment				\$197,993			\$197,993
Interest Payment				\$62,200			\$62,200
Bond Registration Fees				\$826			\$826
Transfer Out		\$105,564					\$105,564
Snow Removal		\$36,871					\$36,871
Depreciation & Building Utilities		\$10,224					\$10,224
Total	\$97,161	\$633,691		\$261,019	\$709,149		\$1,701,020



City Street Finance Report

Fiscal Year 2022

Bureau of Local Systems

Polk City

Ames, IA 50010

9/15/2022 4:01:54 PM

Revenue

	General Fund Streets (001)	Road Use (110)	Other Special Revenues	Debt Service (200)	Capital Projects (300)	Utilities (600 & U0)	Grand Total
Levied on Property	\$91,210		\$0	\$261,019			\$352,229
State Revenues - Road Use Taxes		\$713,246					\$713,246
Charges/fees	\$5,951					\$0	\$5,951
Proceeds from Debt					\$1,503,000		\$1,503,000
Transfer In					\$105,564		\$105,564
Total	\$97,161	\$713,246	\$0	\$261,019	\$1,608,564	\$0	\$2,679,990



Bureau of Local Systems
Ames, IA 50010

City Street Finance Report

Fiscal Year 2022

Polk City

9/15/2022 4:01:54 PM

Bonds/Loans

Bond/Loan Description	Principal Balance As of 7/1	Total Principal Paid	Total Interest Paid	Principal Roads	Interest Roads	Principal Balance As of 6/30
2020 GO Bond	\$1,572,500	\$265,000	\$31,800	\$197,993	\$23,759	\$1,307,500
2021 GO	\$2,930,000	\$0	\$74,939	\$0	\$38,441	\$2,930,000



City Street Finance Report

Fiscal Year 2022

Bureau of Local Systems

Polk City

Ames, IA 50010

9/15/2022 4:01:54 PM

Equipment

Description	Model Year	Usage Type	Cost	Purchased Status
John Deere zero turn mower	2019	Purchased	\$19,549	No Change
John Deer Track Loader	2019	Purchased	\$66,323	No Change
INTERNATIAONL HV507 SFA 4X2	2020	Purchased	\$88,796	No Change
Case 621E Payloader	2009	Purchased	\$60,000	No Change
Ford Altec Bucket Truck	2005	Purchased	\$59,000	No Change
Bobcat Power Angle Broom	2011	Purchased	\$3,466	No Change
Bobcat Snowblower	2010	Purchased	\$4,959	No Change
International Dumptruck	2008	Purchased	\$98,052	No Change
Ford F350 4x4 utility box	2008	Purchased	\$20,646	No Change
John Deere Mower	2006	Purchased	\$14,750	Sold
John Deere Mower 1445	2019	Purchased	\$12,549	No Change
International Tandem Dump Truck 7400 6x4	2016	Purchased	\$101,930	No Change
Bobcat Landplane	2013	Purchased	\$3,000	No Change
Progressive TD-65 Rotary Mower	2005	Purchased	\$9,240	No Change
Bobcat Skidloader 750	2013	Purchased	\$60,000	No Change
Airman Air Compressor	2007	Purchased	\$11,752	No Change
John Deere 3720 Tractor	2007	Purchased	\$17,900	Sold
John Deere Skid Steer Track Loader	2019	Purchased	\$35,430	Sold
Bobcat Auger	2008	Purchased	\$8,000	Sold
Brush Mower & Tiller	2005	Purchased	\$3,111	Sold
Stanley Jack Hammer MB05	2019	Purchased	\$5,000	No Change



City Street Finance Report

Fiscal Year 2022

Bureau of Local Systems

Polk City

Ames, IA 50010

9/15/2022 4:01:54 PM

Description	Model Year	Usage Type	Cost	Purchased Status
Trash Pump Godwin	2009	Purchased	\$10,000	Sold
Bobcat Grapple Bucket SPBC3	2013	Purchased	\$4,500	No Change
Cougar smart flow mosquito sprayer	2021	Purchased	\$12,623	No Change
Ford F450 Flatbed Dump Truck	2021	Purchased	\$49,978	No Change
John Deere Sweeper	2019	Purchased	\$6,040	Sold
Ford F250 4x4 Crew Cab	2017	Purchased	\$26,302	No Change
Ford F350	2018	Purchased	\$23,873	No Change
Ford F350	2015	Purchased	\$30,191	No Change
Ford F350	2019	Purchased	\$24,396	No Change
BOBCAT AUGER 15C	2021	Purchased	\$2,829	New
Kubota UTV	2010	Purchased	\$5,000	New
Tryct - 074 tiller	2021	Purchased	\$2,500	New
John Deere 3046R Tractor	2022	Purchased	\$44,127	New
Ford F350 4x4	2014	Purchased	\$35,523	New
Ford Edge	2022	Purchased	\$33,500	New
Tymco Street Sweeper	2017	Purchased	\$125,000	New
Bobcat Brush Mower	2021	Purchased	\$6,700	New
MQ62TKT Trash Pump 6"	2021	Purchased	\$14,710	New
JM-2512AV Jet Trailer	2021	Purchased	\$21,720	New



Bureau of Local Systems
Ames, IA 50010

City Street Finance Report

Fiscal Year 2022

Polk City

9/15/2022 4:01:54 PM

Street Projects

Project Description	Contract Price	Final Price	Contractor Name
N 3RD AND VISTA LAKE INTERSECTION IMPROVEMENT PROJECT	\$1,595,280	\$1,635,425	Absolute Concrete Construction Inc



Bureau of Local Systems
Ames, IA 50010

City Street Finance Report

Fiscal Year 2022

Polk City

9/15/2022 4:01:54 PM

Summary

	General Fund Streets (001)	Road Use (110)	Other Special Revenues	Debt Service (200)	Capital Projects (300)	Utilities (600 & U0)	Grand Total
Begining Balance	\$0	\$239,020	\$0	\$0	\$83,425	\$0	\$322,445
SubTotal Expenses (-)	\$97,161	\$528,127		\$261,019	\$709,149		\$1,595,456
Transfers Out (-)		\$105,564					\$105,564
Subtotal Revenues (+)	\$97,161	\$713,246	\$0	\$261,019	\$1,503,000	\$0	\$2,574,426
Transfers In (+)					\$105,564		\$105,564
Ending Balance	\$0	\$318,575	\$0	\$0	\$982,840	\$0	\$1,301,415

Resolution Number:

Execution Date:

Signature:



Polk City Police Department

309 W Van Dorn St. P.O.Box 381

Polk City, Iowa 50226

Phone: 515-984-6565 Fax 515-984-6819 email: police@polkcityia.gov

Service Integrity Respect Quality

To: Honorable Mayor and Council Members

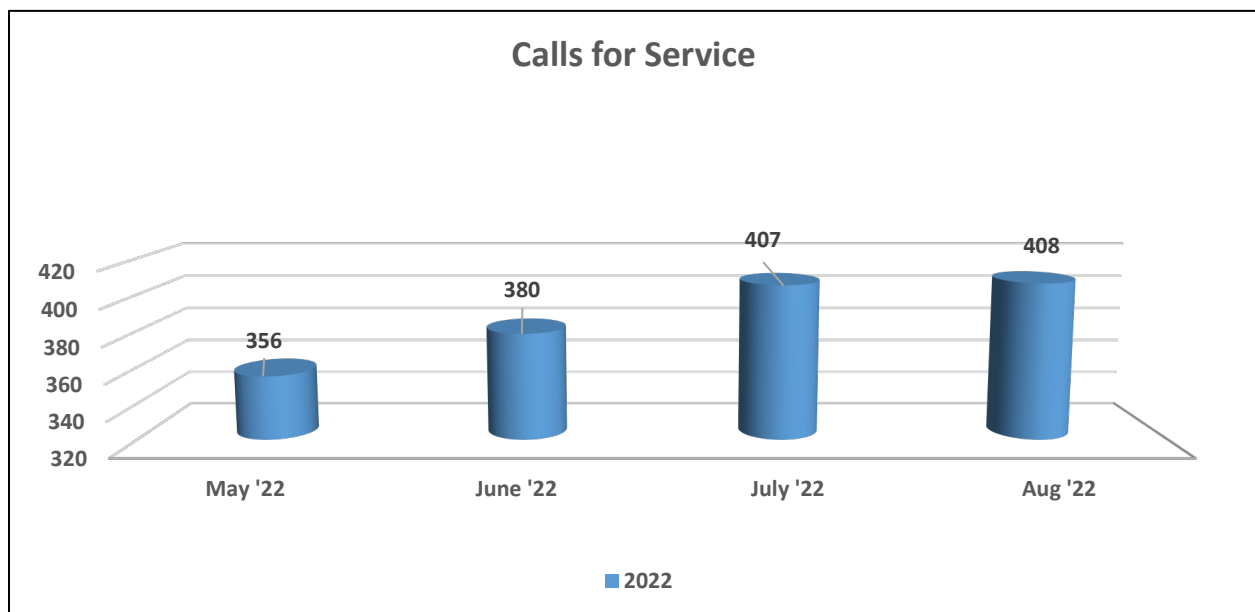
From: Lieutenant Aswegan

Date: September 6th, 2022

Re: August 2022 Monthly Report

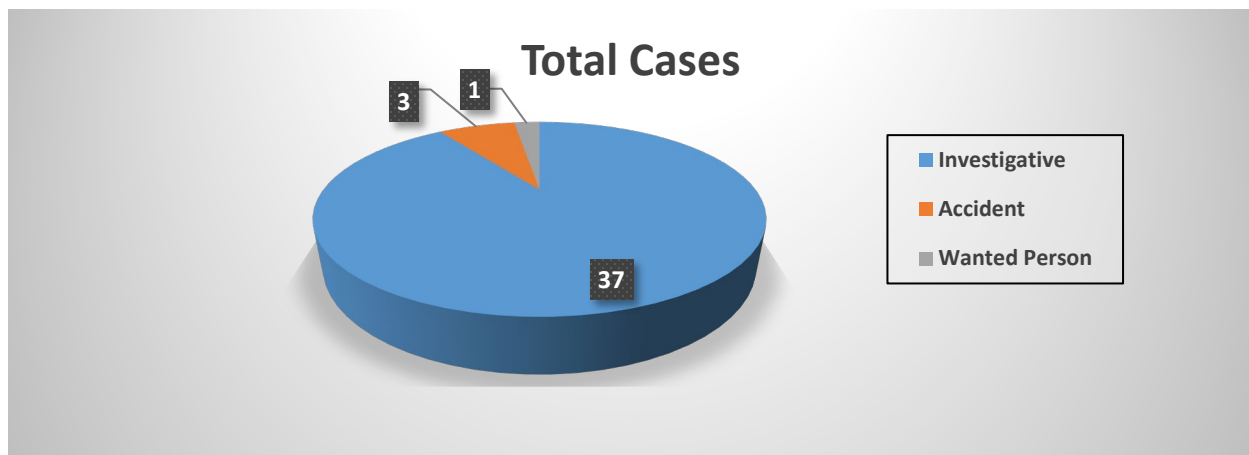
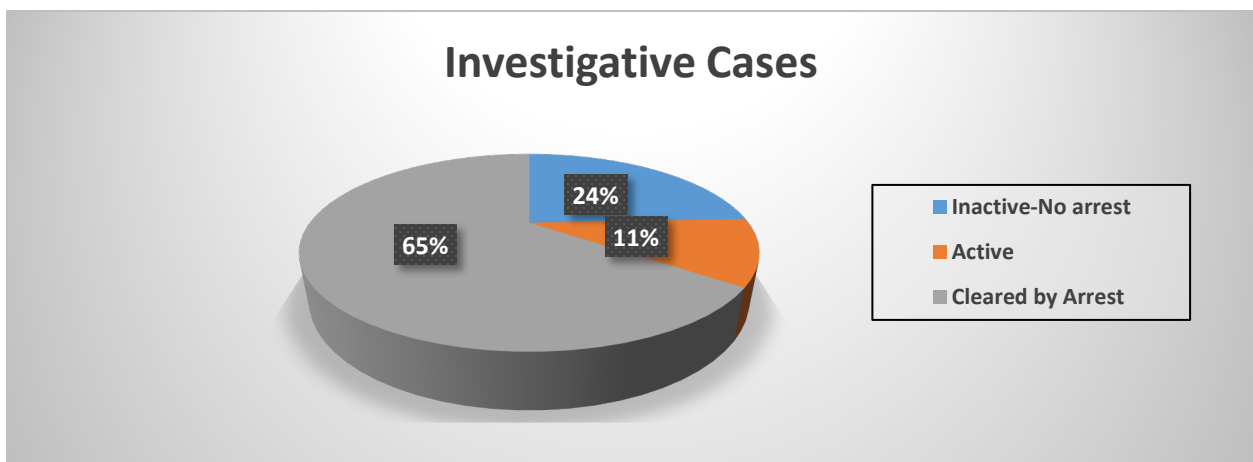
Calls for Service

The total calls for service for the month of August were **408**. This includes response to citizen complaints/reports, assists, self-initiated activities such as traffic stops, building checks, suspicious persons, and case follow up. Among these calls for service Polk City Officers conducted **134** traffic stops.



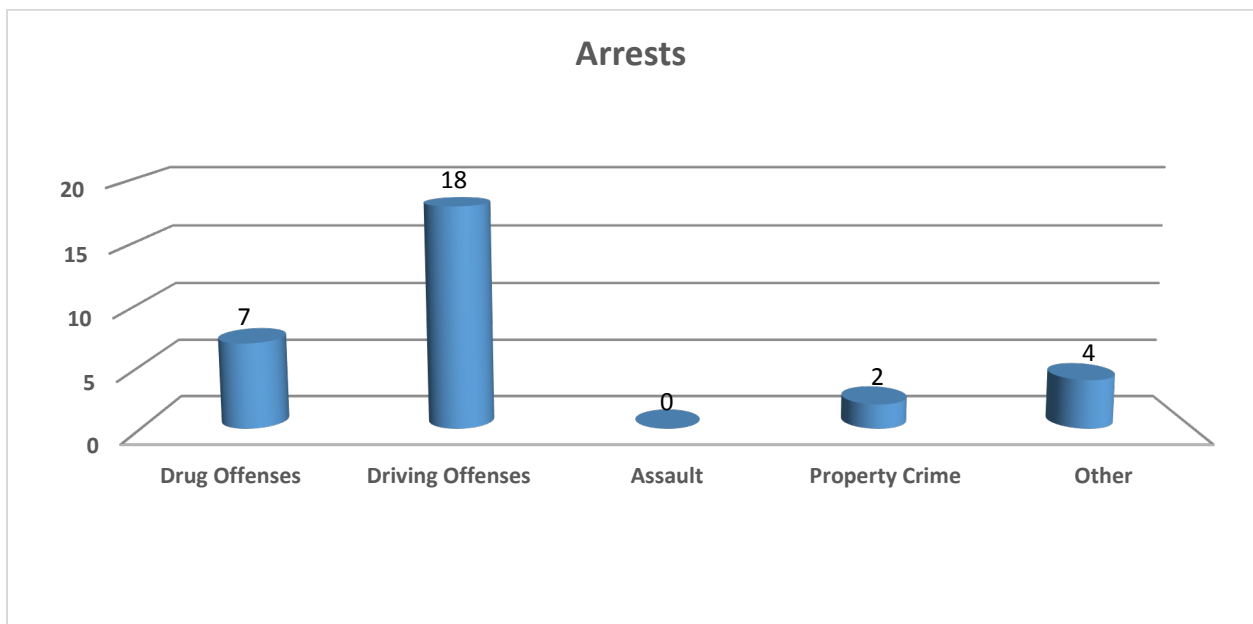
Cases Made

The Police Department had **41** total cases during the month of August. **37** of the cases were investigative incident reports, **3** were traffic collision investigations, and **1** for a Wanted Subject. There are **4** active investigations from this month. There was a **31%** rate of cases cleared by arrest, for investigative cases in July.



Arrests Made

The Police Department made **31** arrests and issued **42** citations and **119** warnings. The arrests consisted of **7** arrests for drug offenses, **18** arrests for driving offenses, **2** arrests for Property Crimes, and **4** arrests for miscellaneous offenses.



Notable Incidents

22-0200

On August 6th at approximately 11:30 am, a Polk City Police Officer stopped a vehicle for a traffic violation. An investigation revealed that the driver, a 43-year-old Polk City resident, was in possession of 6 grams of methamphetamine and a methamphetamine smoking pipe. He was also found to be under the influence of methamphetamine.

The subject was charged with Possession of Methamphetamine w/ Intent to Deliver, Possession of Drug Paraphernalia and OWI-1st Offense. He was booked into the Polk County jail.

22-0224

On August 22nd at about 7:30 pm, a Polk City Police Officer was dispatched to a mini motorcycle being driven in a residential neighborhood causing a disturbance. The vehicle and driver were found in the 700 block of W. Van Dorn Street and stopped. The driver, a 34-year-old Polk City resident, was found to be intoxicated. He was arrested and charged with OWI-3rd Offense and Driving While License Revoked.

22-0231

On August 30th at about 12:20 pm a patrolling Polk City Police Officer stopped to check an abandoned vehicle in the 6000 block of NW Polk City Drive. An investigation revealed that the vehicle was reported stolen out of Des Moines. Further investigation showed that a suspect had walked away from the vehicle into a nearby residential area minutes before the officer stopped to check on the car. Officers searched the area and found an 18 year old Des Moines man who matched the description given by witnesses. He was arrested and charged with Theft-2nd Degree and Possession of Drug Paraphernalia. He was booked into the Polk County jail.

In-Service Training

August monthly in-service training was focused on Officer Wellness. Financial, mental health, and physical health representatives presented to our department on how to best ensure the officer's individual needs are recognized and they are provided methods to help them navigate their professional life.

Officer Training

Officer Delaney attended 24 hours of training as a Field Training Officer (FTO). Officer Delaney serves our department as an FTO, responsible for training newly hired officers on procedures, geography, tactics and techniques specific to the Polk City PD. The training taught Officer Delaney how to interact with various learning styles, how to evaluate a trainee, and handle unique situations involving police officers in training.

Officer Wilson attended 16 hours of training in Minnesota as an administrator of our evidence control program. Officer Wilson serves as the department's Evidence Custodian and is in charge of maintaining inventory and control of all evidence taken in by our department. We utilize SAFE for our software and the training helped Officer Wilson better utilize the program to ensure our evidence control program is maintained at a high level. This training was free due to a grant being awarded to us 3 years ago, but we were unable to attend training due to COVID restrictions until now.

Training Hours: 102

Lamfers	5
Aicher	20
Wilson	20
Delaney	30
Blaha-Polson	5
Sherman	7
Siepkner	7
Aswegan	8

Canine Program

Officer Aicher and K9 Eudoris conducted 16 hours of training together in August. This includes a combination of training at Canine Tactical in Chariton, Iowa, and on-going training throughout the month.



Officer Aicher and Eudoris were deployed 3 times in August. Two deployments were for narcotics detection in Polk City and one was for a narcotics detection to assist the Ankeny Police Department.



Community Outreach



Polk City Police Officers routinely make time throughout their shifts to interact with our local youth. Lt. Aswegan, stopped and spoke with some youth at their lemonade stand during City Wide Garage Sale weekend.

Code Enforcement

The Polk City Police

Department addressed 1 Municipal Code violations in August.

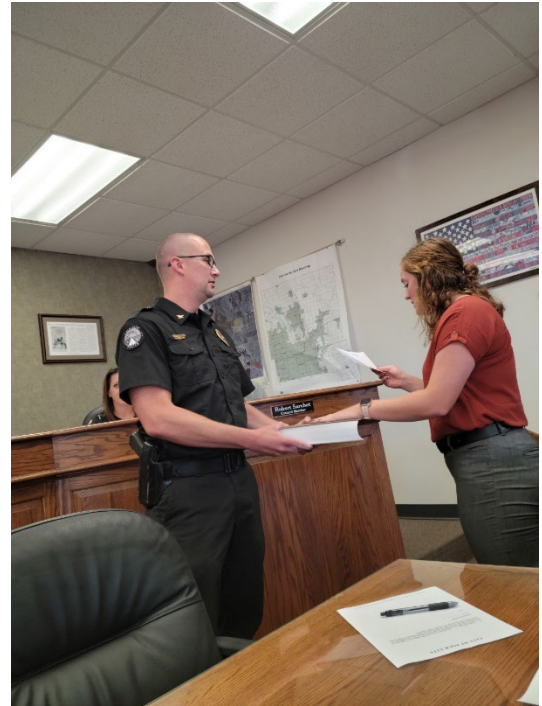
Department Updates

Officer Ron Lamfers will be retiring in September after a 20-year career with the Polk City Police Department. Officer Lamfers served as a patrol officer on the night shift and day shift, as a Field Training Officer (FTO), Standardized Field Sobriety Tests (SFST) Instructor and Weapons Armorer. He was consistently a proactive officer who did a great job of identifying criminal behavior and ensuring those involved in that behavior were identified and



apprehended. He did all of that while maintaining great working relationships with the community. His leadership, loyalty and dedication to this department and community will be missed. We wish him the best of luck as he moves onto the next chapter of his life.

Officer Caitlyn Whipple was sworn in as the newest Polk City Police Officer on August 9th. She will be working as a patrol officer. Officer Whipple comes to our department from a seasonal Water Patrol position with the Iowa DNR.



Officers Kevin Blaha-Polson and Caitlyn Whipple started the Iowa Law Enforcement Academy in August. They will attend the 14-week academy and then transition into patrol where they will complete the department's Field Training & Evaluation Program.

Polk City Water Department

Monthly Report

Month August

Year 2022

Total Water Pumped 28,399,700 Gallons
Monthly Daily Avg 916,119 Gallons

Testing Results

- **SDWA Bacteriological Coliform Analysis** QDSM University Hygienic Lab.
Fecal Coliform Analysis- Sample incubated 35c for 48 hrs then examine for gas production. Gas production verifies presence of fecal coliform organisms.
- **Fluoride Analysis** 1.5 University Hygienic Lab.
A fluoride concentration of approx. 1mg/l in drinking water effectively reduces dental caries without harmful effects on health. MCL for fluoride is 4.0 mg/l.
Fluoride at Plant- Monthly Average .93 mg/l Polk City Lab.
Fluoride in System- Monthly Average .81 mg/l Polk City Lab.
- **Chlorine Free At Plant- Monthly Average** 1.00 mg/l Polk City Lab.
Chlorine Total at plant- Monthly Average 2.72 mg/l Polk City Lab.
Chlorine Free in System- Monthly Average .62 mg/l Polk City Lab.
Chlorine Total in System- Monthly Average .91 mg/l Polk City Lab.
Chlorine requirement is the quantity of chlorine that must be added to H2O to achieve complete disinfection of pathogens and protozoa. Chlorine residuals will vary widely depending on organic loading. We also use chlorine to oxidize iron prior to filtration.
- **Iron Raw Water- Monthly Average** 6.38 mg/l Polk City Lab.
Iron Finish Water- Monthly Average .05 mg/l Polk City Lab.
Iron System Water- Monthly Average .04 mg/l Polk City Lab.
Iron occurs in rocks and minerals in the earth's crust. It's the 4th most abundant element respectively. Iron has no effect on human health; its main objection is aesthetics. Concentrations of Iron in finish H2O should be between 0.03-0.06mg/l.
- **Manganese Raw Water- Monthly Average** 0.268 mg/l Polk City Lab.
Manganese Finish Water- Monthly Average 0.153 mg/l Polk City Lab.
Manganese System Water- Monthly Average 0.048 mg/l Polk City Lab.
Manganese also occurs in rocks and the earth's crust. It is the 7th most abundant element. Manganese is extremely difficult to remove. Concentrations of Manganese in finish H2O should not exceed 0.05mg/l or black staining of plumbing fixtures may occur. No effect on human health.
- **pH Raw Water Monthly Average** 7.9 mg/l Polk City Lab.
pH Finish Water-Monthly Average 7.9 mg/l Polk City Lab.
pH System Water- Monthly Average 8.1 mg/l Polk City Lab.
pH scale ranges from 0-14 with 7 being considered neutral. Below 7 becomes corrosive to plumbing, above 7 tends to deposit minerals in plumbing. We add caustic soda to maintain proper pH, which should range between 7.5-7.9 in finish water.

Total Tests Performed- Polk City Lab _____

Total Hours to perform tests _____



City of Polk City, Iowa

City Council Agenda Communication

Date: September 26, 2022

To: Mayor, City Council, and City Manager

From: Karla Hogrefe – Fire Chief

Subject: August 2022 Monthly Report

BACKGROUND: There were 71 calls for service the month of August, which was 6 calls down from July. We had paramedic coverage 20 nights out of 31. Ten of those nights were covered by our Full Time FF/Paramedic Mike Doyon. We had Paramedic coverage three out of four Friday nights and one out of four Saturday nights. There were seven shifts that our two full time members picked up for overtime. If they wouldn't have picked those up, we would have been short, and Chief would have had to fill in. B-Shift remains short as it is our shift that does not have a full time FF/Paramedic. There was only 1 call that we did not have staffing for and that was a fire assignment outside of town.

Our full-time member, Riley Noggle got Nationally and State Paramedic certified this month and we are patiently waiting for some ALS calls to get her cleared to run independently as a Paramedic. Once this happens, we will have Paramedic coverage for 48 hours straight, leaving B-shift to be filled with Part Time Members and Chief.

POC Justin McKay and Full-Time member Riley Noggle are almost finished with their FF1 class with only having the Haz Mat Operations portion left. They should be firefighter certified by October.

Part Time member Brody Miller successfully passed his Firefighter 1 & 2 skills and testing and will be certified through the State of Iowa in the next few days.

We conducted 3 training classes during August. August 2 – EMS Training OB Emergencies with 2 hours of continuing education. August 9 – Hose deployment/interior fire attack training at acquired house structure on Bennitt. August 16 – Annual hose testing. Day crew started hose testing at 10 am, at 6 pm POC and part time members came to help finish. We were done testing all of our fire hose by 9 pm that night. It was a very long day! August 23 – Forcible entry training at DMACC. Crews went to Ankeny and worked on the forcible entry door at DMACC.

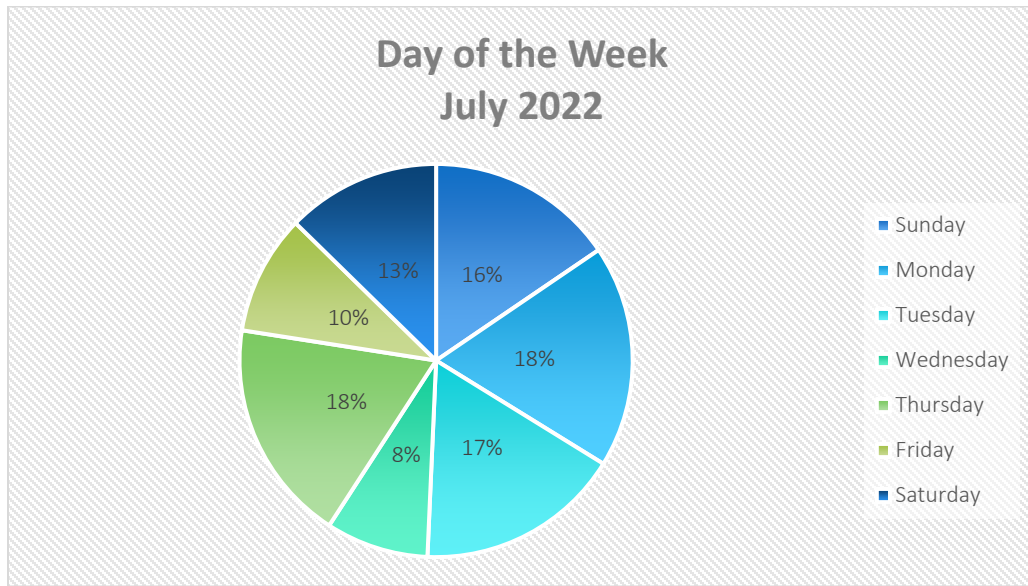


The photos above are from the forcible entry training at DMACC.

On August 19 we had Creative Cubs Daycare come visit the Fire Station.

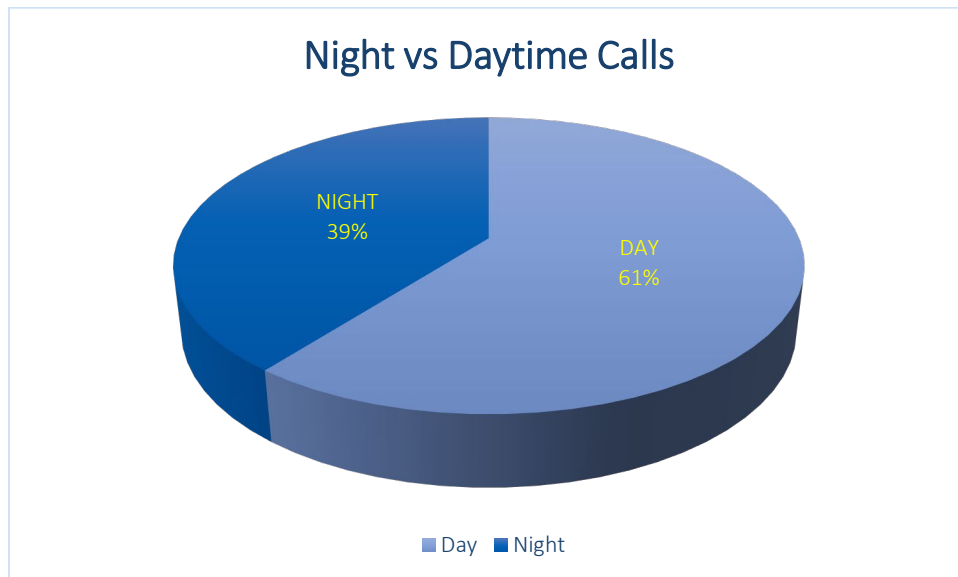


The busiest call volume day, in August, was Monday and Thursday at 13 calls for service:



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	TOTAL
11	13	12	6	13	7	9	71

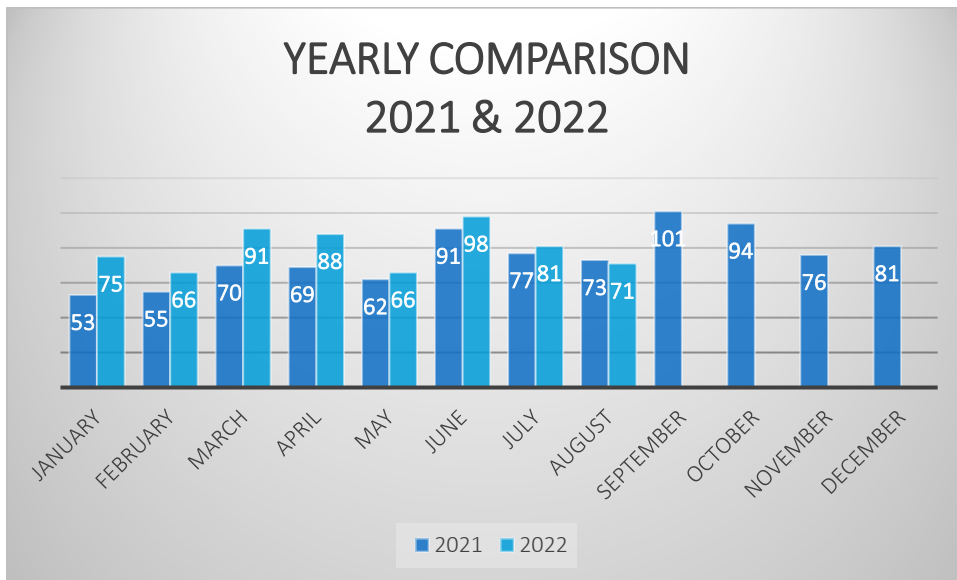
43 calls were during the day shift, between 06:00 hours (6:00 AM) and 18:00 hours (6:00 PM). 28 calls were during the night shift, between 18:00 hours (6:00 PM) and 06:00 hours (6:00 AM):



The “Incident Type” of calls was predominately EMS related and assisting our mutual aid departments.



August 2022 had 2 more calls for service than August 2021. Year-to-date we are 90 calls for service ahead of last year.



RESOLUTION 2022-11L

**A RESOLUTION HIRING CANDIDATES FOR YOUTH SERVICES
LIBRARIAN FOR THE POLK CITY, IOWA LIBRARY**

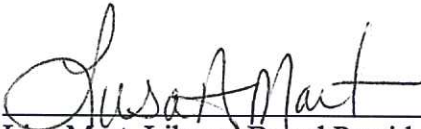
WHEREAS, the Polk City Community Library has an established positions for one Youth Services Librarian; and

WHEREAS, there is currently one Youth Services Librarian position vacant; and

WHEREAS, required advertising and vetting of candidates has been completed;

NOW, THEREFORE, BE IT RESOLVED, the Board of Trustees of the Polk City Community Library recommends hiring Allyson Reister with a start date determined upon a successful completion of required background checks at a starting wage of \$22.12 per hour.

PASSED AND APPROVED the 12th day of September 2022.



Lisa Mart, Library Board President

ATTEST:



Jamie Noack, Library Director

September 21, 2022

Honorable Mayor and City Council
City of Polk City
112 3rd Street
Polk City, Iowa 50226

RE: CROSSROADS AT THE LAKES PLAT 3
APPROVAL OF CONSTRUCTION DRAWINGS

Dear Honorable Mayor and City Council:

On behalf of Kimberley Development Corporation, Civil Design Advantage, LLC. has submitted the construction drawings for the above referenced plat. These plans represent the third and final phase of construction for this subdivision, which include 43 single-family lots. The plans include the construction of E. Bridge Road, Oakford Lane, Walker Street, and Walker Circle, along with the associated sanitary sewers, storm sewers, water main and services.

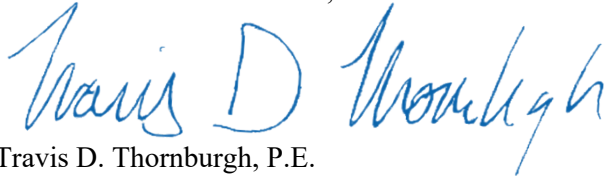
The construction drawings and Storm Water Management Plan appear to be in general conformance with the Subdivision Regulations, SUDAS, and the approved Preliminary Plat. Civil Design Advantage, LLC. remains solely responsible for their design and ensuring it is fully compliant with all applicable code and permit requirements. Civil Design Advantage, LLC. is also responsible for construction staking and ensuring all locations, grades and slopes conform to the approved construction drawings.

It shall be the developer's responsibility to obtain approval for all necessary permits prior to the start of construction. These permits include, but are not limited to, the Iowa DNR permits for water main and sanitary sewer construction, and the NPDES Storm Water Discharge permit.

We recommend approval of the construction drawings for Crossroads at the Lakes Plat 3, subject to the approval of a change order adding cluster mailbox location and associated sidewalks. This change order will need to be approved prior to acceptance of the public improvements and these items will need to be constructed as plat improvements. We will be in attendance at the September 26, 2022, City Council meeting should you have questions.

Respectfully submitted,

SNYDER & ASSOCIATES, INC.



Travis D. Thornburgh, P.E.

CC: Chelsea Huisman, City of Polk City
Mike Schulte, City of Polk City
Jenna Kimberley, Kimberley Development Corporation
Erin K. Ollendike, P.E., Civil Design Advantage, LLC.

RESOLUTION NO. 2022-111

**A RESOLUTION APPROVING THE CONSTRUCTION
DRAWINGS FOR CROSSROADS AT THE LAKES PLAT 3**

WHEREAS, Civil Design Advantage, LLC. on behalf of Kimberley Development Corporation, the developer for Crossroads at the Lakes Plat 3, has submitted the Construction Drawings for public improvements associated with said plat including the sanitary sewers, water main, storm sewers and services and paving; and

WHEREAS, it shall be the developer's responsibility to obtain approval for all necessary permits including Iowa DNR permits for water main and sanitary sewer construction; and the NPDES Storm Water Discharge permit; and

WHEREAS, no construction shall be permitted on the sanitary sewer or water main prior to Iowa DNR's approval of the permit for applicable construction; and

WHEREAS, the construction drawings are in substantial conformance with Polk City's Subdivision Regulations, SUDAS and the approved Preliminary Plat for Crossroads at the Lakes; and

WHEREAS, the City Engineers have reviewed the Construction Drawings and recommends their approval subject to administrative approval of a change order adding cluster mailbox location and associated sidewalks prior to acceptance of public improvements.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby approves the Construction Drawings for the Public Improvements associated with Crossroads at the Lakes Plat 3 subject to administrative approval of a change order adding cluster mailbox location associated sidewalks prior to acceptance of public improvements.

PASSED AND APPROVED the 26th day of September 2022.

Steve Karsjen, Mayor

ATTEST:

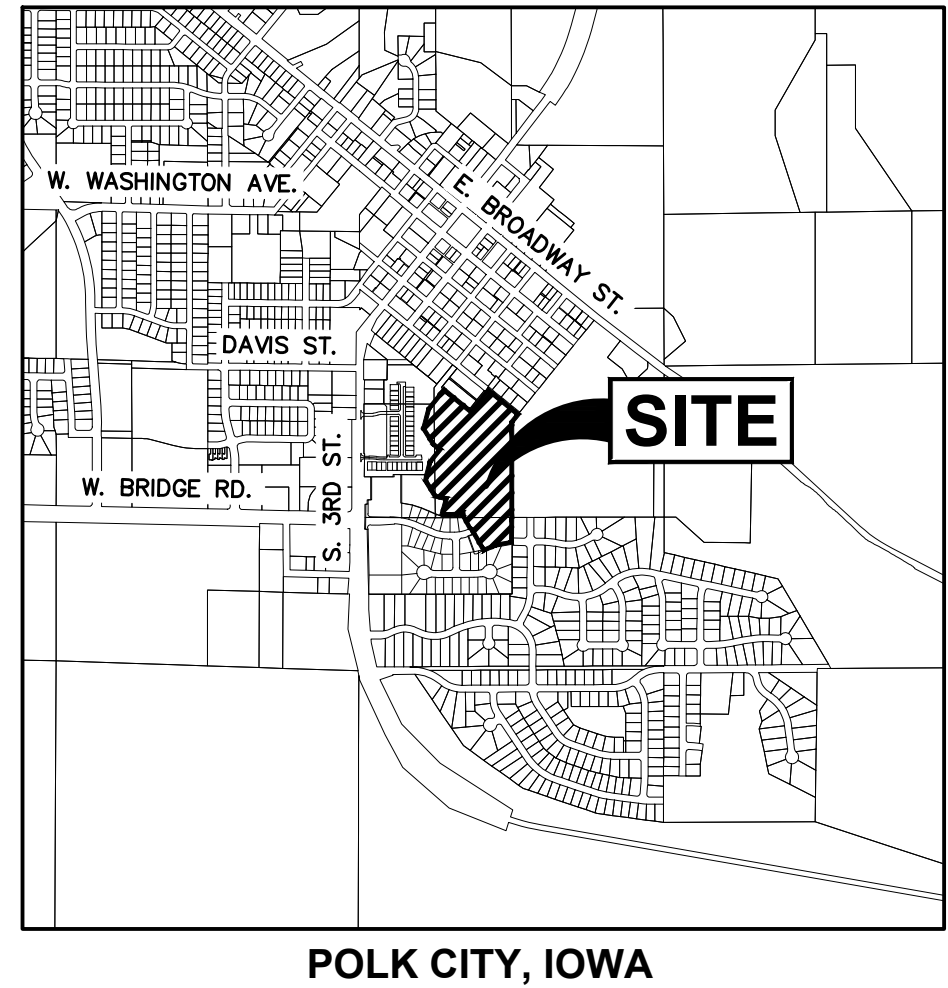
Jenny Coffin, City Clerk

CONSTRUCTION DRAWINGS FOR: CROSSROADS AT THE LAKES PLAT 3

POLK CITY, IOWA INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	HYDRANT COVERAGE PLAN
3-4	TYPICAL SECTION AND DETAILS
5	QUANTITIES AND REFERENCE NOTES
6	POLK CITY CONSTRUCTION NOTES
7-8	GRADING PLAN
9-10	EROSION AND SEDIMENT CONTROL PLAN
11-17	ROADWAY, STORM AND SANITARY SEWER PLAN AND PROFILE
18-22	WATERMAIN PLAN AND PROFILE
23-26	INTERSECTION DETAILS

VICINITY MAP NOT TO SCALE



PLAT DESCRIPTION

A PART OF 'DES MOINES CO'S ADDITION TO POLK CITY IOWA', AN OFFICIAL PLAT AND A PART OF LOT 2 OF THE 'OFFICIAL PLAT OF THE NORTHWEST FRACTIONAL QUARTER AND THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN, ALL IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF CROSSROADS AT THE LAKES PLAT 2, AN OFFICIAL PLAT IN SAID CITY OF POLK CITY; THENCE SOUTH 80°14'47" WEST ALONG THE NORTHERLY LINE OF SAID CROSSROADS AT THE LAKES PLAT 2, A DISTANCE OF 144.34 FEET; THENCE SOUTH 66°04'20" WEST CONTINUING ALONG SAID NORTHERLY LINE, 105.54 FEET; THENCE NORTH 30°18'59" WEST CONTINUING ALONG SAID NORTHERLY LINE, 219.13 FEET; THENCE SOUTHWESTERLY CONTINUING ALONG SAID NORTHERLY LINE AND A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 303.00 FEET, WHOSE ARC LENGTH IS 9.37 FEET AND WHOSE CHORD BEARS SOUTH 60°34'10" WEST, 9.37 FEET; THENCE NORTH 28°32'41" WEST CONTINUING ALONG SAID NORTHERLY LINE, 120.00 FEET; THENCE NORTH 09°27'12" WEST CONTINUING ALONG SAID NORTHERLY LINE, 30.00 FEET; THENCE SOUTH 80°32'48" WEST CONTINUING ALONG SAID NORTHERLY LINE, 62.56 FEET; THENCE SOUTH 88°22'57" WEST CONTINUING ALONG SAID NORTHERLY LINE, 59.81 FEET; THENCE NORTH 86°01'08" WEST CONTINUING ALONG SAID NORTHERLY LINE, 53.08 FEET; THENCE NORTH 69°42'43" WEST CONTINUING ALONG SAID NORTHERLY LINE, 5.64 FEET; THENCE NORTH 15°11'54" EAST CONTINUING ALONG SAID NORTHERLY LINE, 136.09 FEET; THENCE NORTH 76°31'56" WEST CONTINUING ALONG SAID NORTHERLY LINE, 100.48 FEET; THENCE NORTH 31°48'39" WEST CONTINUING ALONG SAID NORTHERLY LINE, 157.50 FEET; THENCE NORTH 13°28'31" EAST CONTINUING ALONG SAID NORTHERLY LINE, 45.37 FEET TO THE SOUTHEAST CORNER OF CROSSROADS AT THE LAKES PLAT 1, AN OFFICIAL PLAT IN SAID CITY OF POLK CITY; THENCE NORTH 13°28'31" EAST ALONG THE EASTERLY LINE OF SAID CROSSROADS AT THE LAKES PLAT 1, A DISTANCE OF 119.82 FEET; THENCE NORTH 39°03'55" EAST CONTINUING ALONG SAID EASTERLY LINE, 137.67 FEET; THENCE NORTH 50°56'05" WEST CONTINUING ALONG SAID EASTERLY LINE, 75.00 FEET; THENCE NORTH 32°09'53" WEST CONTINUING ALONG SAID EASTERLY LINE, 160.33 FEET; THENCE NORTH 14°41'14" EAST CONTINUING ALONG SAID EASTERLY LINE, 174.95 FEET; THENCE NORTH 39°05'25" EAST CONTINUING ALONG SAID EASTERLY LINE, 211.98 FEET TO THE SOUTHWESTERLY LINE OF SAID 'DES MOINES CO'S ADDITION TO POLK CITY IOWA'; THENCE SOUTH 50°54'35" EAST ALONG SAID SOUTHWESTERLY LINE, 298.93 FEET TO THE CENTERLINE OF VACATED WALKER STREET; THENCE NORTH 39°03'55" EAST ALONG SAID CENTERLINE, 239.25 FEET TO THE CENTERLINE OF EAST GRIMES STREET; THENCE SOUTH 50°57'12" EAST ALONG SAID CENTERLINE, 330.00 FEET TO THE WESTERLY LINE OF DEER HAVEN PLAT 1, AN OFFICIAL PLAT IN SAID CITY OF POLK CITY; THENCE SOUTH 39°04'41" WEST ALONG SAID WESTERLY LINE, 85.71 FEET; THENCE SOUTH 00°02'48" EAST CONTINUING ALONG SAID WESTERLY LINE, 833.45 FEET; THENCE SOUTH 00°14'08" WEST CONTINUING ALONG SAID WESTERLY LINE, 208.25 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.86 ACRES (778,199 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

BENCHMARKS

BM#1 BURY BOLT NW CORNER WEST BROADWAY AND KINGS PLACE
ELEVATION=972.52

BM#2 SANITARY SEWER MAN NE CORNER BROADWAY AND TOURNAMENT CLUB WAY
ELEVATION=968.71

DATUM: NAVD88

ZONING

R-2: ONE AND TWO FAMILY RESIDENTIAL DISTRICT (LOTS 1-43)

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
FINISH GRADE AT HYDRANT	GAS MAIN
MINIMUM OPENING ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

OWNER / DEVELOPER

KIMBERLEY DEVELOPMENT CORPORATION
CONTACT: JENNA KIMBERLEY
2785 N. ANKENY BLVD.
ANKENY, IA 50023
PH: (515) 963-8335

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
CONTACT: ERIN OLLENDIKE
EMAIL: ERINO@CDA-ENG.COM
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: CHARLIE MCGLOTHLEN
CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

DATE OF SURVEY

FEBRUARY 3, 2017

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SUMMER 2022
ANTICIPATED FINISH DATE = SPRING 2023

SUBMITTAL DATES

FIRST SUBMITTAL 07/08/2022
SECOND SUBMITTAL 08/22/2022
THIRD SUBMITTAL 09/19/2022



THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF POLK CITY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2022 EDITION OF SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE WS CAPS STATUTE.

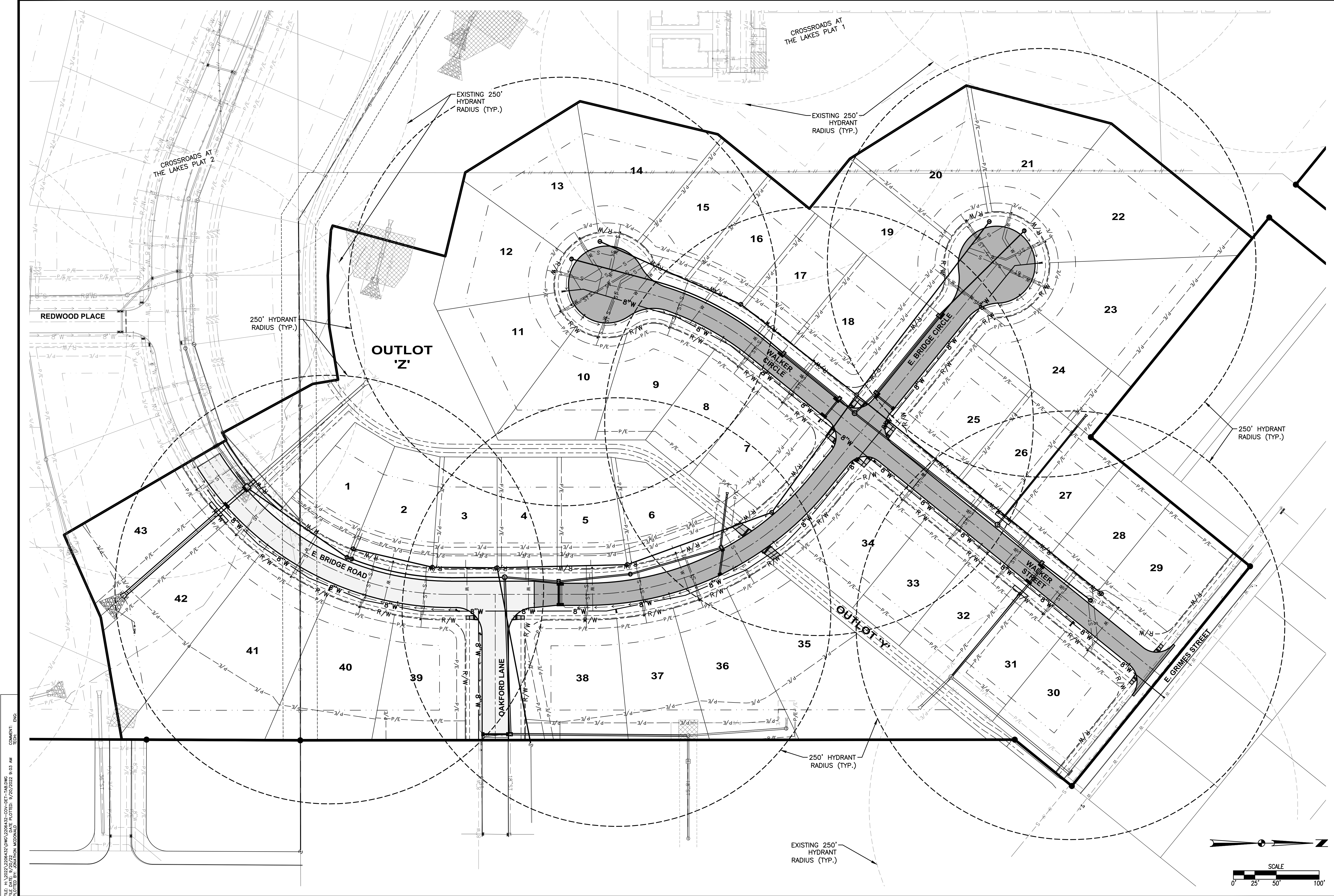
PRELIMINARY

NOT FOR CONSTRUCTION

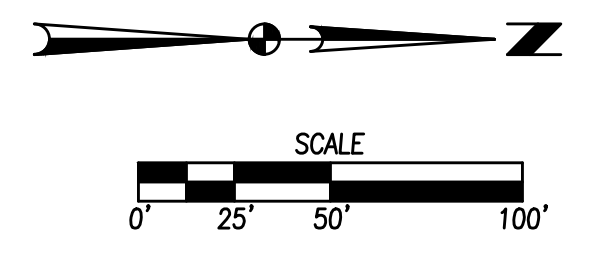
DATE: _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1-26

CROSSROADS AT THE LAKES PLAT 3

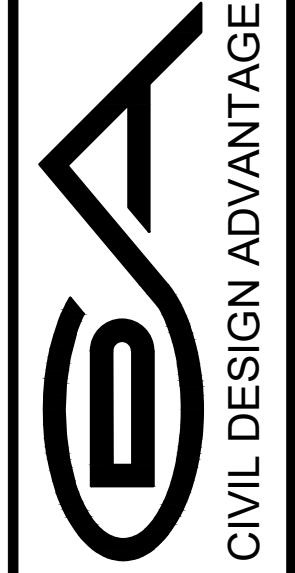


FILE: H:\2022\2206432\DWG\2206432-COV-DET-1A8.DWG
 COMMENT: ENDS
 PLOTTED BY: AARON MCDONALD
 PLOTTED DATE: 9/26/2022 9:03 AM

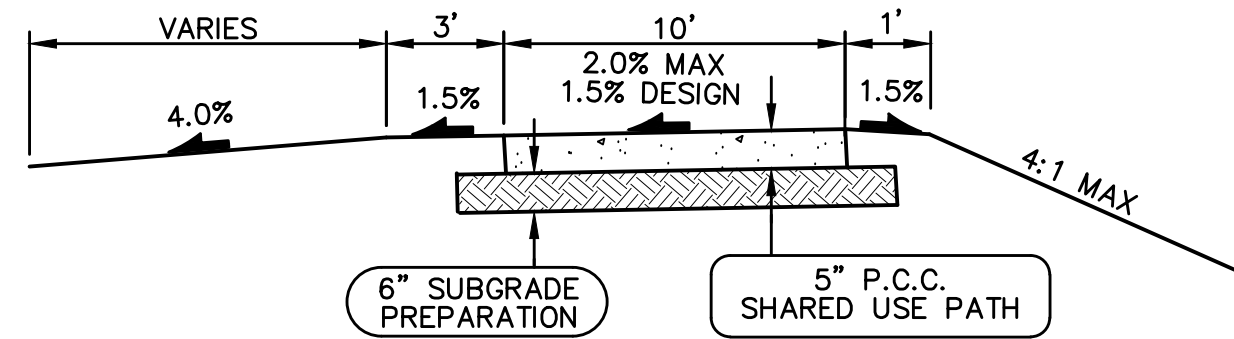


REVISIONS	DATE
THIRD SUBMITTAL	09/19/2022
SECOND SUBMITTAL	08/22/2022
FIRST SUBMITTAL	07/06/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST

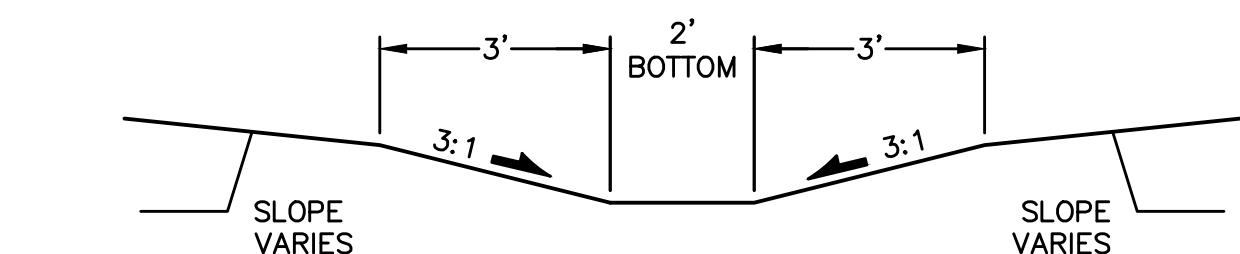


CROSSROADS AT THE LAKES PLAT 3
HYDRANT COVERAGE PLAN
 POLK CITY, IOWA



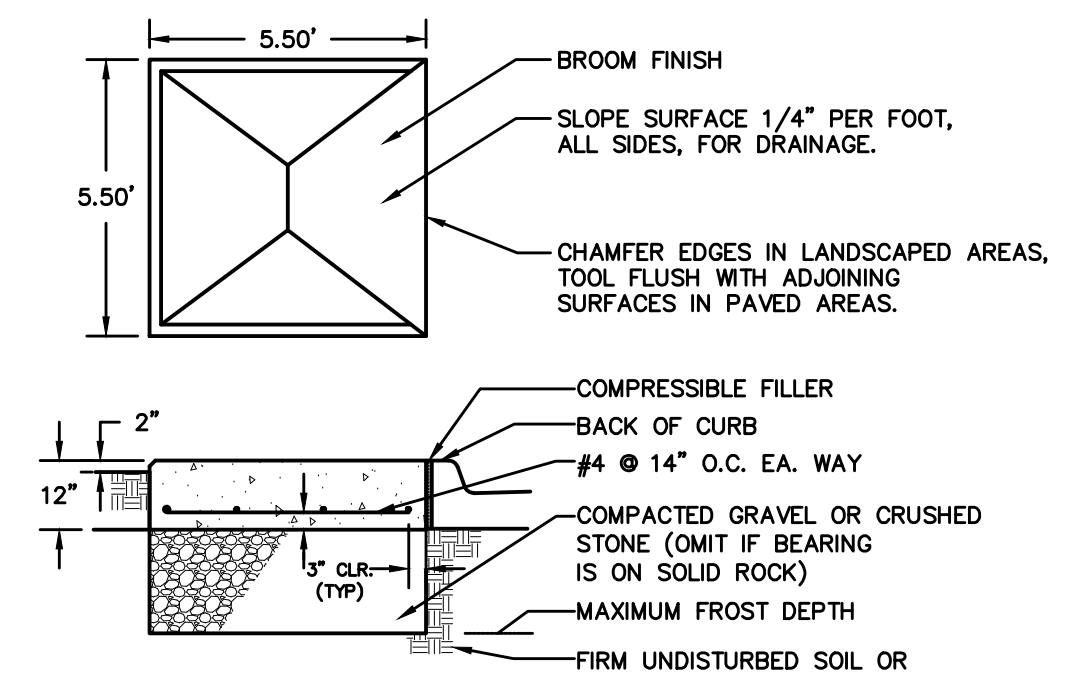
10' PCC SHARED USE PATH

NOT TO SCALE



TYPICAL SECTION - SIDE YARD SWALE

NOT TO SCALE

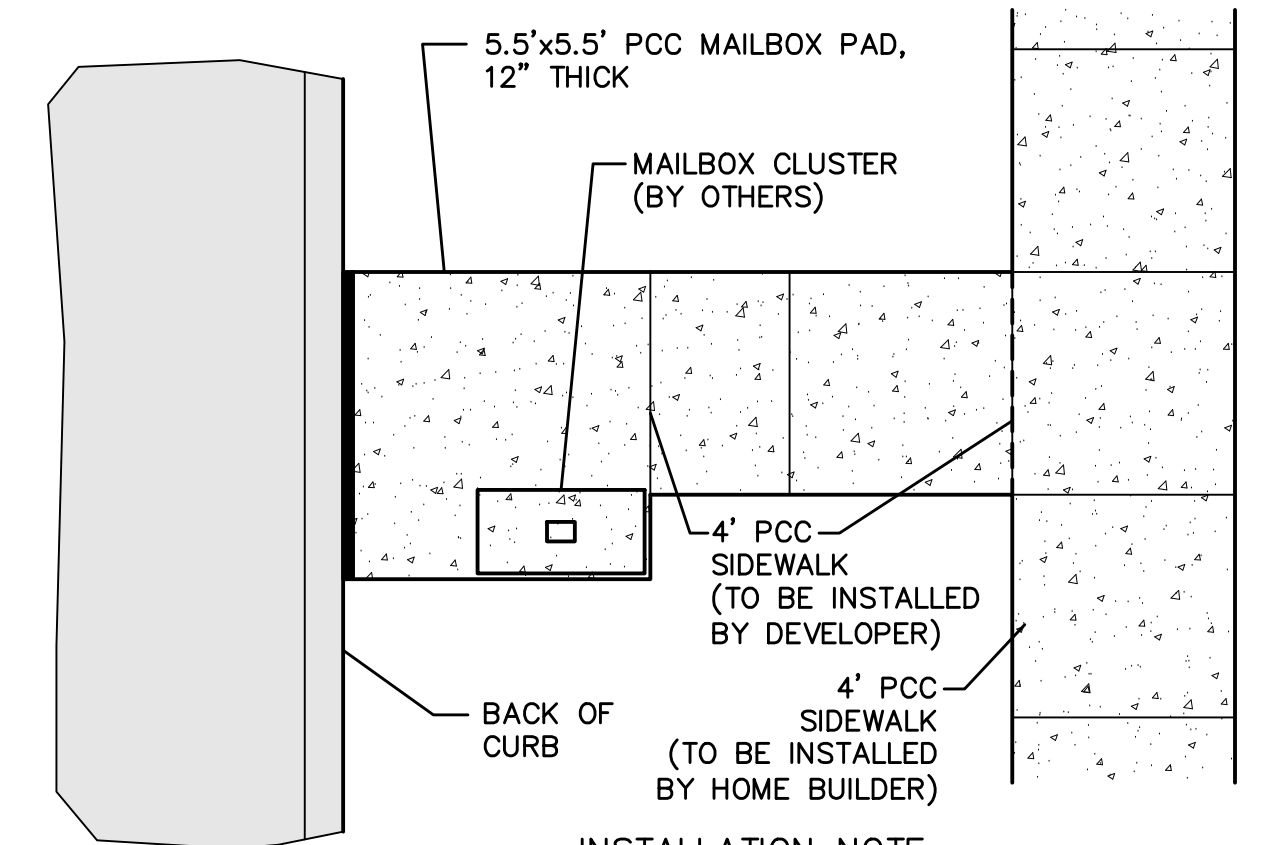


GENERAL NOTES

1. CONCRETE: 3000 PSI @ 28 DAYS, 6% AIR ENTRAINMENT 3" SLUMP, PLACE IN ACCORDANCE WITH ACI-301.
2. REINFORCING STEEL: ASTM A615, GRADE 60.
3. THIS BASE DETAIL CAN BE USED FOR NEIGHBORHOOD DELIVERY AND COLLECTION BOX UNITS (NDCBU) CLUSTER BOXES AND PARCEL LOCKERS WITH 4"x10" BOLT PATTERN.
4. REQUIRED EXPANSION BOLT CAPACITY, BASED ON CALCULATED DESIGN LOAD= 3100 LBS TENSION, 2000 LBS SHEAR.
5. MAILBOX PADS TO BE INSTALLED AT TIME OF SIDEWALK INSTALLATION.

CLUSTER MAILBOX PAD DETAIL

NOT TO SCALE

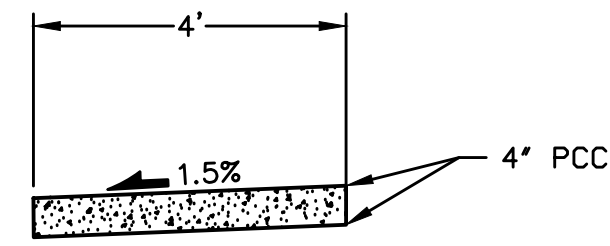


INSTALLATION NOTE:

1. MAILBOX PADS TO BE INSTALLED AT TIME OF SIDEWALK INSTALLATION.
2. MAILBOXES SHALL FACE SOUTH OR EAST AS SHOWN ON PLAN AND PROFILE SHEETS.

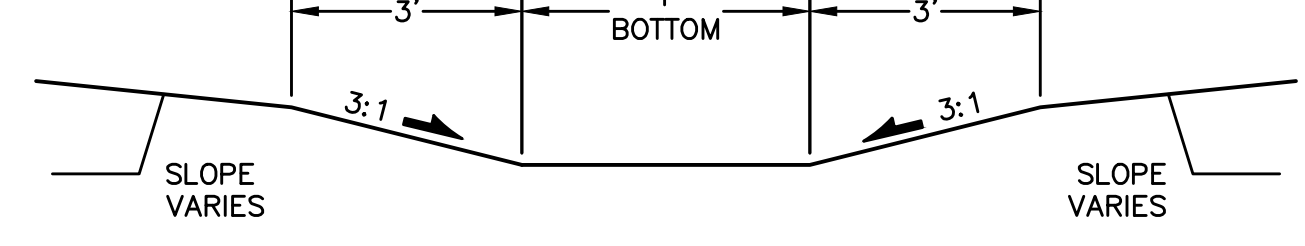
MAILBOX PAD DETAIL

NOT TO SCALE



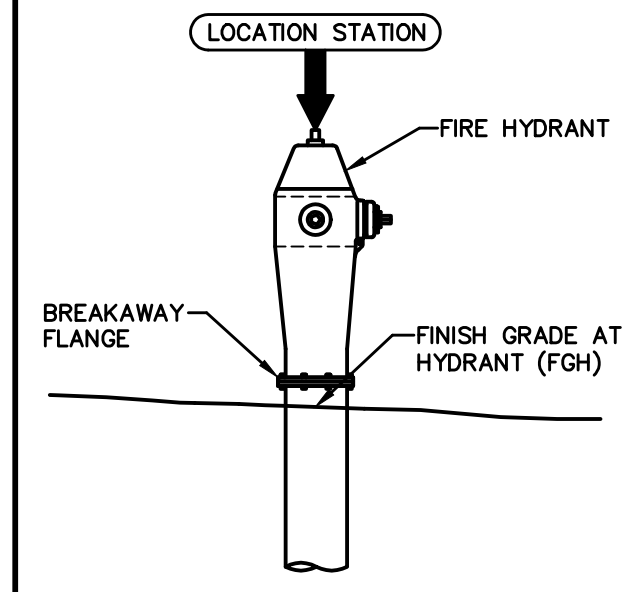
TYPICAL SECTION - FUTURE SIDEWALK

NOT TO SCALE



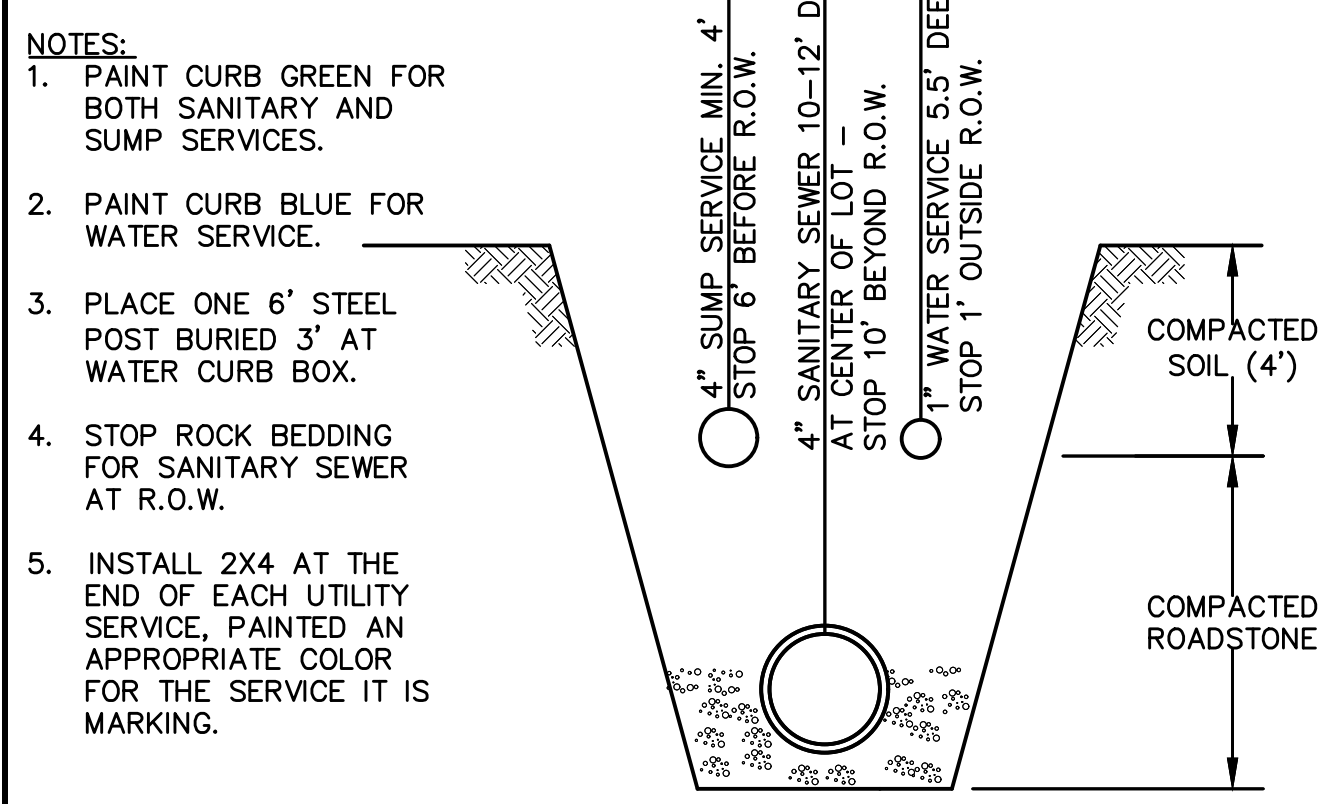
TYPICAL SECTION - DRAINAGE SWALE

NOT TO SCALE



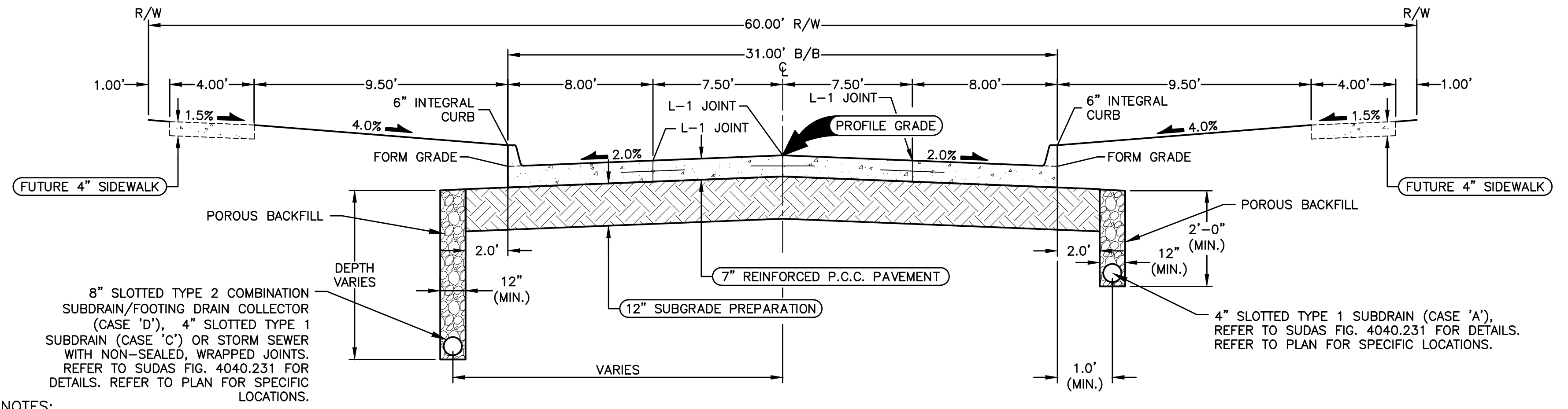
HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE DETAIL

NOT TO SCALE



INTERIM SERVICE LOCATION DETAIL

NOT TO SCALE

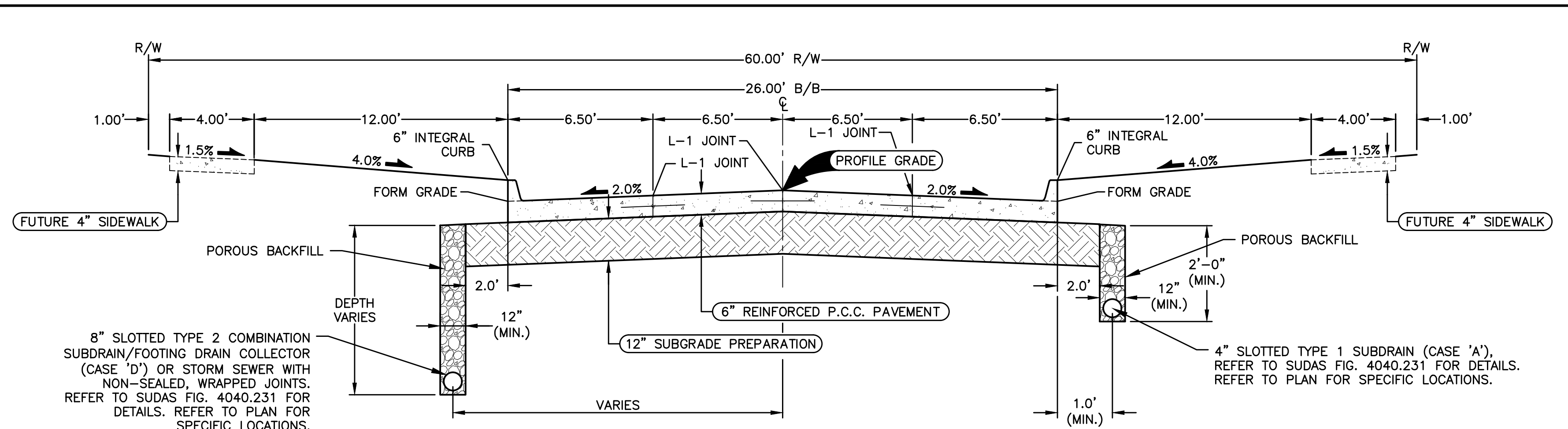


TYPICAL SECTION - 31' B/B P.C.C. ROADWAY WITH 60' R.O.W.

NOT TO SCALE

E. BRIDGE ROAD (STA. 20+61.09 - STA. 24+95.62)
OAKFORD LANE

- NOTES:
1. PREPARE SUBGRADE IN 2 - 6" LIFTS.
 2. TYPICAL C JOINT SPACING IS 12'.
 3. CONTRACTOR SHALL TRANSITION EXISTING GUTTERLINE JOINTING TO PROPOSED QUARTER POINT JOINTING WITHIN ONE PANEL.

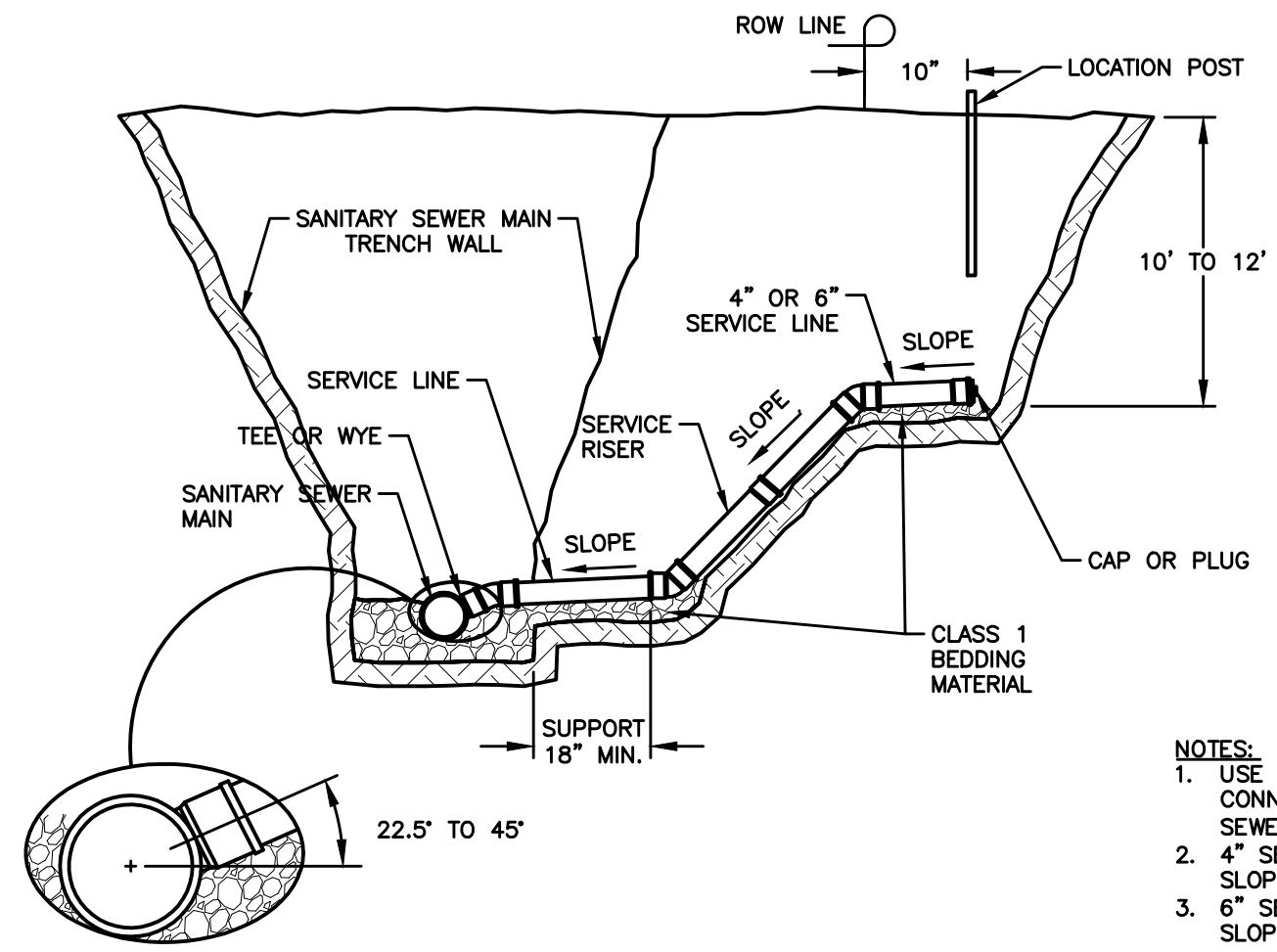


TYPICAL SECTION - 26' B/B P.C.C. ROADWAY WITH 60' R.O.W.

NOT TO SCALE

E. BRIDGE ROAD (STA. 25+20.62 - STA. 29+05.95),
WALKER PLACE, WALKER CIRCLE, E. BRIDGE CIRCLE

- NOTES:
1. PREPARE SUBGRADE IN 2 - 6" LIFTS.
 2. TYPICAL C JOINT SPACING IS 12'.
 3. CONTRACTOR SHALL TRANSITION EXISTING GUTTERLINE JOINTING TO PROPOSED QUARTER POINT JOINTING WITHIN ONE PANEL.



SANITARY SEWER SERVICE STUB WITH RISER

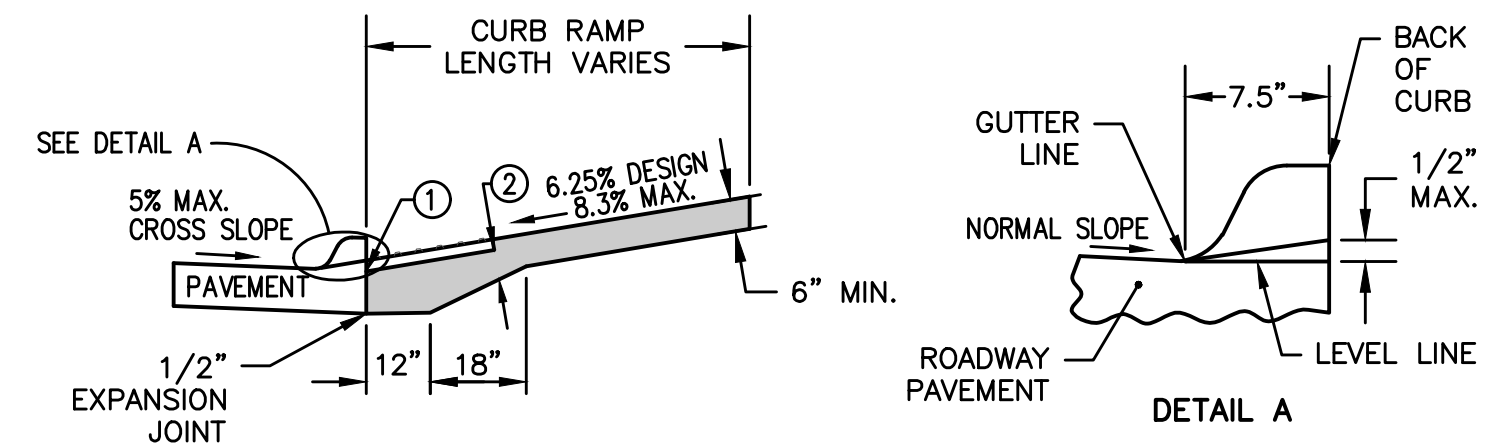
NOT TO SCALE

- NOTES:
1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH EXCEEDS 12.0'
 2. 4" SERVICES SHALL HAVE A SLOPE OF 2%-5%
 3. 6" SERVICES SHALL HAVE A SLOPE OF 1%-5%

FILE: H:\2022\2206-432\DWG\2206-432-COV-DET-1A-BDWG
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON
 PLOTTED BY: J. WILSON
 DATE: 9/27/2022 9:03 AM
 PROJECT: 2206-432 CROSSROADS AT THE LAKES PLAT 3

DATE	09/19/2022
REVISIONS	08/22/2022
THIRD SUBMITTAL	08/22/2022
SECOND SUBMITTAL	08/22/2022
FIRST SUBMITTAL	07/09/2022

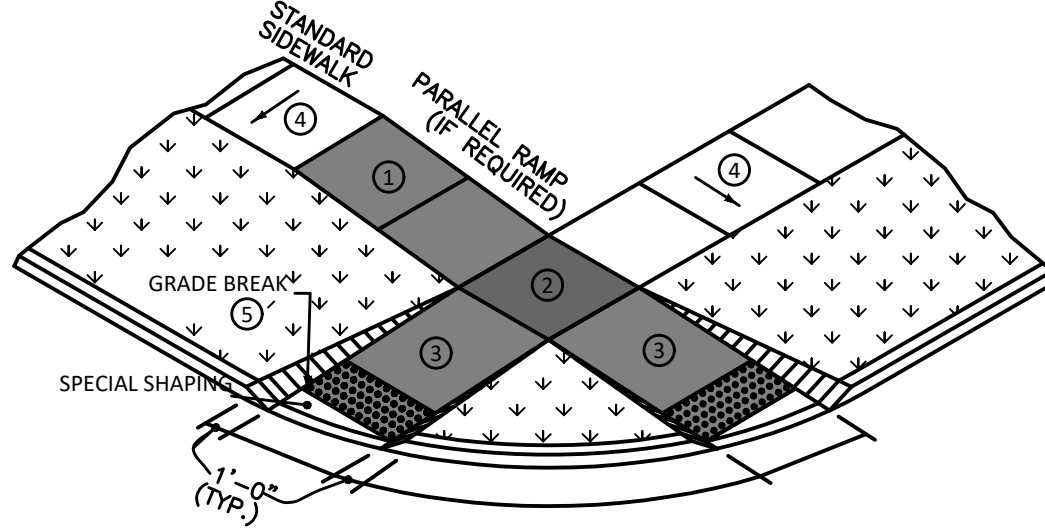
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: EKO
TECH: MST



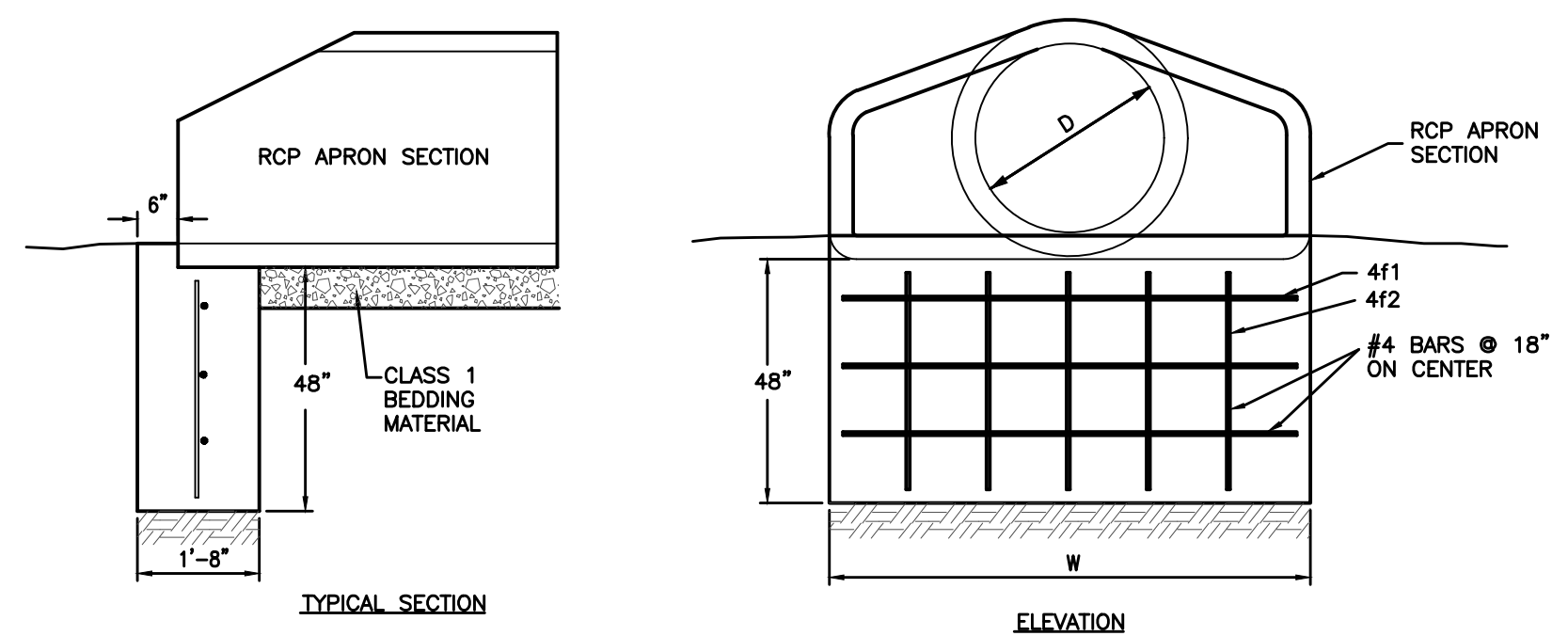
- INSTALL A 24 INCH WIDE (MIN.) STRIP OF DETECTABLE WARNINGS AT THE BACK OF CURB. EXTEND THE DETECTABLE WARNINGS ACROSS THE FULL WIDTH OF THE RAMP.
- PROVIDE A MINIMUM OF 6 INCHES OF CONCRETE BELOW THE DETECTABLE WARNING PANEL.

DETECTABLE WARNING STRIP DETAIL
NOT TO SCALE

- PARALLEL CURB RAMP: IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMP SHORTER THAN 15 FEET.
- TURNING SPACE: TARGET SLOPE OF 1.5% WITH MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0%. MINIMUM 4 FEET BY 4 FEET.
- PERPENDICULAR CURB RAMP: TARGET RUNNING SLOPE OF 6.25% WITH MAXIMUM RUNNING SLOPE OF 8.3%.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%.
- MATCH PEDESTRIAN STREET CROSSING CROSS SLOPE OR FLATTER.



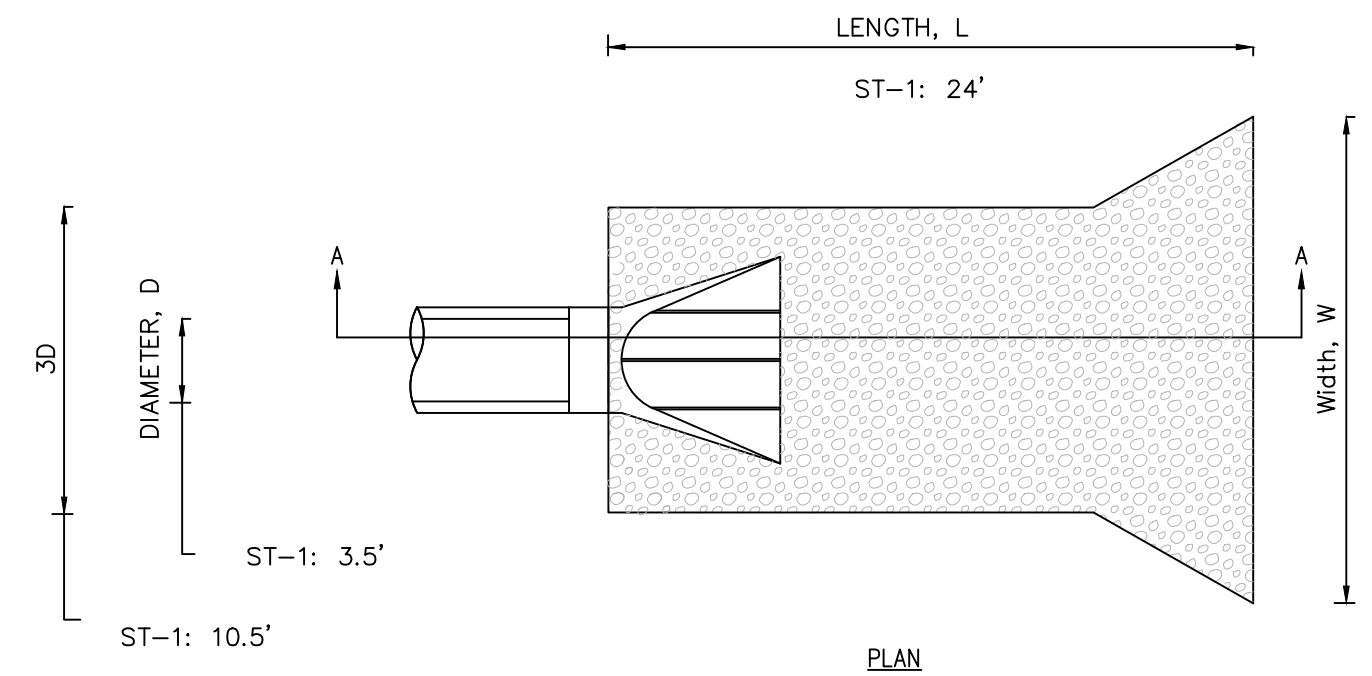
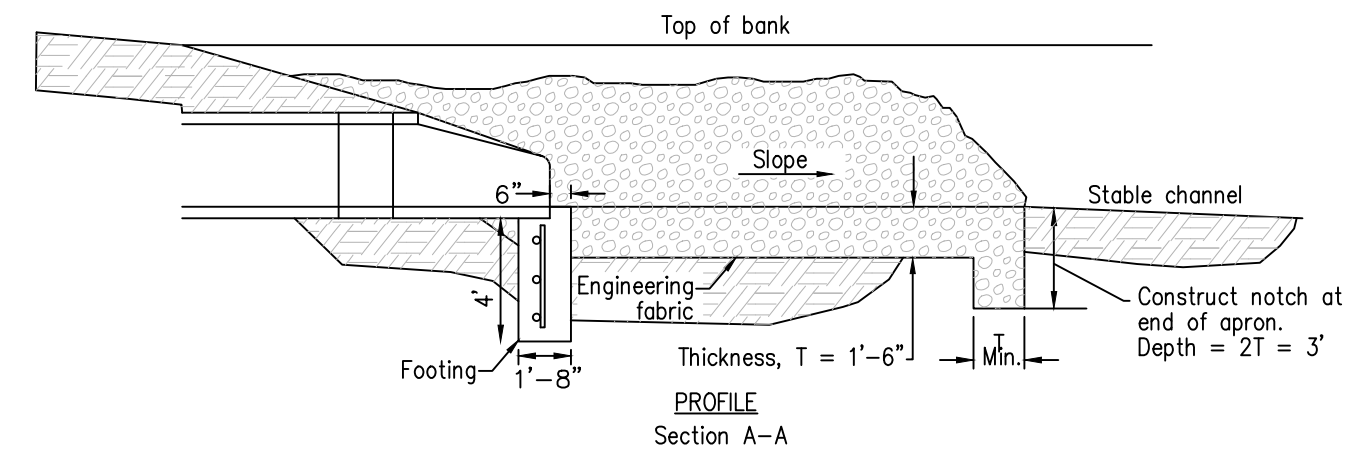
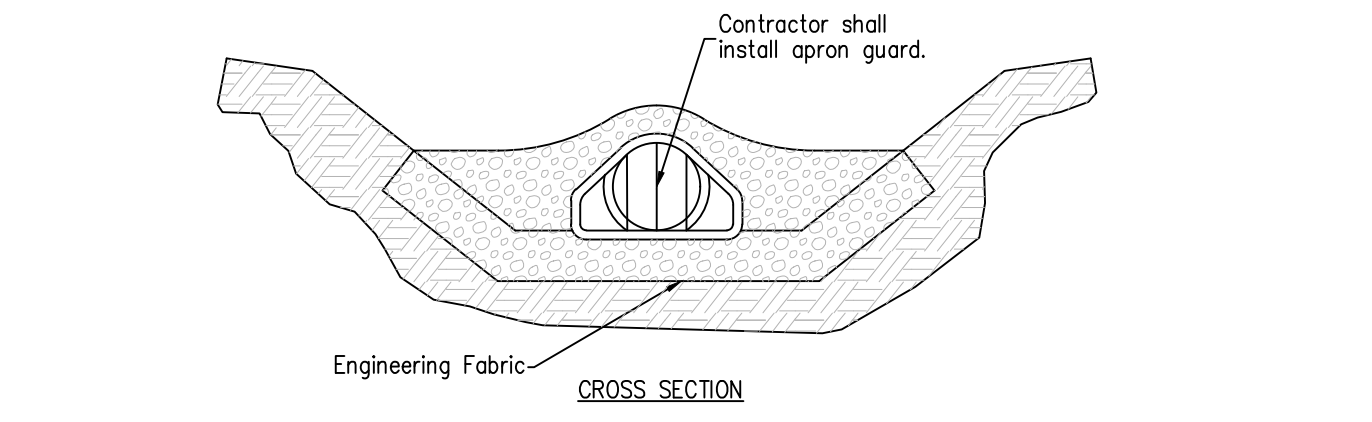
CURB RAMP FOR CLASS B OR C SIDEWALK



REINFORCING BAR LIST

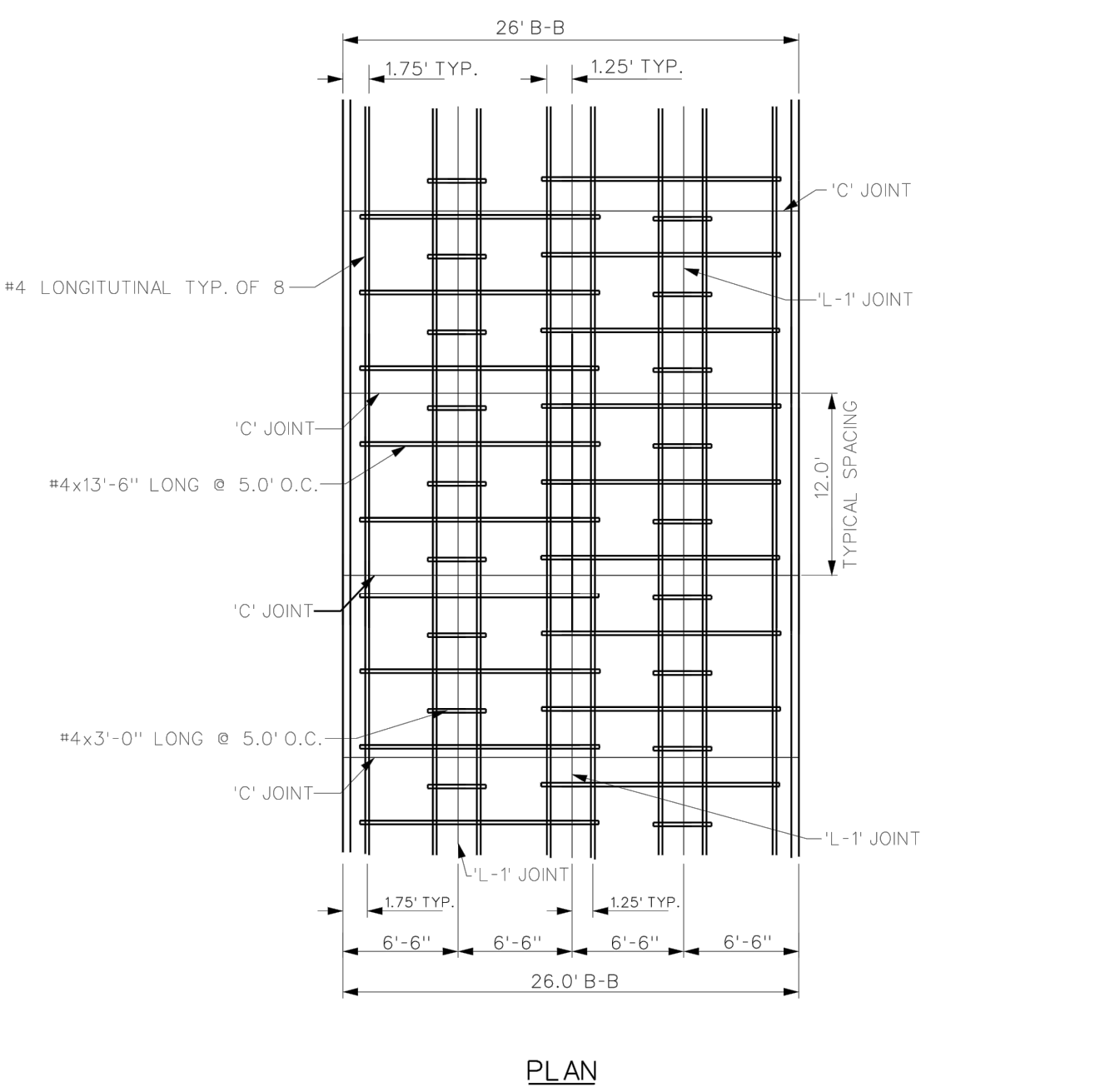
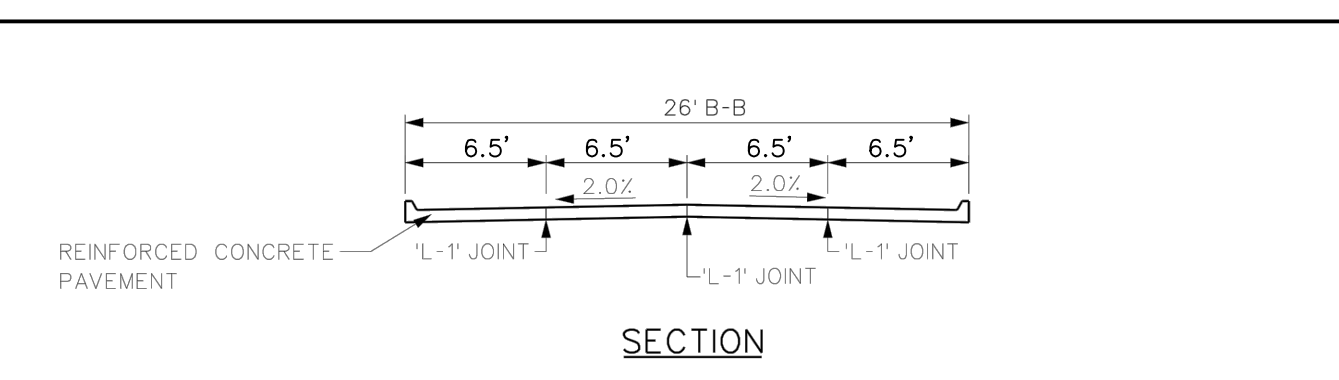
D	W	Mark	Size	Length	Count	D	W	Mark	Size	Length	Count
12"	2'-4"	4f1	4	2'-0"	3	48"	7'-10"	4f1	4	7'-6"	3
		4f2	4	3'-8"	2			4f2	4	3'-8"	6
15"	2'-10"	4f1	4	2'-6"	2	54"	8'-5"	4f1	4	8'-1"	3
		4f2	4	3'-8"	2			4f2	4	3'-8"	6
18"	3'-5"	4f1	4	3'-1"	3	60"	8'-11"	4f1	4	8'-7"	3
		4f2	4	3'-8"	3			4f2	4	3'-8"	6
24"	4'-6"	4f1	4	4'-2"	3	66"	8'-11"	4f1	4	8'-7"	3
		4f2	4	3'-8"	3			4f2	4	3'-8"	6
30"	5'-7"	4f1	4	5'-3"	3	72"	10'-0"	4f1	4	9'-8"	3
		4f2	4	3'-8"	4			4f2	4	3'-8"	7
36"	6'-8"	4f1	4	6'-4"	3	78"	10'-7"	4f1	4	10'-3"	3
		4f2	4	3'-8"	5			4f2	4	3'-8"	7
42"	7'-3"	4f1	4	6'-11"	3	84"	11'-1"	4f1	4	10'-9"	3
		4f2	4	3'-8"	5			4f2	4	3'-8"	8

RCP APRON FOOTING DETAIL
NOT TO SCALE

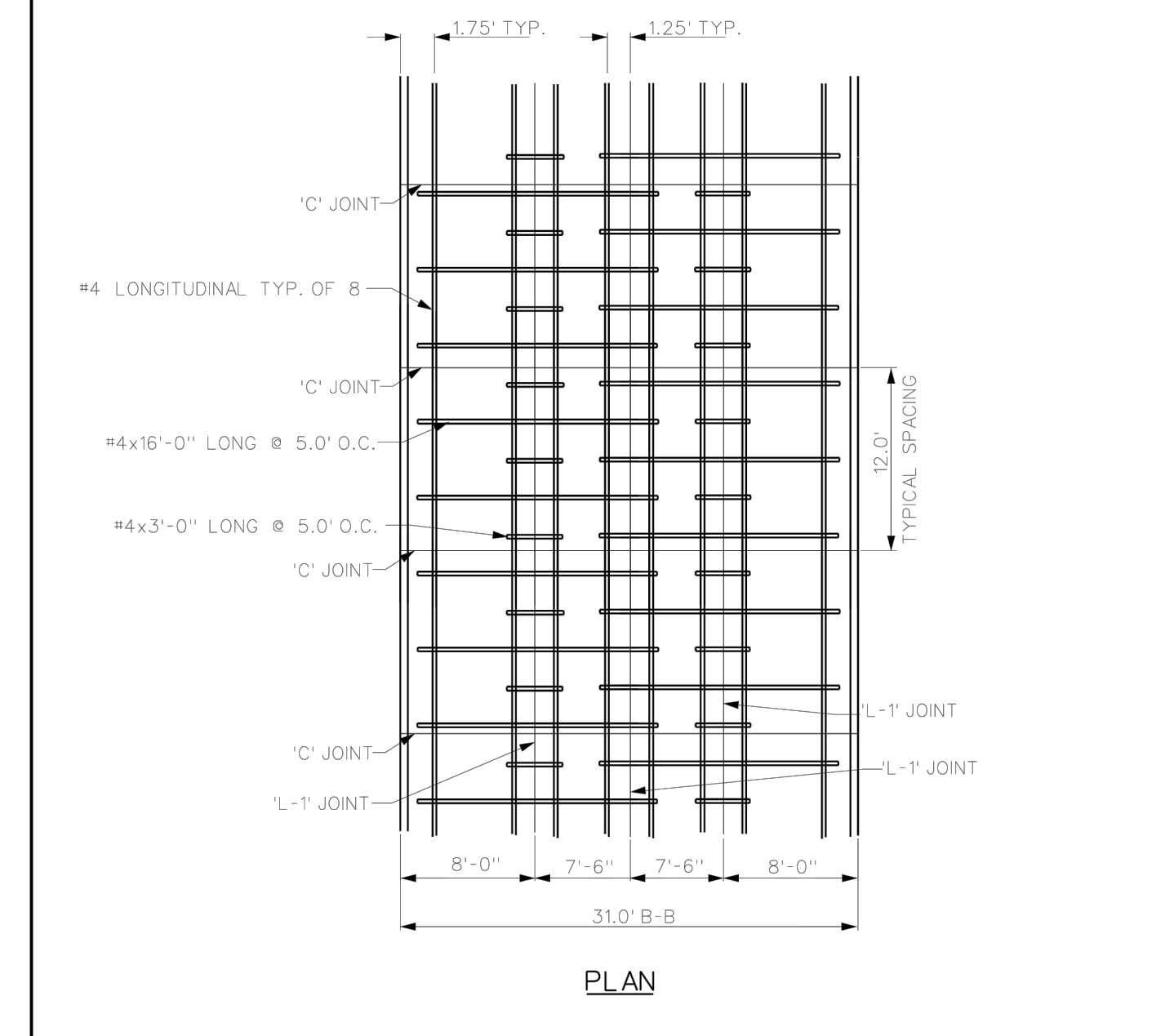
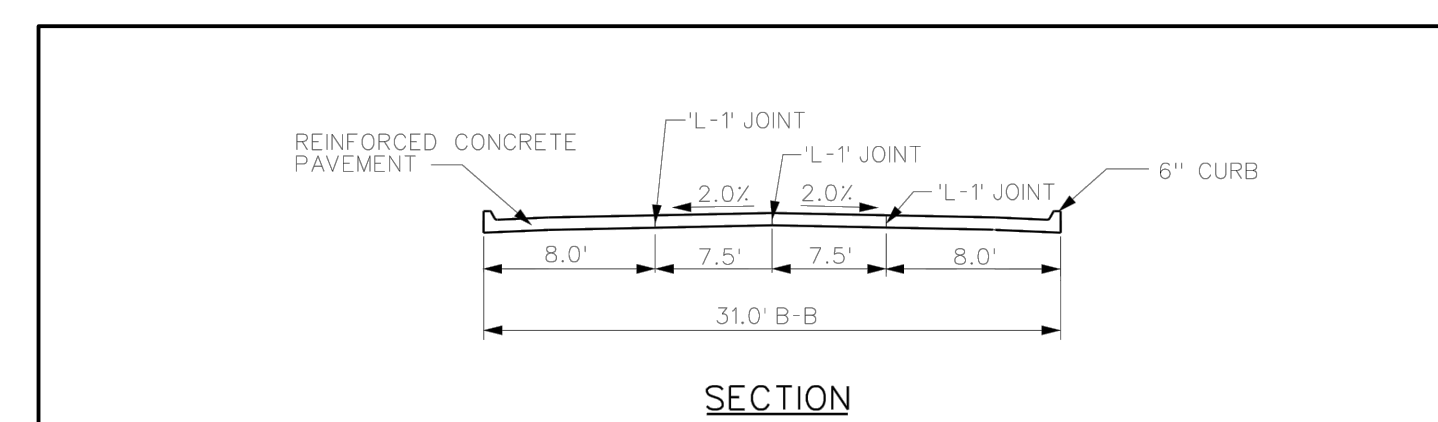


- NOTE:
- THE LAST THREE SECTIONS AND THE APRON SHALL BE CONNECTED WITH PIPE CONNECTIONS PER SECTION 4030.302C OF SUDAS.
 - INSTALL A 3" CLAY WATERSTOP AT ALL STORM SEWER OUTLETS.

ROCK APRON FOR PIPE OUTLET
NOT TO SCALE



26 B-B CONTINUOUSLY REINFORCED JOINTED PCC PAVEMENT
NOT TO SCALE



31 B-B CONTINUOUSLY REINFORCED JOINTED PCC PAVEMENT
NOT TO SCALE

FILE: H:\2022\2206-432\WORK\2206-432-COV-DET-1A-B.DWG
 COMMENT: REVISED BY: GOWATION, MCDONALD
 PLOTTED BY: GOWATION, MCDONALD
 DATE: 9/26/2022 9:03 AM
 DESIGNED BY: ENS

REVISIONS	DATE
THIRD SUBMITTAL	09/19/2022
SECOND SUBMITTAL	08/22/2022
FIRST SUBMITTAL	07/06/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST

ESA CIVIL DESIGN ADVANTAGE
 POLK CITY, IOWA

CROSSROADS AT THE LAKES PLAT 3
TYPICAL SECTIONS AND DETAILS

4 / **26**
 2206.432

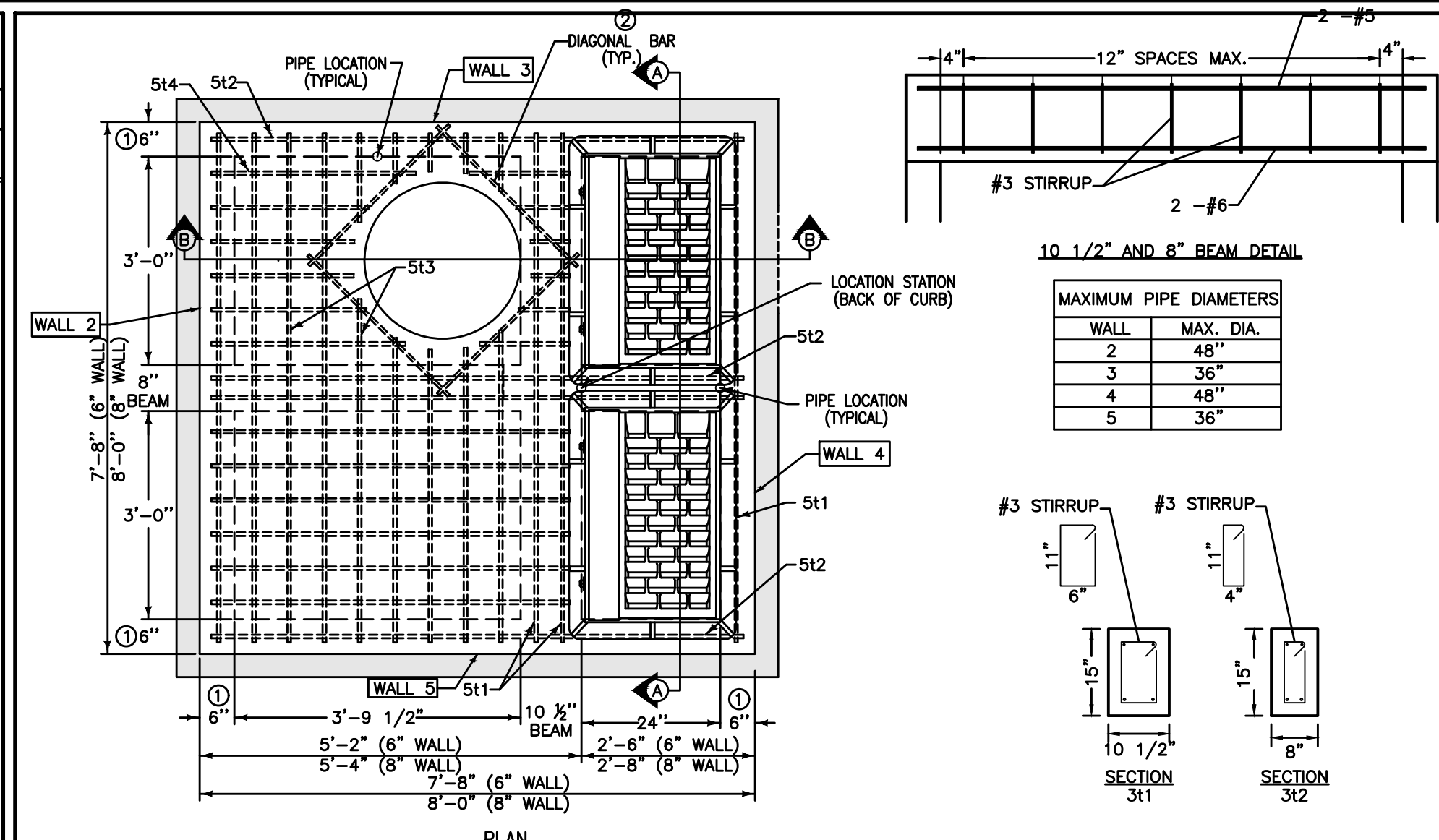
ESTIMATED PROJECT QUANTITIES

ITEM NO.	ITEM DESCRIPTION	UNIT	QUANTITY
1	STRIPPING, SALVAGING AND SPREAD TOPSOIL	LS	1
2	CLASS 10 EXCAVATION	LS	1
3	SUBGRADE PREPARATION	SY	8,599
4	CONNECT TO EXISTING SANITARY SEWER	EA	1
5	SANITARY SEWER GRAVITY MAIN, 8" DIA	LF	1,818
6	SANITARY SERVICE STUB, 4" DIA.	EA	39
7	CONNECT TO EXISTING STORM SEWER	EA	3
8	SUBDRAIN, SLOTTED PVC, 4" DIA	LF	2,035
9	STORM SEWER, SLOTTED COMBINATION SUBDRAIN, PVC, 8" DIA	LF	794
10	STORM SEWER, TRENCHED, RCP, 15" DIA	LF	1,057
11	STORM SEWER, TRENCHED, RCP, 18" DIA	LF	611
12	STORM SEWER, TRENCHED, RCP, 36" DIA	LF	37
13	STORM SEWER, TRENCHED, RCP, 42" DIA	LF	153
14	STORM SEWER SERVICE STUB, 4" DIA.	EA	43
15	STORM SEWER, 15" RCP APRON	EA	2
16	STORM SEWER, 42" RCP APRON	EA	1
17	FOOTING FOR CONCRETE PIPE APRON, RCP, 15" DIA	EA	2
18	FOOTING FOR CONCRETE PIPE APRON, RCP, 42" DIA	EA	1
19	PIPE APRON GUARD	EA	3
20	CONNECT TO EXISTING WATERMAIN	EA	3
21	WATER MAIN, TRENCHLESS, 8" DIA	LF	32
22	WATER MAIN, TRENCHED, 8" DIA	LF	2,160
23	WATER SERVICE STUB, 1" DIA	EA	43
24	VALVE, 8" DIA	EA	9
25	FIRE HYDRANT ASSEMBLY	EA	7
26	TEMPORARY FIRE HYDRANT ASSEMBLY (REMOVE)	EA	1
27	MANHOLE, TYPE SW-301, 48" DIA	EA	10
28	MANHOLE, TYPE SW-401, 48" DIA	EA	6
29	MANHOLE, TYPE SW-401, 60" DIA	EA	3
30	INTAKE, TYPE SW-501	EA	3
31	INTAKE, TYPE SW-503	EA	2
32	INTAKE, TYPE SW-505	EA	4
33	INTAKE, TYPE SW-506	EA	6
34	INTAKE, TYPE SW-506 MODIFIED	EA	1
35	SUBDRAIN CLEANOUT	EA	6
36	PAVEMENT, 6" REINFORCED P.C.C.	SY	5,542
37	PAVEMENT, 7" REINFORCED P.C.C.	SY	2,069
38	SIDEWALK, 4" P.C.C.	SY	78
39	SIDEWALK RAMPS, 6" P.C.C.	SY	111
40	MAILBOX PAD, 12" P.C.C.	EA	X
41	DETECTABLE WARNING PANELS	SF	96
42	ROAD CLOSURE SIGNS (REMOVE)	EA	10
43	CLASS 'E' RIP-RAP	TON	10
44	CLASS 'E' RIP-RAP (RELOCATED)	TON	35
45	SANITARY SEWER AND STORM SEWER TELEVISION	LS	1
46	SANITARY SEWER DROP CONNECTION	EA	2
47	ORANGE CONSTRUCTION FENCE	LF	554

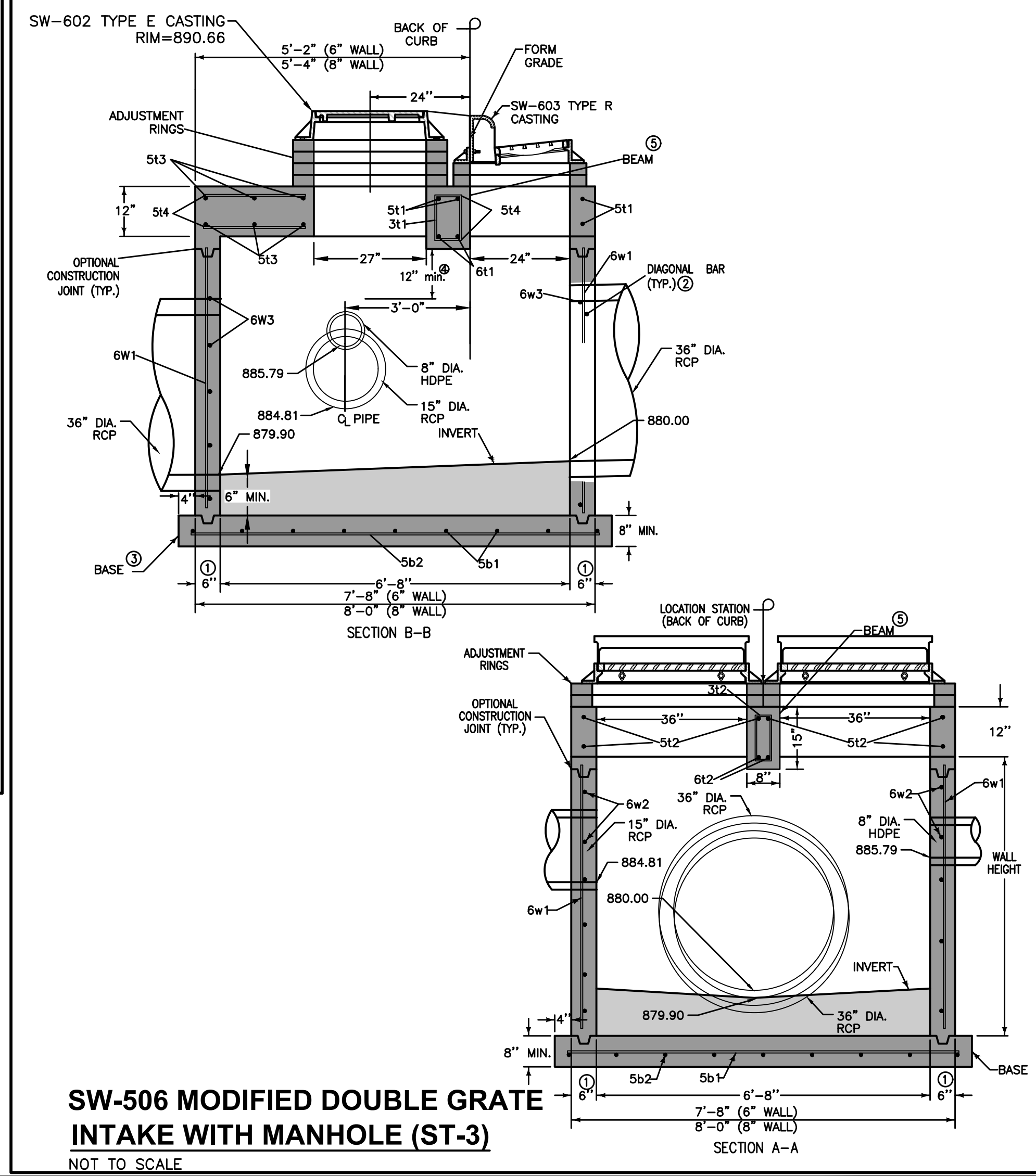
ESTIMATE REFERENCE INFORMATION

Data listed below is for informational purpose only and shall not constitute a basis for any extra work orders.

ITEM NO.	DESCRIPTION
1	STRIP, SALVAGE AND RESPREAD TOPSOIL. RESPREAD SALVAGED TOPSOIL WITHIN THE RIGHT OF WAY, ON BACKSLOPES AND IN DEVELOPED AREAS. TOPSOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS. COORDINATE LOCATION OF STOCKPILE WITH OWNER.
2	EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRADES AS SHOWN IN THE PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED.
3	REFER TO SHEET 3 TYPICAL SECTION DETAIL FOR TYPICAL LOCATIONS AND THICKNESS.
4	REFER TO SHEET 11 FOR LOCATION.
5	ALL SANITARY SEWER PIPE SHALL BE SOLID WALL PVC. TRUSS PIPE WILL NOT BE ALLOWED.
5-16	REFER TO FIG. 3010.101 AND 3010.103 FOR PIPE EMBEDMENT AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. CONNECTION TO EXISTING SEWER SHALL BE CONSIDERED INCIDENTAL.
6, 14, 23	REFER TO SHEET 3 FOR TYPICAL SANITARY SEWER SERVICE STUB DETAIL AND SERVICE LOCATION DETAIL. REFER TO PLAN AND PROFILE SHEETS FOR LOCATION AND DEPTH.
7	REFER TO SHEETS 11, 14, AND 15 FOR LOCATIONS.
8	REFER TO FIG. 4040.231 - SUBDRAINS. TYPE 1 (CASE 'A') INSTALLATION
15-16	THE LAST THREE SECTIONS AND APRON SHALL BE CONNECTED WITH PIPE CONNECTORS, PER SECTION 4030, 3.02C. REFER TO FIG. 4030.221 FOR RCP APRON SECTION FOOTING DETAIL FOR APRON INSTALLATION DETAILS.
19	APRON GUARD REQUIRED ON ALL APRONS. REFER TO FIG. 4030.225 FOR DETAILS.
20	REFER TO SHEETS 17 AND 18 FOR LOCATIONS. TAPPING SLEEVE AND VALVE ASSEMBLY IS INCIDENTAL TO THIS ITEM.
21	REFER TO SHEET 17 FOR LOCATION.
22-25	REFER TO FIG. 3010.101 AND 3010.104 FOR PIPE EMBEDMENT DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. REFER TO FIG. 5010.101 FOR THRUST BLOCK DETAILS. PROVIDE POLYETHYLENE ENCASEMENT PER SECTION 5010 3.05. REFER TO FIG. 5010.102 FOR TRACER WIRE DETAILS. ALL FITTINGS, THRUST BLOCKS, POLYETHYLENE ENCASEMENT AND TRACER SYSTEM SHALL BE CONSIDERED INCIDENTAL.
25	REFER TO FIG. 5020.201 - FIRE HYDRANT DETAIL FOR FIRE HYDRANT CONSTRUCTION DETAILS. INCLUDES ANCHORING TEE, ANCHORING ELBOW, GATE VALVE, VALVE BOX, ANCHORING PIPE, ANCHORING COUPLING, ELBOWS AND FIRE HYDRANT.
27	REFER TO FIG. 6010.301 FOR SW-301 SANITARY SEWER MANHOLE CONSTRUCTION DETAILS. REFER TO FIG. 6010.303 FOR SW-303 SANITARY SEWER MANHOLE CONSTRUCTION DETAILS. REFER TO FIG. 6010.601 - CASTINGS FOR SANITARY SEWER MANHOLES FOR CASTING DETAILS. TYPE A CASTINGS WITH TYPE 1/1 TOP HAT BARRIERS ARE REQUIRED FOR ALL MANHOLES. A MAXIMUM OF 12" OF ADJUSTMENT RINGS ARE ALLOWED FOR NEW CONSTRUCTION.
28-29	REFER TO FIG. 6010.401 - SW-401 CIRCULAR STORM SEWER MANHOLE FOR CONSTRUCTION DETAILS.
30	REFER TO FIG. 6010.501 - SW-501 SINGLE GRATE INTAKE FOR CONSTRUCTION DETAILS.
31	REFER TO FIG. 6010.503 - SW-503 SINGLE GRATE INTAKE WITH MANHOLE FOR CONSTRUCTION DETAILS.
32	REFER TO FIG. 6010.505 - SW-505 DOUBLE GRATE INTAKE FOR CONSTRUCTION DETAILS.
33	REFER TO FIG. 6010.506 - SW-506 DOUBLE GRATE INTAKE WITH MANHOLE FOR CONSTRUCTION DETAILS.
34	REFER TO THIS SHEET FOR CONSTRUCTION DETAILS. MODIFIED SW-506 INTAKE SHALL HAVE 8" WALLS.
35	REFER TO FIG. 4040.232 - SUBDRAIN CLEANOUTS FOR CONSTRUCTION DETAILS.
35	ALL SUBDRAIN CLEANOUTS SHALL BE INSTALLED WITHIN A 24" ROUND CONCRETE PAD.
36-37	REFER TO FIG. 7010.101 - JOINTS (TRANSVERSE CONTRACTION) AND FIG. 7010.4B - JOINTS (LONGITUDINAL CONTRACTION) FOR JOINT DETAILS. INSTALL HANDICAP CURBS AT LOCATIONS OF ALL FUTURE SIDEWALKS. REFER TO INTERSECTION SHEETS FOR JOINTING. TYPICAL C JOINT SPACING IS 12 FEET.
38	REFER TO SHEET 7 FOR LOCATION.
39	ALL ACCESSIBLE RAMPS SHALL BE INSTALLED WITH THE PUBLIC IMPROVEMENTS. DETECTABLE WARNING PANELS ARE TO BE GRAY IN COLOR.
40	REFER TO SHEET 3 FOR DETAILS. REFER TO SHEETS XX FOR LOCATIONS.
41	ALL TRUNCATED DOMES SHALL BE A GRAY COLOR. EXCEPT THE TRUNCATED DOMES FOR THE TRAIL CROSSING AT E. BRIDGE ROAD AT OUTLOT 'Y' WHICH SHALL BE A RED COLOR.
42	REFER TO SHEET 11 FOR LOCATIONS.
43-44	REFER TO FIG. 9040.10 - RIP RAP APRON FOR PIPE OUTLET ONTO FLAT GROUND FOR CONSTRUCTION DETAILS.
45	SANITARY SEWER AND STORM SEWER PIPES SHALL BE TELEVIEWED AFTER CONSTRUCTION AND PROVIDE THE VIDEO TO SNYDER AND ASSOCIATES FOR REVIEW.
46	REFER TO SHEETS 9 AND 13 FOR LOCATIONS.
47	REFER TO SHEET 8 FOR LOCATIONS.



MARK	SIZE	LOCATION	SHAPE	COUNT	LENGTH	SPACING
311	3	TOP	□	7	3'-2"*	12"
312	3	TOP	□	8	2'-10"*	10 1/4"
5b1	5	BASE	□	9	7'-10"*	12 1/2"
5b2	5	BASE	□	9	8'-2"*	11 1/2"
6w1	6	WALLS	—	30	WALL HEIGHT MINUS 4"	12"
6w2	6	WALLS	—	VARIES	VARIES	12"
6w3	6	WALLS	—	VARIES	VARIES	12"
511	5	TOP	□	4	7'-4"	SEE DETAIL
512	5	TOP	□	6	7'-8"	SEE DETAIL
513	5	TOP	□	18	7'-4"	SEE DETAIL
514	5	TOP	□	24	5'-2"	SEE DETAIL
611	6	TOP	□	2	7'-4"	SEE DETAIL
612	6	TOP	□	2	7'-8"	SEE DETAIL



TRAFFIC CONTROL NOTES

- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

FILE: H:\2022\2206432\DWG\2206432-COV-DET-148.DWG
 PLOTTED BY: AARON MCDONALD
 DATE: 9/26/2022 9:03 AM
 ENTS:

5
26
 2206.432

CROSSROADS AT THE LAKES PLAT 3
QUANTITIES AND REFERENCE NOTES
 POLK CITY, IOWA

ESA
 CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

DATE: 09/19/2022
 09/22/2022
 07/09/2022
 REVISIONS:
 THIRD SUBMITTAL
 SECOND SUBMITTAL
 FIRST SUBMITTAL

GENERAL NOTES - TABULATIONS

- 1. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT. 2. PRIOR TO CONSTRUCTION AND PRIOR TO CULVERT CONSTRUCTION AND BACKFILL, UTILITY CONSTRUCTION, SUBGRADE PREP, MAIN LINE PAVING, AND BOX-OUT PAVING, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING: A. CITY OF POLK CITY B. SNYDER & ASSOCIATES C. APPROPRIATE UTILITY COMPANIES D. OWNER E. CIVIL DESIGN ADVANTAGE 3. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING HIS EQUIPMENT ON THE PAVEMENT OR SIDEWALK. 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS. 5. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST. 6. THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY. 7. SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS. 8. TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER. 9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. 10. PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT. 11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN. 12. IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN. 13. ALL TRAFFIC CONTROL SHALL COMPLY WITH MUTCD. 14. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING. 15. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY. 16. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE. 17. ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS. 18. ANY WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS. 19. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. 20. CONTRACTOR SHALL COMPLY WITH ALL P.R.O.W.A.G. AND A.D.A. REQUIREMENTS FOR ACCESSIBLE SIDEWALK RAMPIS INCLUDING RAISED TRUNCATED DOME DETECTABLE WARNINGS. 21. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY. 22. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER. 23. ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION. 24. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT LOCATION FOR ALL UTILITIES, INCLUDING SERVICES.

SANITARY SEWER NOTES

- 1. ALL 8" SANITARY SEWER SHALL BE PVC PIPE WITH CLASS 'F-3" BEDDING UNLESS OTHERWISE NOTED ON THE DRAWINGS. 2. PROVIDE SANITARY SEWER SERVICE RISERS AS REQUIRED. 3. THE CONTRACTOR SHALL INSTALL SEWER TAPE AT THE END OF EACH SANITARY SEWER SERVICE. 4. ALL INVERTS LOCATED AT AN ELEVATION ABOVE THE CENTERLINE OF THE EXISTING THROUGH PIPE AND LESS THAN 2.0' ABOVE THE MANHOLE FLOOR SHALL HAVE A POURED-IN-PLACE SLOPED INVERT. 5. ALL MANHOLES WITHIN PAVEMENT SHALL HAVE TYPE 'B' ADJUSTABLE CASTINGS. ALL MANHOLES NOT WITHIN PAVEMENT SHALL HAVE TYPE 'A' NON-ADJUSTABLE CASTINGS. 6. ALL MANHOLES SHALL HAVE 1/1 BARRIERS. 7. CORE DRILL ALL CONNECTIONS TO EXISTING MANHOLES AN PROVIDE SLOPE INVERT. 8. ALL 4" AND 6" SANITARY SEWER SERVICES SHALL BE SDR 23.5 IN ACCORDANCE WITH URBAN STANDARD SPECIFICATIONS. ALL SERVICE LINES SHALL BE EXTENDED 10' INSIDE LOT LINES UNLESS OTHERWISE NOTED ON PLANS. 9. ALL SERVICES AND 8-INCH STUB OUTS SHALL BE CAPPED. 10. MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES. 11. MANHOLES COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN. 12. THE CONTRACTOR SHALL JET CLEAN AND VACUUM ANY SECTION OF PIPE, FROM MANHOLE TO MANHOLE, WITH MUD OR DEBRIS MORE THAN 1' DEEP, ALONG WITH ANY DOWNSTREAM SEGMENTS AS REQUIRED DUE TO THIS CONSTRUCTION. 13. THE CONTRACTOR SHALL TELEWISE EVERY SANITARY SEWER LINE AND PROVIDE A COPY OF THE VIDEO TAPE AND FILE IN DIGITAL FORMAT TO SNYDER & ASSOCIATES. USING A 500 GALLON TANK AND GARDEN HOSE, THE CONTRACTOR SHALL GRAVITY FLOW WATER DOWN THE PIPE JUST PRIOR TO TELEVISION SO DIPS AND SAGS CAN BE IDENTIFIED. THE CITY SHALL NOTIFY THE CONTRACTOR OF ANY NECESSARY REPAIRS AND/OR CLEANING REQUIRED PRIOR TO COMMENCING PAVING. THE SEGMENTS SHALL THEN BE RE-TELEVISED TO DEMONSTRATE PIPES ARE CLEAN. REPAIRS, IF NECESSARY, AND RE-TELEVISION SHALL BE AT THE CONTRACTOR'S EXPENSE. 14. CONTRACTOR SHALL SWEEP ALL JOINTS TO REMOVE ROCKS AND DEBRIS FROM THE ENDS OF PIPE PRIOR TO MAKING THE JOINT CONNECTION. REPAIRS, IF NECESSARY, DUE TO ROCKS AND/OR DEBRIS IN JOINT(S) SHALL BE AT THE CONTRACTOR'S EXPENSE. 15. SAGS IN PIPE SHALL NOT EXCEED TOLERANCES AS SPECIFIED BY SUDAS. REPAIRS, IF NECESSARY, AND RE-TELEVISION SHALL BE AT THE CONTRACTOR'S EXPENSE. 16. EXISTING MAIN TO BE FLUSHED AFTER SANITARY SEWER SERVICE EXTENSION. IF NEW WYES NEED TO BE CUT IN, SANITARY MAIN WILL NE TO BE RE-TELEVISED AND MAY BE SUBJECT TO ADDITIONAL TESTING.

WATER MAIN NOTES

- 1. PIPE MATERIALS SHALL BE AWWA C900, CLASS 150 PVC. 2. INSTALL NO. 10 THHN STANDARD COPPER TRACER WIRE UNDER PIPE, BRING TRACER WIRE TO SURFACE AT HYDRANTS, TERMINATING IN RECEPTACLE BOX. 3. CONNECT NEW TRACER TO EXISTING USING APPROVED SPLICE KIT AND PROVIDE A GROUND ROD AT END OF TRACER WIRE FOR LOCATION AND EXTENSION IN FUTURE. THE CITY WILL TEST THE TRACER WIRE PRIOR TO ACCEPTANCE OF PLAT AND REPAIRS, IF ANY, SHALL BE AT THE CONTRACTOR'S EXPENSE. 4. HYDRANTS SHALL BE SET 3.5 FEET FROM THE WATER MAIN. 5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY THAT FIRE HYDRANTS WILL NOT CONFLICT WITH SIDEWALK CONSTRUCTION. 6. HYDRANTS, MANHOLE COVERS AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS. 7. HYDRANTS TO BE WATROUS PRODUCTS, OPEN LEFT, PAINTED YELLOW. 8. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES. 9. SERVICES TO BE 1-INCH COPPER. 10. RISER RODS ARE REQUIRED AT ALL CURB STOPS. 11. STOP BOXES FOR 1" THROUGH 2" WATER SERVICE LINES SHALL INCLUDE A STAINLESS STEEL SELF-CENTERING ROD WITH STAINLESS STEEL COTTER PIN WITHIN THE A STOP BOX HOUSING. ALL STOP BOX INSTALLATIONS SHALL BE COMPLETED IN SUCH A MANNER THAT THE LID IS ALLOWED TO RAISE WITH THE FROST AND LOWER IF DRIVEN OVER WITH OUT DAMAGE TO CURB VALVE. FINISH GRADE OF THE LID SHALL BE LEVEL WITH THE SURROUNDING SURFACE AND DOES NOT PRESENT A HAZARD TO THE PUBLIC. 12. WATER MAIN TO HAVE 5 1/2 FEET BURY, TYPICAL EXCEPT AT CRITICAL CROSSINGS. 13. ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT. 14. THE CONTRACTOR SHALL REMOVE CHAINS ON ALL HYDRANTS. 15. THE CONTRACTOR SHALL WORK WITH THE CITY OF POLK CITY PUBLIC WORKS AND SNYDER & ASSOCIATES WHEN OPERATING EXISTING VALVES. WATER SHALL NOT BE TURNED ON WITHOUT PRIOR APPROVAL OF THE CITY OF POLK CITY. 16. WATER CANNOT BE USED BY THE CONTRACTOR UNLESS IT IS PART OF THE PURIFICATION PROCESS OF THE NEW MAIN. WATER NEEDED FOR ANY REASON AFTER BACTERIA TESTING HAS BEEN COMPLETED AND PASSED WILL NEED PRIOR APPROVAL FROM THE CITY OF POLK CITY. 17. PROVIDE 2" BLOW-OFF AT THE TERMINAL END OF THE 8" WATER LINE UNLESS HYDRANT HAS BEEN PROVIDED. 18. WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED WITH THE CONSTRUCTION OBSERVER PRESENT. RESULTS OF TESTS SHALL BE PROVIDED TO PUBLIC WORKS. IF ANY TESTS DO NOT PASS, THE CONTRACTOR SHALL REIMBURSE THE CITY FOR THE COST OF THE WATER ASSOCIATED WITH RE-TESTING.

GRADING/BACKFILL NOTES

- 1. RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING UTILITY CONSTRUCTION. 2. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON DAMAGING ANY UTILITY LINE OR APPURTENANCE, OR IF THERE IS ANY INTERRUPTION OF THEIR SERVICE. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED AND APPROVED BY CITY. 3. STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT. 4. STOCKPILE SUFFICIENT TOPSOIL TO RESPREAD A MINIMUM DEPTH OF 4-INCHES ON UNPAVED AREAS, INCLUDING FRONT, REAR, AND SIDE YARDS OF ALL LOTS. 5. ALL AREAS TO RECEIVE FILL ARE TO BE BENCHED. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES. 6. ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR DENSITY. 7. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL FALL WITHIN A RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. 8. THE CONTRACTOR SHALL PROTECT AND BACKFILL AROUND UNDERGROUND UTILITIES. BACKFILL SHALL BE IN 6-INCH LIFTS, COMPACTED TO 95% STANDARD PROCTOR DENSITY. 9. MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES. 10. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE. 11. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS. 12. ALL SLOPES WITHIN PUBLIC EASEMENTS, RIGHT-OF-WAY, PARKS, OR LAND TO BE PUBLICALLY OWNED SHALL BE GRADED TO A 4:1, MAXIMUM SLOPE. 13. ALL SLOPES ON PRIVATE PROPERTY SHALL BE 4:1 MAXIMUM, UNLESS THE SPECIFIC LOCATION(S) HAVE BEEN LABELED AS 3:1, MAXIMUM. 14. ALL EXISTING ROADSIDE DITCHES SHALL BE GRADED TO DRAIN. 15. ALL SWALES WITHIN DRAINAGE OR SURFACE WATER FLOWAGE EASEMENTS SHALL BE GRADED TO A 2% MINIMUM SLOPE, MEASURED ALONG THE FLOWLINE OF SAID SWALE. IF THE AS-BUILT CONDITION OF ANY SWALE HAS LESS THAN 2% MINIMUM SLOPE, A 6" SUBDRAIN WILL BE REQUIRED. THE SUBDRAIN SHALL HAVE CLEAN-OUTS LOCATED NEAR PROPERTY LINES WHERE POSSIBLE, BUT IN NO CASE HAVING A SPACING GREATER THAN 200 FEET. 16. HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS. 17. EXISTING TREES SHALL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION. 18. EXISTING TREES SHALL BE REMOVED FROM EXISTING AND PROPOSED PUBLIC RIGHT-OF-WAY UNLESS THE PUBLIC WORKS DIRECTOR PROVIDES SPECIFIC APPROVAL TO MAINTAIN CERTAIN TREES WITHIN SAID RIGHT-OF-WAY. 19. CONTRACTOR SHALL OBTAIN A GRADING PERMIT PRIOR TO COMMENCING CONSTRUCTION.

STORM SEWER NOTES

- 1. ADDITIONAL RIP-RAP MAY BE REQUIRED AT THE FES BASED UPON FIELD REVIEW BY CITY OF POLK CITY. 2. PROVIDE SUBDRAIN BEHIND BACK OF CURB ON PUBLIC STREETS AS REQUIRED BASED ON SUBSURFACE MOISTURE CONDITIONS. ANY SUBDRAIN CROSSING UNDER THE PAVEMENT SHALL BE RCP PIPE. 3. ALL CURB INTAKES SHALL HAVE TYPE 'R' VANE GRATES. 4. ALL INTAKES SHALL BE POURED-IN-PLACE CONCRETE OR PRECAST CONCRETE. 5. ALL 12" AND LARGER STORM SEWERS SHALL BE RCP. 6. 8-INCH FOOTING DRAINS TO BE PVC, SDR 35. 7. FOOTING DRAIN SERVICES TO BE 4-INCH PVC, SDR 35. EXTEND SERVICES 6' BEFORE ROW UNLESS OTHERWISE NOTED. 8. ALL INTAKES SHALL BE LOCATED A MINIMUM OF 7.5 FEET FROM END OF RETURNS. 9. CORE DRILL ALL CONNECTIONS TO EXISTING STRUCTURES. 10. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 3'-6" COVER ON ALL STORM SEWER, INCLUDING SUMP SERVICES. 11. INSTALL CONTINUOUS PERFORATED SUBDRAIN IN LOCATIONS SHOWN ON PLANS. 12. ALL SUBDRAIN, 6-INCHES OR SMALLER, SHALL HAVE CRITTER GUARDS. 13. ALL CLEAN-OUTS SHALL BE SET IN A 24" ROUND CONCRETE PAD. 14. FLARED END SECTIONS AND LAST 3 PIPE SECTIONS MUST BE TIED. ALL FLARED END SECTIONS SHALL HAVE 48-INCH FOOTINGS AND APRON GUARD. 15. THE CONTRACTOR SHALL JET CLEAN AND VACUUM ANY SECTION OF PIPE, FROM MANHOLE TO MANHOLE, WITH MUD OR DEBRIS MORE THAN 1' DEEP, ALONG WITH ANY DOWNSTREAM SEGMENTS AS REQUIRED DUE TO THIS CONSTRUCTION. 16. THE CONTRACTOR SHALL TELEWISE EVERY STORM SEWER LINE AND PROVIDE A COPY OF THE VIDEO IN DIGITAL FORMAT TO SNYDER & ASSOCIATES. USING A 500 GALLON TANK AND GARDEN HOSE, THE CONTRACTOR SHALL GRAVITY FLOW WATER DOWN THE PIPE JUST PRIOR TO TELEVISION SO DIPS AND SAGS CAN BE IDENTIFIED. THE CITY SHALL NOTIFY THE CONTRACTOR OF ANY NECESSARY REPAIRS AND/OR CLEANING REQUIRED PRIOR TO COMMENCING PAVING. THE SEGMENTS SHALL THEN BE RE-TELEVISED TO DEMONSTRATE PIPES ARE CLEAN. REPAIRS, IF NECESSARY, AND RE-TELEVISION SHALL BE AT THE CONTRACTOR'S EXPENSE.

CITY OF POLK CITY TYPICAL NOTES: GENERAL NOTES

- 1. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY: A. SNYDER & ASSOCIATES B. CITY OF POLK CITY C. DEVELOPER D. ENGINEER E. IOWA ONE-CALL 2. THE CONTRACTOR SHALL NOTIFY THE POLK CITY PUBLIC WORKS DIRECTOR AND SNYDER & ASSOCIATES PRIOR TO COMMENCING CONSTRUCTION AND PRIOR TO UTILITY CONSTRUCTION, SUBGRADE PREPARATION, MAIN LINE PAVING AND BOX-OUT PAVING. 3. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, CURRENT AT THE COMMENCEMENT OF CONSTRUCTION. 4. THE CONTRACTOR, DEVELOPER, AND DEVELOPER'S ENGINEER SHALL ATTEND PRE-CONSTRUCTION CONFERENCE WITH THE CITY AND SNYDER & ASSOCIATES PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. ALL IOWA DNR AND IOWA DOT PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING THE NECESSARY NPDES STORM WATER DISCHARGE PERMIT AND FOR MAINTAINING EROSION CONTROL MEASURES IN CONFORMANCE WITH THE SWPPP. 6. THE CONTRACTOR SHALL PROVIDE ALL SHOP DRAWINGS AND MATERIALS SUBMITTALS TO THE DEVELOPER'S ENGINEER FOR REVIEW AND APPROVAL. THE DEVELOPER'S ENGINEER THEN SHALL PROVIDE TO SNYDER & ASSOCIATES PRIOR TO THE PRE-CONSTRUCTION CONFERENCE. MATERIAL SUBMITTALS SHALL INCLUDE MANUFACTURER'S CUT SHEETS, OR SIMILAR, OF PIPE MATERIALS FOR ALL UTILITIES AND UTILITY SERVICE LINES; FIRE HYDRANTS, VALVES, CURB STOPS, SUBDRAIN PIPE MATERIALS, CLEAN-OUTS, APRON GUARDS, CONCRETE MIX, MATURITY CURVES OR OTHER ACCEPTABLE TESTING. SHOP DRAWINGS SHALL INCLUDE MANHOLES, INTAKES, BOX CULVERTS, FENCING/GUARD RAILS AND OTHER SPECIALTY CONSTRUCTION ITEMS. 7. THE DEVELOPER'S ENGINEER SHALL IMMEDIATELY NOTIFY SNYDER & ASSOCIATES AND THE CONSTRUCTION OBSERVER IF FIELD CONDITIONS DO NOT MATCH THE APPROVED CONSTRUCTION DRAWINGS. THESE CONDITIONS MAY INCLUDE, BUT ARE NOT LIMITED TO, STAKING DISCREPANCIES OF MORE THAN 0.2 VERTICAL OR 1.0 HORIZONTAL, DISCOVERY OF PIPES AND/OR FIELD TILES NOT SHOWN ON PLANS, ELEMENTS SHOWN ON PLANS THAT ARE MISSING IN THE FIELD, OR OTHER DISCREPANCIES BETWEEN THE APPROVED PLANS AND FIELD CONDITIONS. 8. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER. 9. THE CONTRACTOR SHALL CONDUCT CLEAN-UP OPERATIONS ON EXISTING STREETS AND ADJACENT PRIVATE PROPERTY AT THE END OF EACH WORKING DAY OR MORE OFTEN AS DIRECTED BY THE CITY. 10. THE CONTRACTORS SHALL PROVIDE 4-YEAR MAINTENANCE BONDS, IN AN AMOUNT EQUAL TO THE COST OF CONSTRUCTION, FOR THE PAVING AND FOR WATER MAINS, SANITARY SEWERS, STORM SEWERS, INCLUDING ALL UTILITY SERVICES. THE MAINTENANCE BONDS SHALL BE PROVIDED TO THE CITY ENGINEER PRIOR TO COUNCIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE AS-BUILT LOCATION OF ALL SANITARY SEWER, SUMP AND WATER MAIN SERVICES. A TABLE DIMENSIONING THE DISTANCE FROM THE NEAREST PROPERTY CORNER TO EACH SERVICE SHALL BE PROVIDED TO THE CITY ENGINEER PRIOR TO COUNCIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS. 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. 13. HANDICAP RAMPS, IF ANY, FOR DESIGNATED BIKE TRAILS SHALL HAVE BRICK RED TRUNCATED DOMES; ALL OTHER HANDICAP RAMPS SHALL HAVE CHARCOAL GRAY TRUNCATED DOMES FOR DETECTABLE WARNINGS. 14. THE DEVELOPER SHALL BE RESPONSIBLE FOR REIMBURSING THE CITY OF POLK CITY FOR MATERIALS COSTS FOR ALL STREET SIGNS WITHIN THIS PLAT. 15. THE DEVELOPER'S ENGINEER SHALL PROVIDE AS-BUILT MYLARS, CAD FILES IN ELECTRONIC FORMAT, AND PDF FILES OF THE FULL RECORD DRAWINGS SET TO THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THE PUBLIC IMPROVEMENTS. RECORD DRAWINGS SHALL INCLUDE FLOW LINE ELEVATIONS OF ALL SWALES AT EACH PROPERTY LINE AS PER CITY CODE. 16. THE DEVELOPER'S SURVEYOR SHALL PROVIDE A STATEMENT TO THE CITY ENGINEER CERTIFYING THAT ALL PROPERTY CORNERS HAVE BEEN SET PRIOR TO COUNCIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.

PAVING NOTES

- 1. THE CONTRACTOR SHALL ATTEND A PRE-POUR MEETING WITH THE CITY AND SNYDER & ASSOCIATES PRIOR TO COMMENCING PAVING OPERATIONS. NO PAVING OPERATIONS SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED AUTHORIZATION FROM SNYDER & ASSOCIATES. 2. THE CONTRACTOR WILL NEED TO PROVIDE COPIES OF ALL TEST RESULTS REPORTING, INCLUDING BUT NOT LIMITED TO COMPACTION TEST MAP, STORM SEWER TELEVISION, AND SANITARY SEWER TELEVISION, TO SNYDER & ASSOCIATES FOR REVIEW PRIOR TO REQUESTING THE PRE-POUR MEETING. 3. ALL ELEVATIONS ARE PROPOSED FINISHED GRADE. 4. PAVEMENTS SHALL BE 6" CONTINUOUSLY-REINFORCED PCC PAVEMENT UNLESS OTHERWISE NOTED ON THE PLANS. 5. ALL STREETS SHALL HAVE 6" INTEGRAL CURBS. 6. PROVIDE CURB DROPS FOR SIDEWALKS AT INTERSECTIONS. 7. CONSTRUCTION OF HANDICAP ACCESSIBLE RAMPS, WITH DETECTIBLE WARNINGS AND INCLUDING COMMON SQUARE, SHALL BE THE RESPONSIBILITY OF THE HOMEBUILDER UNLESS OTHERWISE NOTED ON THE PLANS. 8. ALL REINFORCING STEEL SHALL BE EPOXY-COATED REINFORCING STEEL.

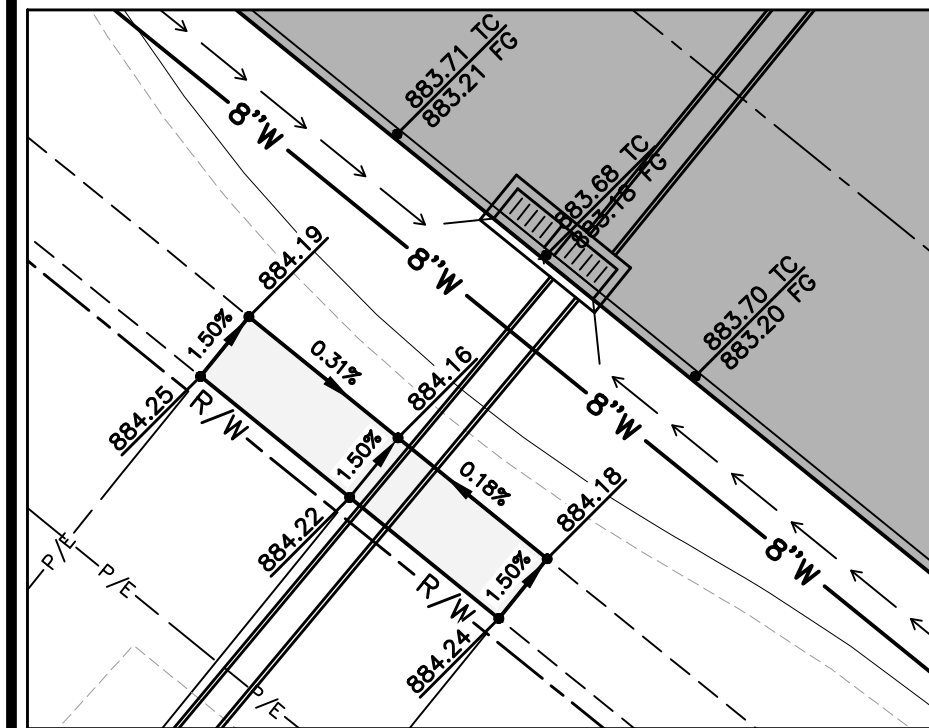
FILE: H:\2022\2206432\DWG\2206432-CIVIL-DET-148.DWG... DATE PLOTTED: 9/27/2022 9:03 AM... PLOTTED BY: CONANTON, MCDONALD, J...

4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST CIVIL DESIGN ADVANTAGE POLK CITY, IOWA CROSSROADS AT THE LAKES PLAT 3 POLK CITY CONSTRUCTION NOTES 6 26 2206.432

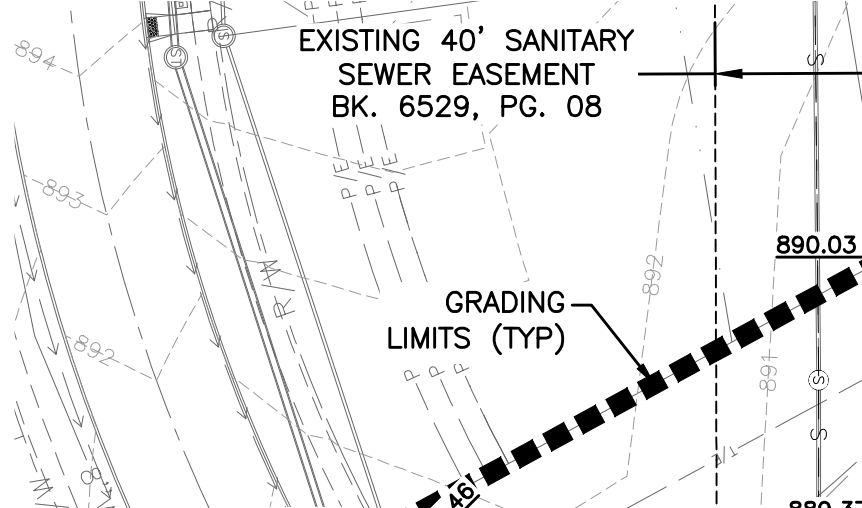
NOTE:

- PROPERTY WAS MASS GRADED WITH CROSSROADS AT THE LAKES PLAT A NEW TOPOGRAPHIC SURVEY HAS NOT BEEN COMPLETED. GRADES SHOWN ARE PROPOSED GRADES FROM THAT PROJECT. FINAL GRADES NEED TO MATCH WHAT IS SHOWN.
- ORANGE CONSTRUCTION FENCE SHALL BE INSTALLED AT THE PROJECT GRADING LIMITS AND INSPECTED BY THE POLK CITY CONSTRUCTION INSPECTOR PRIOR TO CONSTRUCTION OPERATIONS BEGINNING.

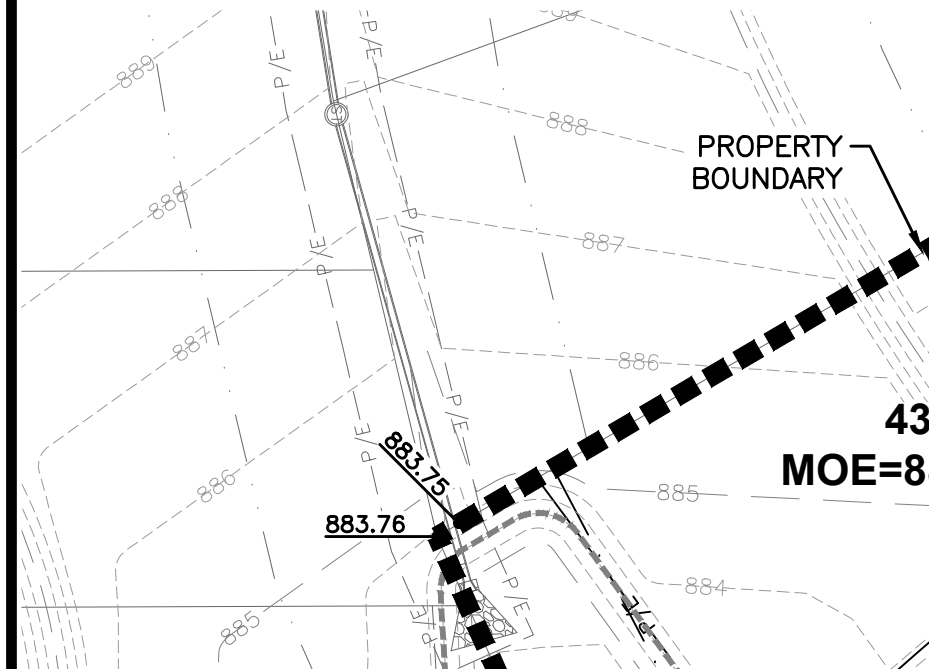
DETAIL 'A' (1"=10' FULL-SIZE)



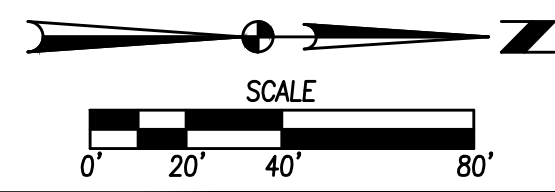
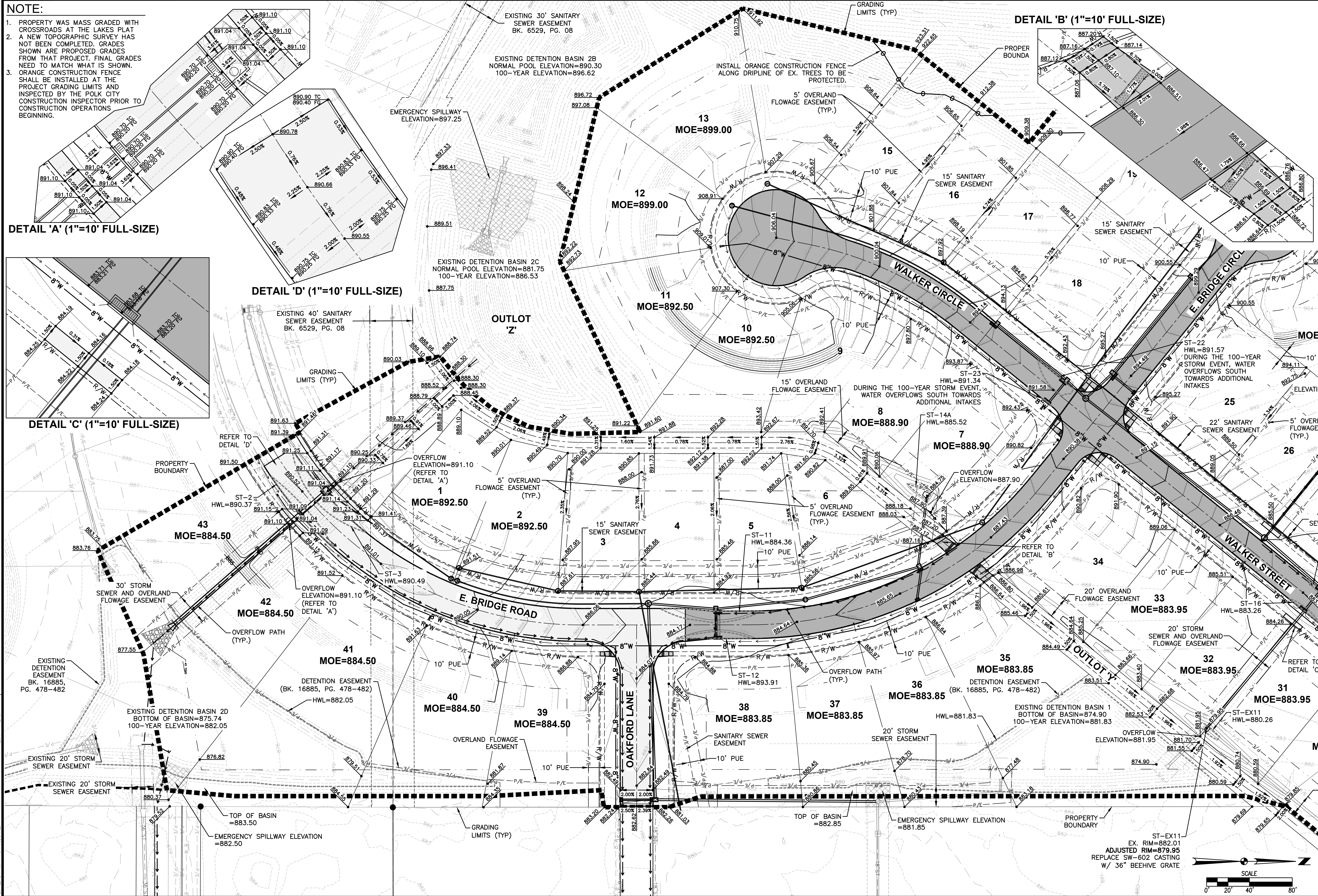
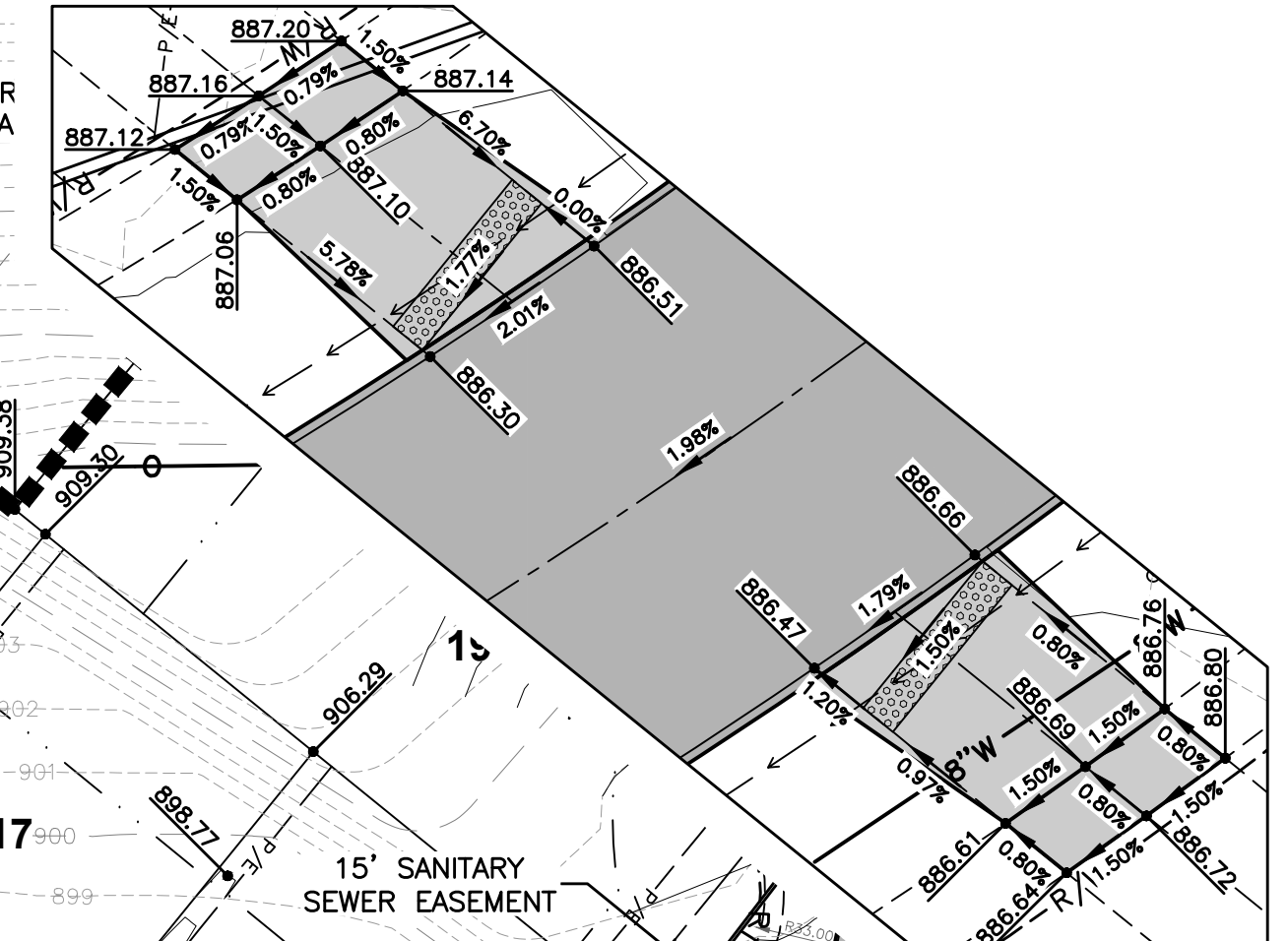
DETAIL 'D' (1"=10' FULL-SIZE)



DETAIL 'C' (1"=10' FULL-SIZE)



DETAIL 'B' (1"=10' FULL-SIZE)

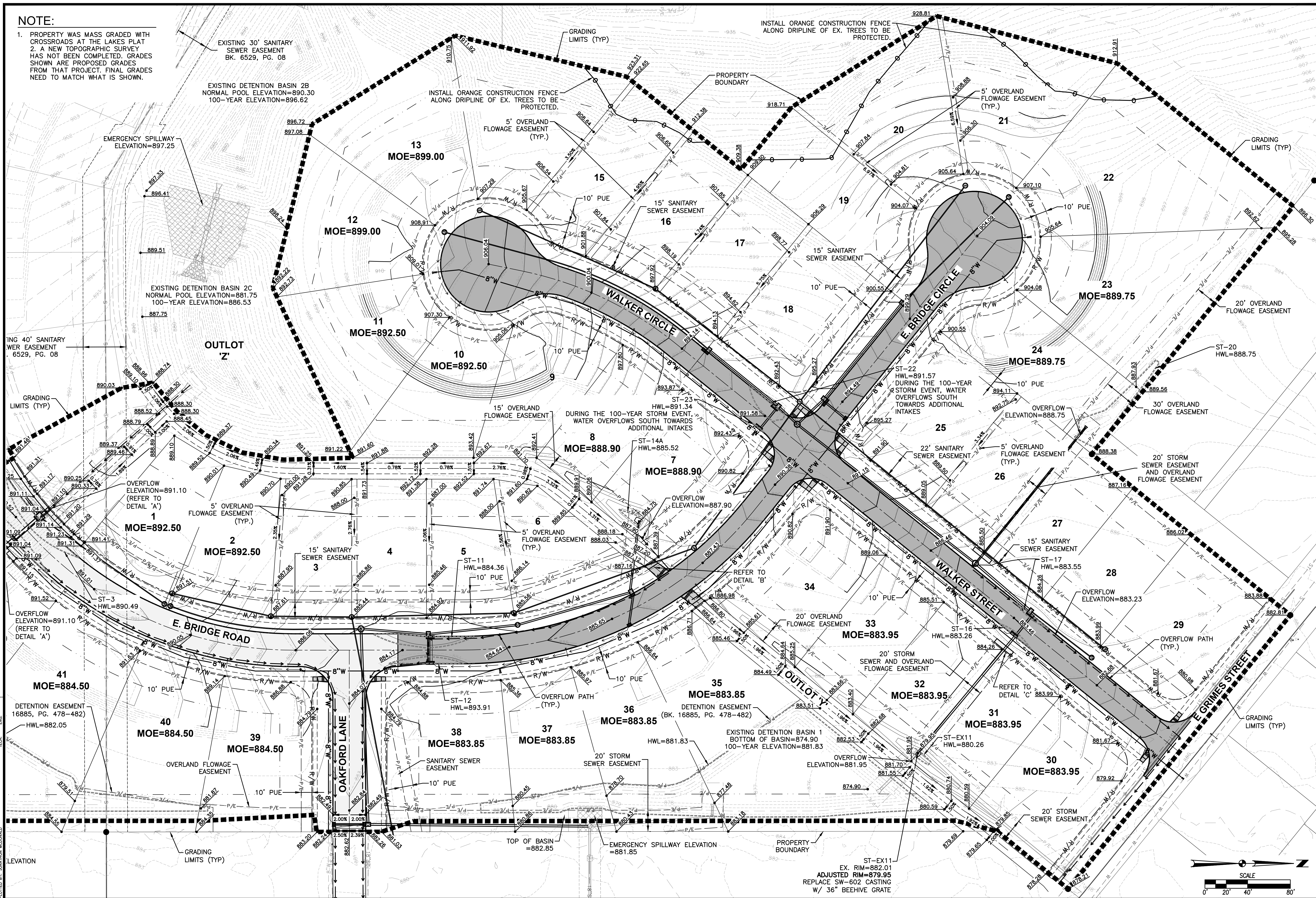


COMMENT: ENCS
 FILE: H:\2022\2206-432\2206-432-GRADING.DWG
 PLOTTED BY: GAVANION MCDONALD
 DATE: 9/27/2022 9:03 AM

	DATE	09/19/2022
	THIRD SUBMITTAL	09/22/2022
	SECOND SUBMITTAL	07/09/2022
REVISIONS		
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST		
CROSSROADS AT THE LAKES PLAT 3 GRADING PLAN		
POLK CITY, IOWA		
7/26 2206.432		

NOTE:

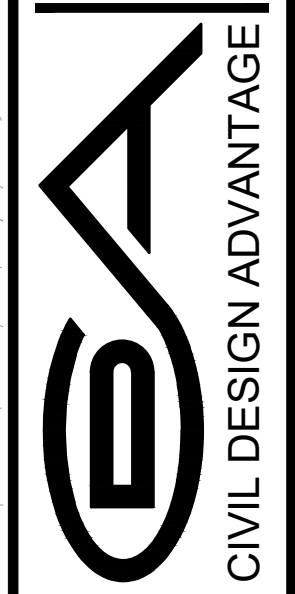
1. PROPERTY WAS MASS GRADED WITH CROSSROADS AT THE LAKES PLAT
2. A NEW TOPOGRAPHIC SURVEY HAS NOT BEEN COMPLETED. GRADES SHOWN ARE PROPOSED GRADES FROM THAT PROJECT. FINAL GRADES NEED TO MATCH WHAT IS SHOWN.



COMMENT: ENDS
 FILE: H:\2022\2206432\DWG\2206432-GRADING.DWG
 PLOTTED BY: GAVIN MCDONALD
 DATE: 9/20/2022 9:03 AM

DATE	REVISIONS
09/19/2022	THIRD SUBMITTAL
09/22/2022	SECOND SUBMITTAL
07/09/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST



CIVIL DESIGN ADVANTAGE
 POLK CITY, IOWA

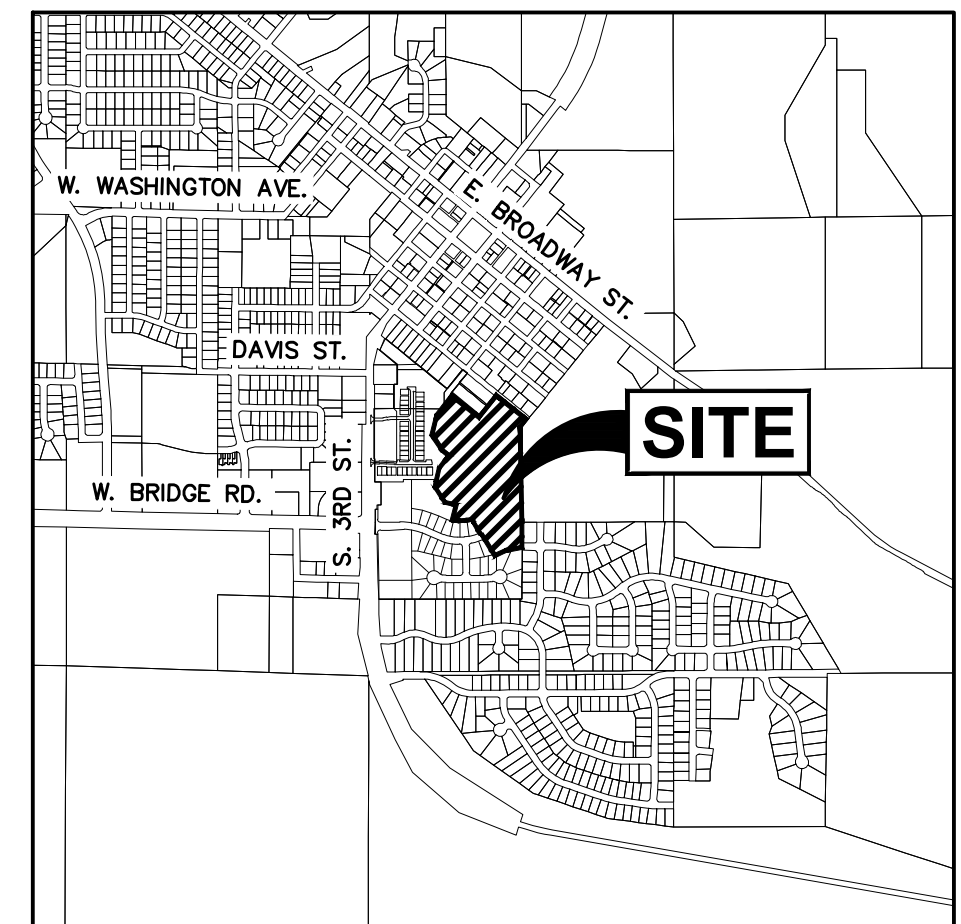
8 CROSSROADS AT THE LAKES PLAT 3
GRADING PLAN

CROSSROADS AT THE LAKES PLAT 3

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

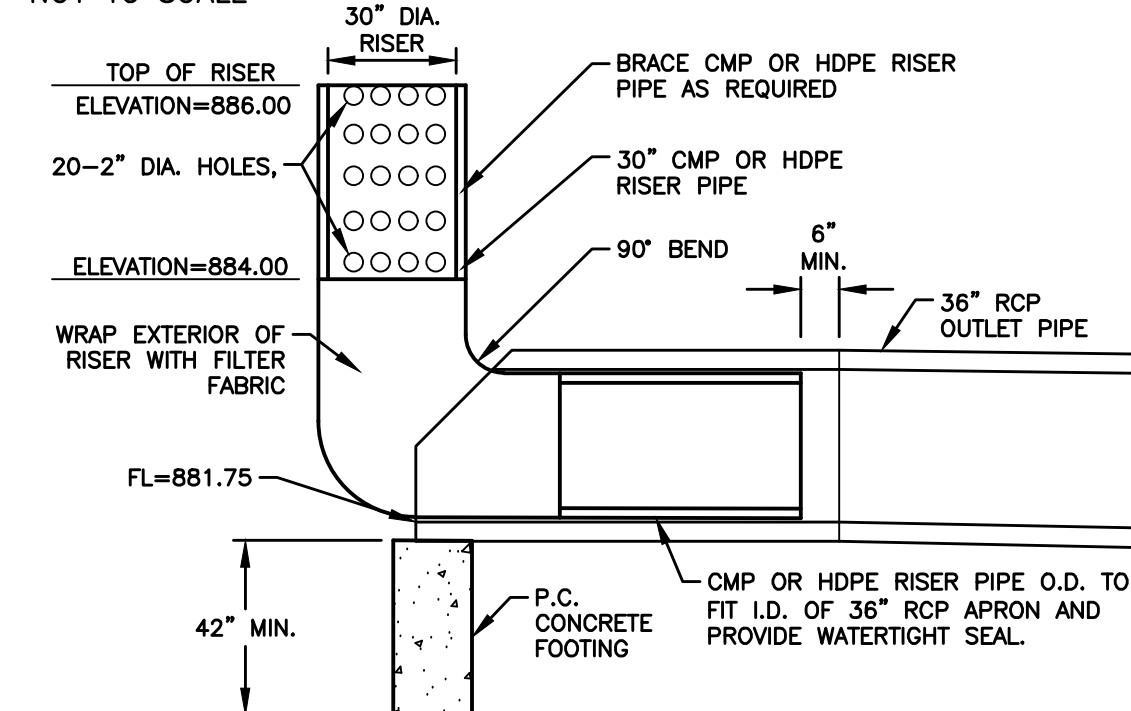
NOT TO SCALE



POLK CITY, IOWA

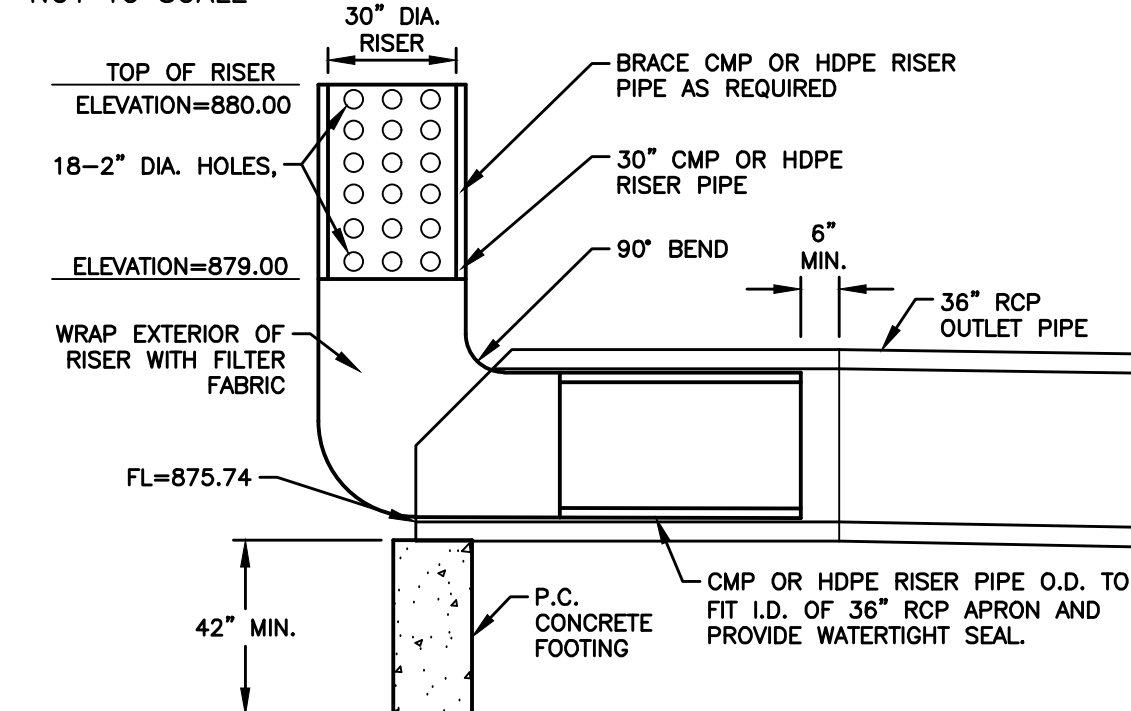
EXISTING TEMPORARY STAND PIPE DETAIL #1

NOT TO SCALE



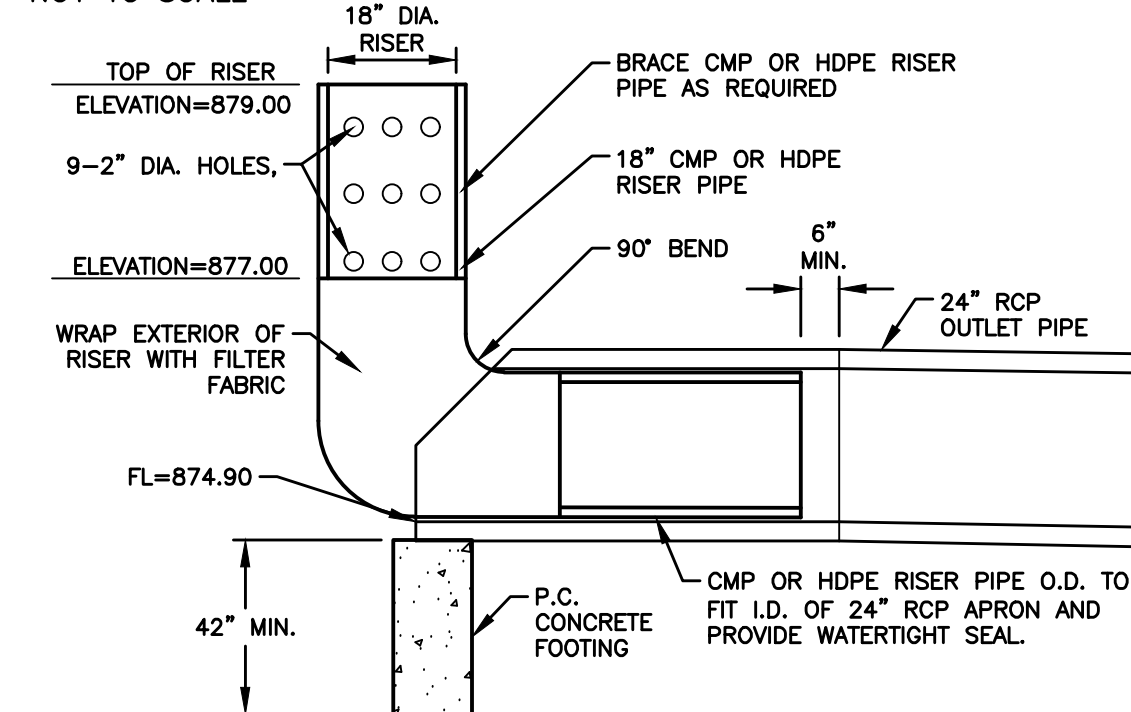
EXISTING TEMPORARY STAND PIPE DETAIL #2

NOT TO SCALE



EXISTING TEMPORARY STAND PIPE DETAIL #3

NOT TO SCALE



STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	4,267
2	SEEDING, FERTILIZING, AND MULCHING	AC	15.43
3	INLET PROTECTION DEVICES	EA	16
4	CONCRETE WASHOUT PIT	EA	1

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- EXISTING TOPSOIL SHALL BE STRIPPED, STOCKPILED, AND RESPREAD. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE RESPREAD PRIOR TO FINAL SEEDING.
- CUT TREES, TIMBER, DEBRIS, CONTAMINATED SOIL, WASTE CONCRETE, JUNK, RUBBISH, GARBAGE, OR FOOD WASTE SHALL BE PROPERLY DISPOSED OF AND WILL NOT BE ALLOWED TO BE BURNED, BURIED, OR ABANDONED ON-SITE.
- SEEDING
 - UNITED SEEDS SUPER TURF II, OR SIMILAR FLOOD RESISTANT MIX, SHALL BE USED FOR DRAINAGE SWALES AND DETENTION BASINS
 - TYPE 4 (URBAN TEMPORARY EROSION CONTROL MIXTURE) SEEDING SHALL BE USED IN ALL OTHER AREAS.
- ADDITIONAL POND CLEARING AND AS-BUILT SURVEY MAY BE REQUIRED FOR THE EXISTING POND SHOULD EROSION OCCUR PRIOR TO FINAL STABILIZATION OF THE SITE.

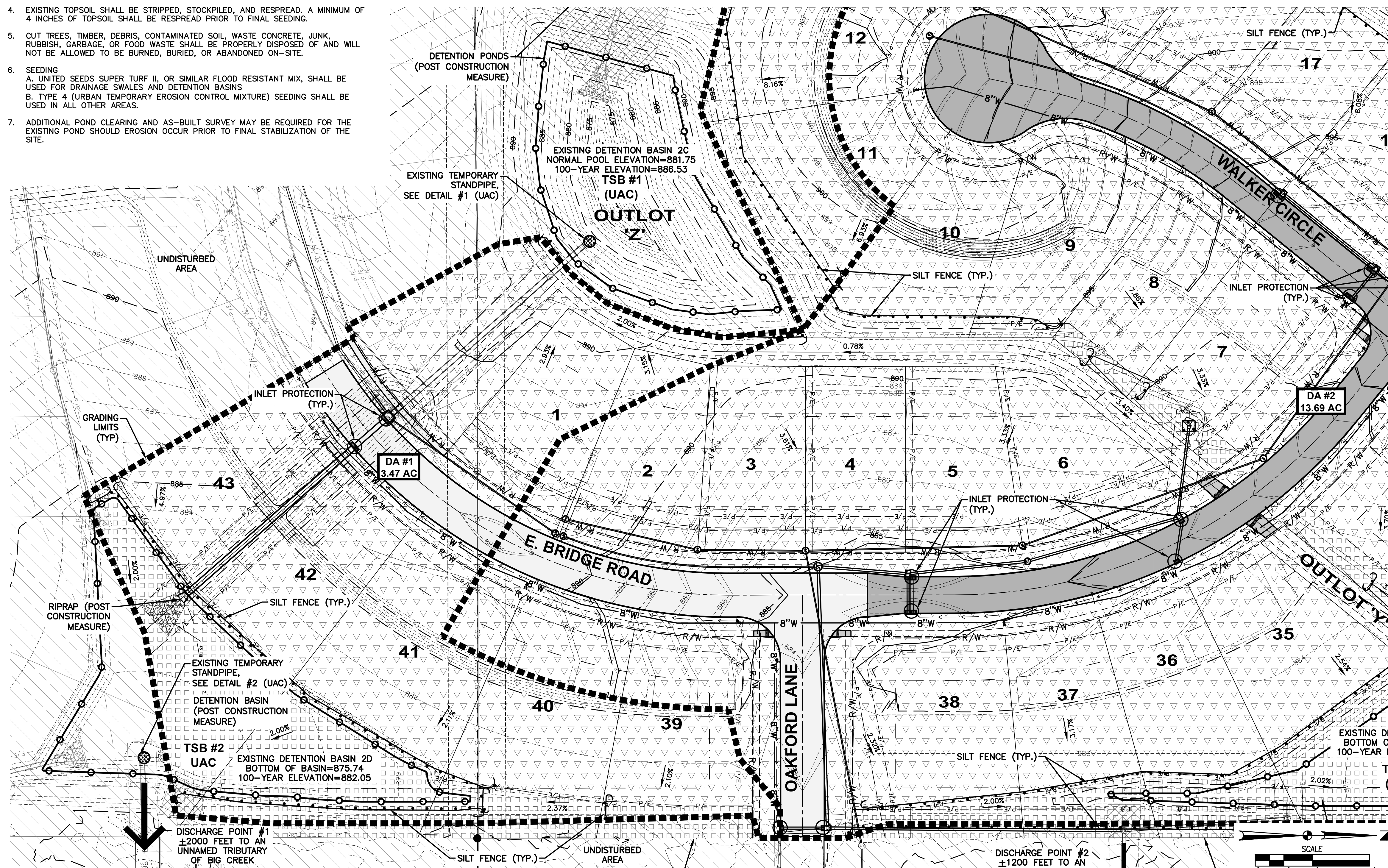
DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF BIG CREEK ±2000 FT	
TOTAL AREA DISTURBED TO DISCHARGE POINT	3.47 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	12,492 CU FT
VOLUME PROVIDED IN SILT FENCE (1,383 LF @ 9 CU FT/LF OF FENCE)	12,447 CU FT
VOLUME PROVIDED IN TSB #1	63,125 CU FT
VOLUME PROVIDED IN TSB #2	54,799 CU FT
TOTAL VOLUME PROVIDED	130,371 CU FT

DISCHARGE POINT #2 TO AN UNNAMED TRIBUTARY OF BIG CREEK ±1200 FT	
TOTAL AREA DISTURBED TO DISCHARGE POINT	13.69 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	49,284 CU FT
VOLUME PROVIDED IN TSB #3	24,308 CU FT
VOLUME PROVIDED IN SILT FENCE (2,884 LF @ 9 CU FT/LF OF FENCE)	25,956 CU FT
TOTAL VOLUME PROVIDED	50,264 CU FT

SWPPP LEGEND

DRAINAGE ARROW	X.XX %	UNDISTURBED AREA	
GRADING LIMITS		RIP-RAP	
FILTER SOCK		GRAVEL ENTRANCE	
SILT FENCE		STAGING AREA	
DITCH CHECK		TEMPORARY SEDIMENT BASIN	
INLET PROTECTION		UNITED SEEDS SUPER TURF II, OR SIMILAR FLOOD RESISTANT MIX	
PORTABLE RESTROOM		TYPE 4 SEEDING	
TEMPORARY STANDPIPE			
CONCRETE WASHOUT PIT			



COMMENT: ENDS
 FILE: H:\2022\2206-432\DWG\2206-432-SWPPP.DWG
 PLOTTED BY: AUTOMATIC MACDONALD
 DATE: 5/21/2022 8:22 AM

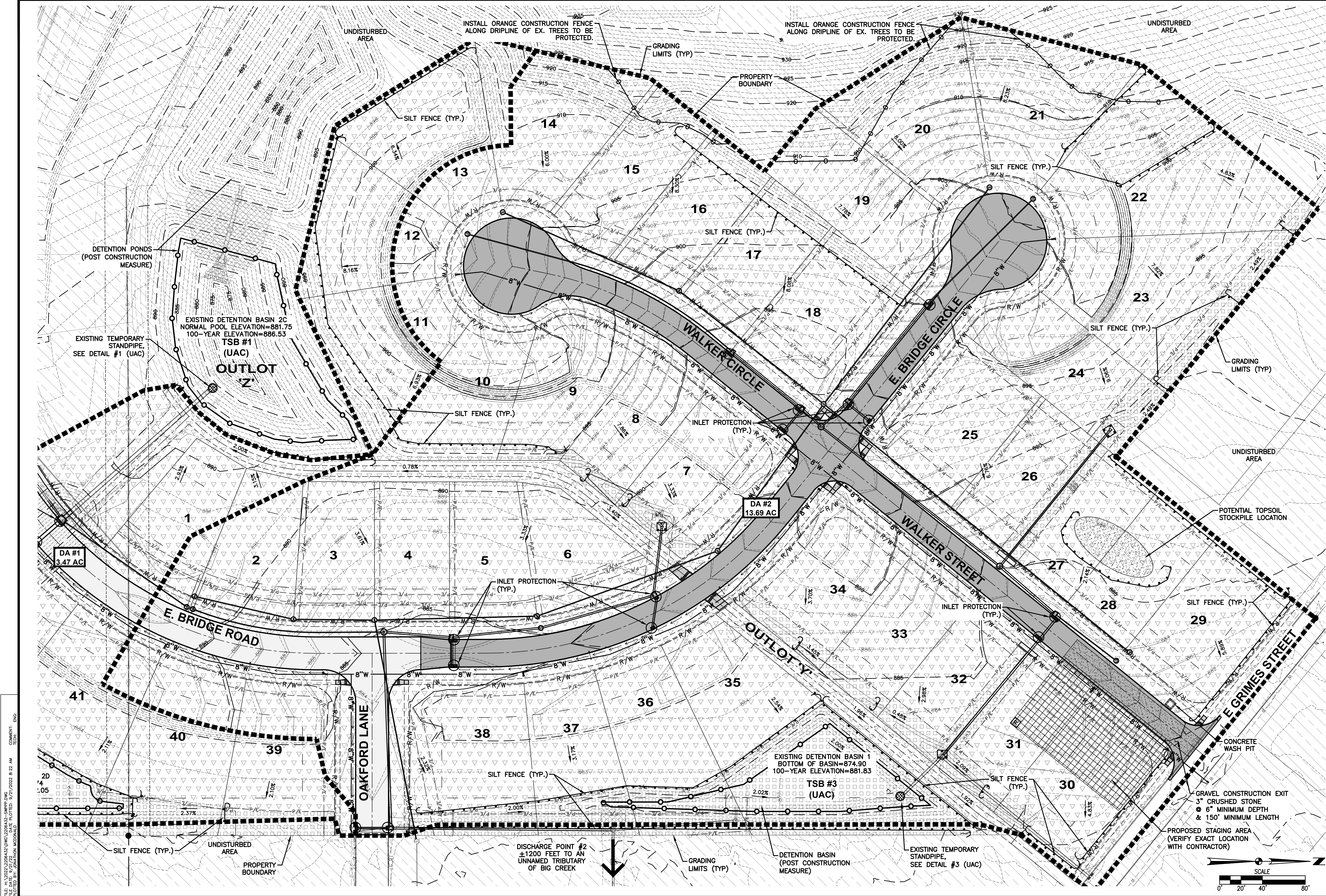
DATE	REVISIONS	THIRD SUBMITTAL	SECOND SUBMITTAL	FIRST SUBMITTAL
09/19/2022				
08/22/2022				
07/09/2022				

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GHJWM TECH: MST

CIVIL DESIGN ADVANTAGE
 POLK CITY, IOWA

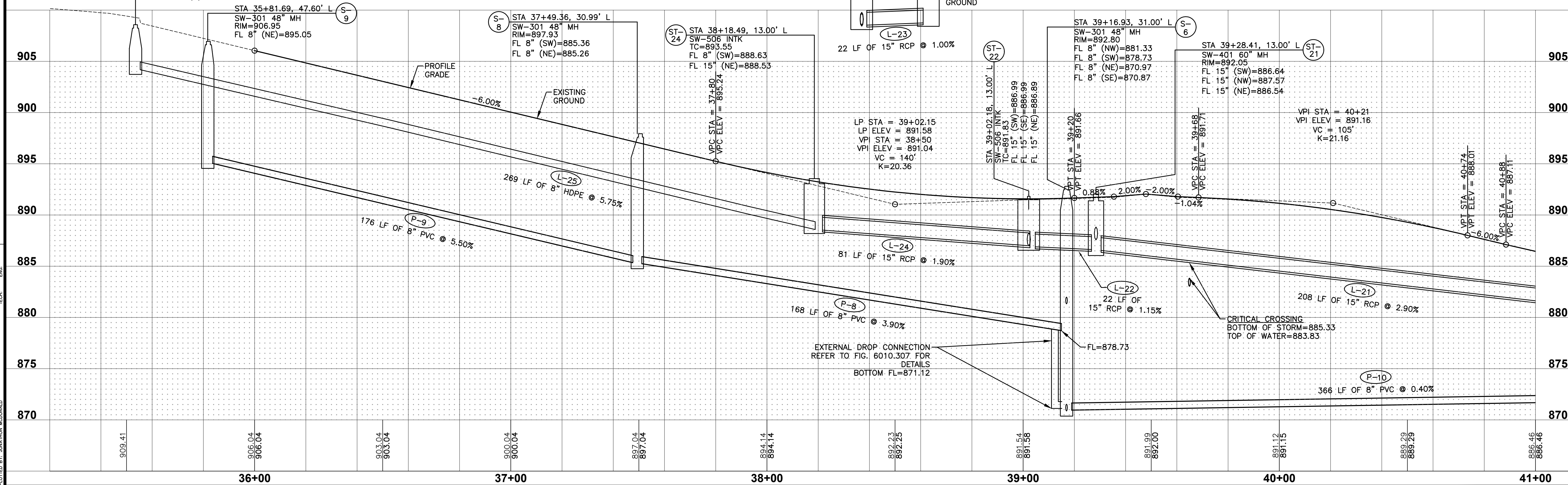
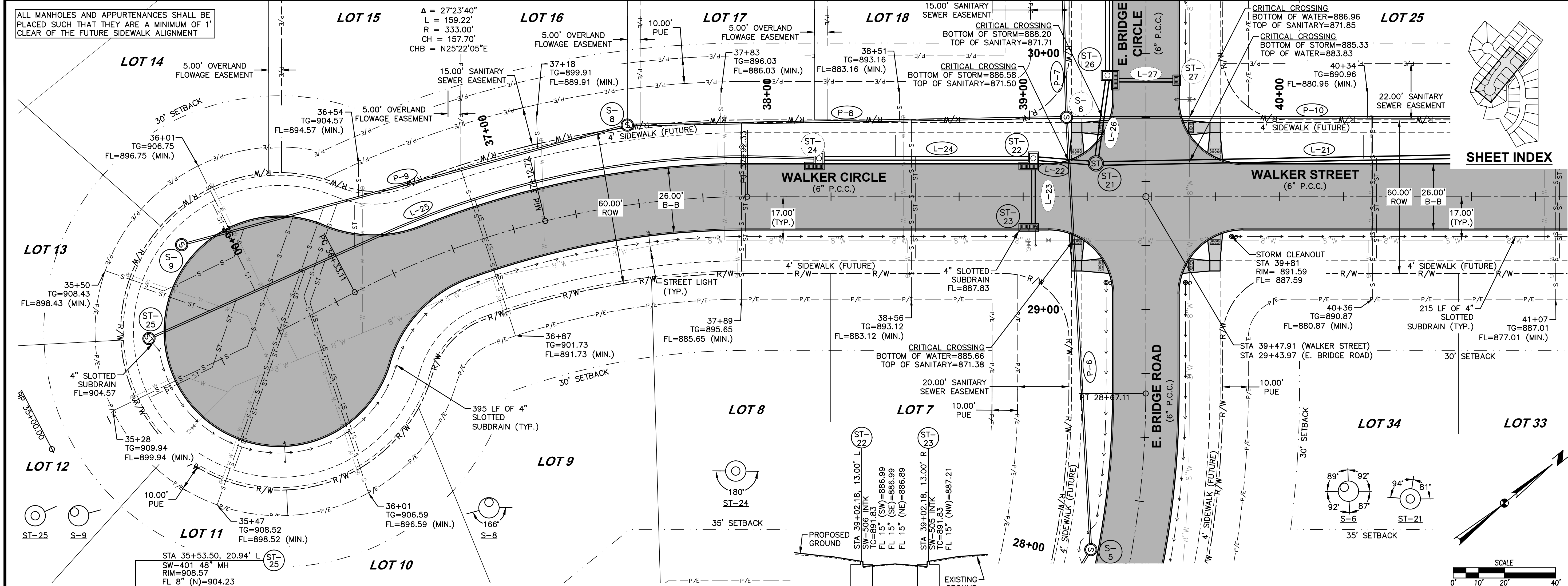
9 CROSSROADS AT THE LAKES PLAT 3
EROSION AND SEDIMENT CONTROL PLAN

2206.432



FILE: H:\2022\2206-432\2206-432-SWPPP.DWG
 PLOTTED BY: CONSTRUCTION MCDONALD
 DATE: 5/21/2022 8:22 AM
 COMMENT: ENDS

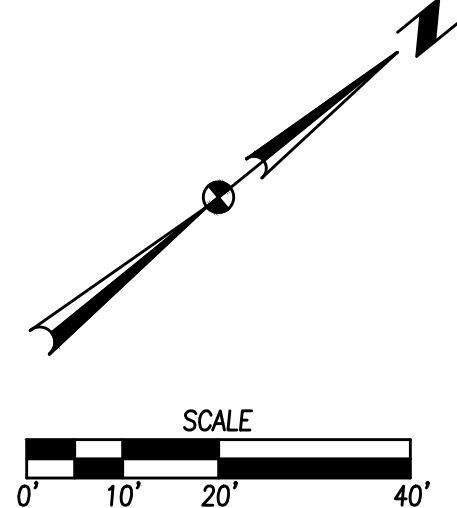
	DATE	09/19/2022
	REVISIONS	08/22/2022
	THIRD SUBMITTAL	FIRST SUBMITTAL
	SECOND SUBMITTAL	
	ENGINEER: EKO	ENGINEER: GHJWM
	TECH: MST	
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410		
CIVIL DESIGN ADVANTAGE		
CROSSROADS AT THE LAKES PLAT 3 EROSION AND SEDIMENT CONTROL PLAN		
POLK CITY, IOWA		
10 26	2206.432	



ALL MANHOLES AND APPURTENANCES SHALL BE PLACED SUCH THAT THEY ARE A MINIMUM OF 1' CLEAR OF THE FUTURE SIDEWALK ALIGNMENT

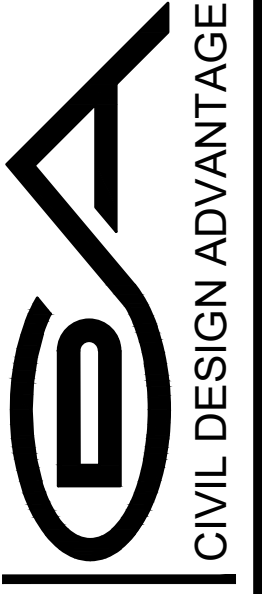
LOT 15
 $\Delta = 27'23''40''$
 $L = 159.22'$
 $R = 333.00'$
 $CHB = N25'22''05''E$

SHEET INDEX



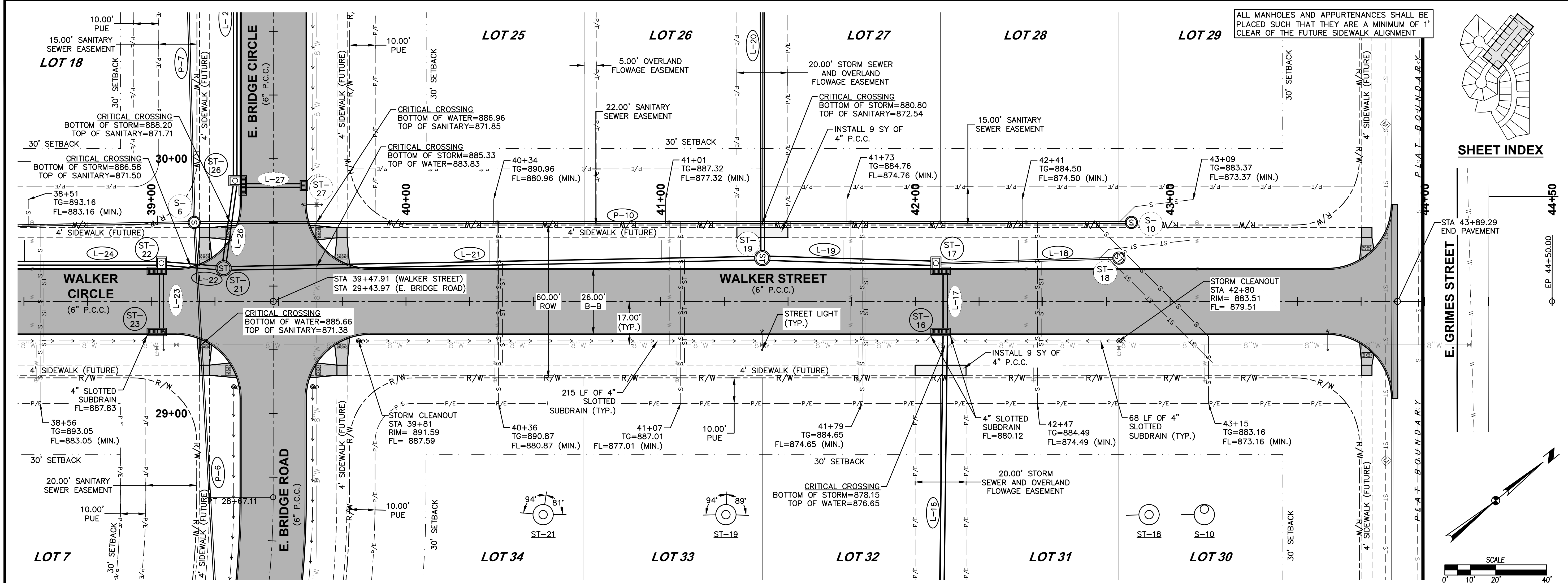
DATE	REVISIONS
09/19/2022	THIRD SUBMITTAL
08/22/2022	SECOND SUBMITTAL
07/06/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST



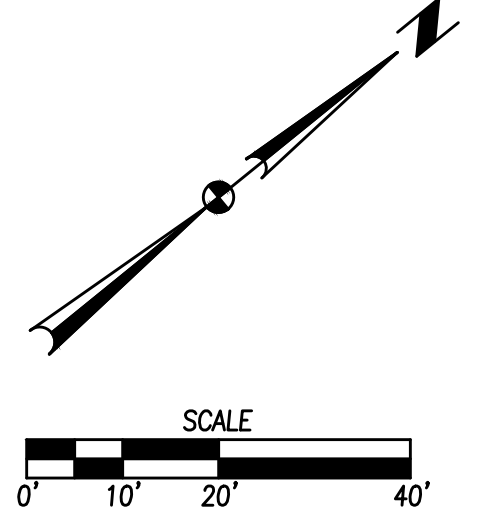
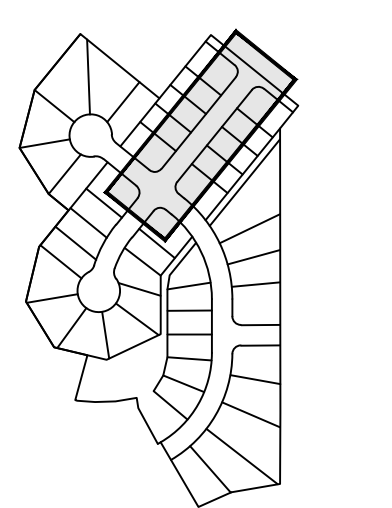
CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA

COMMENT: ENCS
 FILE: H:\2022\2206.432\CADD\2206.432-P&P.DWG
 PLOTTED BY: GADAMON MCDONALD
 PLOTTED: 9/20/2022 9:04 AM



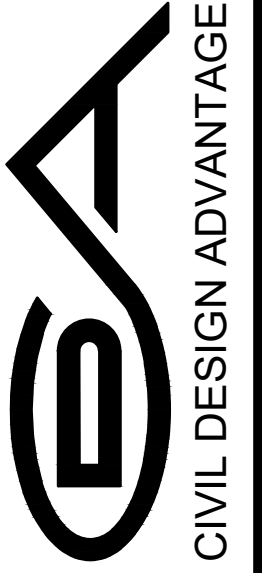
ALL MANHOLES AND APPURTENANCES SHALL BE PLACED SUCH THAT THEY ARE A MINIMUM OF 1' CLEAR OF THE FUTURE SIDEWALK ALIGNMENT

SHEET INDEX

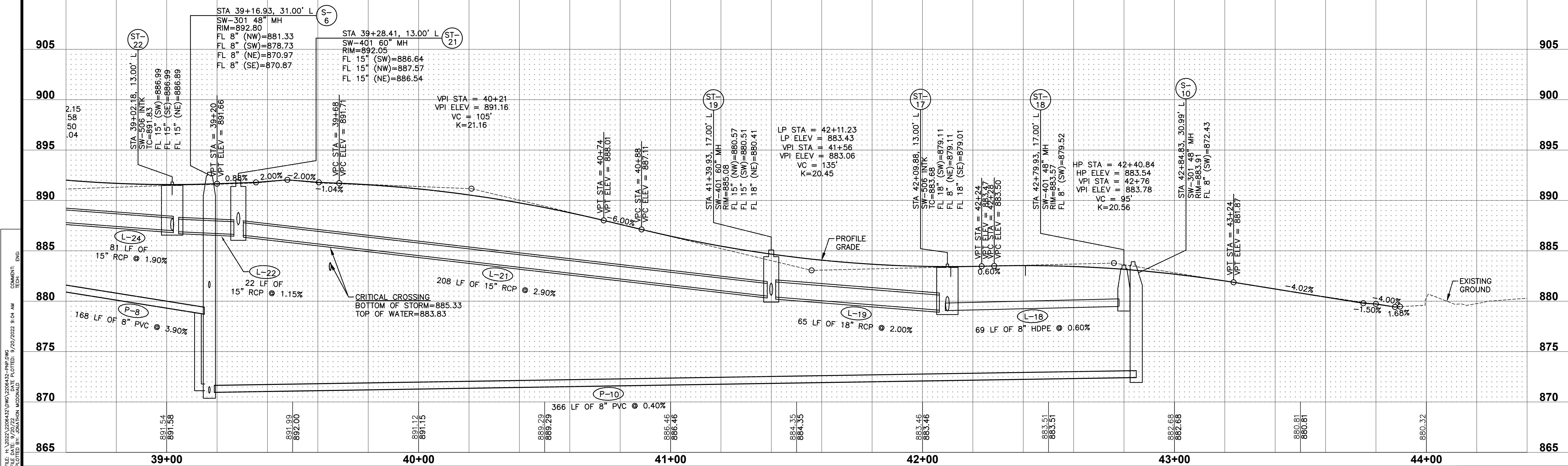


DATE	REVISIONS
09/19/2022	THIRD SUBMITTAL
08/22/2022	SECOND SUBMITTAL
07/06/2022	FIRST SUBMITTAL

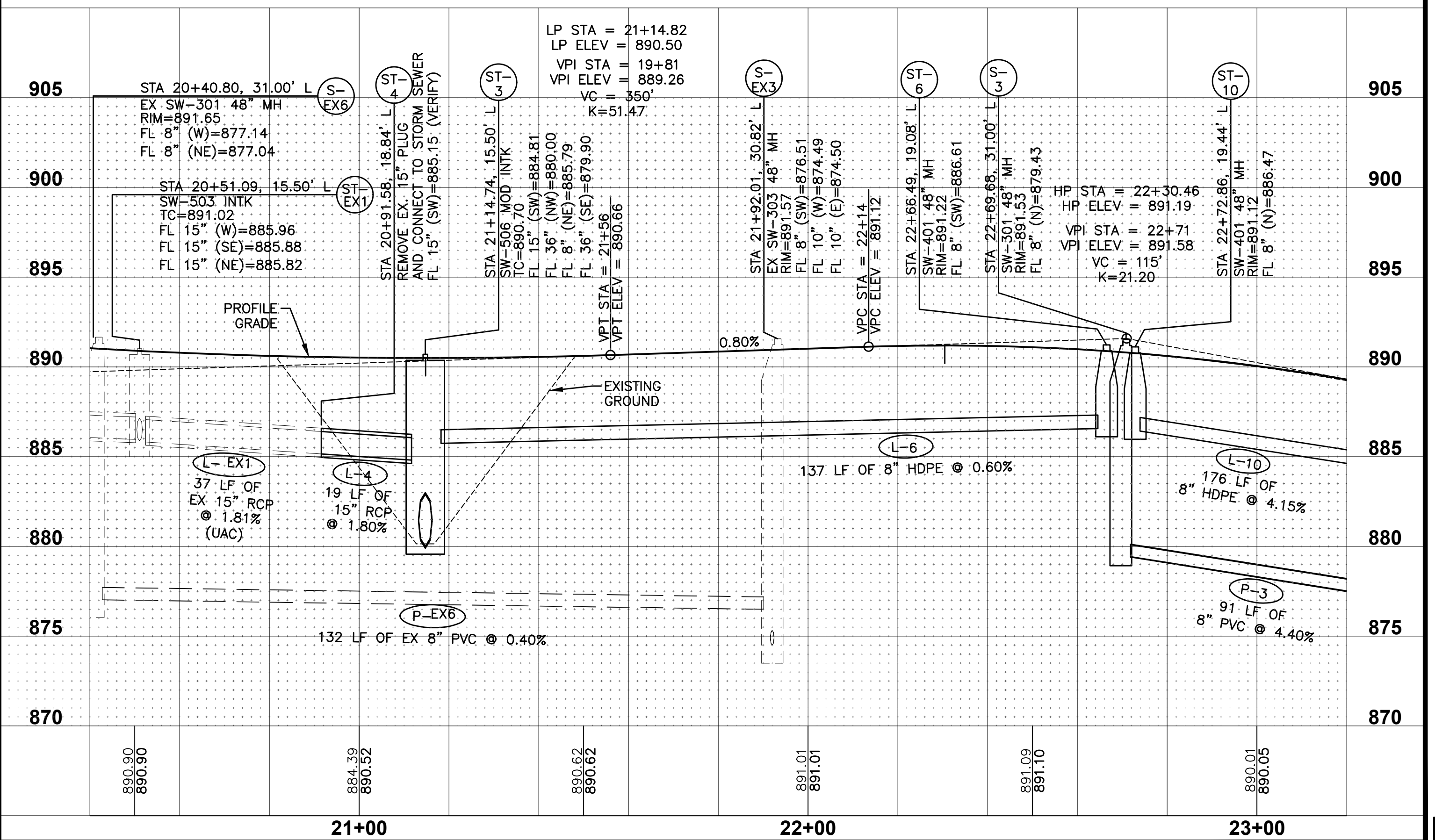
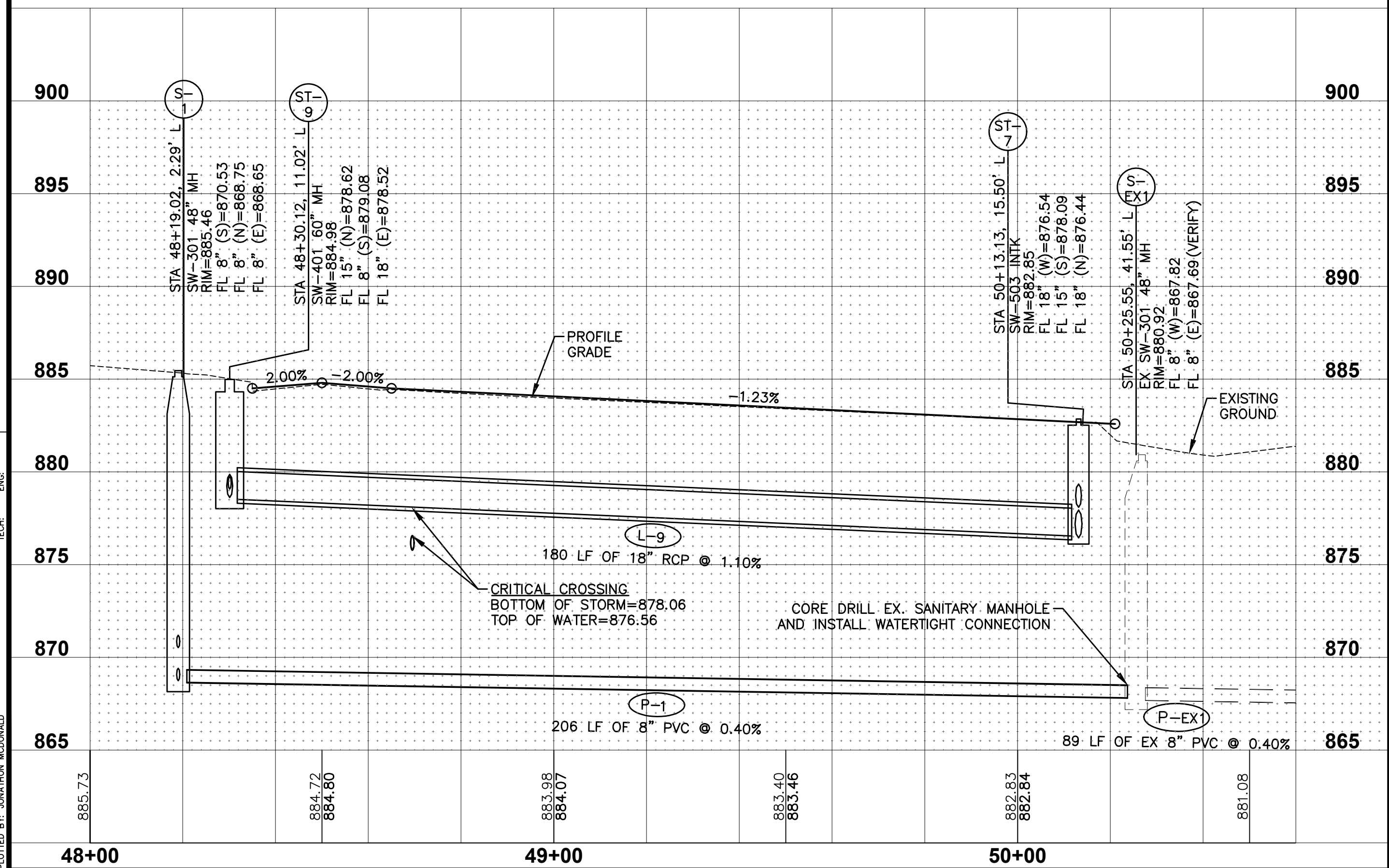
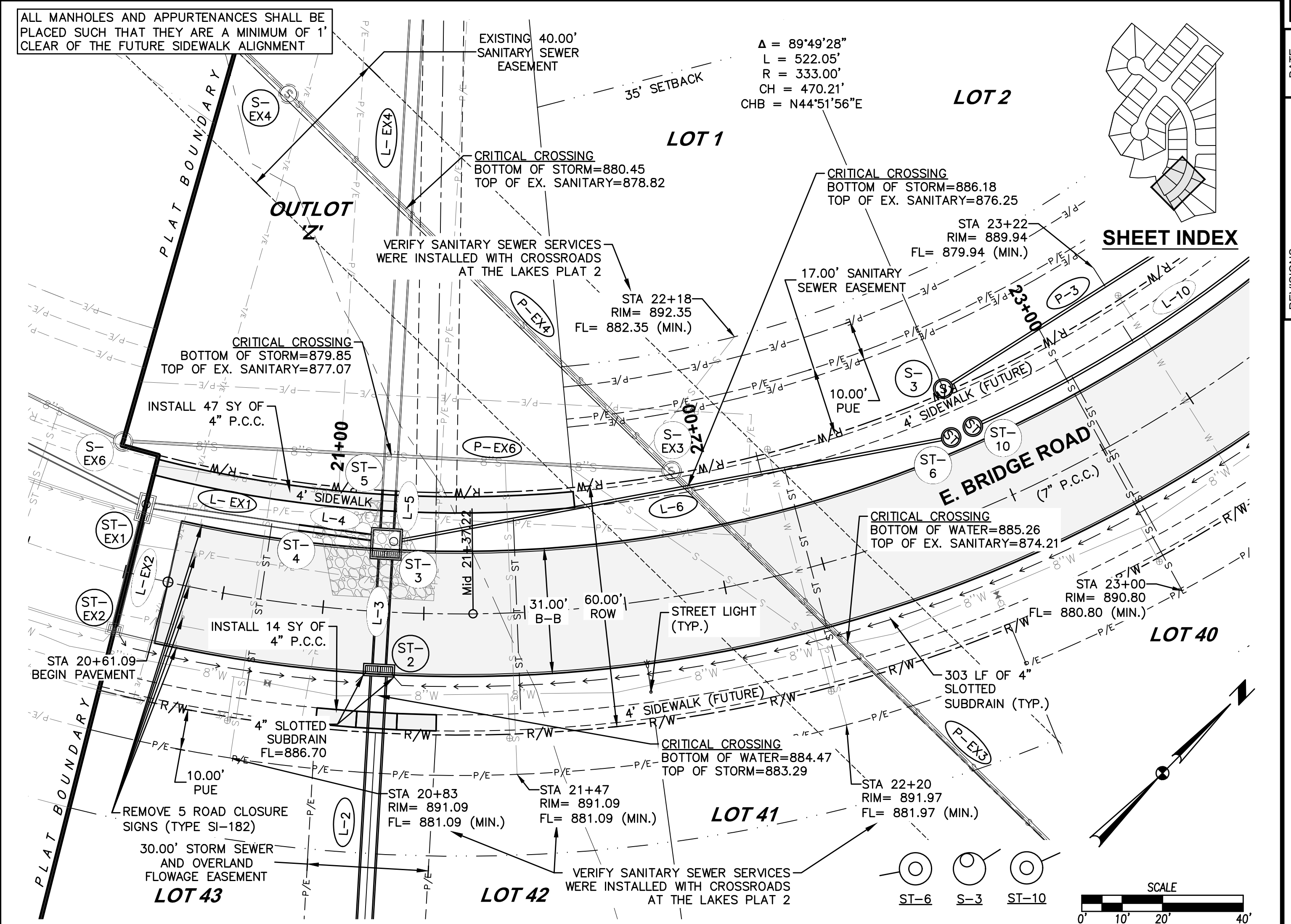
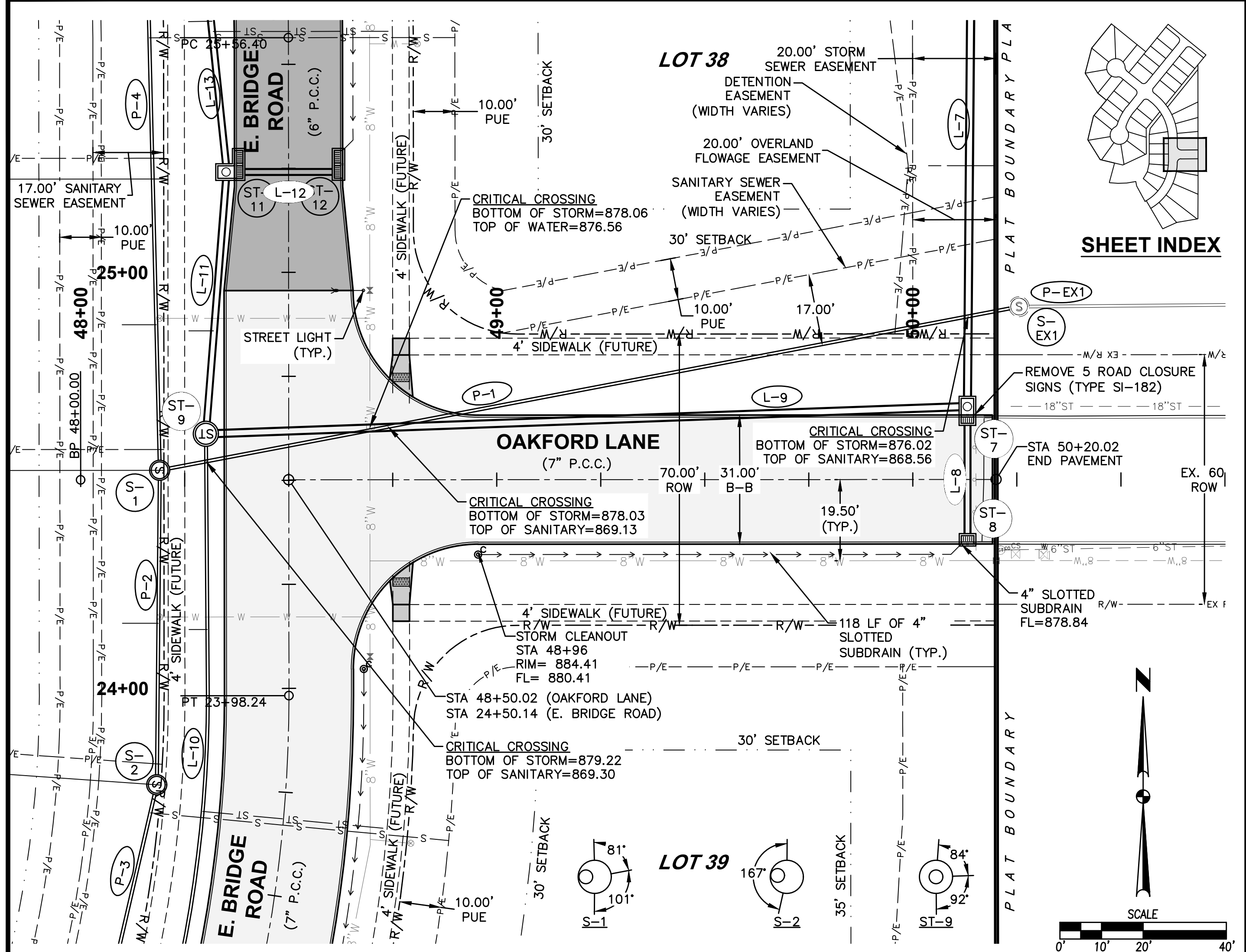
4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST



CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA



COMMENT: ENS.
 REVISION:
 PLOTTED BY: GAVANION MCCOY
 DATE: 9/20/2022 9:04 AM
 FILE: H:\2022\2206-432\WORK\2206-432-P&P.DWG



FILE: H:\2022\2206432\DWG\2206432-RFD.DWG
 COMMENT: ENDS
 PLOTTED BY: GAVIN MCDONALD
 DATE: 9/20/2022 9:04 AM

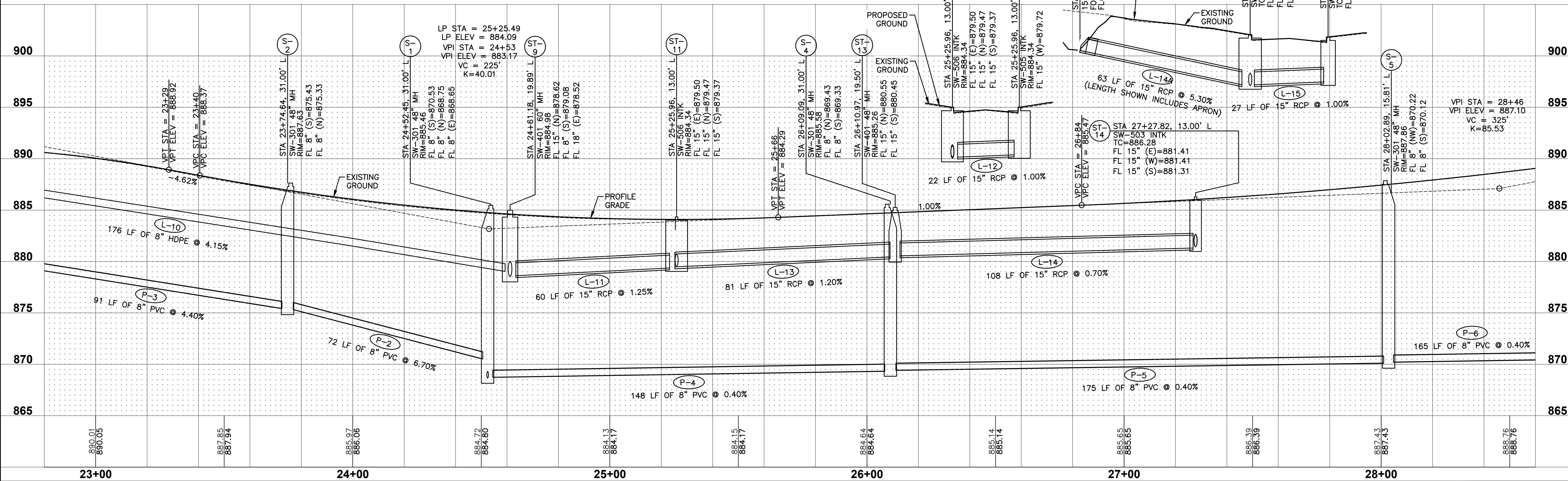
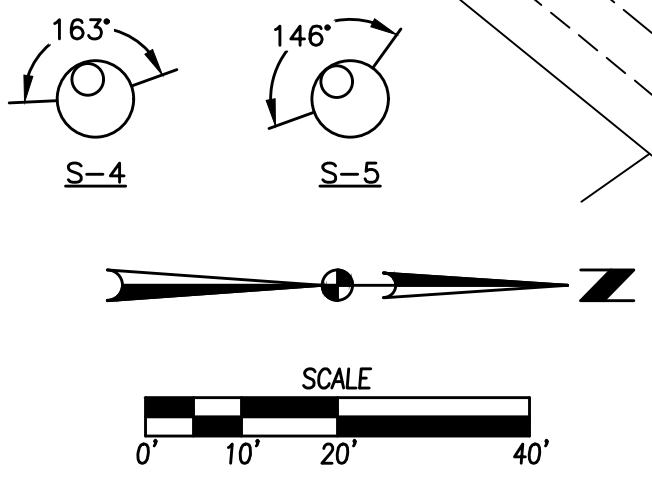
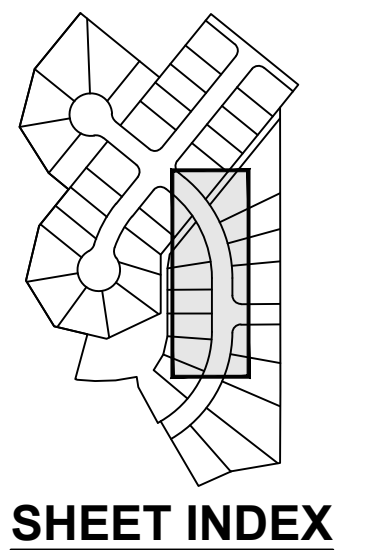
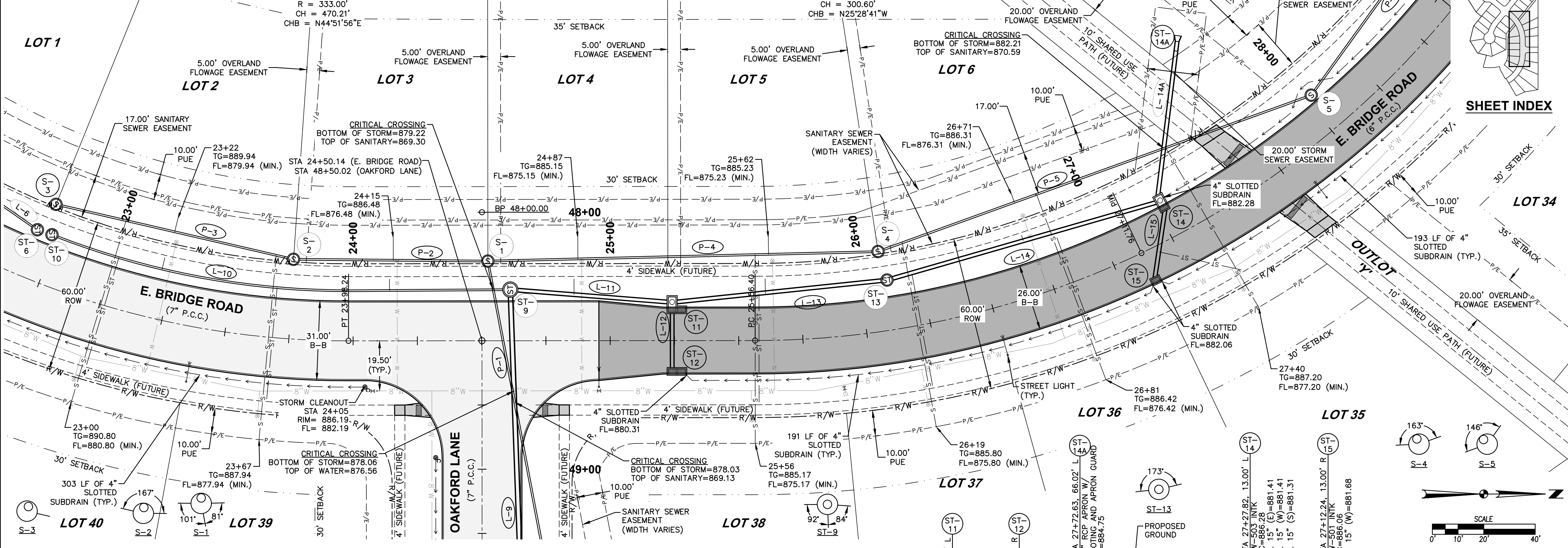
DATE	09/19/2022
THIRD SUBMITTAL	09/22/2022
SECOND SUBMITTAL	
FIRST SUBMITTAL	

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA

13
 26
 2206.432

ALL MANHOLES AND APPURTENANCES SHALL BE PLACED SUCH THAT THEY ARE A MINIMUM OF 1' CLEAR OF THE FUTURE SIDEWALK ALIGNMENT

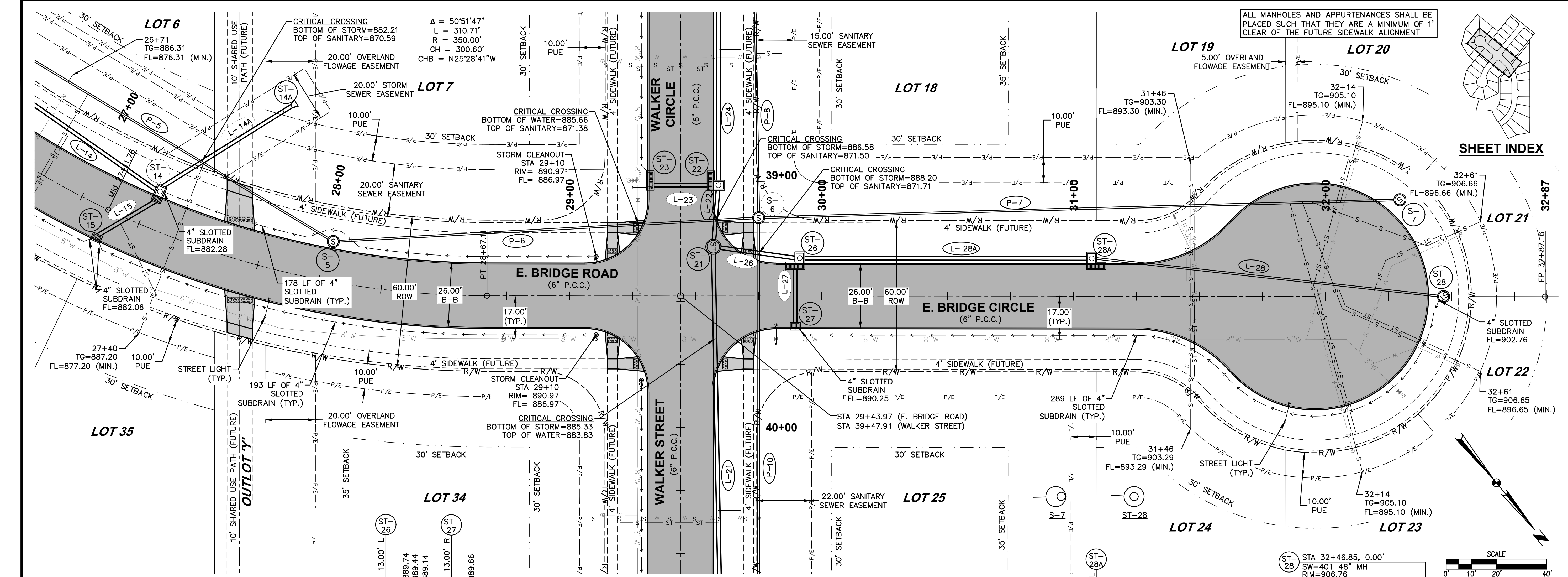


COMMENT: ENCS
 FILE: H:\2022\2206432\DWG\2206432-PWD.DWG
 PLOTTED BY: AUSTIN MCDONALD
 DATE: 9/20/2022 9:04 AM

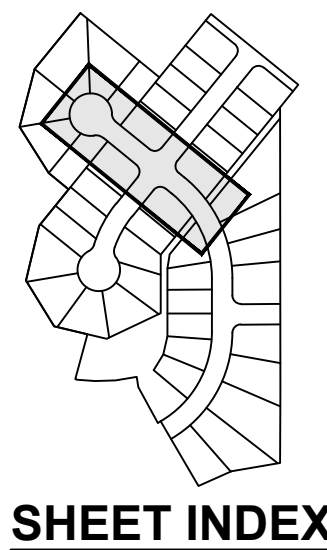
DATE	REVISIONS
09/19/2022 <td>THIRD SUBMITTAL</td>	THIRD SUBMITTAL
09/22/2022 <td>SECOND SUBMITTAL</td>	SECOND SUBMITTAL
07/09/2022 <td>FIRST SUBMITTAL</td>	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

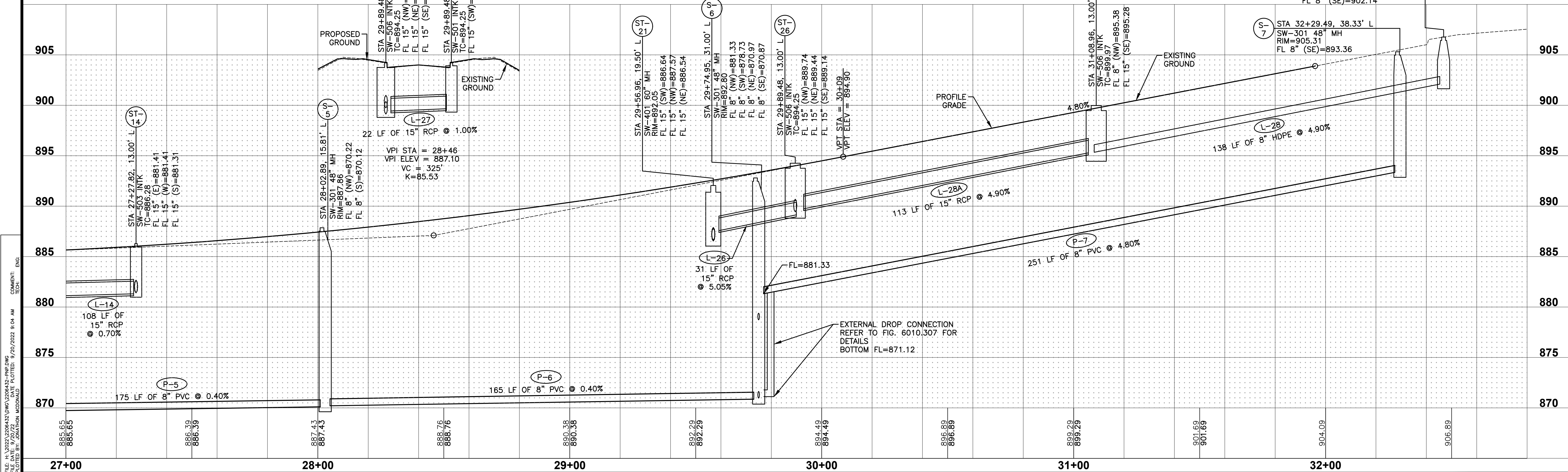
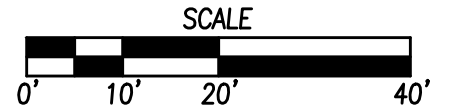
CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA
14
26
 2206.432



ALL MANHOLES AND APPURTENANCES SHALL BE PLACED SUCH THAT THEY ARE A MINIMUM OF 1' CLEAR OF THE FUTURE SIDEWALK ALIGNMENT



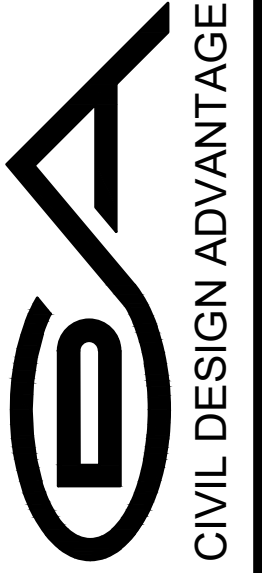
SHEET INDEX



FILE: H:\2022\2206432\DWG\2206432-PHE.DWG
 COMMENT: ENCS
 REVISION: 1
 PLOTTED BY: AUTOCAD
 DATE: 9/20/2022 9:04 AM

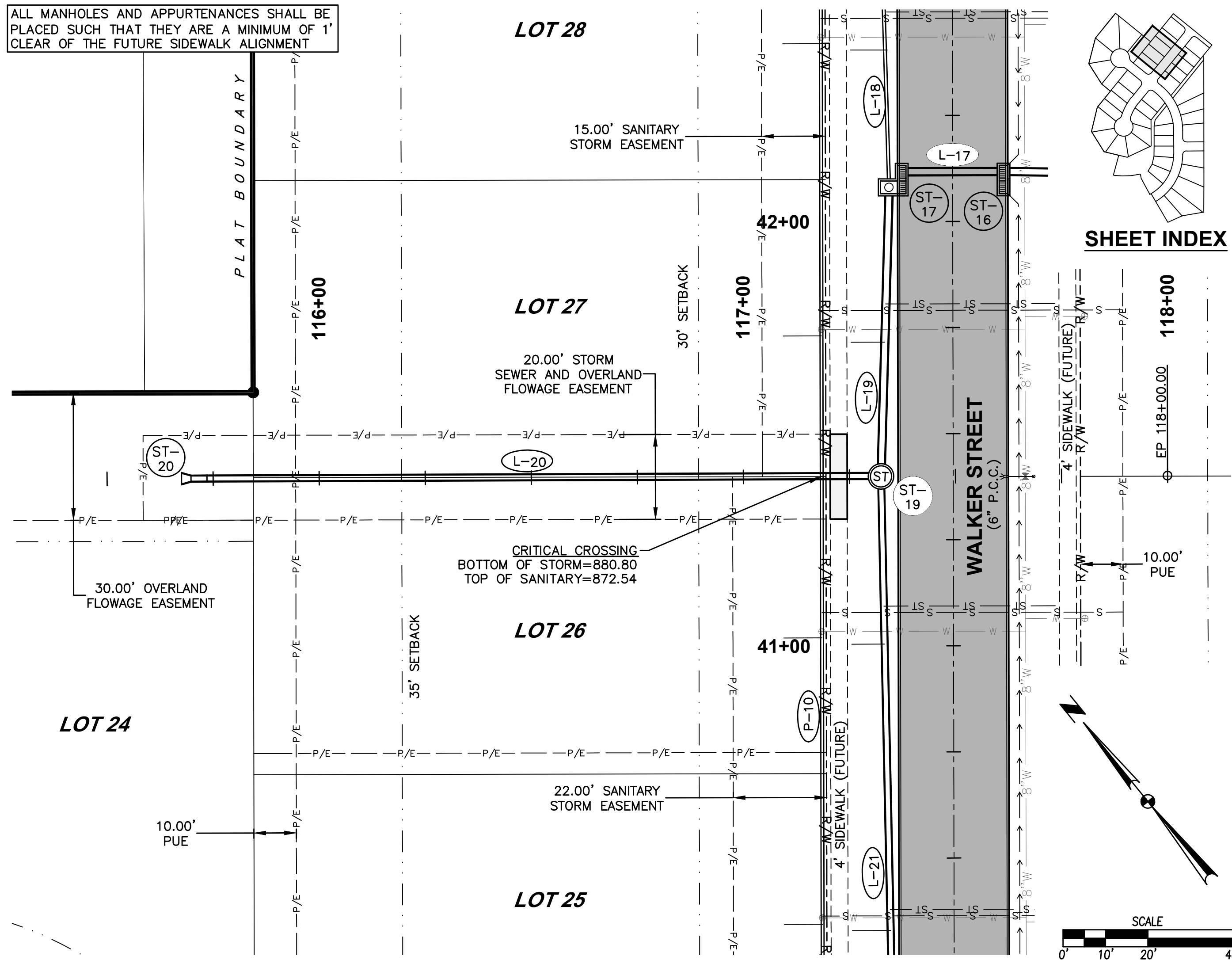
DATE	REVISIONS
09/19/2022	THIRD SUBMITTAL
09/22/2022	SECOND SUBMITTAL
07/09/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

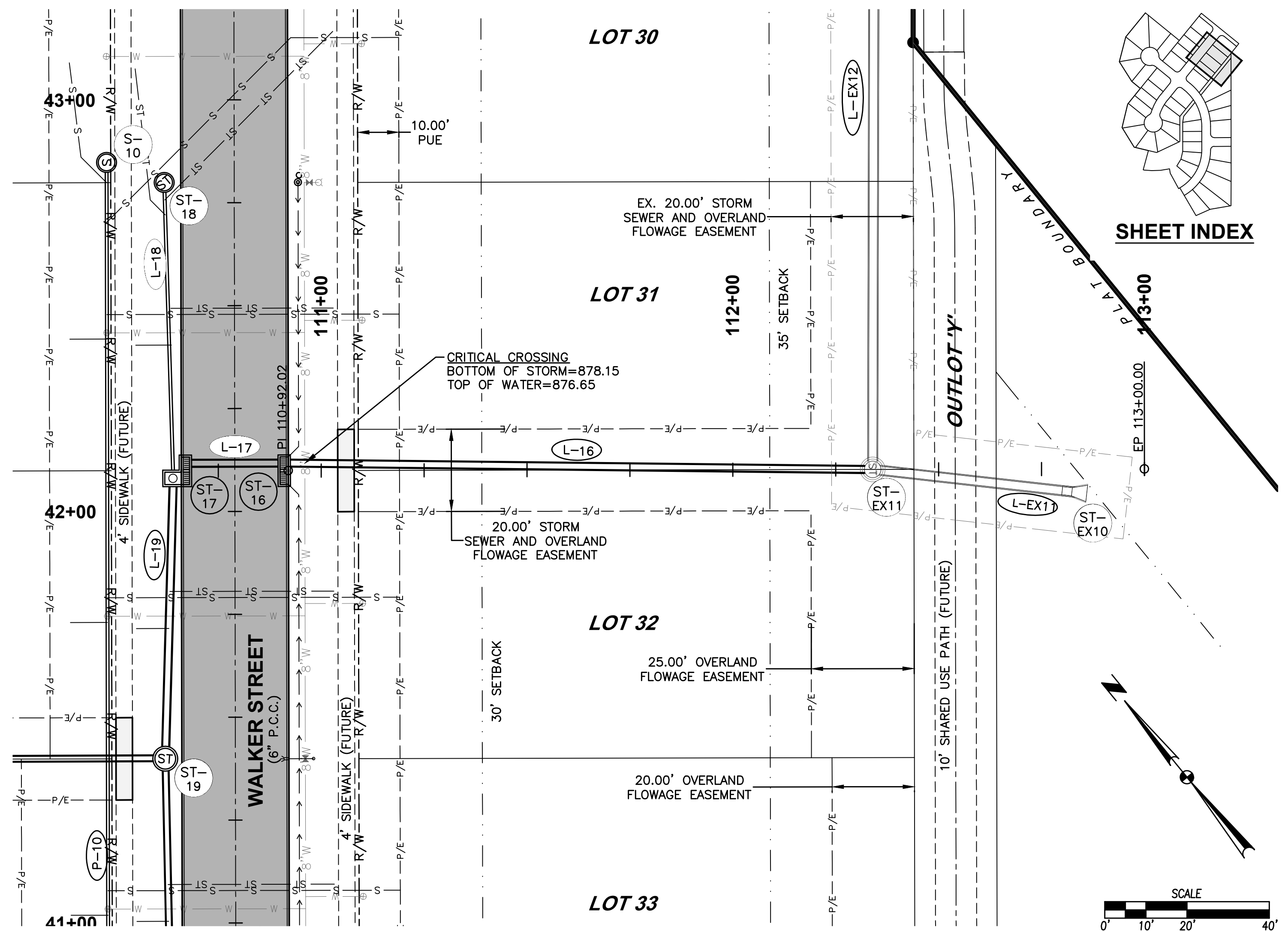
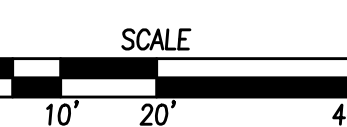


CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA

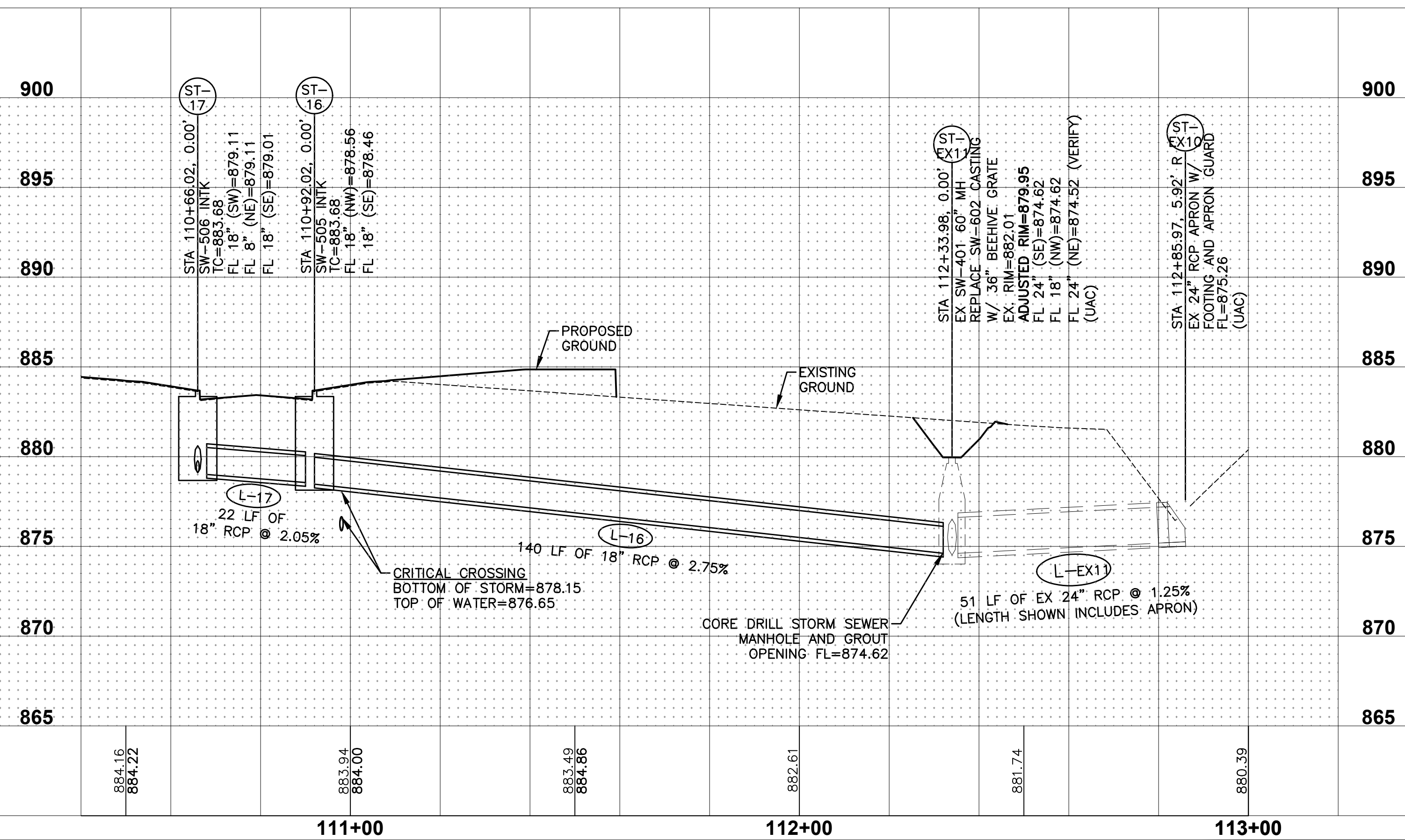
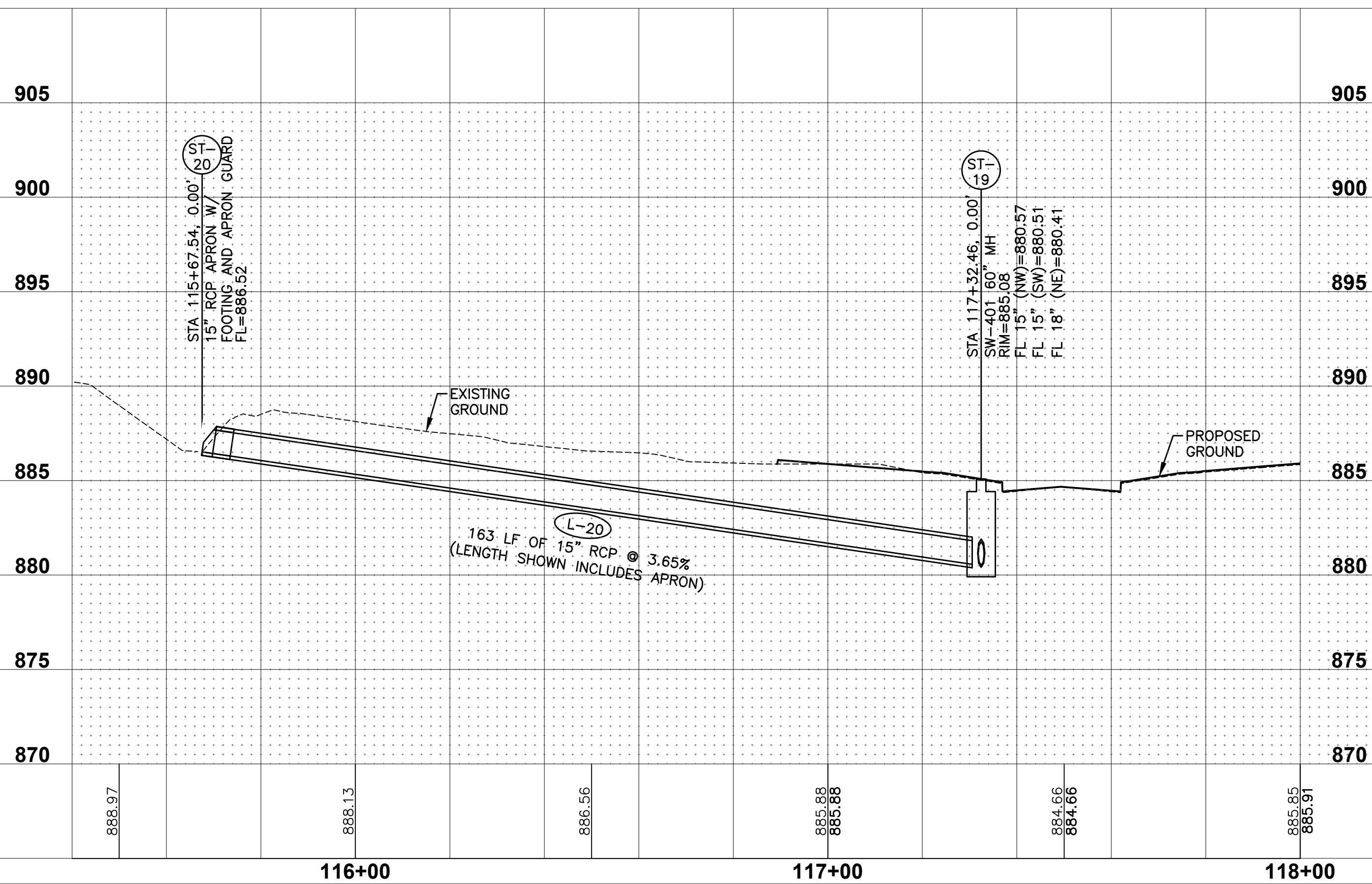
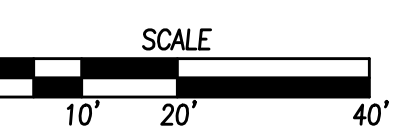
ALL MANHOLES AND APPURTENANCES SHALL BE PLACED SUCH THAT THEY ARE A MINIMUM OF 1' CLEAR OF THE FUTURE SIDEWALK ALIGNMENT



SHEET INDEX



SHEET INDEX



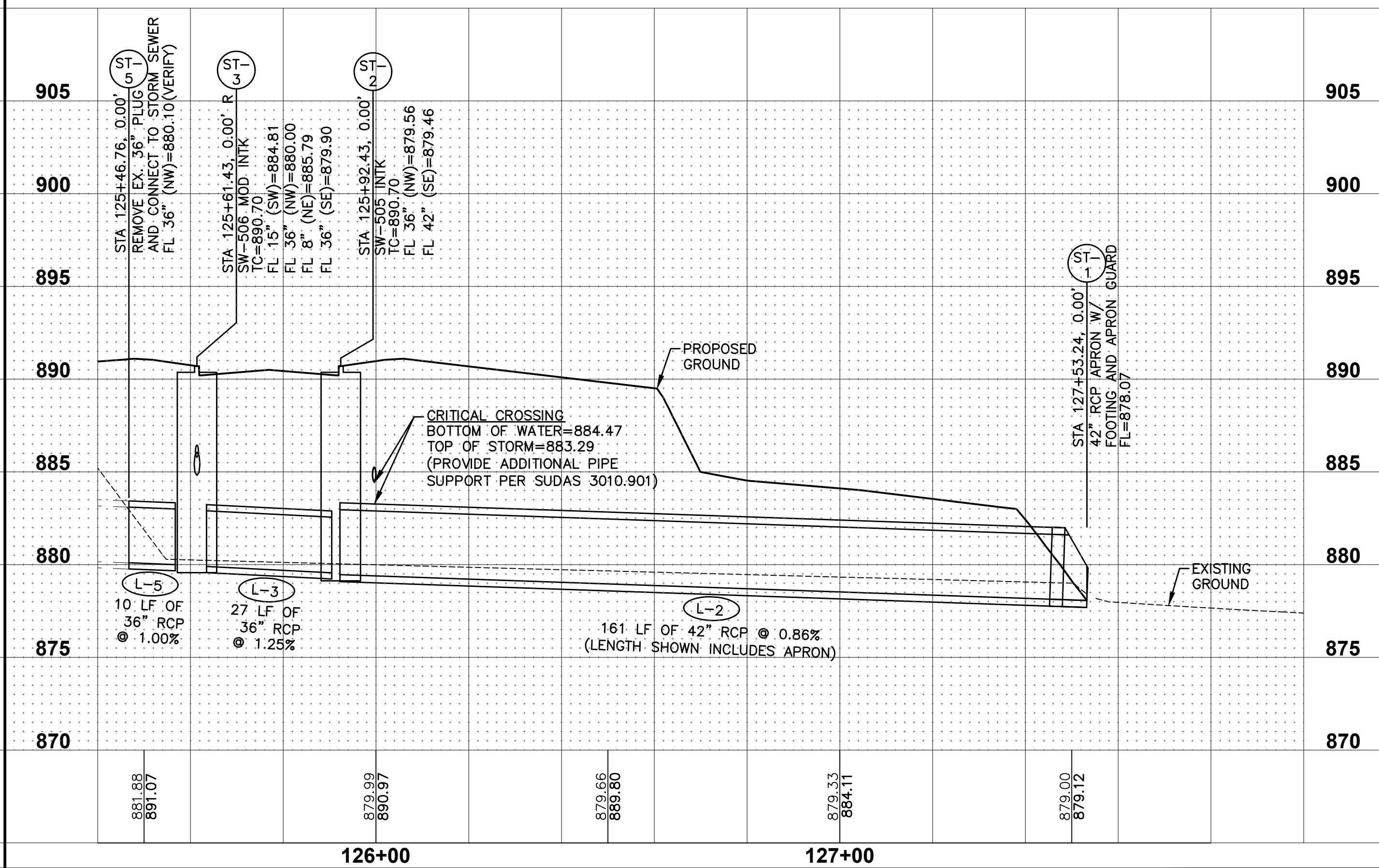
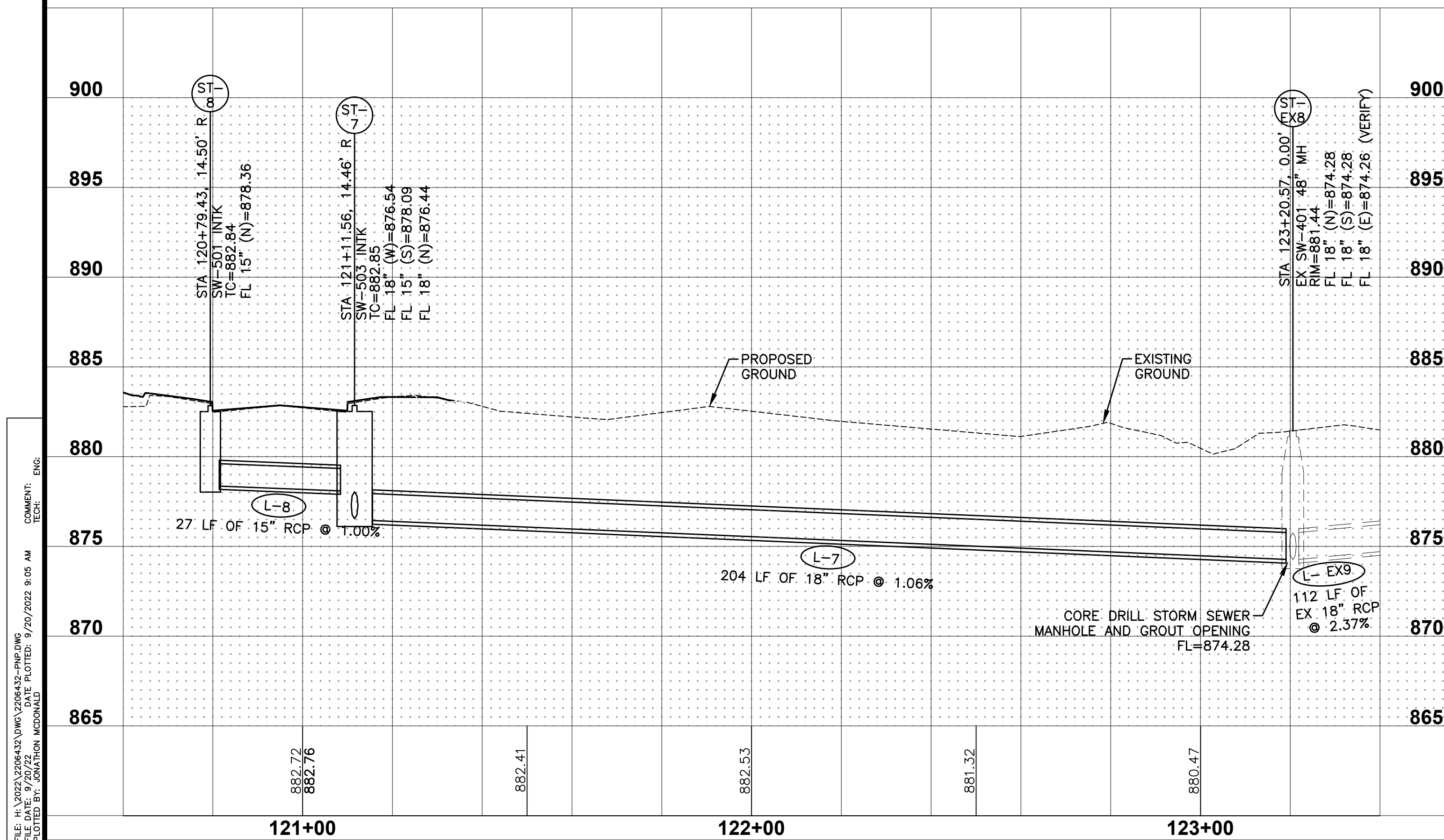
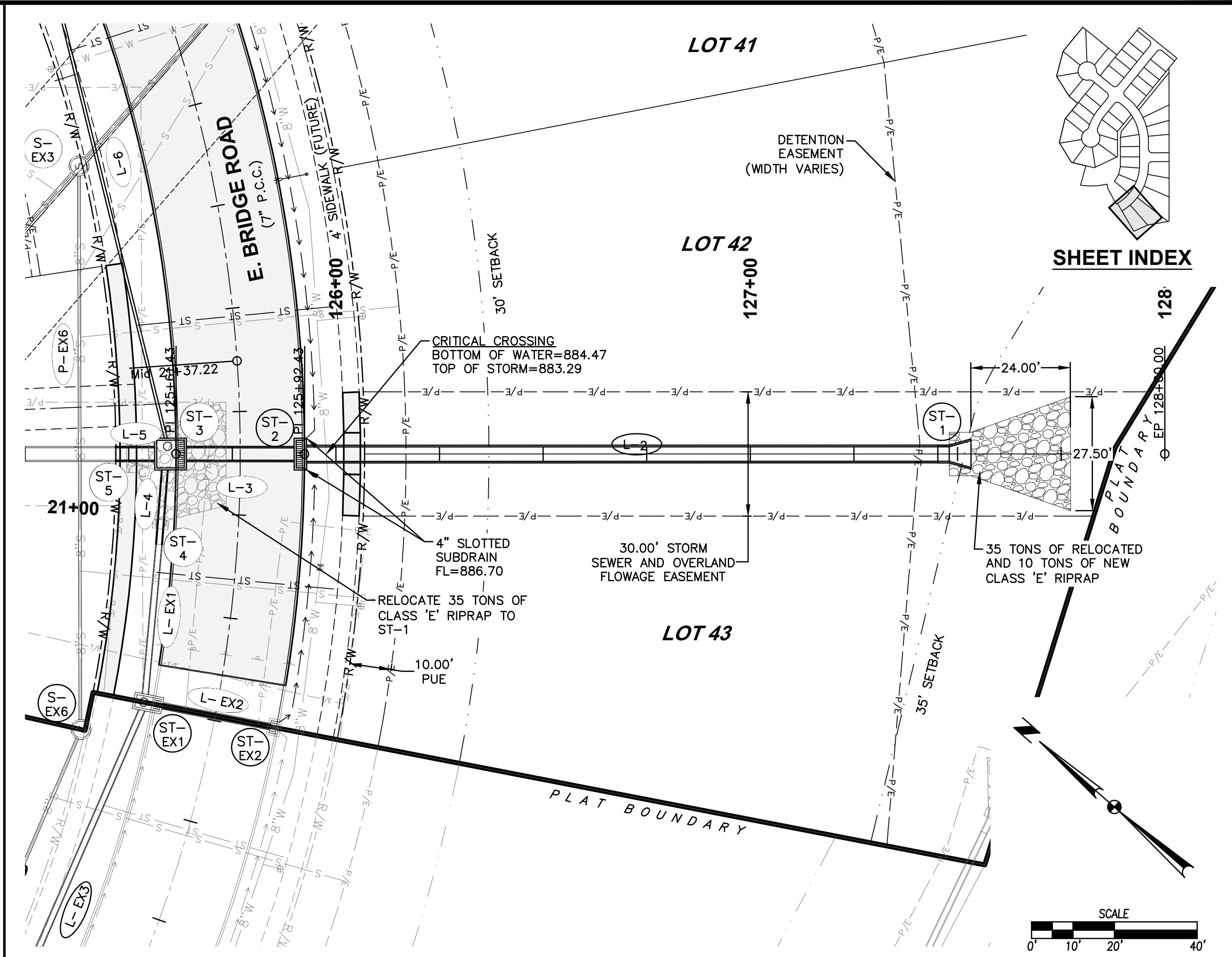
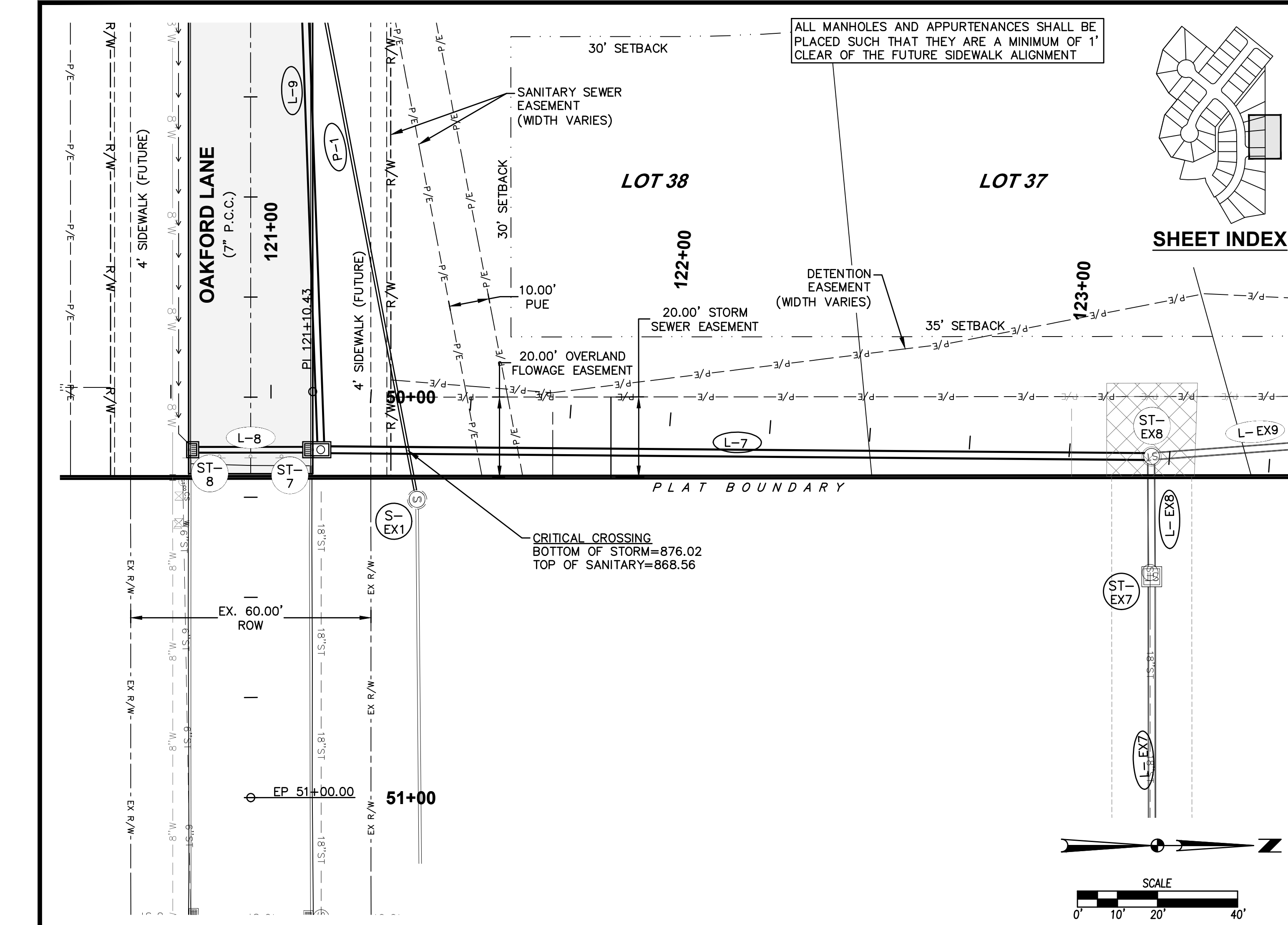
FILE: H:\2022\2206432\DWG\2206432-PHE.DWG
 COMMENT: ENCS
 REVISION: 1
 PLOTTED BY: GAVIN MCDONALD
 PLOTTED DATE: 9/20/2022 9:05 AM

REVISIONS	DATE
THIRD SUBMITTAL	09/19/2022
SECOND SUBMITTAL	08/22/2022
FIRST SUBMITTAL	07/06/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST



CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA



FILE: H:\2022\2206432\DWG\2206432-PRE.DWG
 COMMENT: ENR
 REVISION: ENR
 PLOTTED BY: ADOVATION MCDONALD
 PLOTTED: 9/20/2022 9:05 AM

CROSSROADS AT THE LAKES PLAT 3
 ROADWAY, STORM & SANITARY SEWER PLAN AND PROFILE
 POLK CITY, IOWA

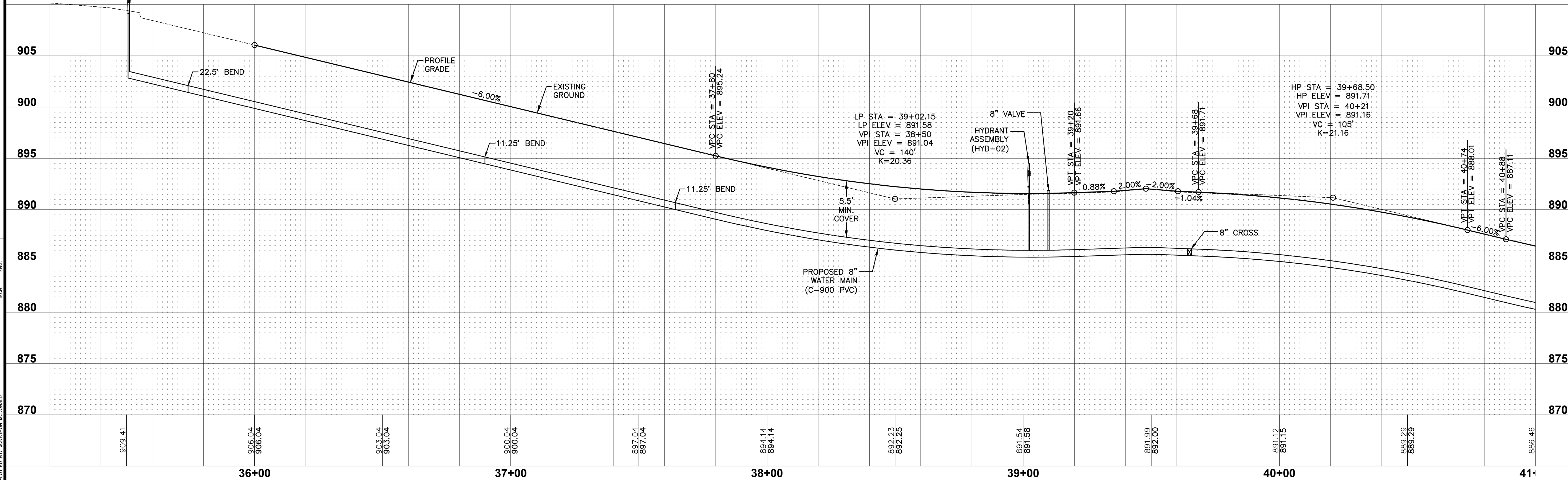
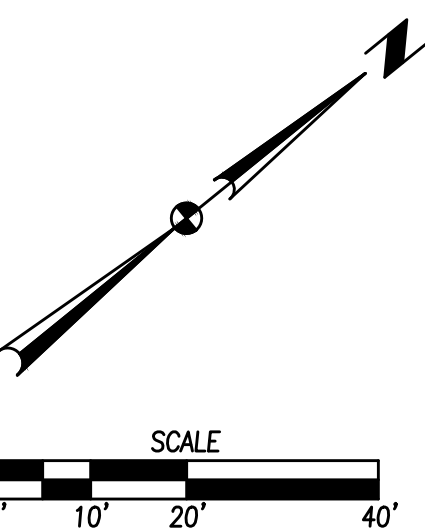
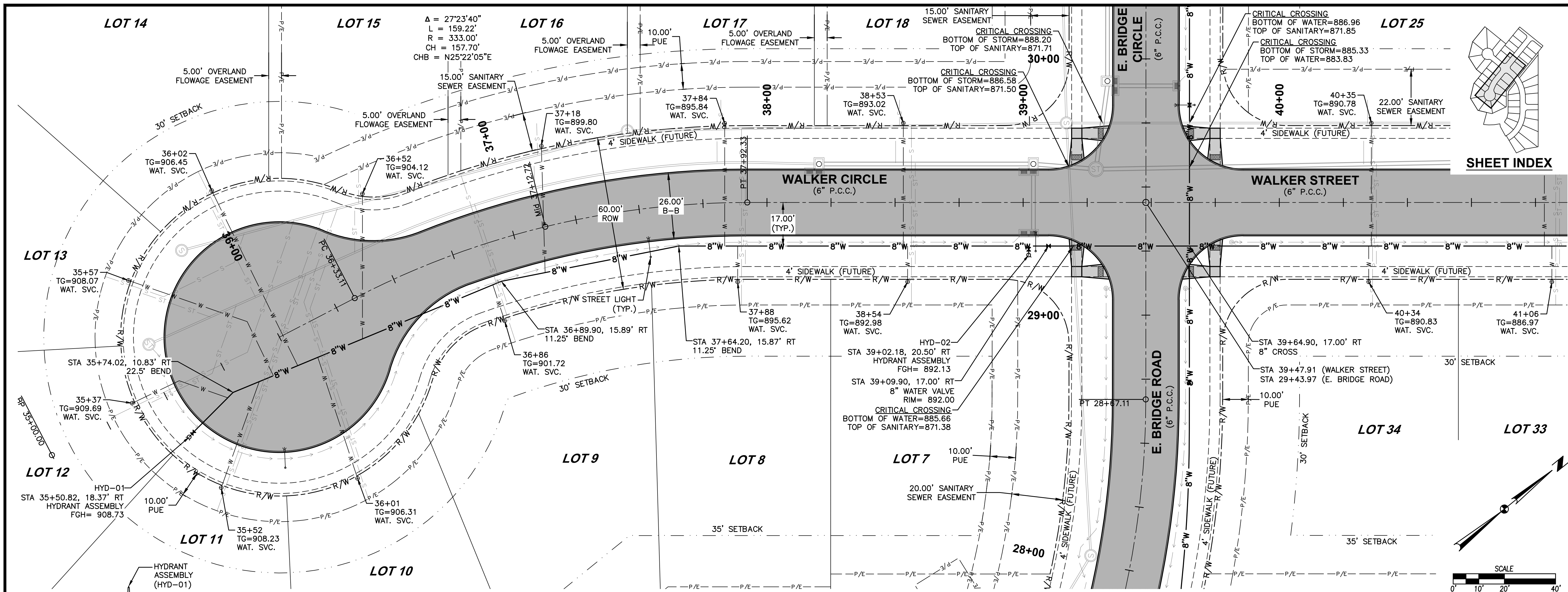
17
26
2206.432

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

REVISIONS

DATE	REVISIONS
09/19/2022	THIRD SUBMITTAL
08/22/2022	SECOND SUBMITTAL
07/06/2022	FIRST SUBMITTAL



FILE: H:\2022\2206-432\2206-432-PWP-WATER.DWG
 COMMENT: ENCL 1
 PLOTTED BY: AUSTIN MCCONNELL
 DATE: 9/20/2022 9:05 AM

DATE
 09/19/2022

THIRD SUBMITTAL
 09/22/2022

SECOND SUBMITTAL
 08/22/2022

FIRST SUBMITTAL
 07/06/2022

REVISIONS

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: EKO
ENGINEER: GH/JWM
TECH: MST

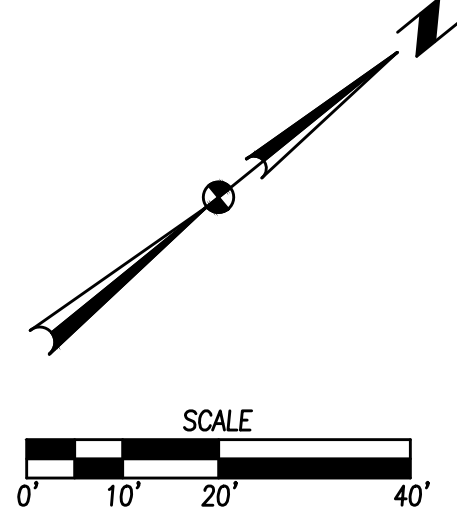
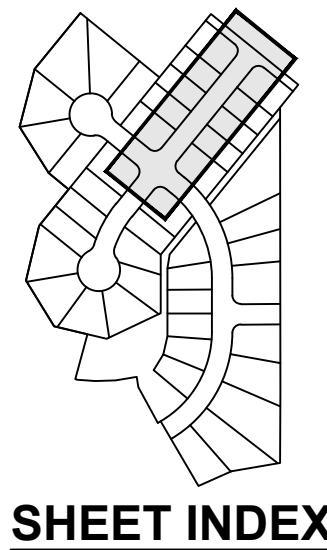
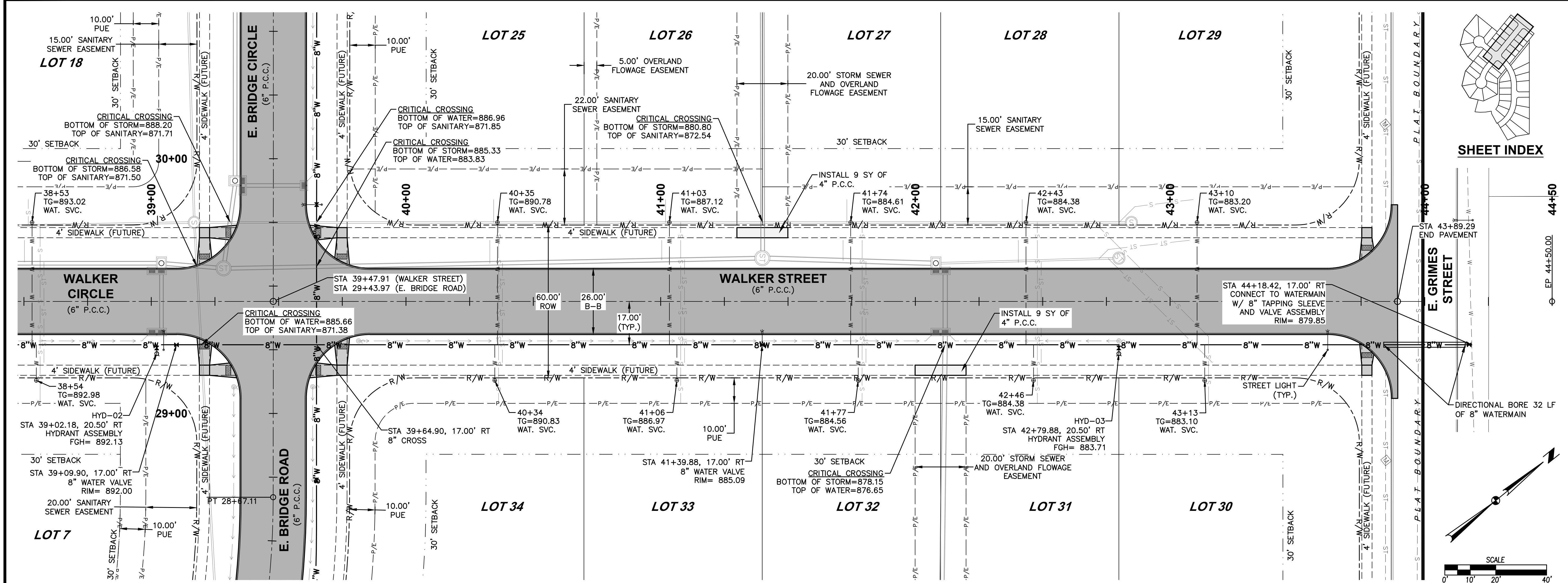
CIVIL DESIGN ADVANTAGE

POLK CITY, IOWA

CROSSROADS AT THE LAKES PLAT 3
WATERMAIN PLAN AND PROFILE

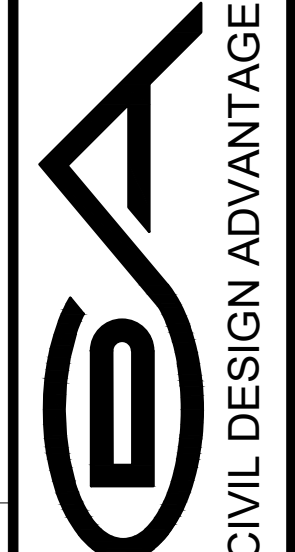
18
26

2206.432



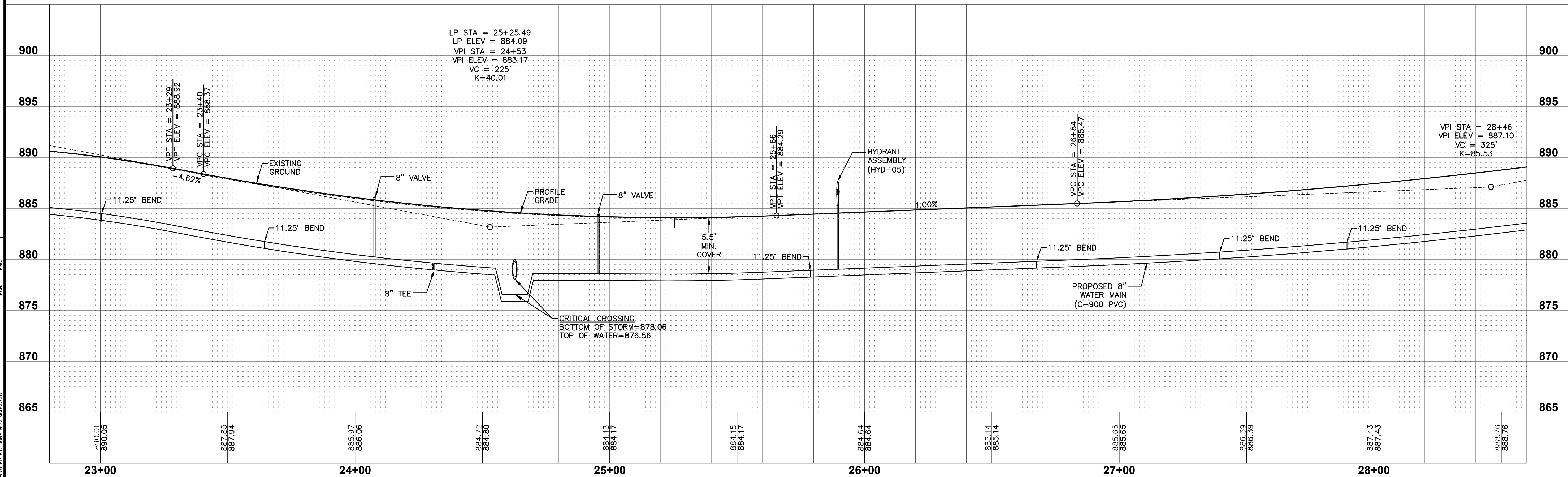
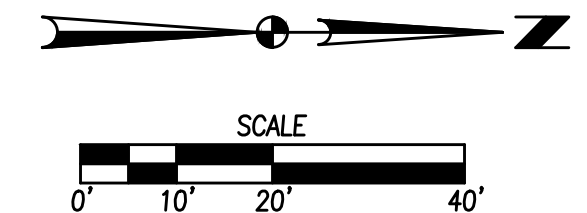
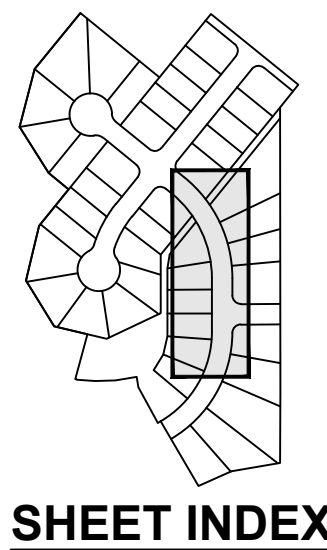
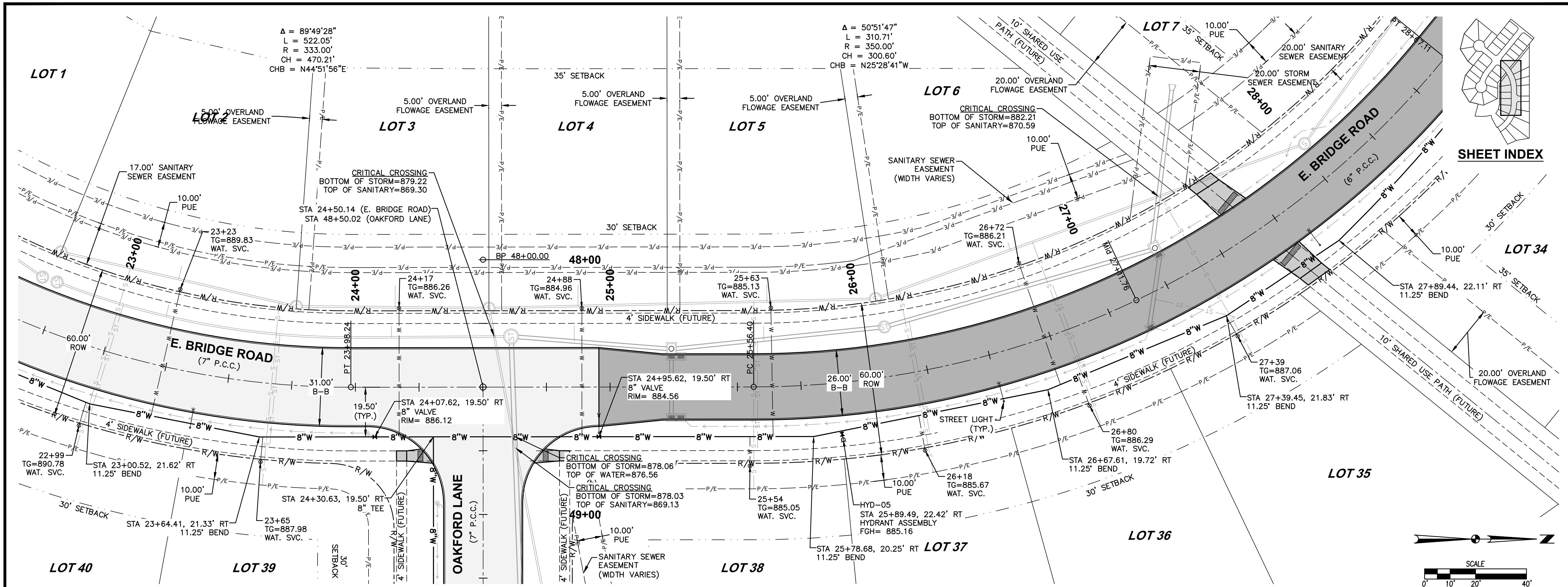
DATE	REVISIONS
09/19/2022	THIRD SUBMITTAL
09/22/2022	SECOND SUBMITTAL
07/09/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST



CROSSROADS AT THE LAKES PLAT 3
WATERMAIN PLAN AND PROFILE
 POLK CITY, IOWA

FILE: H:\2022\2206-432\WORK\2206-432-PWP-WATER.DWG
 COMMENT: ENG: PLOT: 9/20/2022 9:05 AM
 PLOTTED BY: ADVANTAGE MCDONALD



FILE: H:\2022\2206432\DWG\2206432-PWP-WATER.DWG
 COMMENT: ENCS
 DESIGNED BY: ANTHONY MCDONALD
 PLOTTED: 9/26/2022 9:05 AM

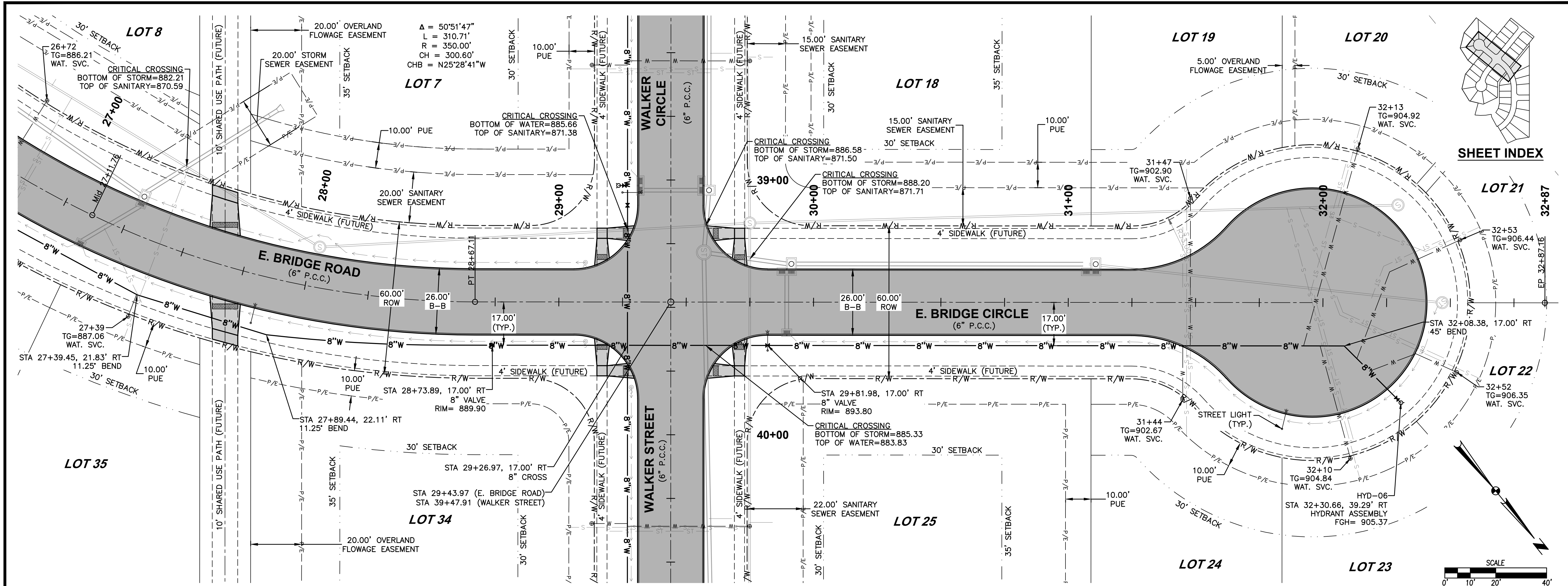
DATE	09/19/2022
THIRD SUBMITTAL	09/22/2022
SECOND SUBMITTAL	09/22/2022
FIRST SUBMITTAL	07/06/2022

REVISIONS
 4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

ESA
 CIVIL DESIGN ADVANTAGE
 POLK CITY, IOWA

21
26
 2206.432

CROSSROADS AT THE LAKES PLAT 3
WATERMAIN PLAN AND PROFILE

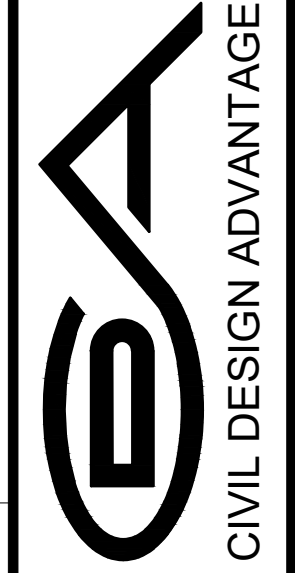


DATE
09/19/2022

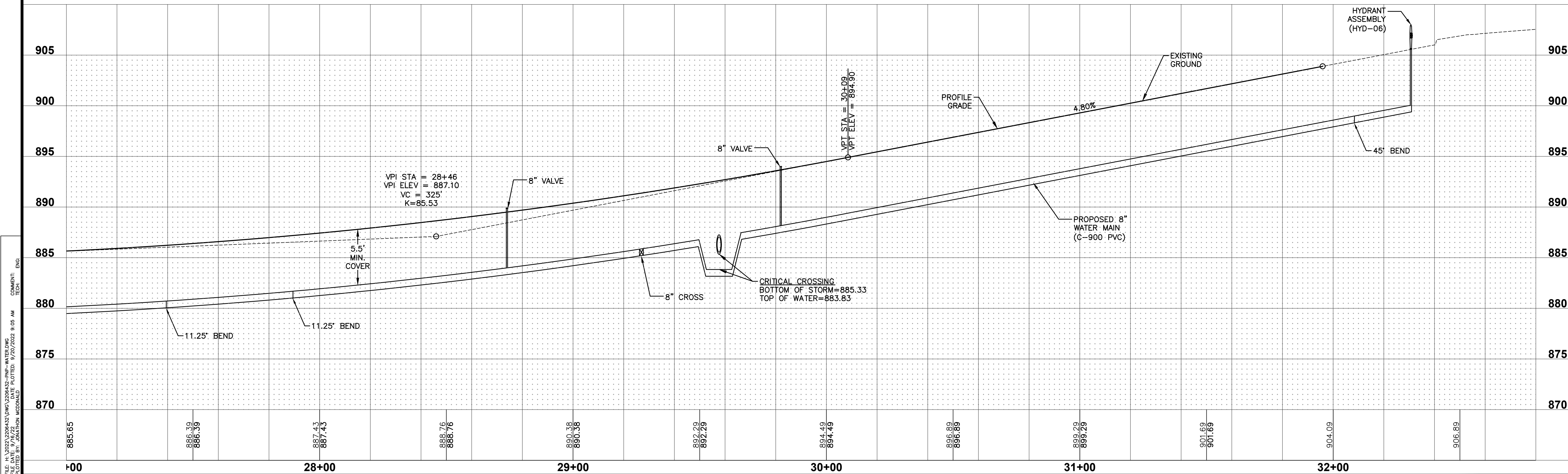
REVISIONS

NO.	DATE	DESCRIPTION
1	09/19/2022	THIRD SUBMITTAL
2	09/22/2022	SECOND SUBMITTAL
3	07/09/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 TECH: MST

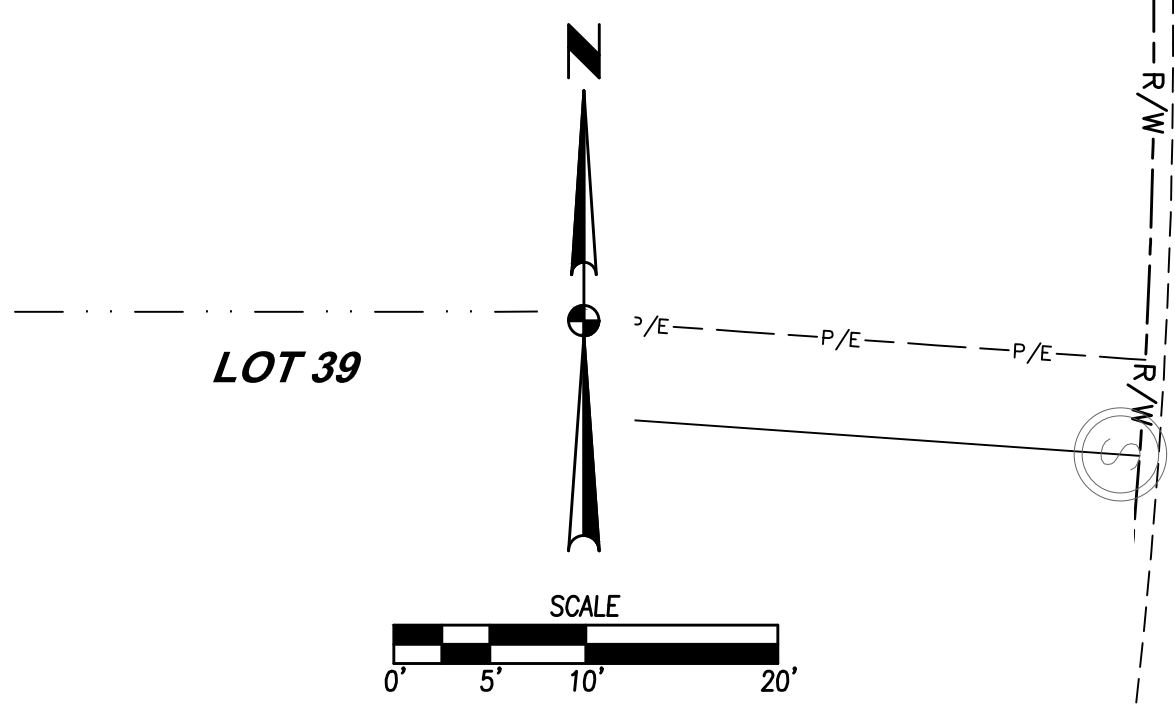
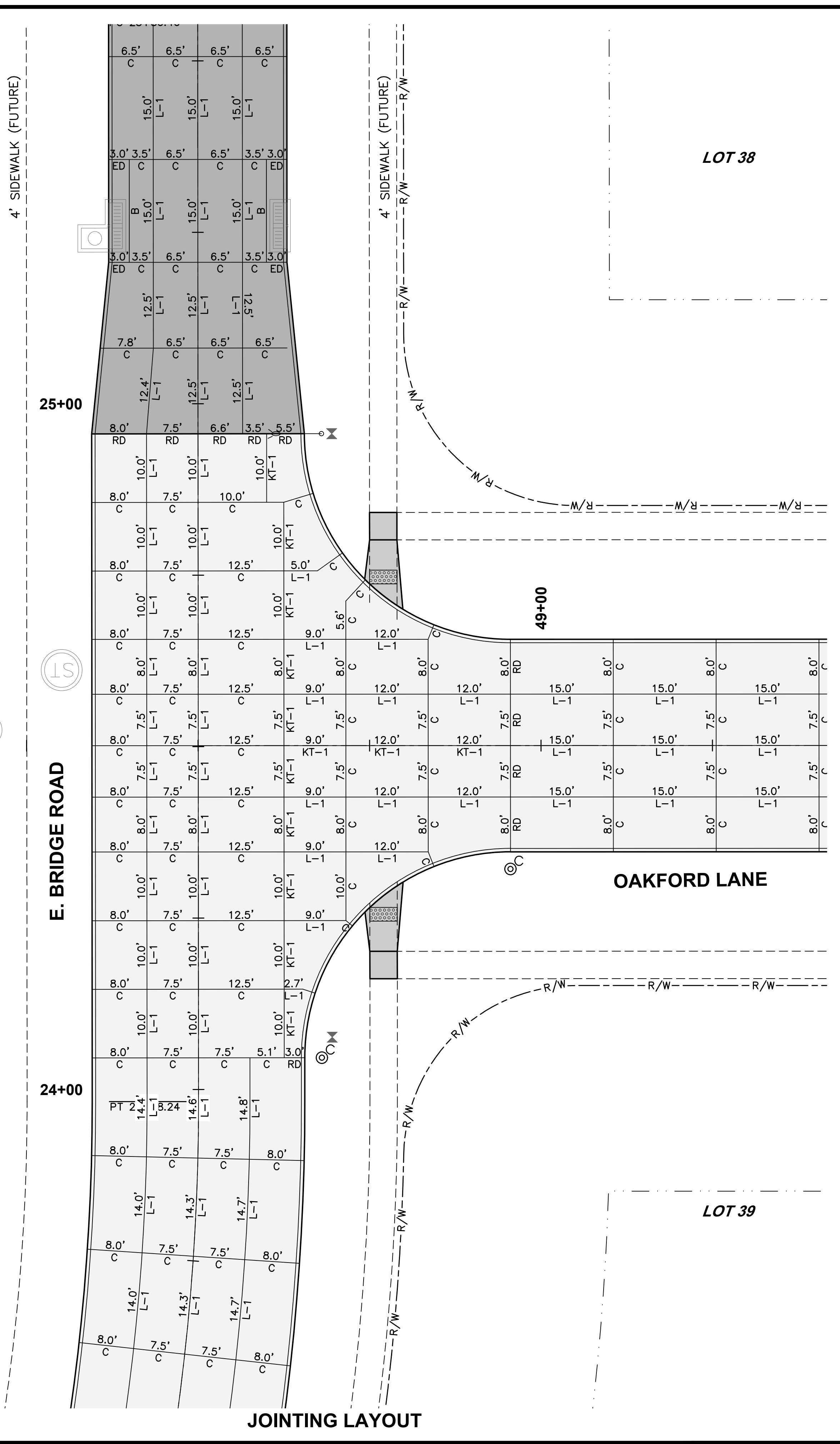
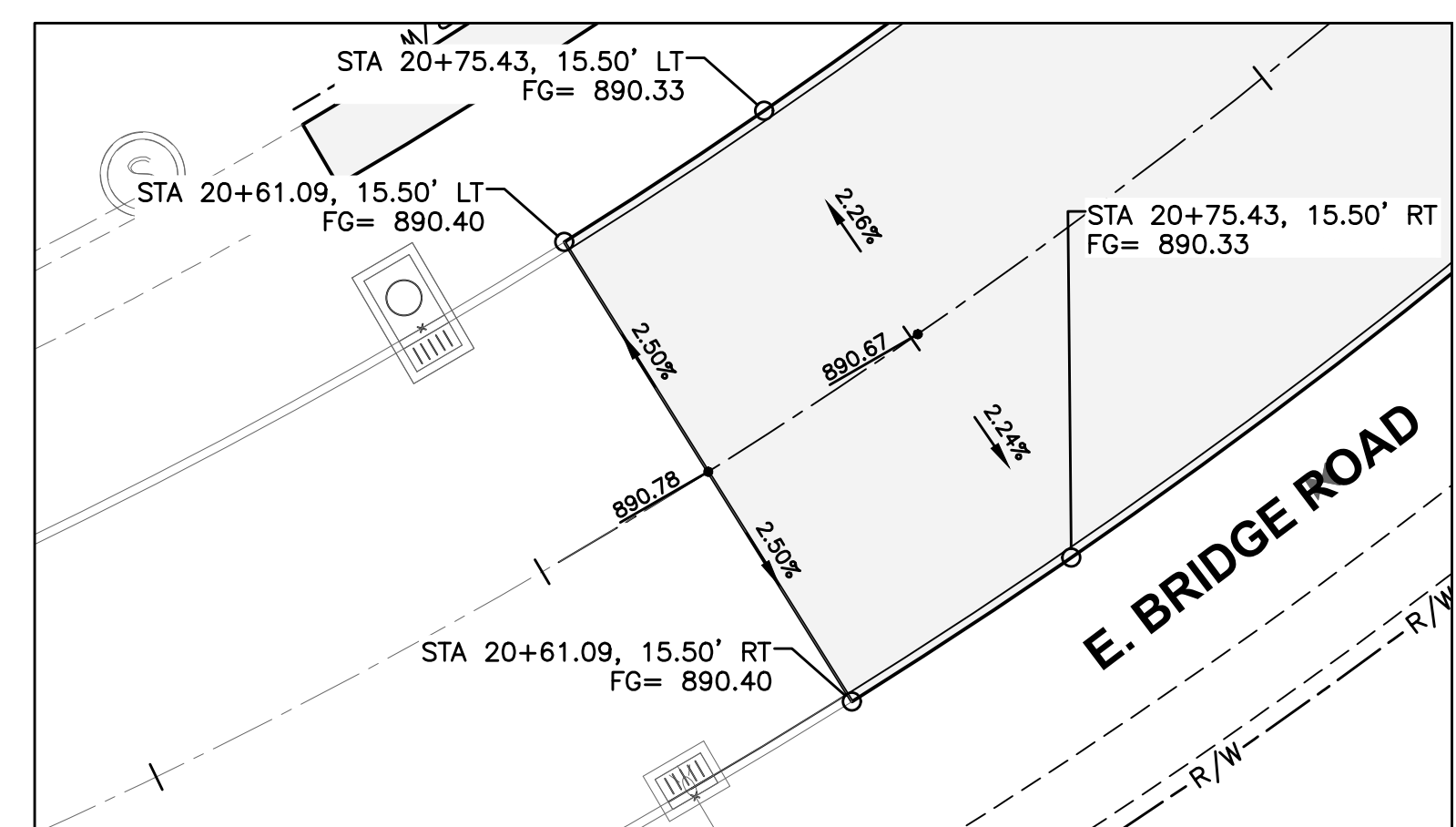
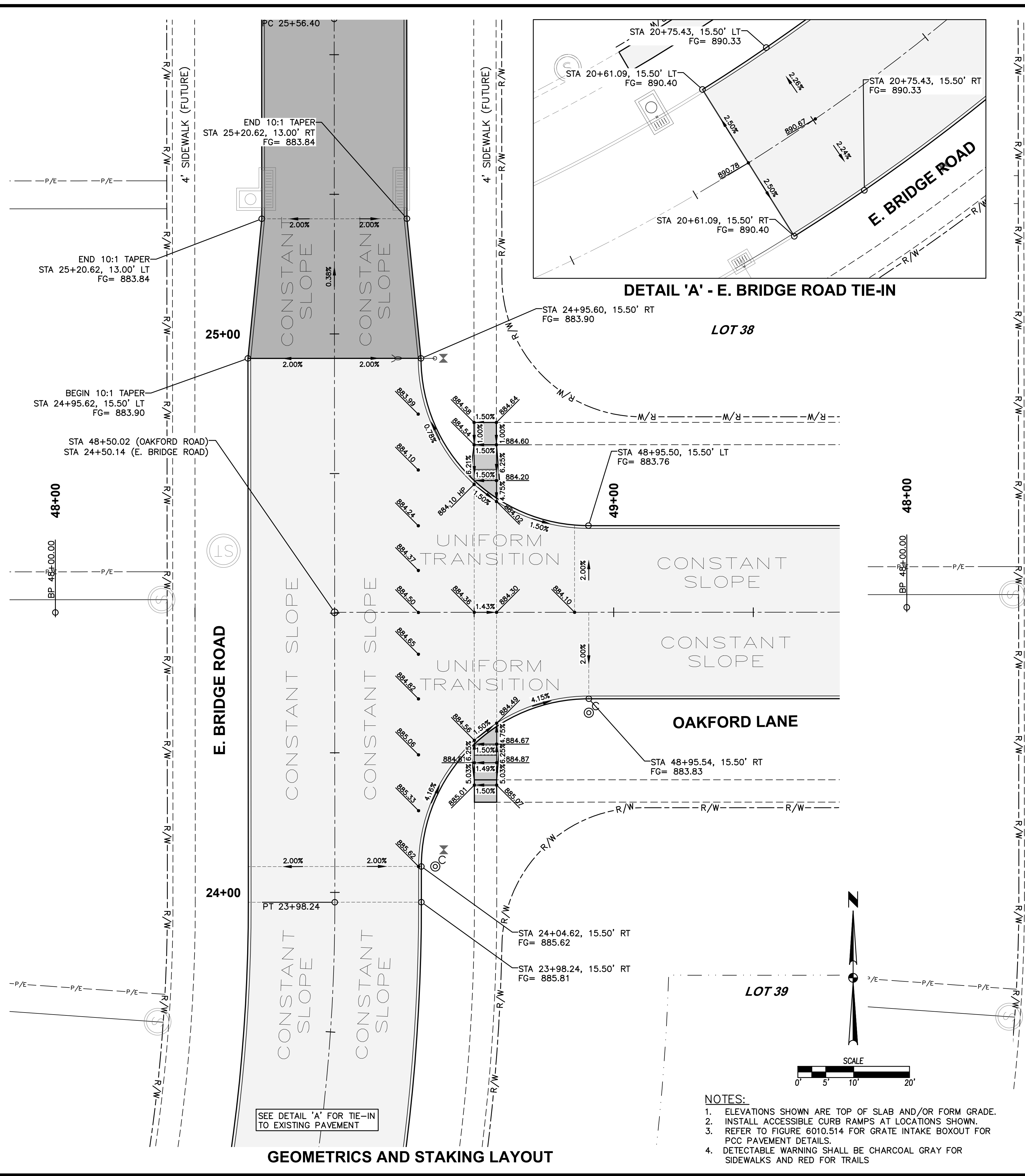


CROSSROADS AT THE LAKES PLAT 3
WATERMAIN PLAN AND PROFILE



FILE: H:\2022\2206432\WORK\2206432-PHP-WATER.DWG
 COMMENT: ENG.
 PLOTTED BY: ANTHONY MCCONNOR
 PLOTTED: 9/20/2022 9:05 AM

FILE: H:\2023\2206-432\WORK\2206-432-INTERSECTION.DWG
 COMMENT: INTERSECTION DWS
 PLOTTED BY: ADVANTION MIDLAND
 DATE: 9/20/2022 9:05 AM
 REVISION: ENS



- NOTES:**
- ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
 - INSTALL ACCESSIBLE CURB RAMPS AT LOCATIONS SHOWN.
 - REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.
 - DETECTABLE WARNING SHALL BE CHARCOAL GRAY FOR SIDEWALKS AND RED FOR TRAILS

CROSSROADS AT THE LAKES PLAT 3

INTERSECTION DETAILS

23/26

2206.432

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410

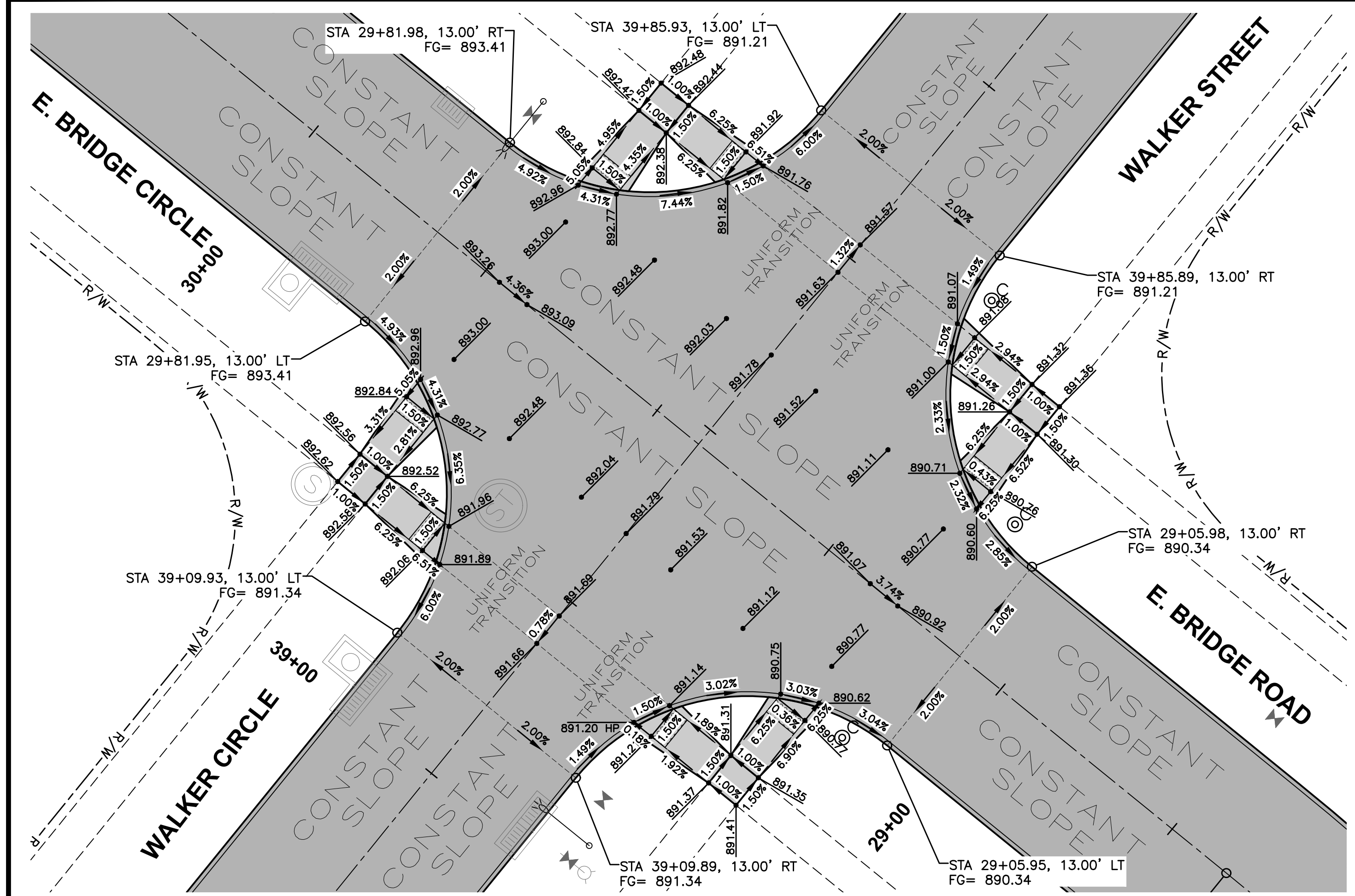
ENGINEER: EKO
 ENGINEER: GH/JWM
 TECH: MST

REVISIONS

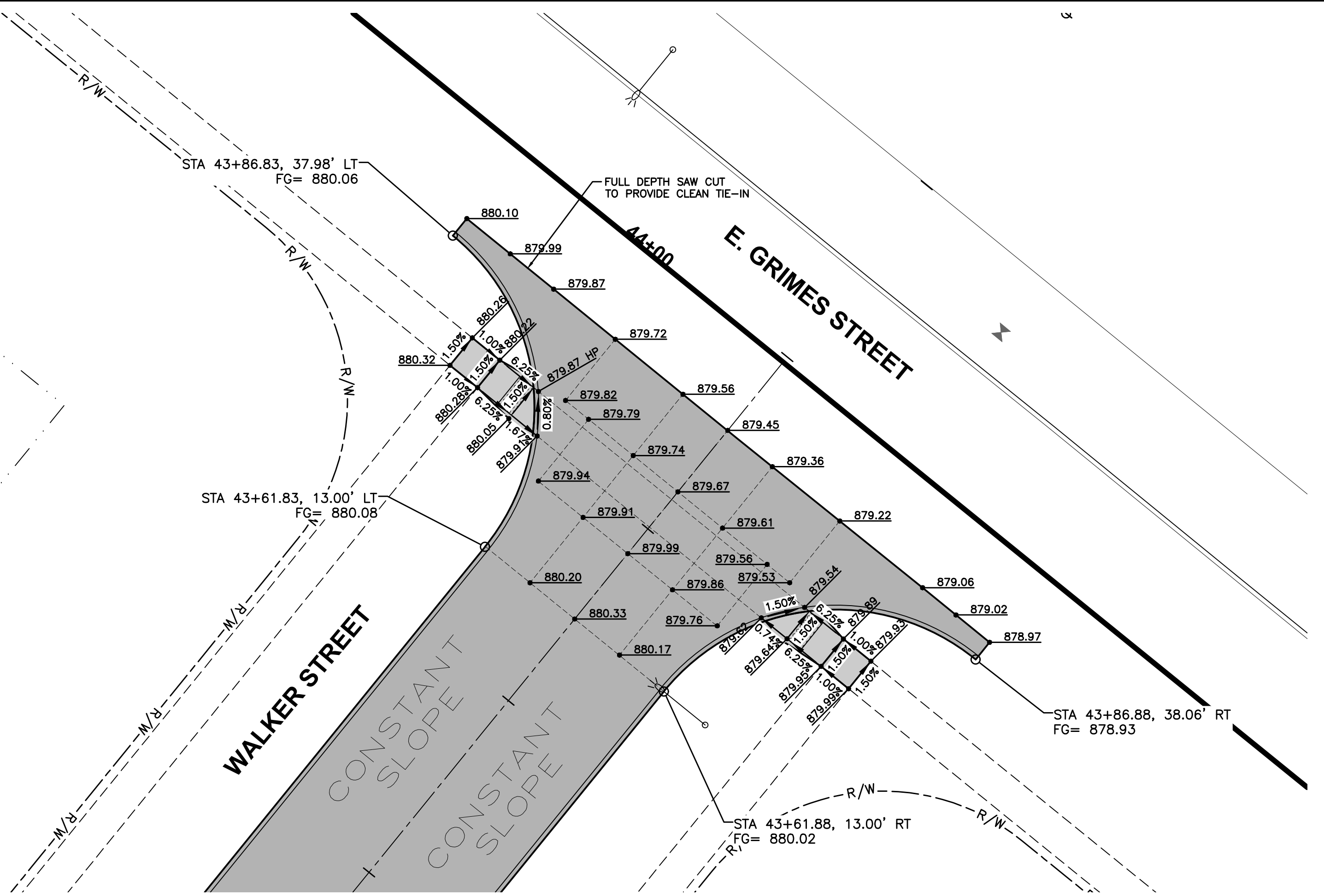
DATE	DESCRIPTION
09/19/2022	THIRD SUBMITTAL
08/22/2022	SECOND SUBMITTAL
07/08/2022	FIRST SUBMITTAL

ESA
 CIVIL DESIGN ADVANTAGE

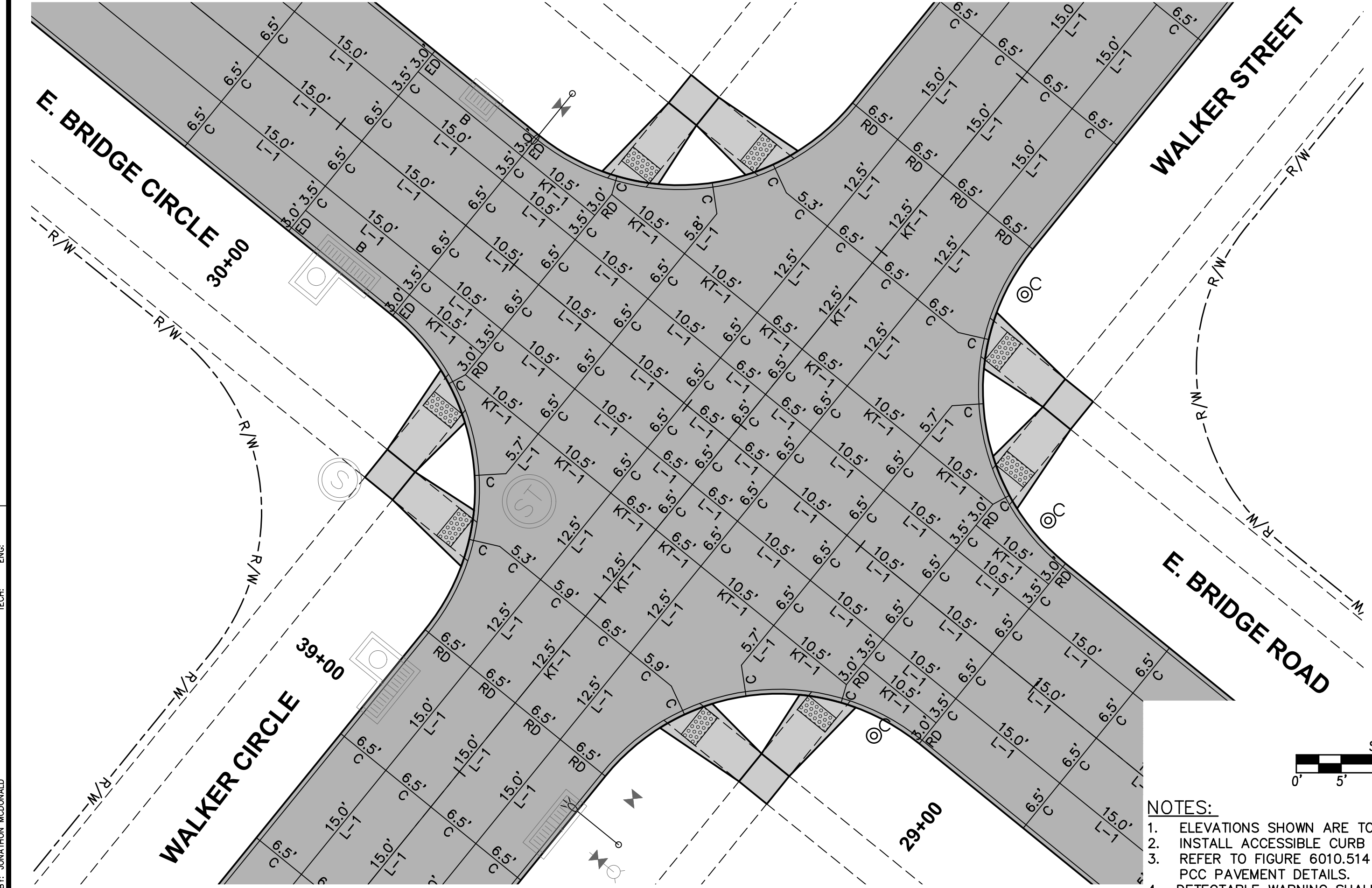
POLK CITY, IOWA



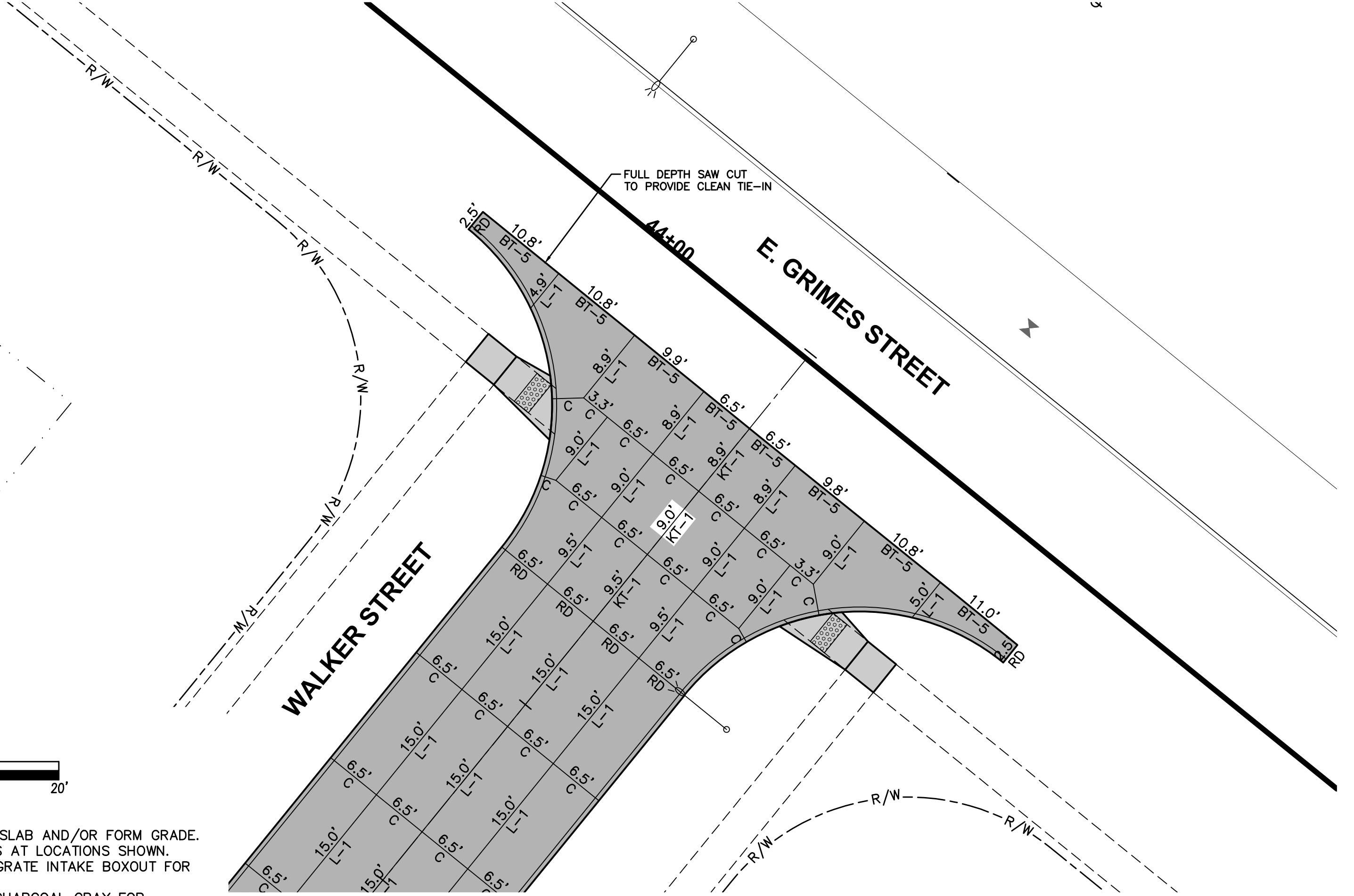
GEOMETRICS AND STAKING LAYOUT



GEOMETRICS AND STAKING LAYOUT



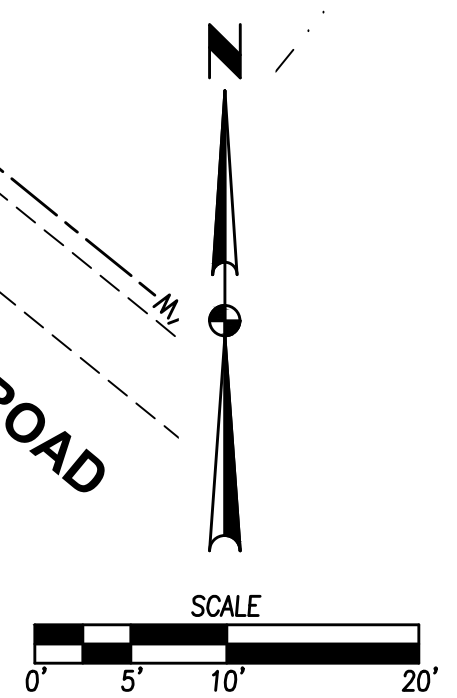
JOINTING LAYOUT



JOINTING LAYOUT

NOTES:

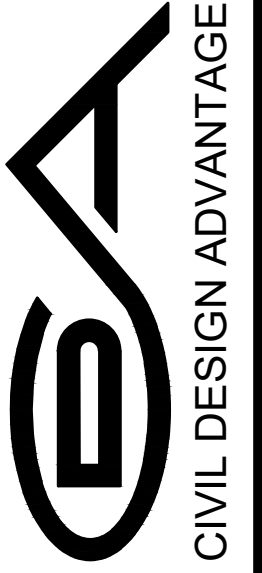
1. ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
2. INSTALL ACCESSIBLE CURB RAMP AT LOCATIONS SHOWN.
3. REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.
4. DETECTABLE WARNING SHALL BE CHARCOAL GRAY FOR SIDEWALKS AND RED FOR TRAILS



FILE: H:\2022\2206-432\WORK\2206-432-INTERSECTION.DWG
 COMMENT: ENDS
 PLOTTED BY: AUSTIN MCDONALD
 DATE: 9/20/2022 9:06 AM

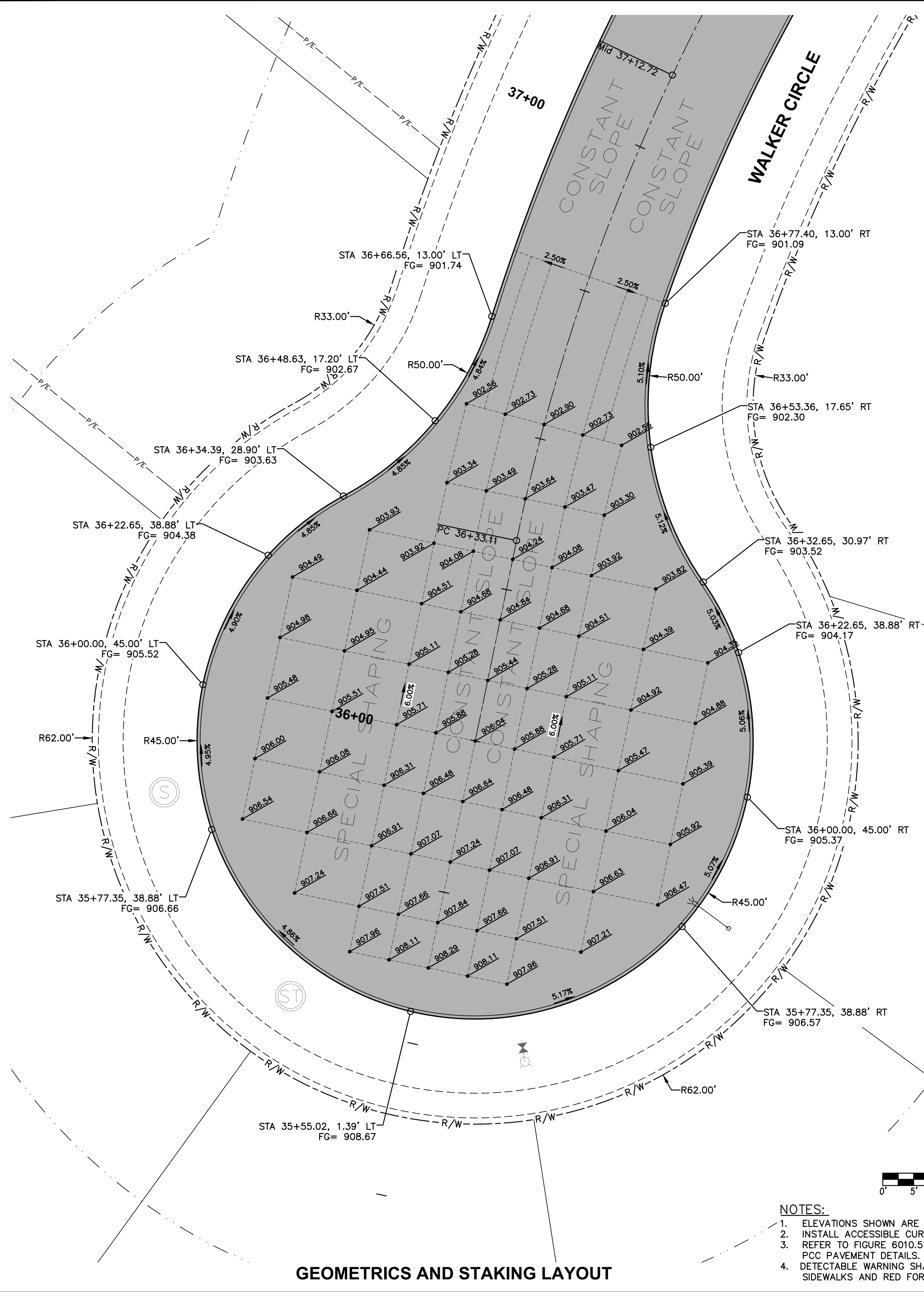
REVISIONS	DATE
THIRD SUBMITTAL	09/19/2022
SECOND SUBMITTAL	09/22/2022
FIRST SUBMITTAL	07/09/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO
 ENGINEER: GH/JWM TECH: MST

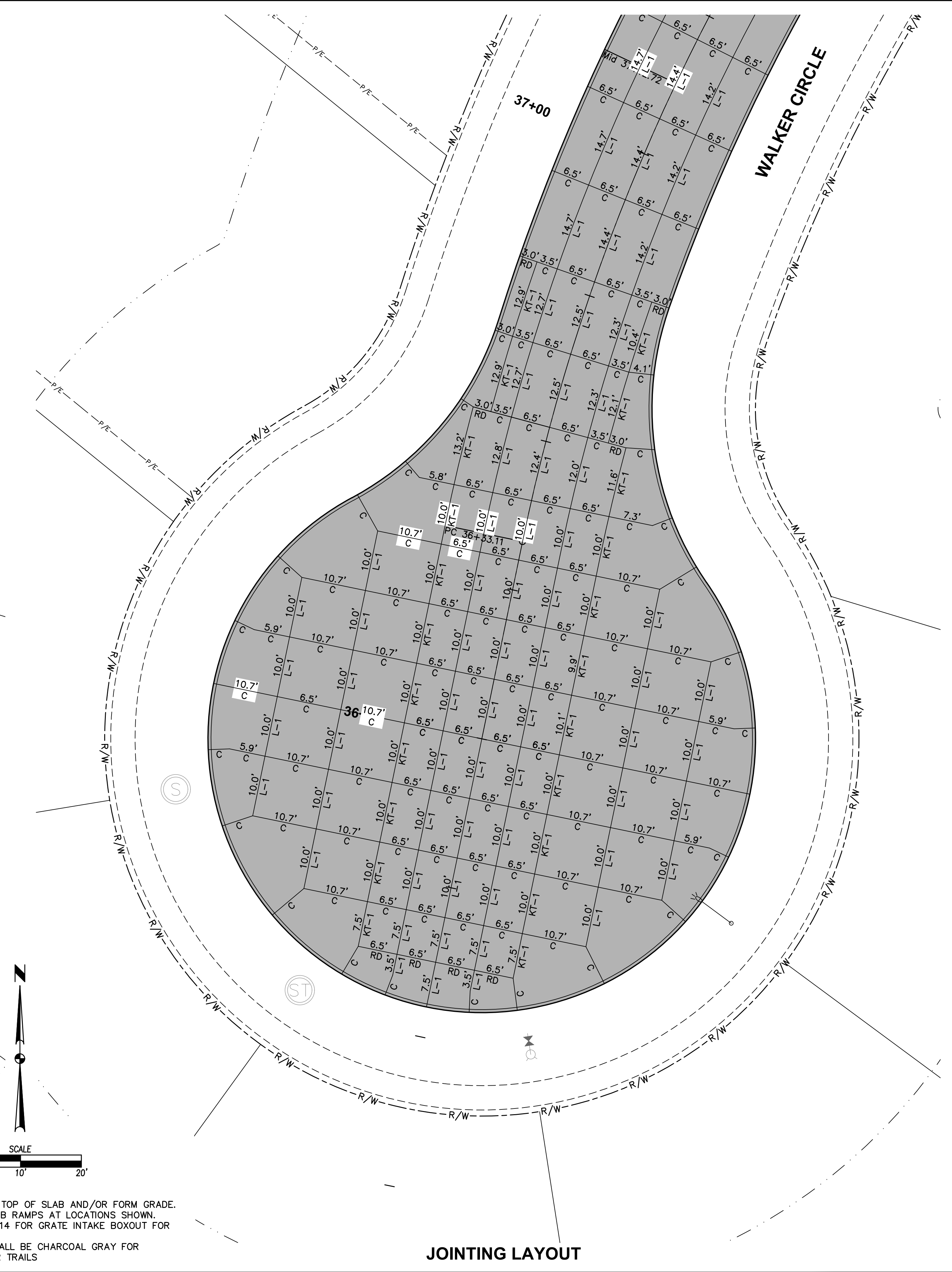


CROSSROADS AT THE LAKES PLAT 3
INTERSECTION DETAILS
 POLK CITY, IOWA

FILE: H:\2022\2206-432\2206-432-INTERSECTION.DWG
 COMMENT: ENCL
 PLOTTED BY: ANTHONY MCDONALD
 DATE: 9/20/2022 9:06 AM



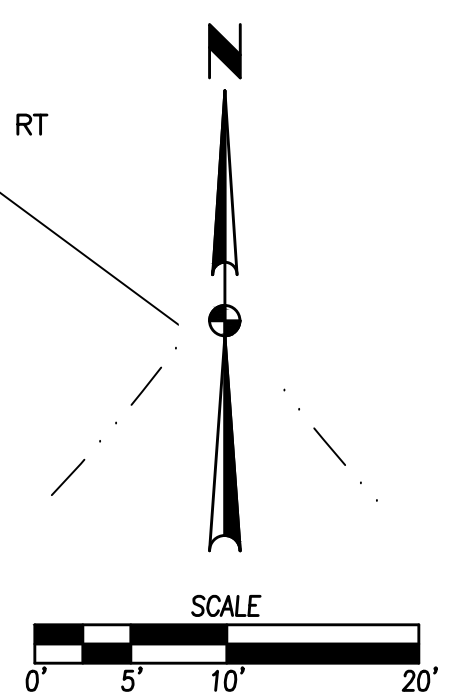
GEOMETRICS AND STAKING LAYOUT



JOINTING LAYOUT

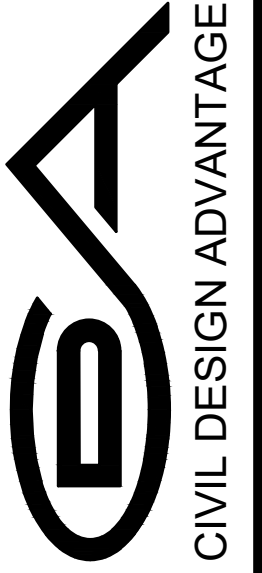
NOTES:

1. ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
2. INSTALL ACCESSIBLE CURB RAMPS AT LOCATIONS SHOWN.
3. REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.
4. DETECTABLE WARNING SHALL BE CHARCOAL GRAY FOR SIDEWALKS AND RED FOR TRAILS



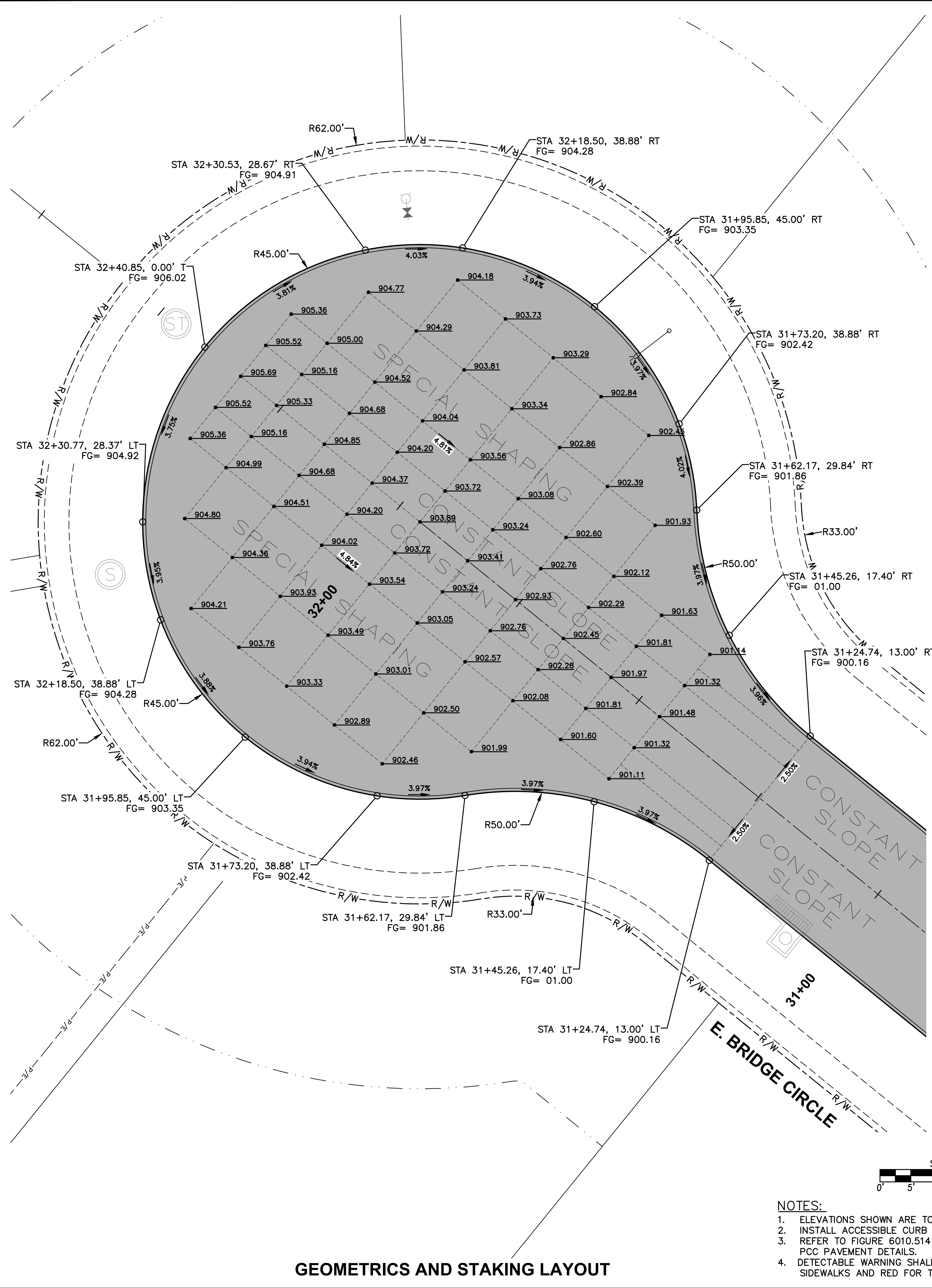
REVISIONS	DATE
THIRD SUBMITTAL	09/19/2022
SECOND SUBMITTAL	08/22/2022
FIRST SUBMITTAL	07/06/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST

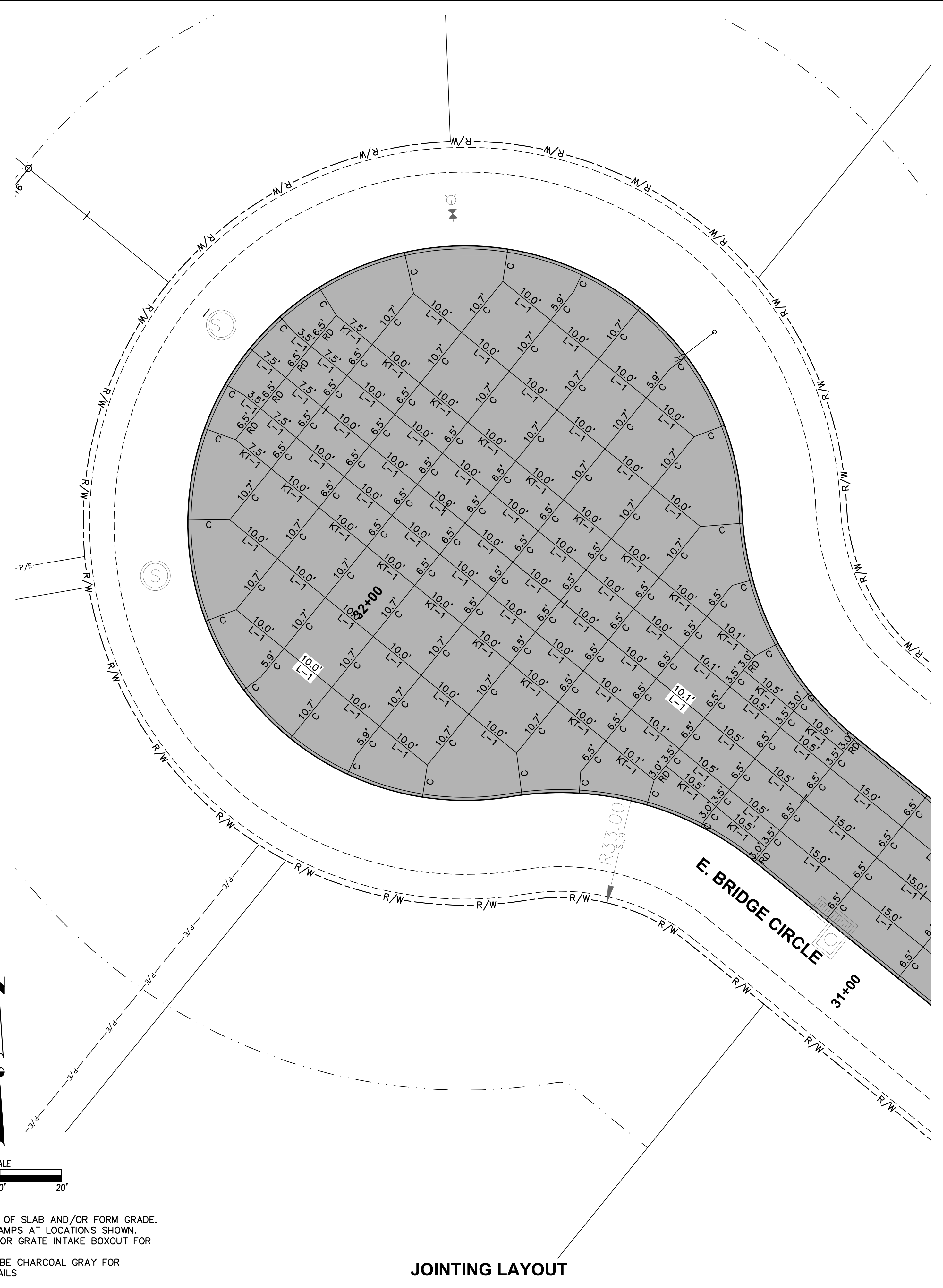


CROSSROADS AT THE LAKES PLAT 3
INTERSECTION DETAILS
 POLK CITY, IOWA

FILE: H:\2022\2206-432\2206-432-INTERSECTION.DWG - INTERSECTION.DWG
 COMMENT: ENGS
 PLOTTED BY: ANTHONY MCDONALD
 DATE: 9/20/2022 9:06 AM



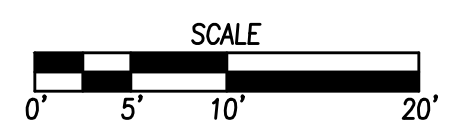
GEOMETRICS AND STAKING LAYOUT



JOINTING LAYOUT

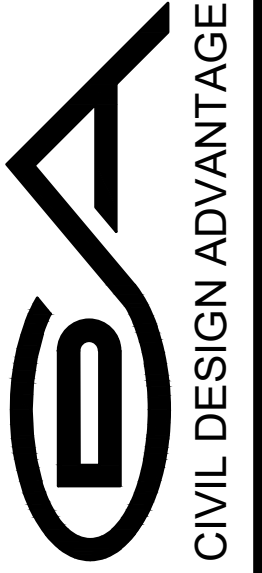
NOTES:

1. ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
2. INSTALL ACCESSIBLE CURB RAMPS AT LOCATIONS SHOWN.
3. REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.
4. DETECTABLE WARNING SHALL BE CHARCOAL GRAY FOR SIDEWALKS AND RED FOR TRAILS



REVISIONS	DATE
THIRD SUBMITTAL	09/19/2022
SECOND SUBMITTAL	08/22/2022
FIRST SUBMITTAL	07/06/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO ENGINEER: GH/JWM TECH: MST



CIVIL DESIGN ADVANTAGE
 POLK CITY, IOWA

**CROSSROADS AT THE LAKES PLAT 3
 INTERSECTION DETAILS**



City of Polk City, Iowa City Council Agenda Communication

Date: September 26, 2022 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager
Subject: Setting a public hearing on the rezoning petition for Holly Woods

BACKGROUND: On Monday evening, the City Council will be asked to set a public hearing for a requested rezoning on the Holly Woods development. The Holly Woods plat was approved by the City Council on August 22, 2022. As part of that review and approval process, the City Council approved the plat subject to the developer requesting approval of a clean-up rezoning.

The clean-up is relative to the northwest corner of Lot 1, which includes a small area that is currently zoned R-2A and also a larger area which is zoned R-2. This re-zoning petition is to re-zone the entire Holly Woods lot to R-1.

ALTERNATIVES: Do not set the public hearing

FINANCIAL CONSIDERATIONS: There are no financial considerations at this time as the Council is just setting the public hearing.

RECOMMENDATION: It is my recommendation that the Council set the public hearing for the regularly scheduled Council meeting on Monday, October 10, 2022.

RESOLUTION NO. 2022-112

**A RESOLUTION SETTING A PUBLIC HEARING ON THE PROPOSED REZONING OF
PROPERTY WEST OF NW 44TH STREET AND SOUTH OF E. SOUTHSIDE DRIVE TO
R-1 SINGLE FAMILY RESIDENTIAL**

BE IT RESOLVED, that the City Council of the City of Polk City, Iowa, hereby orders a public hearing and notice thereof to be held October 10 at 6:00 p.m. at the City Hall Council Chambers in Polk City, Iowa, on the proposal to rezone property in the vicinity of NW 44th Street and E. Southside Dr. and legally described as follows:

Rezoning a parcel containing 0.97 acres from the zoning classifications of R-2 One and Two-Family Residential and R-2A Townhome Residential to a zoning classification of R-1 Single Family Residential:

THAT PART OF OUTLOT X, WHITE PINE PRAIRIE PLAT 1, AN OFFICIAL PLAT, LOCATED IN POLK CITY, POLK COUNTY, IOWA; AND THAT PART OF THE SOUTH 601.5 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 07, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTH 601.5 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 07; THENCE NORTH 00 DEGREES 34 MINUTES 17 SECONDS EAST, A DISTANCE OF 416.54 FEET, TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 34 MINUTES 17 SECONDS EAST, A DISTANCE OF 517.32 FEET; THENCE SOUTH 47 DEGREES 10 MINUTES 01 SECONDS EAST, A DISTANCE OF 137.27 FEET; THENCE NORTH 89 DEGREES 25 MINUTES 43 SECONDS WEST, A DISTANCE OF 13.57 FEET; THENCE SOUTH 00 DEGREES 34 MINUTES 13 SECONDS WEST, A DISTANCE OF 425.00 FEET; THENCE NORTH 89 DEGREES 25 MINUTES 43 SECONDS WEST, A DISTANCE OF 88.03 FEET, TO THE POINT OF BEGINNING.

CONTAINING 0.97 ACRES MORE OR LESS.

The Clerk shall publish notice of such hearing at the time and in the manner required by law.

Passed and approved this 19th day of September 2022.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk



City of Polk City, Iowa City Council Agenda Communication

Date: September 26, 2022 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager

Subject: Addendum to T Mobile Antenna Lease agreement

BACKGROUND: T-Mobile has approached the City about extending their lease agreement for equipment on the water tower for 2 additional 5-year terms. T-Mobile's current lease agreement was approved by the City Council in 1996 and will expire in 2026. They have requested an addendum to the agreement for 2026-2031 and 2031-2036.

In reviewing what our other cell phone providers pay for leasing on the water tower, I requested that rent be increased 20% for each additional term in the agreement. T-mobile is in agreement with the increased rent amount, which is outlined in the addendum. The City currently has 4 agreements with cell providers for leasing space on our water tower: AT&T, Verizon Wireless, US Cellular, and T-Mobile.

ALTERNATIVES: Do not approve

FINANCIAL CONSIDERATIONS: The City is receiving approximately \$20,000 annually from the T-mobile lease agreement. The extension of the agreement will increase their lease payment to \$21,722 annually for the term 2026-2031 and \$26,067.00 annually for the term 2031-2036.

RECOMMENDATION: It is my recommendation that the Council approve the T-Mobile addendum.

FIRST AMENDMENT TO TOWER LEASE WITH OPTION

This First Amendment to Tower Lease with Option (“Amendment”) is made by and between the City of Polk City (“Landlord”) and T-Mobile Central LLC, a Delaware limited liability company, (“Tenant”).

WHEREAS, Landlord and Tenant entered into that certain Tower Lease with Option dated October 21, 1996, (the “Lease”), whereby Landlord leased to Tenant certain portions of the Property located at on the Polk City Water Tower located at 401 Booth Street, Polk City, Polk County, IA 50226 (the “Property”); and,

WHEREAS, Landlord and Tenant desire to amend the Lease as follows;

WHEREAS, Landlord and Tenant hereby affirm that, as of the date hereof: (i) no breach or default by Landlord or Tenant occurred; and (ii) the Lease, and all the terms, covenants, conditions, provisions and agreements thereof, except as expressly modified by this Amendment are in full force and effect, with no defenses or offsets thereto; and

NOW THEREFORE, in consideration of the mutual covenants contained in the Lease and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Landlord and Tenant hereby agree as follows:

1. Exhibit C-1 attached hereto is hereby incorporated herein to the Lease by reference and supplements Exhibit C.
2. Landlord and Tenant hereby agree to add two (2) additional five (5) year terms to this Lease (the “Extended Renewal Terms”, commencing on the date this Second Amendment is executed by both parties herein.
3. Landlord and Tenant agree Rent for the Extended Renewal Terms shall be paid by Tenant to Landlord as listed herein:

2026-2031: \$1734.79/\$21,722.52 annual

2031-2036: \$2,172.25/\$26,067.00 annual

4. Each of the parties represent and warrant that they have the right, power, legal capacity and authority to enter into and perform their respective obligations under this Amendment.
5. This Amendment will be binding on and inure to the benefit of the parties herein, their heirs, executors, administrators, successors-in-interest and assigns.
6. Landlord represents and warrants to Tenant that the consent or approval of a third party has either been obtained or is not required with respect to the execution of this Amendment.

7. Except as specifically amended herein, the remaining terms of the Lease shall remain in full force and effect. To the extent any provision contained in this Amendment conflicts with the terms of the Lease, the terms and provisions of this Amendment shall prevail. All capitalized terms shall have the meaning ascribed to them in the Lease unless otherwise defined in this Amendment.

8. This Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

IN WITNESS WHEREOF, the parties have executed this Amendment on the day and year last written below.

LANDLORD
City of Polk City

TENANT
T-Mobile Central LLC

By: _____
Name: _____
Title: _____
Date: _____

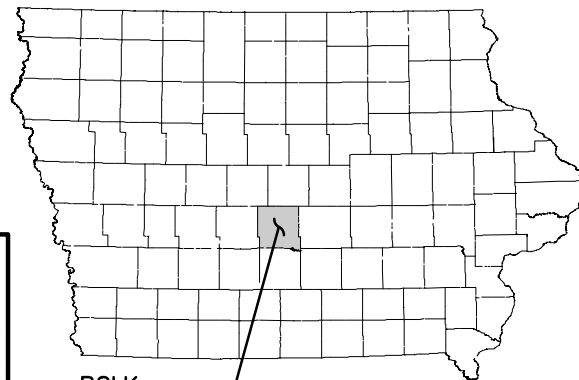
By: _____
Name: _____
Title: _____
Date: _____

Exhibit C-1

Site Number: DM01403A
Site Name: Polk City WT
Market: IA NE

STATE MAP

SCALE: NONE



POLK COUNTY



LOCATION MAP

SCALE: NONE



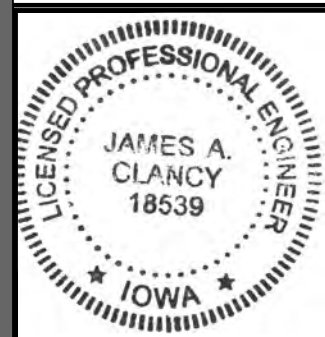
SITE LOCATION

DRIVING DIRECTIONS

FROM T-MOBILE OFFICE LOCATED AT 7600 OFFICE PLAZA DRIVE S, WEST DES MOINES, IA 50266: TAKE OFFICE PLAZA DR S. TO JORDAN CREEK PKWY AND TURN LEFT. TAKE RAMP ON RIGHT AND MERGE ONTO I-80 E. TAKE EXIT 127B & MERGE ONTO IA-141 W. TAKE EXIT 148 THEN TURN RIGHT ONTO IA-415 S. TURN LEFT ONTO PARKER BLVD. TURN RIGHT ONTO W WASHINGTON AVE. WASHINGTON TURNS SLIGHTLY LEFT AND BECOMES BOOTH ST. TOWER AND ACCESS IS ON THE RIGHT.

APPROXIMATE TRAVEL: 23 MIN; 17 MILES

PROFESSIONAL CERTIFICATION



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

(SIGNATURE) *[Signature]* (DATE) 09/02/2022

NAME: James A. Clancy

LICENSE NUMBER: 18539

MY LICENSE RENEWAL DATE IS: 12/31/2022

PAGES OR SHEETS COVERED BY THIS SEAL: T-1, N-1, N-2, N-3, N-4, C-1.0, C-1.1, C-2.0, C-3.0, C-4.0, C-4.1, C-5.0, C-5.1, C-8.1, C-8.2, C-8.3, E-0.0, E-1.0, E-2.0

CONTRACTOR SHALL VERIFY PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGN FIRM IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

T-Mobile
ANCHOR

DM01403A - POLK CITY WT

401 BOOTH STREET U TOWER
POLK CITY, IA 50226
POLK COUNTY
PBM PROJECT #22-10-40-27

LOCATION INFORMATION

LATITUDE: N41° 46' 18.8" (41.771900°)
LONGITUDE: W93° 43' 08.8" (-93.719100°)
ELEVATION AT GRADE: 953'
TOWER TYPE: EXISTING WATER TANK
PARCEL #: 26100328002000 & 26100331000000

SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	0
N-1	GENERAL NOTES	0
N-2	GENERAL NOTES	0
N-3	GENERAL NOTES	0
N-4	GENERAL NOTES	0
C-1.0	PARTIAL SITE PLAN	0
C-1.1	COMPOUND PLAN	0
C-2.0	EQUIPMENT PLANS	0
C-3.0	EQUIPMENT ELEVATION	0
C-3.1	SITE PHOTOS (REF ONLY)	0
C-3.2	SITE PHOTOS (REF ONLY)	0
C-4.0	TOWER ELEVATION	0
C-4.1	ENLARGED ANTENNA ELEVATION	0
C-5.0	ANTENNA LAYOUT - EXISTING	0
C-5.1	ANTENNA LAYOUT - PROPOSED	0
C-6.0	RFDS INFORMATION (REF ONLY)	0
C-7.0	RF PLUMBING DIAGRAM & DETAILS (REF ONLY)	0
C-8.0	EQUIPMENT DETAILS (REF ONLY)	0
C-8.1	MOUNT DETAILS	0
C-8.2	MOUNT DETAILS	0
C-8.3	MOUNT DETAILS	0
E-0.0	ELECTRICAL NOTES & DETAILS	0
E-1.0	UTILITY SCHEMATIC	0
E-2.0	GROUNDING SCHEMATIC	0

PROJECT TEAM

LANDLORD:
CITY OF POLK CITY
P.O. BOX 426
POLK CITY, IA 50226-0426

APPLICANT:
T-MOBILE CENTRAL LLC
12920 SE 38TH STREET
BELLEVUE, WA 98006
NATE MEYER (AGENT)
(317) 501-9164

DESIGN FIRM:
PBM WIRELESS SERVICES
3620 DEVELOPERS ROAD
INDIANAPOLIS, IN 46227
MARK MARECKI
(224) 531-2400

JURISDICTIONAL INFORMATION

JURISDICTION:
POLK CITY, IA

ZONING:
U-1 - PUBLIC UTILITY DISTRICT

ONE-CALL INFORMATION



1-800-292-8989

SCOPE OF WORK

GROUND LEVEL

- EXISTING CONCRETE PAD TO REMAIN.
- EXISTING ICE BRIDGE (TYP.) TO REMAIN.
- EXISTING PPC & RAC24 MOUNTED TO UTILITY RACK TO REMAIN.
- EXISTING GRIP STRUT TO BE RELOCATED.
- EXISTING "CHAIR" w/MODULES; "CHAIR" TO BE REMOVED; MODULES TO BE RELOCATED AS REQUIRED.
- EXISTING T-MOBILE EQUIPMENT CABINET TO BE REMOVED.
- EXISTING POST w/MODULES; POST TO BE REMOVED; MODULES TO BE RELOCATED AS REQUIRED.
- EXISTING COVP TO BE REMOVED.
- EXISTING GPS ANTENNA TO BE REMOVED.
- PROPOSED DELTA HPL3 SSC TO BE INSTALLED.
- PROPOSED DELTA LB3 BATTERY CABINET TO BE INSTALLED.
- PROPOSED GPS ANTENNA MOUNTED TO POST.
- PROPOSED COVP (TYP. 2) MOUNTED TO PROPOSED UNISTRUT.
- PROPOSED GRIP STRUT TO BE INSTALLED TO EXISTING GRIP STRUT.

TOWER LEVEL

- EXISTING T-MOBILE ANTENNAS & EQUIPMENT:
 - (2) COMMSCOPE FFHH-65C-R3 ANTENNAS TO REMAIN & BE RE-UTILIZED
 - (1) COMMSCOPE FFHH-65C-R3 ANTENNA TO BE RELOCATED & RE-UTILIZED
 - (3) AHL0A RRUs TO BE RELOCATED
 - (3) ANTENNAS TO BE REMOVED
 - (3) AHFIB RRUs TO BE REMOVED
- PROPOSED T-MOBILE ANTENNAS & EQUIPMENT LOADING ON STRUCTURE:
 - (3) PROPOSED AEHC ANTENNAS
 - (3) PROPOSED AHFIG RRUs
 - (2) PROPOSED UPPER BREAKOUT FEATURES/PENDANTS
 - (4) PROPOSED ANTENNA HANDRAIL MOUNTS
 - (2) PROPOSED HYBRID HCS2.0 TRUNK CABLES
 - PROPOSED RRU MOUNTS

NOTE:

- PROJECT DESCRIPTION DOES NOT INCLUDE ALL EQUIPMENT & MATERIALS FOR A COMPLETE INSTALLATION.
- DRAWINGS BASED ON T-MOBILE RFDS DATED: 04/01/22. G.C. TO COORDINATE WITH T-MOBILE PM FOR FINAL EQUIPMENT BASED ON MOST RECENT RFDS.

CODE COMPLIANCE

WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY CITY OF POLK CITY, POLK COUNTY, STATE OF IOWA & OTHER GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE: IBC (2018) TIA/EIA, REVH, OR LATEST EDITION
MECHANICAL CODE: IMC (2018)
ELECTRICAL CODE: NEC (2020)

UTILITIES

ELECTRICAL: MIDAMERICAN ENERGY (888) 427-5632
UTILITY CONTACT:
COMMUNICATIONS: UTILITY CENTURYLINK (888) 611-0417
CONTACT:

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266

PBM
Wireless Services
Think outside the triangle.

A 10/5/22	INTERNAL REVIEW	BCC
B 05/13/22	90% REVIEW	BCC
C 05/17/22	LL REVIEW	JD
D 08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ # 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
TITLE SHEET
SHEET NUMBER
T-1

DIVISION 1 GENERAL REQUIREMENTS:

1. WORK, MATERIAL, AND EQUIPMENT SHALL COMPLY WITH T-MOBILE WIRELESS STANDARD CONSTRUCTION SPECIFICATIONS, REQUIREMENTS OF THE LATEST EDITIONS AND INTERIM AMENDMENTS OF THE NATIONAL ELECTRICAL CODE (N.E.C.), NATIONAL ELECTRICAL SAFETY CODE, OSHA, AND APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES. ELECTRICAL EQUIPMENT PROVIDED UNDER THIS CONTRACT SHALL BE NEW (EXCEPT WHERE OTHERWISE NOTED) AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS' LABORATORIES (U.L.) AND BEAR THE U.L. LABEL.
2. THE CONTRACTOR SHALL BE PROPERLY LICENSED AND PROPERLY REGISTERED TO PERFORM THIS WORK IN PROJECT STATE AND JURISDICTION. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, SAID TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE TRADES SHALL ALSO BE LICENSED.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE (PRE-CONSTRUCTION WALK), VERIFY DIMENSIONS AND BECOME FAMILIAR WITH THE PROJECT/FIELD CONDITIONS. DISCREPANCIES SHALL BE IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
4. THE CONTRACTOR SHALL NOT PROCEED WITH WORK NOT CLEARLY IDENTIFIED ON THE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT MANAGER.
5. IN CASE OF CONFLICT BETWEEN THESE DRAWINGS OR MANUFACTURER SPEC, CONTRACTOR SHALL NOTIFY ENGINEER OR T-MOBILE REPRESENTATIVE.
6. CONTRACTOR SHALL FURNISH AND INSTALL ENGRAVED PLASTIC LABELS "T-MOBILE" ON THE FACE OF EACH PIECE OF EQUIPMENT AND ABOVE THE ELECTRICAL METER.
7. THE OWNER OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT EQUIPMENT OR MATERIALS WHICH, IN HIS/HER OPINION, ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO THE OWNER OR HIS ARCHITECT/ENGINEER.
8. THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURES AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION.
9. THE CONTRACTOR SHALL NOT ALLOW OR CAUSE THE WORK TO BE COVERED UP OR ENCLOSED UNTIL IT HAS BEEN INSPECTED BY THE GOVERNING AUTHORITIES. WORK THAT IS ENCLOSED OR COVERED UP BEFORE SUCH INSPECTION AND TEST SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE; AFTER IT HAS BEEN INSPECTED, THE CONTRACTOR SHALL RESTORE THE WORK TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.
10. EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING AFFECTED UTILITIES.
11. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE PROJECT MANAGER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL UTILITY LOCATES 48 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE UNDERGROUND UTILITIES LOCATED AND MARKED.
12. CONTRACTORS SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, DEBRIS, WEEDS, BUSH OR ANY OTHER DEPOSITS REMAIN. MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A LEGAL MANNER.
13. SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.
14. DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN THE UTILITIES OF THE BUILDING/SITE WITHOUT INTERRUPTION. SHOULD IT BE NECESSARY TO INTERRUPT A SERVICE OR UTILITY, THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM THE BUILDING/PROPERTY OWNER FOR SUCH INTERRUPTION, AT LEAST 72 HOURS IN ADVANCE. INTERRUPTIONS SHALL BE MADE WITH A MINIMUM AMOUNT OF INCONVENIENCE TO THE BUILDING/PROPERTY OWNER AND SUCH SHUTDOWN TIME SHALL BE COORDINATED WITH THE BUILDING/PROPERTY OWNER.
15. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE STATE STANDARDS FOR EROSION AND SEDIMENT CONTROL.
16. CONTRACTOR SHALL SUBMIT AT THE END OF THE PROJECT A COMPLETE SET OF AS-BUILT DRAWINGS TO THE OWNER AND/OR PROJECT MANAGER.

DIVISION 2 SITE WORK:

1. THE CONTRACTOR SHALL LOCATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES (WHERE ENCOUNTERED IN THE WORK) SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE PROJECT MANAGER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO:
 - A. FALL PROTECTION
 - B. CONFINED SPACE
 - C. ELECTRICAL SAFETY
 - D. TRENCHING AND EXCAVATION
2. REMOVE FROM SITE/OWNER'S PROPERTY WASTE MATERIALS, UNUSED EXCAVATED MATERIAL INCLUDING MATERIAL CLASSIFIED UNSATISFACTORY, CONTAMINATED OR DANGEROUS TO HUMANS AND DEBRIS, AND DISPOSE OF IN A LEGAL MANNER.
3. EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING AND DOCUMENTED ON THE AS-BUILT DRAWINGS.
4. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE CONFORMED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH AS SPECIFIED IN THE SPECIFICATION LANDSCAPE WORK.
5. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE STATE STANDARD GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
6. CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND CONSTRUCTION STAKING. CONTRACTOR SHALL ESTABLISH GRADE AND LINE STAKES PRIOR TO CONSTRUCTION, IF REQUIRED.
7. THE CONTRACTOR SHALL COORDINATE WITH PROJECT MANAGER TO ESTABLISH INSPECTION AND APPROVAL PROCESS FOR SITE WORK.



A	05/10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ #: 22-10-40-27
 DWG BY: BCG
 CHKD BY: MJM

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
N-1

DIVISION 3 CONCRETE- N/A

DIVISION 5 STRUCTURAL STEEL

1. DETAIL, FABRICATE, AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE CURRENT EDITION AISC "MANUAL OF STEEL CONSTRUCTION"(ASD), AWS D1.1 AND IBC LATEST EDITION. STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING:
 - A. ASTM A992, GRADE 50, W SECTIONS.
 - B. ASTM A36, GRADE 36, CHANNELS, ANGLES, PLATES, RODS, U-BOLTS AND ANCHOR BOLTS.
 - C. STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED PER ASTM A123.
 - D. STRUCTURAL BOLTED CONNECTION SHALL BE MADE WITH ASTM A325 BOLTS IN BEARING TYPE CONNECTIONS.
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL CONNECTIONS ARE COMPLETE.
3. FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE CONSTRUCTION MANAGER.
4. TIGHTEN HIGH STRENGTH BOLTS TO A SNUG TIGHT CONDITION WHERE PILES IN A JOINT ARE IN FIRM CONTACT BY EITHER:
 - A. A FEW IMPACTS OF AN IMPACT WRENCH
 - B. THE FULL EFFORT OF A PERSON USING A SPUD WRENCH
5. WELDING
 - A. WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEER'S AND/OR OWNER'S REVIEW IF REQUESTED.
 - B. WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A-233, E70 SERIES, BARE ELECTRODES AND GRANULAR FLUX USED IN THE SUBMERGED ARC PROCESS SHALL CONFORM TO AISC SPECIFICATIONS.
 - C. FIELD WELDING SHALL BE DONE AS PER AWS D1.1 REQUIREMENTS. VISUAL INSPECTION IS ACCEPTABLE.
6. PROTECTION
 - A. UPON COMPLETION OF ERECTION, INSPECT GALVANIZED STEEL AND PAINT FIELD CUTS, WELDS OR GALVANIZED BREAKS WITH ZINC BASED PAINT. COLOR TO MATCH THE GALVANIZING PROCESS.

DIVISION 16 ELECTRICAL

QUALITY ASSURANCE

1. CONTRACTOR FURNISHED MATERIALS AND EQUIPMENT SPECIFIED ON THE DRAWINGS SHALL BE NEW AND UNUSED, OF CURRENT MANUFACTURE AND OF THE HIGHEST GRADE.
2. EQUIPMENT, MATERIALS AND INSTALLATION METHODS SPECIFIED ON THE PROJECT DRAWINGS SHALL BE DESIGNED AND FABRICATED IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS, AND APPROPRIATE INDUSTRIAL CONSENSUS STANDARDS AND CODES INCLUDING ANSI, IEEE, NEMA, NFPA AND AS REVISED AS OF THE DATE OF THIS WORK PACKAGE.
3. ELECTRICAL ITEMS BOTH CONTRACTOR AND OWNER FURNISHED SHALL BE CHECKED FOR AGREEMENT WITH THE PROJECT DRAWINGS AND SPECIFICATION AND SHALL BE VISUALLY INSPECTED TO ENSURE THAT EQUIPMENT IS UNDAMAGED AND IS IN PROPER ALIGNMENT, INSTALLED PER MANUFACTURER'S INSTRUCTIONS, ELECTRICAL CONNECTIONS ARE TIGHT AND PROPERLY INSULATED WHERE REQUIRED, FUSES ARE OF THE PROPER TYPE AND SIZE, AND ELECTRICAL ENCLOSURES ARE OF THE PROPER NEMA TYPE.
4. NOTIFY OWNER IN WRITING OF DISCREPANCIES BETWEEN DRAWING/SPECIFICATIONS AND FIELD INSTALLATIONS, OR IF THE VISUAL INSPECTIONS SHOW DAMAGE OR IMPROPER INSTALLATION.

ELECTRICAL DIVISION

1. THE EQUIPMENT AND MATERIAL SHALL BE FURNISHED AND INSTALLED TO OPERATE SAFELY AND CONTINUOUSLY OUTDOORS WITH NO PROTECTION FROM THE WEATHER.
2. ELECTRICAL WORK REPRESENTED ON THE PROJECT DRAWINGS IS SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS AND ELEVATIONS OF ELECTRICAL EQUIPMENT SHALL BE DETERMINED IN THE FIELD AND VERIFIED WITH THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF TEMPORARY, IF REQUIRED, AND PERMANENT POWER WITH THE LOCAL UTILITY COMPANY. THE TEMPORARY POWER AND HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.

4. PROVIDE MOLDED CASE, BOLT-ON, THERMAL MAGNETIC TRIP, SINGLE, TWO OR THREE POLE CIRCUIT BREAKERS. MULTIPLE POLE CIRCUIT BREAKERS SHALL BE SINGLE HANDLE COMMON TRIP. SHORT CIRCUIT INTERRUPTING RATING SHALL BE AS REQUIRED FOR AVAILABLE FAULT CURRENTS. CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A SHORT CIRCUIT INTERRUPTING RATING EQUAL TO OR GREATER THAN THAT SHOWN ON PROJECT DRAWINGS.
5. CONTRACTOR SHALL PERFORM EXCAVATION, TRENCHING, BACKFILLING, AND REMOVAL OF DEBRIS IN CONNECTION WITH THE ELECTRICAL WORK IN ACCORDANCE WITH THE PROJECT DRAWINGS.
6. CONTRACTOR SHALL PROVIDE NECESSARY SUPPORTS FOR EQUIPMENT INSTALLED AS PART OF THIS PROJECT. SUPPORT SHALL CONSIST OF GALVANIZED STEEL FRAMES, PLATES, BRACKETS, RACKS AND OTHER SHAPES OF ADEQUATE SIZE AND FASTENED WITH BOLTS, SCREWS, OR BY WELDING TO PROVIDE RIGID SUPPORT.
7. CONTRACTOR SHALL LOCATE THE APPROPRIATE UTILITIES BEFORE UNDERGROUND WORK IS PERFORMED, SUCH AS TRENCHING, EXCAVATING, AND DRIVING GROUND RODS.
8. CONTRACTOR SHALL SEAL AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED WALLS/FLOORS USING APPROVED FIRE STOP MATERIALS TO MAINTAIN THE FIRE RESISTANCE RATING.
9. ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY ENGRAVED LAMINATED PHENOLIC NAMEPLATES WITH WHITE ON BLUE BACKGROUND (MINIMUM LETTER HEIGHT SHALL BE 1/2 - INCH). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS.

RACEWAYS

1. CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
 - A. RIGID STEEL CONDUIT (FOR ABOVE GRADE WORK) SHALL CONFORM TO ANSI C80.1 AND THE REQUIREMENTS OF NEC, PARAGRAPH 344 AND BE STANDARD WEIGHT, MILD RIGID STEEL, HOT DIP GALVANIZED WITH INSIDE AND OUTSIDE FINISHED WITH A PROTECTIVE ZINC COATING, COUPLING, ELBOWS AND BENDS SHALL MEET THESE SAME REQUIREMENTS. FITTINGS SHALL BE OF THE GALVANIZED IRON OR STEEL THREADED TYPE.
 - B. PVC CONDUIT (FOR ABOVE GROUND OR UNDERGROUND WORK) SHALL CONFORM TO UL STANDARD 651 AND THE REQUIREMENTS OF NEC, PARAGRAPH 352. CONDUIT SHALL BE HEAVY WALL TYPE, SCHEDULE 40 OR 80, AND SUNLIGHT RESISTANT. FITTINGS SHALL BE OF THE UNTHREADED SOLVENT CEMENT TYPE.
 - C. EMT CONDUIT (FOR EXPOSED AND CONCEALED WORK): ELECTRIC METALLIC TUBING SHALL CONFORM TO ANSI C80.3 AND THE REQUIREMENTS OF NEC, PARAGRAPH 358 AND BE PROTECTED FROM CORROSION SUITABLE FOR THE ENVIRONMENT IN WHICH THEY ARE TO BE INSTALLED. COUPLINGS AND CONNECTORS SHALL BE MADE UP TIGHT AND WHERE INSTALLED IN WET LOCATIONS SHALL COMPLY WITH NEC PARAGRAPH 314.15.
2. MINIMUM CONDUIT SIZE SHALL BE 3/4-INCH, SIZES NOT SHOWN ON DRAWINGS SHALL BE PER THE LATEST EDITION OF NEC.
3. SPARE CONDUITS SHALL HAVE A METALLIC PULL WIRE.
4. CONDUIT SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC.
5. UNDERGROUND CONDUITS:
 - A. INSTALL WARNING TAPE 12" ABOVE EACH CONDUIT OR SET OF CONDUITS.
 - B. IDENTIFY EACH CONDUIT AT BOTH ENDS.
 - C. INSTALL A MINIMUM OF 36" BELOW FINISHED GRADE, OR DEEPER IF NOTED ON DRAWINGS.
 - D. SLOPE A MINIMUM OF 4" PER 100' TO DRAIN AWAY FROM BUILDINGS AND EQUIPMENT.
 - E. USE MANUFACTURED ELECTRICAL PVC ELBOWS AND FITTINGS FOR BELOW GRADE BENDS.
 - F. MAKE JOINTS AND FITTING WATERTIGHT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - G. INSTALL A COUPLING BEFORE EACH WALL PENETRATION. - N/A
 - H. RESTORE SURFACE FEATURES DISTURBED BY EXCAVATION (AND TRENCHING) IN AFFECTED AREAS

T-Mobile
 7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
 WEST DES MOINES, IA 50266

PBM
 Wireless Services
 Think outside the triangle.

A	10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ #: 22-10-40-27
 DWG BY: BCG
 CHKD BY: MJM

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
N-2

CONDUCTORS:

1. POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA WC, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
 - A. SERVICE ENTRANCE CONDUCTORS SHALL BE COPPER, 600 VOLT, SUNLIGHT RESISTANT, SUITABLE FOR WET LOCATIONS, TYPE USE-2. THE GROUNDED NEUTRAL CONDUCTOR SHALL BE IDENTIFIED WITH A WHITE MARKING AT EACH TERMINATION.
 - B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER, 600 VOLT, TYPE THHN/THWN WITH A MINIMUM SIZE OF 12AWG.
2. CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING MATERIALS, SUPPORT GRIPS, MARKER AND CABLE TIES SHALL BE FURNISHED AND INSTALLED. SUPPLIER'S INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES; THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE COMPANY FOR REFERENCE.
3. WHERE POSSIBLE, 6 AWG AND SMALLER WIRE SHALL BE COLOR CODED BY THE COLOR OF THE INSULATION COVERING. COLOR CODING OF WIRE LARGER THAN 6 AWG MAY BE BY MEANS OF SELF-ADHESIVE WRAP-AROUND TYPE MARKERS, PER NEC.
4. TERMINAL CONNECTORS FOR CONDUCTORS SMALLER THAN 8 AWG SHALL BE COMPRESSION TYPE CONNECTORS SIZED FOR THE CONDUCTOR AND THE TERMINAL. THE CONNECTORS SHALL BE CONSTRUCTED OF FINE GRADE HIGH CONDUCTIVITY COPPER IN ACCORDANCE WITH FEDERAL SPECIFICATION QQ-C-576 AND SHALL BE TIN-PLATED IN ACCORDANCE WITH MILITARY PLATING SPECIFICATION MIL-T-10727. THE INTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE SERRATED AND THE EXTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE PROVIDED WITH CRIMP GUIDES.
5. TERMINAL CONNECTORS FOR CONDUCTORS 8 AWG AND LARGER SHALL BE PRESSURE OR BOLTED CLAMP, TYPE BURNDY, QUICKLUG, VARILUG, OR ACCEPTABLE EQUAL, OR COMPRESSION, TYPE BURNDY TYPE YAV OR YA (LONG BARREL), PANDUIT TYPE LCA OR LCC, OR ACCEPTABLE EQUAL. ACCEPTABLE CONNECTORS INCLUDED WITH COMPANY FURNISHED EQUIPMENT MAY BE USED.
6. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED 100 AMPERES OR LESS, OR MARKED FOR NOS. 14 THROUGH 1 CONDUCTORS, SHALL BE USED ONLY FOR CONDUCTORS RATED 60°C (140°F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED ON THE 60°C (140°F) AMPACITY OF THE CONDUCTOR SIZE USED.
7. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED OVER 100 AMPERES, OR MARKED FOR CONDUCTORS LARGER THAN NO. 1 SHALL BE USED ONLY FOR CONDUCTORS RATED 75°C (167°F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED ON THE 75°C (167°F) AMPACITY OF THE CONDUCTOR SIZE USED.
8. 600 VOLT OR LESS WIRING, WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE TURN OF "SCOTCHFILL" ELECTRICAL INSULATING PUTTY AND THEN COVERED WITH TWO HALF TURNS OF TAPE SIMILAR TO 3M COMPANY'S "33 PLUS"(33+) PLASTIC TAPE OR 88 OUTDOOR.

GROUNDING:

1. BASE TRANSCEIVER SITE EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), THE LATEST EDITION OF LIGHTNING PROTECTION CODE NFPA 780 AND MANUFACTURER SPECIFICATIONS.
2. THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE, AND IN ACCORDANCE WITH LOCAL CODE.
3. UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE BY THE CADWELD PROCESS (MECHANICAL LUG ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL INCLUDE CABLE TO CABLE SPLICES (TEES, XS, ETC.), CABLE CONNECTIONS TO GROUND RODS, GROUND ROD SPLICES, AND LIGHTNING PROTECTION SYSTEM AS INDICATED. MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC..) SHALL BE BY CADWELD AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
4. GROUNDING AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE OR INTERIOR TO A BUILDING SHALL BE CONNECTED USING TWO HOLED CRIMP TYPE (COMPRESSION) CONNECTIONS FOR 2 & 6 AWG INSULATED COPPER CONDUCTORS.
5. GROUNDING CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THIS DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND. THE ANTI-OXIDATION COMPOUND SHALL BE THOMAS AND ETTS KOPR-SHIELD (TMOF JET LUBE INC.), OR BURNDY PENTROX-E, NO SUBSTITUTIONS. COAT WIRES BEFORE LUGGING. COAT SURFACES BEFORE CONNECTING.
6. CONNECTIONS SHALL BE MADE TO BARE METAL. PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. PRIOR TO CADWELD, GALVANIZING SHALL BE REMOVED BY GRINDING SURFACE TO BARE METAL. "SLAG" FROM CADWELD MUST BE REMOVED AND WELD SHALL BE SPRAYED WITH COLD GALVANIZE AFTER COMPLETION.

7. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES MAY BE USED TO SUPPORT GROUNDING CONDUCTORS:
 - PLASTIC CLIPS
 - STAINLESS STEEL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
 - FERROUS METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
8. BELOW GRADE GROUNDING CONDUCTORS SHALL BE BARE TINNED SOLID COOPER WIRE. ABOVE-GRADE GROUNDING CONDUCTORS MAY BE EITHER:
 - BARE TINNED SOLID COPPER WIRE
 - THWN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE.
 - THWN-INSULATED, CONTINUOUS GREEN COLOR, STRANDED COPPER WIRE AS SPECIFIED ON THE GROUNDING DRAWINGS.
 - A. UNDERGROUND GROUND RING SHALL BE A 2 AWG BARE TINNED SOLID COPPER WIRE.
 - B. 2 AWG WIRE SHALL BE STRANDED COPPER WITH GREEN THWN INSULATION SUITABLE FOR WET INSTALLATION (SOME ABOVE GROUND APPLICATIONS, I.E. INDOOR GROUND RING).
 - C. 4/0 AWG WIRE SHALL BE STRANDED COPPER WITH GREEN THWN INSULATION SUITABLE FOR WET LOCATIONS (I.E. TO MAIN GROUND, BUILDING STEEL, BETWEEN GROUND BARS, LIGHTNING PROTECTION, MAIN WATER LINE OF THE BUILDING OR EXISTING GROUND ROD).
 - D. 2 AWG WIRE SHALL BE BARE TINNED SOLID COPPER. BURIED WIRE SHALL MEET THIS CRITERIA, INCLUDING CABLE TRAY GROUNDING WIRES AND OTHER WIRES AS INDICATED ON THE DRAWINGS.
 - E. THE MINIMUM BEND RADIUS IS 8" FOR 6 AWG AND SMALLER; 12" FOR WIRE LARGER THAN 6 AWG.
9. HARDWARE, BOLTS, NUTS, WASHERS AND LOCK WASHERS SHALL BE 18-8 STAINLESS STEEL. CONNECTIONS SHALL BE BOLT-FLAT WASHER-BUSS-LUG-FLAT WASHER-LOCK WASHER-NUT IN THAT EXACT ORDER, WITH NUT FACING OUTWARD. BACK-TO-BACK LUGGING, BOLT-FLAT WASHER-LUG-FLAT WASHER-BUSS-LUG-LOCK WASHER-NUT, IN THAT EXACT ORDER IS ACCEPTED WHERE NECESSARY TO CONNECT MANY LUGS TO A BUSS BAR. STACKING OF LUGS, BUSS-LUG-LUG, IS NOT ACCEPTABLE.
10. COMPRESSION GROUND LUGS FOR GROUNDING CONDUCTORS SHALL BE BURNDY TYPE YAXX-2TC38 OR APPROVED EQUAL.
11. THE DEPTH OF THE GROUND RING, WHEN SPECIFIED, SHALL BE EITHER 3'-6" BELOW FINAL GRADE OR IT SHALL BE INSTALLED TO THE MINIMUM DEPTH REQUIRED BY LOCALLY ENFORCED CODES, REGULATIONS AND ORDINANCES, WHICHEVER IS DEEPER.
12. THE GROUND RING, WHEN SPECIFIED, SHALL BE A MINIMUM OF 24" FROM THE EQUIPMENT SHELTER FOUNDATIONS, PLATFORM OR CONCRETE PAD.
13. GROUND RODS, WHEN SPECIFIED SHALL BE 5/8 INCH STEEL CLAD WITH A PURE COPPER JACKET OF NOT LESS THAN 0.0012 INCHES THICK, 8 FEET LONG (MIN.). GROUND RODS SHALL BE DRIVEN TO THE FULL VERTICAL LENGTH IN UNDISTURBED EARTH.
14. SPACING BETWEEN GROUND RODS, WHEN SPECIFIED, SHALL BE A MINIMUM OF 6' PER THE NATIONAL ELECTRICAL CODE.
15. XIT RODS, WHEN SPECIFIED, SHALL BE MIN. 2" ID TYPE "K" COPPER TUBE WITH A MINIMUM WALL THICKNESS OF 0.083" AND SHALL BE A MINIMUM OF 8 FEET IN LENGTH. THE XIT COPPER PIPE/ROD SHALL BE FILLED WITH NON-HAZARDOUS METALLIC SALTS. THE BACKFILL MATERIAL SHALL BE NATURAL CLAY LYNCONITE II. THE COVER SHALL BE FIBERLYTE CAST IRON, LYNCOLE MODEL XB-12F, FOR LIGHT TRAFFIC AREAS, XB-12 FOR MEDIUM TRAFFIC AREAS AND XB-22, FOR HEAVY TRAFFIC OR PAVED AREAS.
16. THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUS AT THE LOWEST POINT OF THE VERTICAL RUN, THE ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING THE BTS CABINET. GROUNDING KITS ON COAX CABLE SHALL HAVE A MINIMUM BEND OF 6" AND SHALL BE KEPT AS CLOSE TO VERTICAL AS POSSIBLE. FLAT WASHER SENT WITH GROUND KITS MUST BE REPLACED WITH SMALLER STAINLESS FLAT WASHERS. WASHERS MUST REMAIN FLAT AGAINST GROUND BAR. FASTENERS MUST BE STAINLESS STEEL AND KOPR-SHIELD MUST BE USED ON BOTH SIDES OF GROUND BAR.

T-Mobile
 7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
 WEST DES MOINES, IA 50266

PBM
 Wireless Services
 Think outside the triangle.

A	10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ # 22-10-40-27
 DWG BY: BCG
 CHKD BY: MJM

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
N-3

LIGHTNING PROTECTION:

1. LIGHTING PROTECTION MATERIALS SHALL BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

GROUND SYSTEM TESTING:

1. A RESISTANCE-TO-GROUND OF 5 OHMS OR LESS IS THE OBJECTIVE OF THE EXTERNAL GROUND SYSTEM. THE CONTRACTOR SHALL PERFORM TESTS AS SPECIFIED IN THE OWNERS STANDARDS -SITE RESISTANCE TO EARTH TESTING TO DETERMINE RESISTANCE-TO-GROUND OF THE COMPLETED EXTERNAL GROUND SYSTEM. TEST SHALL BE PERFORMED PRIOR TO BACKFILLING TRENCHES. THE CONTRACTOR SHALL EMPLOY THE SERVICES OF AN EXPERIENCED TESTING LABORATORY OR ENGINEERING FIRM FAMILIAR WITH THE SPECIFIED TEST METHOD. IF RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 10 OHMS, NOTIFY THE OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
2. GROUND RESISTANCE SHALL BE MEASURED FOR EACH PIECE OF EQUIPMENT TO THE GROUND ELECTRODE.
3. GROUNDING RESISTANCE TEST REPORT:
A GROUNDING RESISTANCE TEST REPORT SHALL BE PREPARED UPON COMPLETION OF THE TESTING FOR EACH SITE. THE TEST REPORT SHALL CONTAIN THE COMPLETED OWNERS FORMS AND SHOW THE RESISTANCE IN OHMS AT 62% SPACING AND WITH AUXILIARY POTENTIAL ELECTRODES AND READINGS AT 10% INTERVALS WITH A TOTAL DISTANCE OF AT LEAST 500 FEET OR UNTIL THE AVERAGE RESISTANCE STARTS INCREASING. IT SHALL CONTAIN 10 TO 15 PHOTOGRAPHS TAKEN DURING CONSTRUCTION TO PROVIDE PROOF THAT THE EXTERNAL GROUND RING SYSTEM WAS COMPLETE BEFORE BACKFILLING. THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER NO LESS THAN 48 HOURS IN ADVANCE OF BACKFILL. TESTING SHALL BE COMPLETED BY THE CONTRACTOR AND TWO (2) COPIES OF THE GROUNDING RESISTANCE TEST REPORT ARE TO BE BOUND AND SUBMITTED WITHIN 2 DAYS OF TEST COMPLETION FOR EACH SITE.

GROUNDING NOTES:

1. REFER TO GROUNDING NOTES FOR TERMINATION, CONDUCTOR, GROUND ROD AND TESTING REQUIREMENTS.
2. CONTRACTOR SHALL INSTALL GROUNDING AS SHOWN AND PER T-MOBILE WIRELESS STANDARDS AND APPLICABLE CODES, BUT SHALL NOT DUPLICATE EXISTING GROUNDING (I.E. FENCE GROUNDING, TOWER GROUND RING ON CO-LOCATE SITES) WHICH IS PROPER AND ADEQUATE.
3. GROUND WIRES SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO GROUND WITH GRADUAL BENDS TO CHANGE DIRECTION IF NECESSARY. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.
4. TRENCHES SHALL NOT BE BACKFILLED UNTIL SPECIFIED TESTS HAVE BEEN PERFORMED AND UNTIL THE GROUNDING SYSTEM CONFORMS TO THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
5. IF FENCE IS WITHIN 6' OF EQUIPMENT GROUND RING, EXTEND 2 AWG SOLID BARE TINNED COPPER WIRE FROM BURIED GROUND RING TO FENCE POSTS AND EXOTHERMICALLY WELD. BOND INTERMEDIATE POST IF REQUIRED TO MAINTAIN 25' MAX SPACING.
6. GROUND WIRES THAT TRANSITION FROM ABOVE GRADE TO BELOW GRADE SHALL BE ROUTED IN A 3/4" PVC CONDUIT FROM THE CONNECTION TO A MINIMUM OF 18" BELOW GRADE. BOTH ENDS OF THE PVC CONDUIT SHALL BE SEALED WITH SILICONE CAULK.
7. TAMPER PROOF HARDWARE SHALL BE USED FOR EXPOSED GROUND BARS INSTALLED AT COMPOUND LEVEL.

ANTENNA NOTES:

1. ANTENNA CONTRACTOR SHALL ENSURE THAT EACH ANTENNA MOUNTING PIPE IS PLUMB.
2. COAXIAL FEEDER & FIBER LENGTHS INDICATED ARE APPROXIMATE.
3. ANTENNA COAXIAL FEEDERS & ANTENNA JUMPERS SHALL BE COLOR CODED PER T-MOBILE REQUIREMENTS AND LATEST STANDARDS.
4. LMU COAXIAL FEEDERS & JUMPERS SHALL BE COLOR CODED PER T-MOBILE REQUIREMENTS AND LATEST STANDARDS.
5. MULTI-PORT ANTENNAS: TERMINATE UNUSED ANTENNA PORTS WITH CONNECTOR CAP & WEATHER PROOF THOROUGHLY. JUMPERS FROM TMA_s MUST TERMINATE TO OPPOSITE POLARIZATIONS IN EACH SECTOR.
6. CONTRACTOR MUST FOLLOW MANUFACTURERS' RECOMMENDATIONS REGARDING THE INSTALLATION OF COAXIAL CABLES, CONNECTORS & ANTENNAS.
7. MINIMUM BEND RADIUS:

LDF4-50A	(1/2" HARD LINE) = 5"
FSJ4-50B	(1/2" SUPER FLEX) = 1 1/4"
AVA5-50A	(7/8" HARD LINE) = 10"
AVA7-50A	(1 5/8" HARD LINE) = 15"
LDF7-50A	(1 5/8" HARD LINE) = 20"
8. CONTRACTOR SHALL RECORD THE SERIAL, SECTOR & POSITION OF EACH ACTUATOR INSTALLED AT THE ANTENNAS AND FURNISH THE INFORMATION TO T-MOBILE.
9. WEATHERPROOF ANTENNA CONNECTORS WITH SELF-AMALGAMATING TAPE.
10. ANTENNA CONTRACTOR SHALL PERFORM A "TAPE DROP" MEASUREMENT TO CONFIRM/VALIDATE ANTENNA CENTERLINE (A.C.L.) HEIGHT. CONTRACTOR SHALL SUBMIT A COMPLETED HEIGHT VERIFICATION FORM TO THE CONSTRUCTION MANAGER.
11. FIBER RUNS CONTAINED IN ONE HYBRID DC-FIBER CABLE FROM LOWER COVP TO UPPER COVP SHALL BE COLOR CODED PER T-MOBILE REQUIREMENTS. (CONTRACTOR SHALL VERIFY REQUIRED LENGTH WITH T-MOBILE OPERATIONS).

ANTENNA ALIGNMENT NOTES:

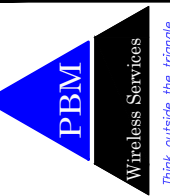
1. CONTRACTOR TO PROVIDE AND INSTALL PATH BOXES OR OTHER INDUSTRY APPROVED PATHING EQUIPMENT THAT WILL ENABLE ALIGNMENT OF ANTENNAS IN HOPS, PER THE DESIGN.
2. TO ENSURE THAT THE ALIGNMENT REMAINS PERMANENT, TORQUE MARKS WILL BE ADDED TO ALL ALIGNMENT SCREWS AND BOLTS AFTER THEY ARE TIGHTENED AND PICTURES OF THEM WILL BE TAKEN FOR THE CLOSEOUTS. TORQUE MARKS WILL BE MADE WITH INDELIBLE MARKING PAINT OR NAIL POLISH (SHARPIES OR SIMILAR MARKER WILL NOT BE ALLOWED). IF ANTENNA IS TO BE MOUNTED TO AN EXISTING SECTOR FRAME AND THE FRAME DOES NOT HAVE (2) TIEBACKS INSTALLED, CONTRACTOR WILL NOTIFY T-MOBILE FIELD REPRESENTATIVE ASAP.

COMMISSIONING AND INTEGRATION BY CONTRACTOR

1. T-MOBILE WILL PROVIDE PROVISIONING DATA TO THE CONTRACTOR PRIOR TO OR DURING HARDWARE INSTALLATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR PATH ALIGNMENT, INTEGRATION, AND COMMISSIONING FROM END TO END ON EACH HOP.

CONTRACTOR SUPPLIED MATERIAL

1. THE CONTRACTOR WILL SUPPLY ALL PIPE MOUNTS AND RELATED ATTACHMENT HARDWARE, TRAPEZE, PORT/BOOT ASSEMBLY FOR ENTRANCE TO CABINET OR SHELTER, SMALL GROUNDING BARS, ROUND MEMBER ADAPTERS, ANGLE ADAPTERS, SNAP-IN HANGERS, POWER CABLE TO IDU AND ICE SHIELD(S) WITH ALL REQUIRED MATERIAL AND HARDWARE WHEN REQUIRED.



A	10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ #: 22-10-40-27
 DWG BY: BCG
 CHKD BY: MJM

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
N-4

NOTES:

1. G.C. SHALL NOTIFY T-MOBILE FOPS MANAGER OF CONSTRUCTION START DATE, MINIMUM (1) WEEK PRIOR TO START OF CONSTRUCTION.
2. G.C. SHALL THOROUGHLY INVENTORY EQUIPMENT BEFORE SIGNING FOR & REMOVING FROM WAREHOUSE. G.C. SHALL IMMEDIATELY NOTIFY T-MOBILE CM OF ANY MISSING OR INCORRECT ITEMS.

EXISTING OVERHEAD ELECTRICAL LINES (TYP.), PROTECT DURING CONSTRUCTION

EXISTING TELCO PEDESTAL, PROTECT DURING CONSTRUCTION

EXISTING UTILITY ENCLOSURE, PROTECT DURING CONSTRUCTION

EXISTING VAULT (TYP), PROTECT DURING CONSTRUCTION

EXISTING FIRE HYDRANT, PROTECT DURING CONSTRUCTION

EXISTING UTILITY POLE (TYP.), PROTECT DURING CONSTRUCTION

EXISTING TRANSFORMER, PROTECT DURING CONSTRUCTION

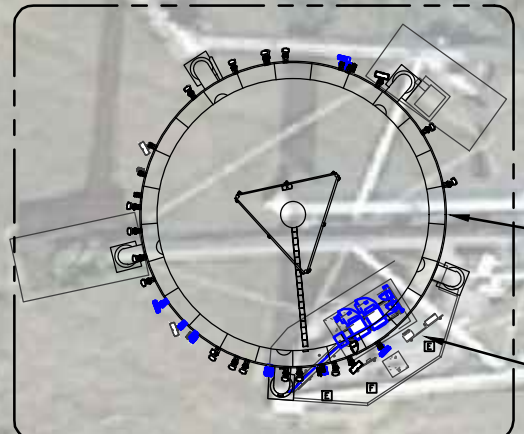
EXISTING ELECTRIC METER (TYP.), PROTECT DURING CONSTRUCTION

EXISTING BUILDING (TYP.), PROTECT DURING CONSTRUCTION

EXISTING WATER TANK TO BE UTILIZED BY T-MOBILE, PROTECT DURING CONSTRUCTION

EXISTING T-MOBILE EQUIPMENT, PROTECT DURING CONSTRUCTION

BOOTH ST



1
C-1.1

T-Mobile
 7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
 WEST DES MOINES, IA 50266

PBM
 Wireless Services
 Think outside the triangle.

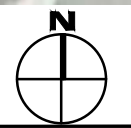
A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
O	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ # : 22-10-40-27 DWG BY: BCC CHKD BY: MJM

SHEET TITLE
PARTIAL SITE PLAN

SHEET NUMBER
C-1.0

1 PARTIAL SITE PLAN
 SCALE: 1" = 30'



ANTENNAS NOT SHOWN FOR CLARITY

EXISTING WATER TANK LEG (TYP.), PROTECT DURING CONSTRUCTION

EXISTING OTHER CARRIER DOGHOUSE, PROTECT DURING CONSTRUCTION

EXISTING FENCE (TYP.), PROTECT DURING CONSTRUCTION

EXISTING WATER TANK TO BE UTILIZED BY T-MOBILE, PROTECT DURING CONSTRUCTION

EXISTING UTILITY ENCLOSURE (TYP.), PROTECT DURING CONSTRUCTION

EXISTING SECONDARY CLIMB LADDER w/SAFETY CLIMB CABLE, PROTECT DURING CONSTRUCTION

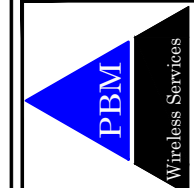
EXISTING LANDSCAPE TIMBERS (TYP.), PROTECT DURING CONSTRUCTION

EXISTING PRIMARY CLIMB LADDER w/SAFETY CLIMB CABLE, PROTECT DURING CONSTRUCTION

1
C-2.0

±10'-11"

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCG
CHKD BY: MJM

SHEET TITLE
COMPOUND PLAN

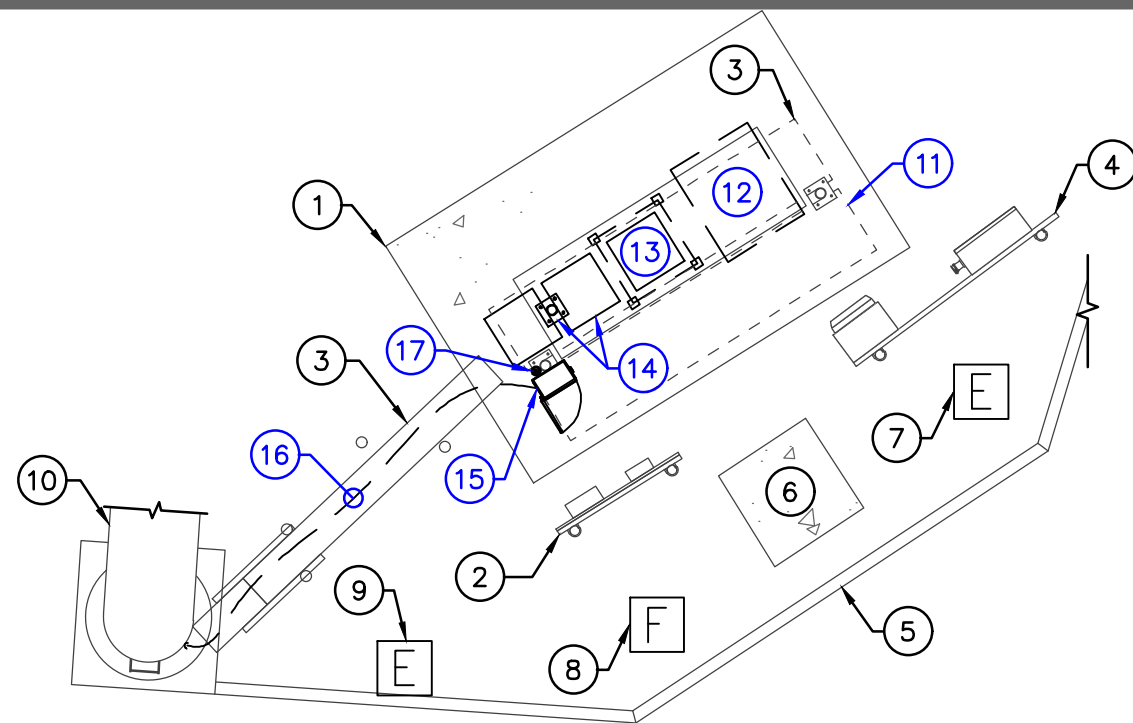
SHEET NUMBER
C-11

1 COMPOUND PLAN
SCALE: 1/8" = 1'-0"



KEY NOTES:

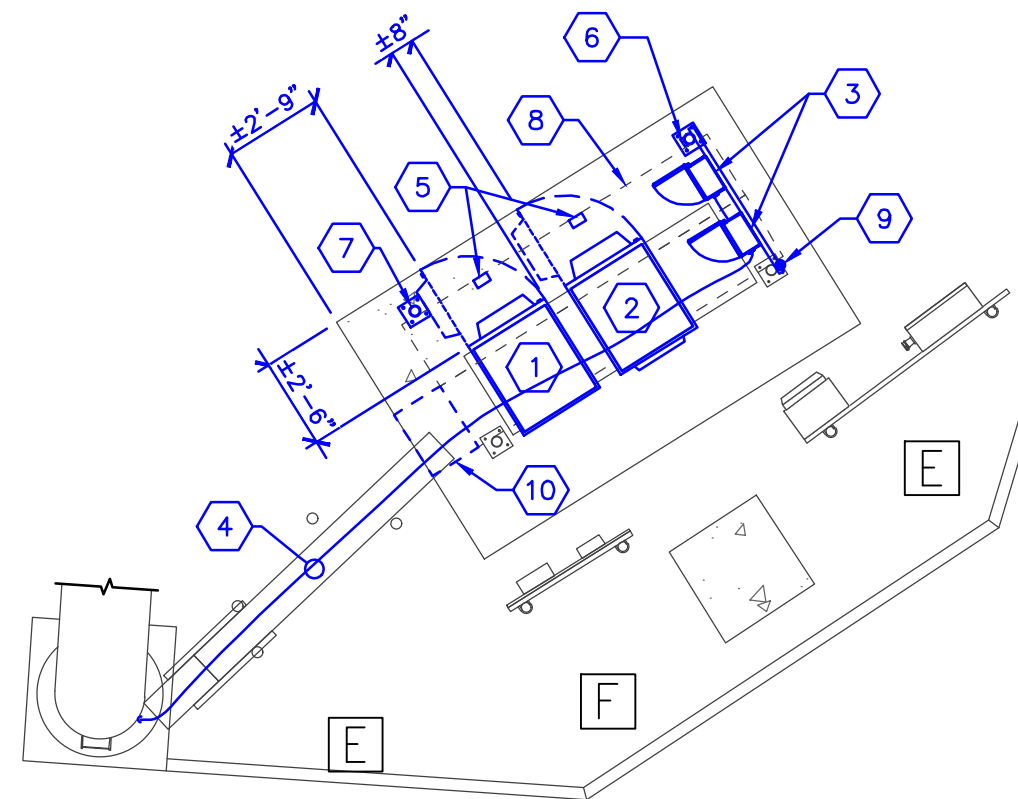
- 1 EXISTING T-MOBILE ±7'-9"x12'-4" CONCRETE PAD TO REMAIN, PROTECT DURING CONSTRUCTION
- 2 EXISTING T-MOBILE UTILITY RACK w/EXISTING CIENA TO REMAIN, PROTECT DURING CONSTRUCTION
- 3 EXISTING T-MOBILE ICE BRIDGE (TYP.), PROTECT DURING CONSTRUCTION
- 4 EXISTING UTILITY RACK w/200A PPC w/GENERATOR RECEPTACLE & RAC24 TO REMAIN, PROTECT DURING CONSTRUCTION
- 5 EXISTING LANDSCAPING TIMBERS TO REMAIN, PROTECT DURING CONSTRUCTION
- 6 EXISTING T-MOBILE ±3'-0"x3'-0" CONCRETE PAD TO REMAIN, PROTECT DURING CONSTRUCTION
- 7 EXISTING T-MOBILE ELECTRIC METER TO REMAIN, PROTECT DURING CONSTRUCTION
- 8 EXISTING FIBER VAULT TO REMAIN, PROTECT DURING CONSTRUCTION
- 9 EXISTING EMPTY ELECTRIC METER SOCKET, PROTECT DURING CONSTRUCTION
- 10 EXISTING TOWER LEG, PROTECT DURING CONSTRUCTION
- 11 EXISTING GRIP STRUT TO BE RELOCATED, PROTECT DURING CONSTRUCTION
- 12 EXISTING T-MOBILE CABINET TO BE REMOVED
- 13 EXISTING T-MOBILE "CHAIR" w/MODULES; "CHAIR" TO BE REMOVED; MODULES TO BE RELOCATED TO PROPOSED SSC AS REQUIRED; G.C. SHALL COORDINATE w/ T-MOBILE CM DURING PRE-CON WALK
- 14 EXISTING T-MOBILE POST w/MODULES; POST TO BE REMOVED; MODULES TO BE RELOCATED TO PROPOSED SSC AS REQUIRED; G.C. SHALL COORDINATE w/ T-MOBILE CM DURING PRE-CON WALK
- 15 EXISTING T-MOBILE COVP TO BE REMOVED
- 16 EXISTING T-MOBILE CABLES TO BE REMOVED (TYP.)
- 17 EXISTING T-MOBILE GPS ANTENNA TO BE REMOVED



1 EXISTING EQUIPMENT PLAN
SCALE: 3/16" = 1'-0"

KEY NOTES:

- 1 PROPOSED T-MOBILE LB3 BATTERY CABINET; G.C. SHALL COORDINATE w/ T-MOBILE CM FOR EXACT DIMENSIONS AND REQUIREMENTS PRIOR TO START OF CONSTRUCTION; SEE DETAIL 2/C-8.0
- 2 PROPOSED T-MOBILE DELTA HPL3 SSC; G.C. SHALL INSTALL CSR IN PROPOSED SSC; G.C. SHALL NOTIFY FOPS MANAGER THE DAY OF INTENDED CSR INSTALLATION; SEE DETAIL 1/C-8.0
- 3 PROPOSED T-MOBILE LOWER COVP (TYP. 2) MOUNTED TO PROPOSED UNISTRUT USING MANUFACTURER SUPPLIED MOUNTING BRACKET
- 4 PROPOSED T-MOBILE HYBRID HCS2.0 TRUNK CABLE ROUTED FROM PROPOSED LOWER COVP, ALONG ICE BRIDGE, AND UP LEG OF WATER TANK
- 5 PROPOSED T-MOBILE SERVICE LIGHT (TYP. 2), MAXLITE P/N# FLS15U50B/G2, OR CLIENT APPROVED EQUIVALENT; LIGHT SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS & SHALL FACE THE FRONT OF THE PROPOSED CABINETS.
- 6 PROPOSED T-MOBILE OUTDOOR RATED 20A GFCI OUTLET/SWITCH COMBO w/4 HOUR TIMER MOUNTED TO PROPOSED CANOPY POST, TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS
- 7 PROPOSED T-MOBILE POST (TYP. 2), TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS
- 8 RELOCATED T-MOBILE GRIP STRUT
- 9 PROPOSED T-MOBILE GPS ANTENNA MOUNTED TO EXISTING ICE BRIDGE POST; GPS ANTENNA SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS
- 10 PROPOSED T-MOBILE GRIP STRUT, SITEPRO1 P/N: LDGS10, OR CLIENT APPROVED EQUIVALENT; G.C. SHALL FIELD CUT TO SIZE, DEBURR EDGES, & COLD-GALVANIZE SPRAY; SPLICE TO EXISTING GRIP STRUT w/ SITEPRO1 P/N: WGB-SA, OR CLIENT APPROVED EQUIVALENT



2 PROPOSED EQUIPMENT PLAN
SCALE: 3/16" = 1'-0"

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

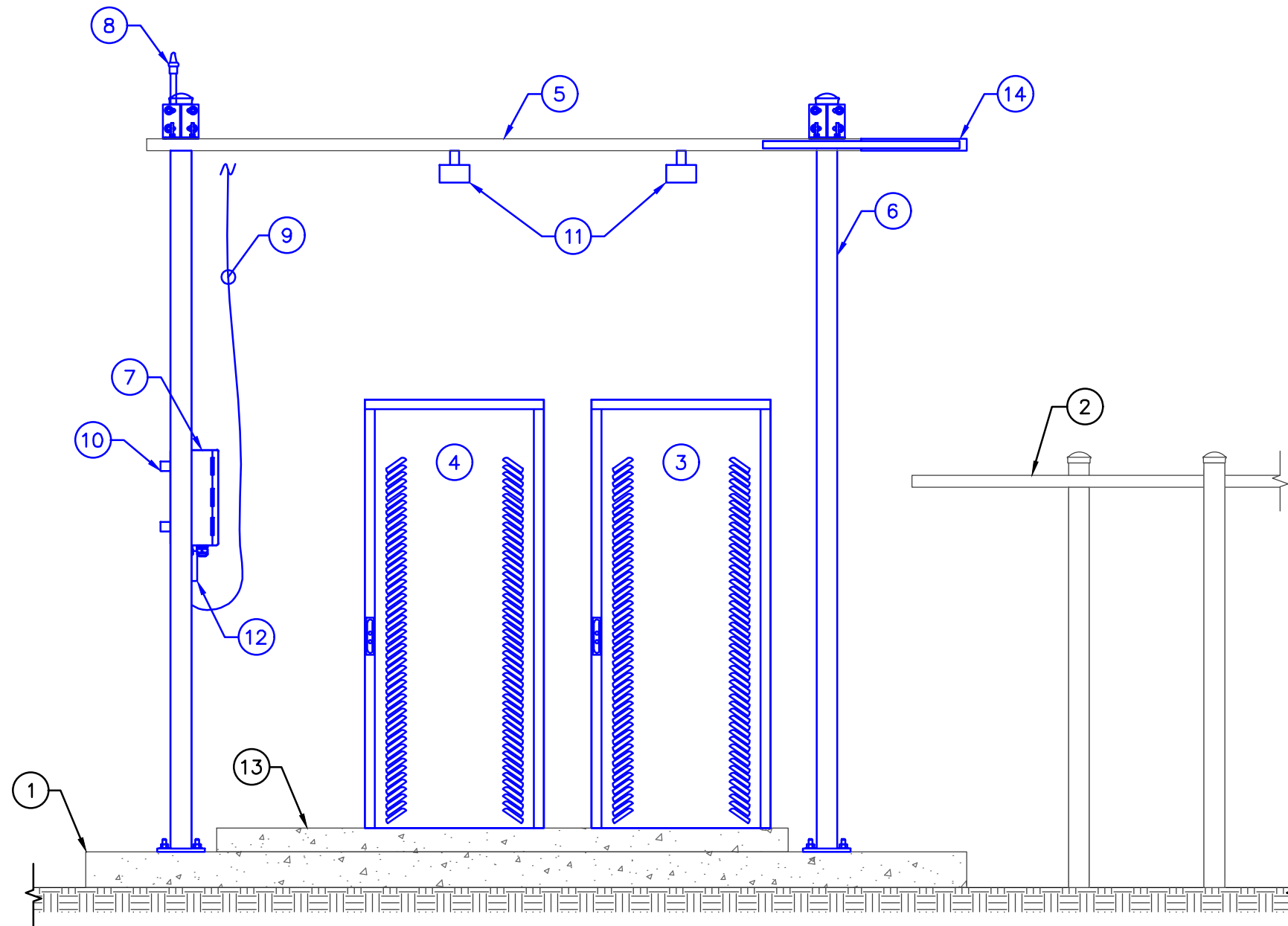
DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCG
CHKD BY: MJM

SHEET TITLE
EQUIPMENT PLANS

SHEET NUMBER
C-2.0

KEY NOTES:

- ① EXISTING T-MOBILE CONCRETE PAD, PROTECT DURING CONSTRUCTION
- ② EXISTING ICE BRIDGE TO REMAIN, PROTECT DURING CONSTRUCTION
- ③ PROPOSED T-MOBILE LB3 BATTERY CABINET
- ④ PROPOSED T-MOBILE DELTA HPL3 SSC; G.C. SHALL INSTALL CSR IN PROPOSED SSC; G.C. SHALL NOTIFY FOPS MANAGER THE DAY OF INTENDED CSR INSTALLATION
- ⑤ RELOCATED T-MOBILE 2' WIDE GRIP STRUT
- ⑥ PROPOSED T-MOBILE ICE BRIDGE POST (TYP. 2), SITEPRO 1 P/N: SP126, OR CLIENT APPROVED EQUIVALENT; TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS
- ⑦ PROPOSED T-MOBILE LOWER COVP MOUNTED TO ICE BRIDGE POST (TYP. 2) USING MANUFACTURER SUPPLIED MOUNTING BRACKET; G.C. SHALL INSTALL COVP (TYP.) TO BE 4'-5' (MIN.) A.G.L.
- ⑧ PROPOSED T-MOBILE GPS ANTENNA MOUNTED TO EXISTING ICE BRIDGE POST; GPS ANTENNA SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS
- ⑨ PROPOSED T-MOBILE HYBRID HCS2.0 TRUNK CABLE (TYP. 2) ROUTED FROM PROPOSED LOWER COVPs, ALONG ICE BRIDGE, AND UP LEG OF WATER TANK
- ⑩ PROPOSED UNISTRUT (TYP.) SPANNED BETWEEN ICE BRIDGE POSTS
- ⑪ PROPOSED T-MOBILE SERVICE LIGHT (TYP. 2), MAXLITE P/N# FLS15U50B/G2, OR CLIENT APPROVED EQUIVALENT; LIGHT SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS & SHALL FACE THE FRONT OF THE PROPOSED CABINETS.
- ⑫ PROPOSED T-MOBILE OUTDOOR RATED 20A GFCI OUTLET/SWITCH COMBO w/4 HOUR TIMER MOUNTED TO PROPOSED CANOPY POST, TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS
- ⑬ EXISTING CONCRETE PLINTH TO REMAIN, PROTECT DURING CONSTRUCTION
- ⑭ PROPOSED T-MOBILE GRIP STRUT, SITEPRO1 P/N: LDGS10, OR CLIENT APPROVED EQUIVALENT; G.C. SHALL FIELD CUT TO SIZE, G.C. DEBURR EDGES, & COLD-GALVANIZE SPRAY; SPLICE TO EXISTING GRIP STRUT w/ SITEPRO1 P/N: WGB-SA, OR CLIENT APPROVED EQUIVALENT



UTILITY RACK NOT SHOWN FOR CLARITY

1 EQUIPMENT ELEVATION
SCALE: 1/2" = 1'-0"

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
EQUIPMENT ELEVATION

SHEET NUMBER
C-3.0

REFERENCE ONLY



A EXIST. TOWER ELEVATION
SCALE: NONE



B EXIST. EQUIPMENT
SCALE: NONE



C EXIST. EQUIPMENT
SCALE: NONE



D EXIST. CABINET
SCALE: NONE



E EXIST. 'CHAIR'
SCALE: NONE



F EXIST. MODULES
SCALE: NONE



G EXIST. COVP
SCALE: NONE

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ # 22-10-40-27 DWG BY: BCC CHKD BY: MJM

SHEET TITLE
SITE PHOTOS

SHEET NUMBER
C-3.1

REFERENCE ONLY



H EXIST. CIENA
SCALE: NONE

I EXIST. RAC24
SCALE: NONE



J EXIST. CABLE ROUTE
SCALE: NONE



K EXIST. CABLE ROUTE
SCALE: NONE

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
SITE PHOTOS

SHEET NUMBER
C-3.2

EXISTING LIGHTNING ROD & BEACONS, PROTECT DURING CONSTRUCTION

EXISTING T-MOBILE RRU TO BE REMOVED (TYP. 1 PER SECTOR)

EXISTING OTHER CARRIER ANTENNA (TYP.), PROTECT DURING CONSTRUCTION

EXISTING T-MOBILE COAX CABLE (TYP.) TO BE REMOVED

EXISTING WATER TANK, PROTECT DURING CONSTRUCTION

GROUND LEVEL EQUIPMENT NOT SHOWN FOR CLARITY

EXISTING T-MOBILE ANTENNA TO BE REMOVED (TYP. 1 PER SECTOR)

☉ OF EXISTING T-MOBILE ANTENNAS
ELEV.= + 124.00' ±

TOP OF EXISTING HANDRAIL
ELEV.= + 123.00' ±

☉ OF EXISTING OTHER CARRIER ANTENNAS
ELEV.= + 115.67' ±

☉ OF EXISTING OTHER CARRIER ANTENNAS
ELEV.= + 113.00' ±

☉ OF EXISTING OTHER CARRIER ANTENNAS
ELEV.= + 105.25' ±

FINISHED GRADE
ELEV.= + 0.00' ±

PROPOSED T-MOBILE AHFIG RRU (TYP. (1) PER SECTOR); TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS

PROPOSED T-MOBILE UPPER BREAKOUT FEATURE/PENDANT (TYP. 2)

PROPOSED T-MOBILE HYBRID HCS2.0 TRUNK CABLE (TYP. 2) ROUTED FROM PROPOSED LOWER COVPS, ALONG ICE BRIDGE, AND UP LEG OF WATER TANK

EXISTING WATER TANK, PROTECT DURING CONSTRUCTION

GROUND LEVEL EQUIPMENT NOT SHOWN FOR CLARITY

PROPOSED T-MOBILE AEHC (TYP. (1) PER SECTOR); TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS

TOP OF EXISTING HANDRAIL
ELEV.= + 123.00' ±

☉ OF PROPOSED T-MOBILE ANTENNAS
ELEV.= + 119.00' ±

FINISHED GRADE
ELEV.= + 0.00' ±

NOTES:

- ELEVATION IS FOR REFERENCE PURPOSE ONLY.
- CONTRACTOR SHALL PERFORM WORK DONE TO OR ON STRUCTURE IN ACCORDANCE WITH PROVIDED STRUCTURAL ANALYSIS SEPARATE FROM PBM WIRELESS DRAWINGS.
- ONLY (1) T-MOBILE SECTOR SHOWN FOR CLARITY.
- FINAL RF CONFIGURATION SHALL BE CONFIRMED w/ T-MOBILE RF/CM PRIOR TO START OF CONSTRUCTION.
- G.C. SHALL ENSURE THAT EXISTING & PROPOSED T-MOBILE APPURTENANCES DO NOT EXTEND HIGHER THAN THE BOTTOM OF THE TANK LETTERING.

FINAL CONFIGURATION:

- (3) EXISTING COMMSCOPE FFHH-65C-R3 ANTENNAS
- (3) PROPOSED AEHC ANTENNAS
- (3) EXISTING AHLOA RRUs
- (3) PROPOSED AHFIG RRUs
- (2) PROPOSED UPPER BREAKOUT FEATURES/PENDANTS
- (2) PROPOSED HYBRID HCS2.0 TRUNK CABLES
- (4) PROPOSED HANDRAIL MOUNTS
- PROPOSED RRU MOUNTS

1 EXISTING ELEVATION

SCALE: 1" = 20'

2 PROPOSED ELEVATION

SCALE: 1" = 20'



A	05/10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ # 22-10-40-27
 DWG BY: BCG
 CHKD BY: MJM

SHEET TITLE
TOWER ELEVATION

SHEET NUMBER
C-4.0

EXISTING T-MOBILE OCTO PORT ANTENNA TO BE RELOCATED ONTO NEW MOUNTING PIPE (TYP. 1 PER SECTOR), PROTECT DURING CONSTRUCTION

EXISTING T-MOBILE RRU TO BE REMOVED (TYP. 1 PER SECTOR)

EXISTING T-MOBILE AHLOA RRU & MOUNTING PIPE TO BE RELOCATED (TYP. 1 PER SECTOR), PROTECT DURING CONSTRUCTION

EXISTING OTHER CARRIER ANTENNA (TYP.), PROTECT DURING CONSTRUCTION

EXISTING CATWALK w/HANDRAIL, PROTECT DURING CONSTRUCTION

EXISTING T-MOBILE ANTENNA TO BE REMOVED (TYP. 1 PER SECTOR)

☉ OF EXISTING T-MOBILE ANTENNAS
ELEV.= + 124'-0" ±
TOP OF EXISTING HANDRAIL
ELEV.= + 123'-0" ±

RELOCATED T-MOBILE RRU & MOUNTING PIPE (TYP. 1 PER SECTOR), PROTECT DURING CONSTRUCTION

RELOCATED T-MOBILE OCTO PORT ANTENNA (TYP. 1 PER SECTOR), PROTECT DURING CONSTRUCTION

PROPOSED T-MOBILE AHFIG RRU (TYP. (1) PER SECTOR); TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS

PROPOSED T-MOBILE AEHC (TYP. (1) PER SECTOR); TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS

☉ OF PROPOSED T-MOBILE ANTENNAS
ELEV.= + 119'-0" ±

PROPOSED T-MOBILE 2.5" STD.x10' LONG MOUNTING PIPE (TYP. (1) PER SECTOR); TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS

1 ENLARGED EXISTING ELEVATION
SCALE: 1/4" = 1'-0"

2 ENLARGED PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"

A	10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ # 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
ENLARGED ANTENNA ELEVATION

SHEET NUMBER
C-4.1

EXISTING T-MOBILE
COMMSCOPE
FFHH-65C-R3 ANTENNA
TO BE RELOCATED (TYP.)

EXISTING T-MOBILE
AHLOA RRU TO BE
RELOCATED (TYP.)

EXISTING T-MOBILE
AHFIB RRU TO BE
REMOVED (TYP. (1)
PER SECTOR)

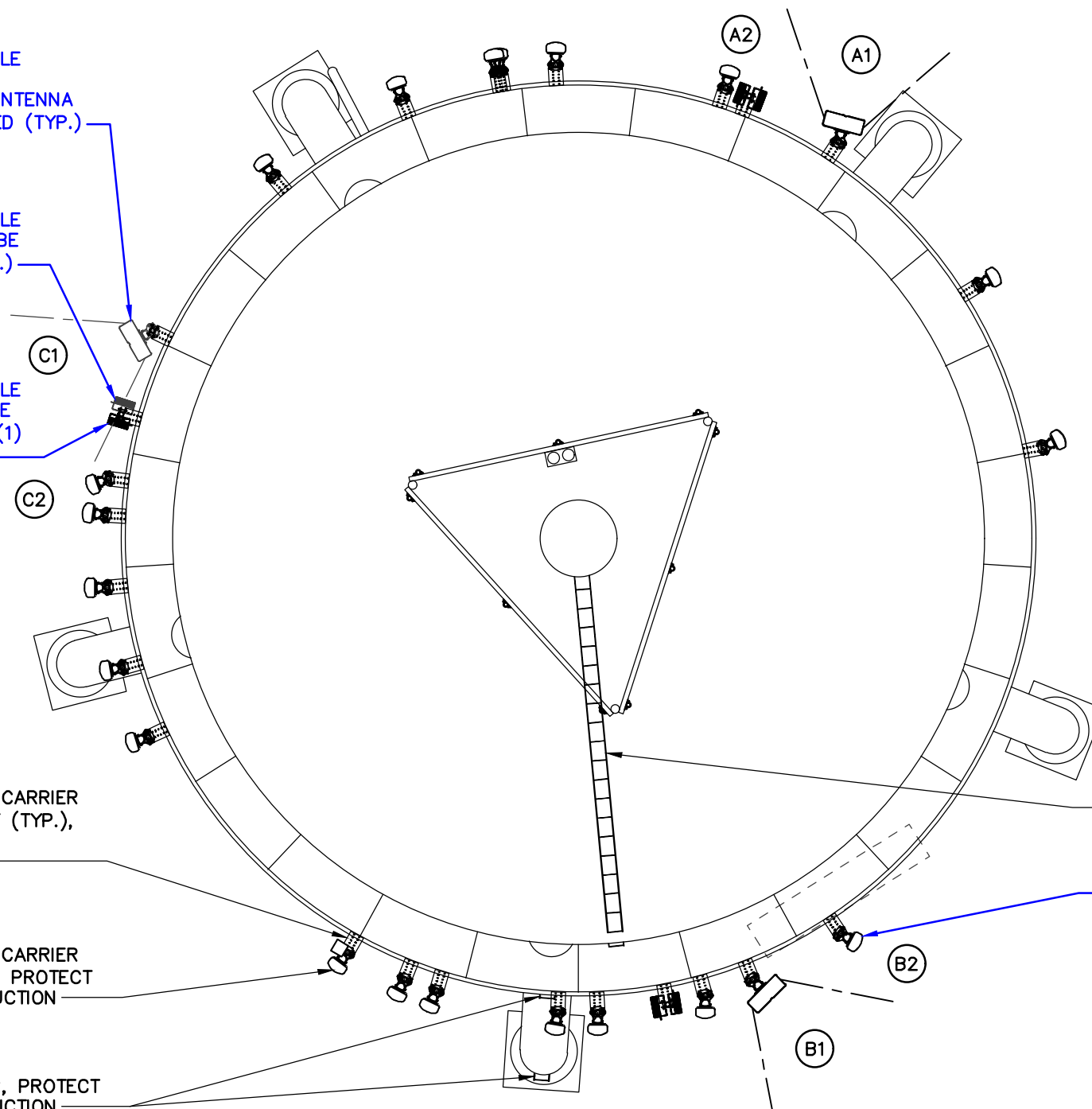
EXISTING OTHER CARRIER
ANTENNA MOUNT (TYP.),
PROTECT DURING
CONSTRUCTION

EXISTING OTHER CARRIER
ANTENNA (TYP.), PROTECT
DURING CONSTRUCTION

EXISTING LADDER, PROTECT
DURING CONSTRUCTION



A EXISTING ANTENNA LAYOUT PHOTO
SCALE: NONE



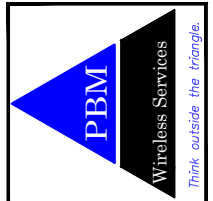
EXISTING LADDER, PROTECT
DURING CONSTRUCTION

EXISTING T-MOBILE
ANTENNA TO BE REMOVED
(TYP. (1) PER SECTOR)

1 EXISTING ANTENNA PLAN
SCALE: 1/8" = 1'-0"



T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



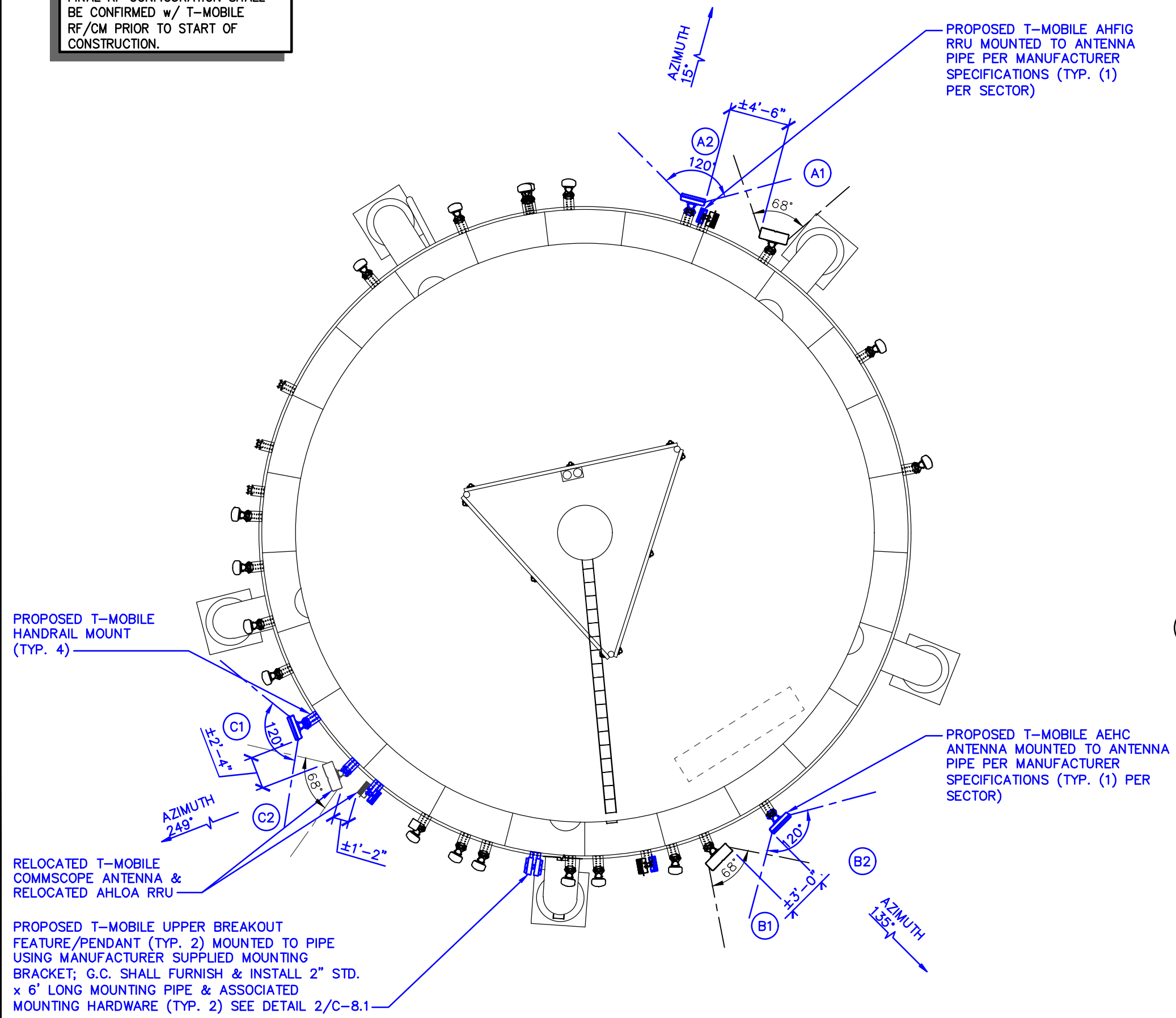
A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ # 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
**ANTENNA LAYOUT -
EXISTING**

SHEET NUMBER
C-5.0

NOTE:
FINAL RF CONFIGURATION SHALL BE CONFIRMED w/ T-MOBILE RF/CM PRIOR TO START OF CONSTRUCTION.

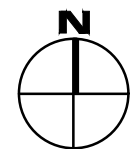


HYBRID CABLE LENGTH		
LENGTH FROM LOWER COVP TO UPPER BREAKOUT FEATURE/PENDANT - (TYP. 2)	±186' (56.7m)	
DC/FIBER JUMPER CABLE LENGTH		
PROPOSED UPPER PENDANT TO AHLOA		
ALPHA SECTOR:	±87' (26.5m)	
BETA SECTOR:	±87' (26.5m)	
GAMMA SECTOR:	±87' (26.5m)	
DC/FIBER JUMPER CABLE LENGTH		
PROPOSED UPPER PENDANT TO AHFIG		
ALPHA SECTOR:	±87' (26.5m)	
BETA SECTOR:	±87' (26.5m)	
GAMMA SECTOR:	±87' (26.5m)	
DC/FIBER JUMPER CABLE LENGTH		
PROPOSED UPPER PENDANT TO AEHC		
ALPHA SECTOR:	±87' (26.5m)	
BETA SECTOR:	±87' (26.5m)	
GAMMA SECTOR:	±87' (26.5m)	
COAX JUMPER CABLE INFO		
	AHFIG TO ANTENNA	CABLE QTY.
ALPHA SECTOR:	±19' (5.8m)	4
BETA SECTOR:	±19' (5.8m)	4
GAMMA SECTOR:	±19' (5.8m)	4
COAX JUMPER CABLE INFO		
	AHLOA TO ANTENNA	CABLE QTY.
ALPHA SECTOR:	±19' (5.8m)	4
BETA SECTOR:	±19' (5.8m)	4
GAMMA SECTOR:	±19' (5.8m)	4

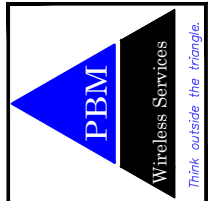
* CABLE LENGTHS PROVIDED ARE APPROXIMATE

2 CABLE INFORMATION
SCALE: NONE

1 PROPOSED ANTENNA PLAN
SCALE: 1/8" = 1'-0"



T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
O	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
ANTENNA LAYOUT - PROPOSED

SHEET NUMBER
C-5.1

Section 1 - Site Information

Site ID: DM01403A Site Name: Polk City WT Latitude: 41.77190000
 Status: Draft Site Class: Watertank Longitude: -93.71910000
 Version: 3 Site Type: Structure Non Building Address: 401 Booth St. U Tower
 Project Type: Anchor Plan Year: 2022 City, State: Polk City, IA
 Approved: Not Approved Market: DES MOINES IA Vendor: Nokia
 Approved By: Not Approved Landlord: The City of Polk City
 Last Modified: 4/1/2022 10:36:22 AM
 Last Modified By: Ramaraju.2.Manthena@t-mobile.com

RAN Template: 56791EZ_SR AL Template: 56791EZ_SR
 Sector Count: 3 Antenna Count: 6 Coax Line Count: 0 TMA Count: 0 RRU Count: 6

Proposed RAN Equipment

Template: 56791EZ_SR

Enclosure	1	2	3	4
Enclosure Type	Delta HPL3 600A DC plant	Tower Top Mount (Nokia)	Ancillary Equipment (Nokia)	Delta LB3 Battery Cabinet (4 strings)
Baseband	ASIL N600 L2100 L1900 G1900 N1900 (DARK) N2100 (DARK)	ASIL L2500 N2500		
Baseband Submodule	ABIO L2100 L1900 G1900 N1900 (DARK) N2100 (DARK)	ABIO N2500 L2500 ABIO L600 N600	ABIO L2500 ABIA U1900 G1900	
Baseband Subrack	AMIA			
Hybrid Cable System			175' HCS 2.0 Trunk - 12#6AWG 24 SM FIBER PR NSN High Cap HCS 175ft Voltage Booster PowerPlus S2 w/ 2 Amplifier Raycap Extra Amplifier for PowerPlus Voltage Booster Raycap	
Junction Box		Large COVP (Nokia)	Nokia HCS 2.0 Tower Junction Box Large COVP (Nokia)	
Radio		AHLOA (x 3) L600 N600	AHFIG (x 3) U1900 L2100 L1900 G1900 N1900 (DARK) N2100 (DARK)	
Transport System	CSR IXRe V2 (Gen2)			

RAN Scope of Work:

NOTE:

FINAL RF CONFIGURATION SHALL BE CONFIRMED w/T-MOBILE RF/CM PRIOR TO START OF CONSTRUCTION.

REFERENCE ONLY

Sector 1 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro				
Antenna	1		2		
Antenna Model	Commscope - FFHH-65C-R3 (Octo)		AEHC (Active Antenna - Massive MIMO)		
Azimuth	15		15		
M. Tilt	0		0		
Height	119'		119'		
Ports	P1	P2	P3	P4	P5
Active Tech.	L600 N600	L600 N600	U1900 L2100 L1900 G1900	U1900 L2100 L1900 G1900	L2500 N2500
Dark Tech.			N1900 N2100	N1900 N2100	
E. Tilt	4	4	2	2	2

Sector 2 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro				
Antenna	1		2		
Antenna Model	Commscope - FFHH-65C-R3 (Octo)		AEHC (Active Antenna - Massive MIMO)		
Azimuth	135		135		
M. Tilt	0		0		
Height	119'		119'		
Ports	P1	P2	P3	P4	P5
Active Tech.	L600 N600	L600 N600	U1900 L2100 L1900 G1900	U1900 L2100 L1900 G1900	L2500 N2500
Dark Tech.			N1900 N2100	N1900 N2100	
E. Tilt	4	4	2	2	2

Sector 3 (Proposed) view from front (Note: the images show view from behind)

Coverage Type	A - Outdoor Macro				
Antenna	1		2		
Antenna Model	Commscope - FFHH-65C-R3 (Octo)		AEHC (Active Antenna - Massive MIMO)		
Azimuth	249		249		
M. Tilt	0		0		
Height	119'		119'		
Ports	P1	P2	P3	P4	P5
Active Tech.	L600 N600	L600 N600	U1900 L2100 L1900 G1900	U1900 L2100 L1900 G1900	L2500 N2500
Dark Tech.			N1900 N2100	N1900 N2100	
E. Tilt	4	4	2	2	2



A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

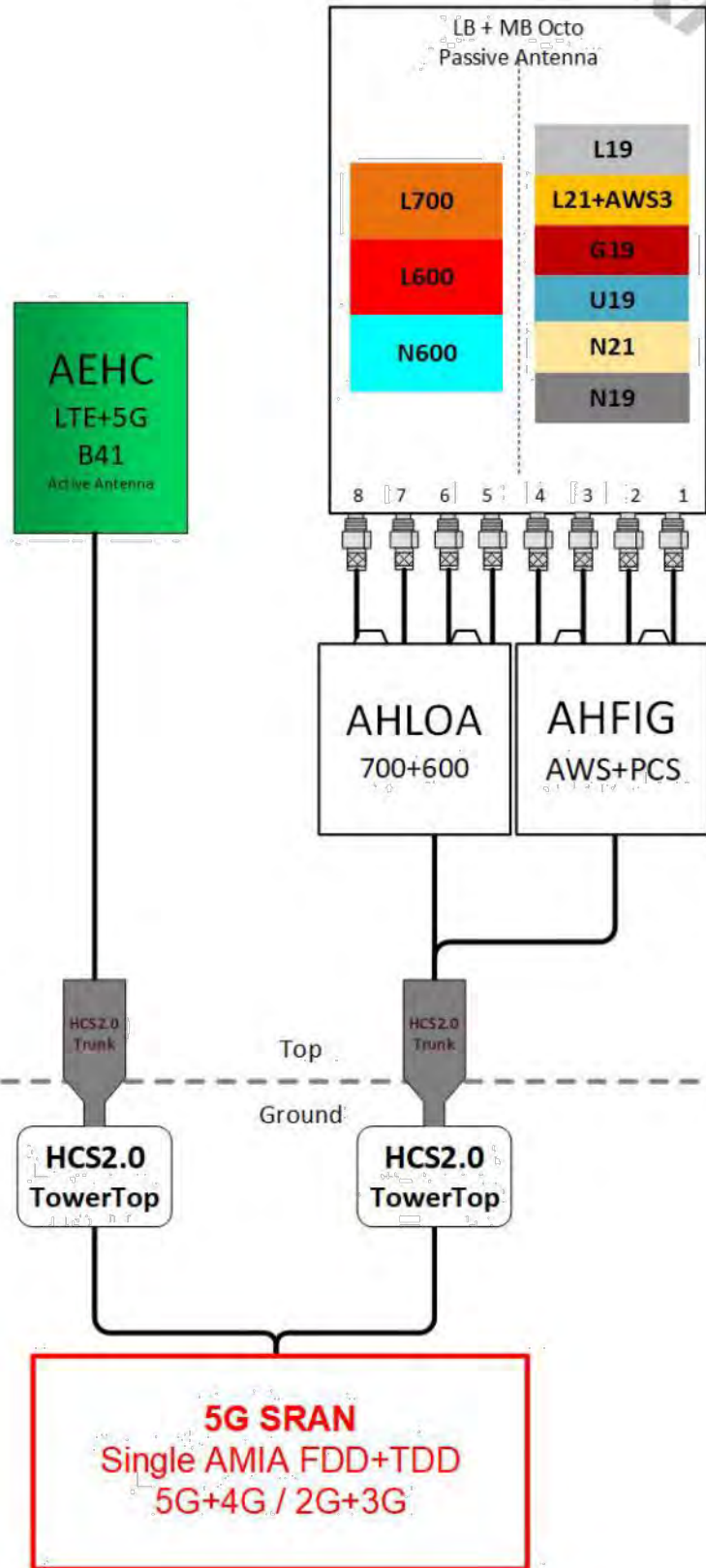
DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ # 22-10-40-27 DWG BY: BCC CHKD BY: MJM

SHEET TITLE
RFDS INFORMATION

SHEET NUMBER
C-6.0

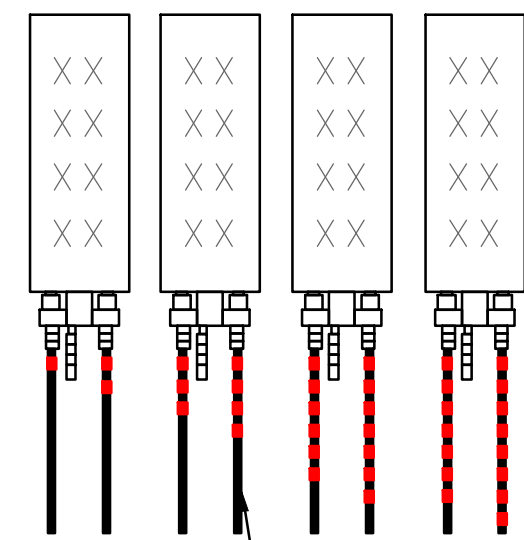
Configuration 56791EZ_SR

* For 5G and LTE Airscale BB dimensioning refer to Fiber Port matrices.
(Alpha, Beta & Gamma)



- FDD - Lowband**
 B12 (L700) – 5 MHz
 B71 (L600) – 10 MHz
 B71 (N600) – 15 MHz
- FDD - Midband**
 B4/B66 (L2100) – 20 MHz
 B66 (AWS3) – 5MHz
 B66 (N2100) – 20MHz
 B2 (L1900) – 20 MHz
 B25 (L1900) – 20 MHz
 B25 (N1900) – 20MHz
 GSM/UMTS
- TDD - Band 41**
 L2.5(2.5GHz)– 60 MHz
 N41(2.5GHz) – 100+80MHz

NOTE:
 FINAL RF CONFIGURATION SHALL BE CONFIRMED
 w/ T-MOBILE RF/CM PRIOR TO START OF
 CONSTRUCTION.



EXAMPLE: COAX WITH FOUR BANDS OF RED TAPE WILL REPRESENT ALPHA SECTOR AND THE 4TH PORT OF ANTENNA

SECTOR A	RED
SECTOR B	GREEN
SECTOR C	BLUE
SECTOR D	YELLOW
SECTOR E	WHITE
SECTOR F	PURPLE
LMU	BROWN – SECTOR COLOR BANDS (1,2)
FIBER ID	GRAY
UNUSED COAX	PINK
MICROWAVE	ORANGE
PWE T-1'S & GPS DOWNLINK CABLE	ID/LABEL MAKER

Color Coding per technology:
 U2100–GREEN
 U1900–PURPLE
 L2100–ORANGE
 L1900–YELLOW
 L700–GRAY
 L600–BROWN
 GSM– just the sector color coding

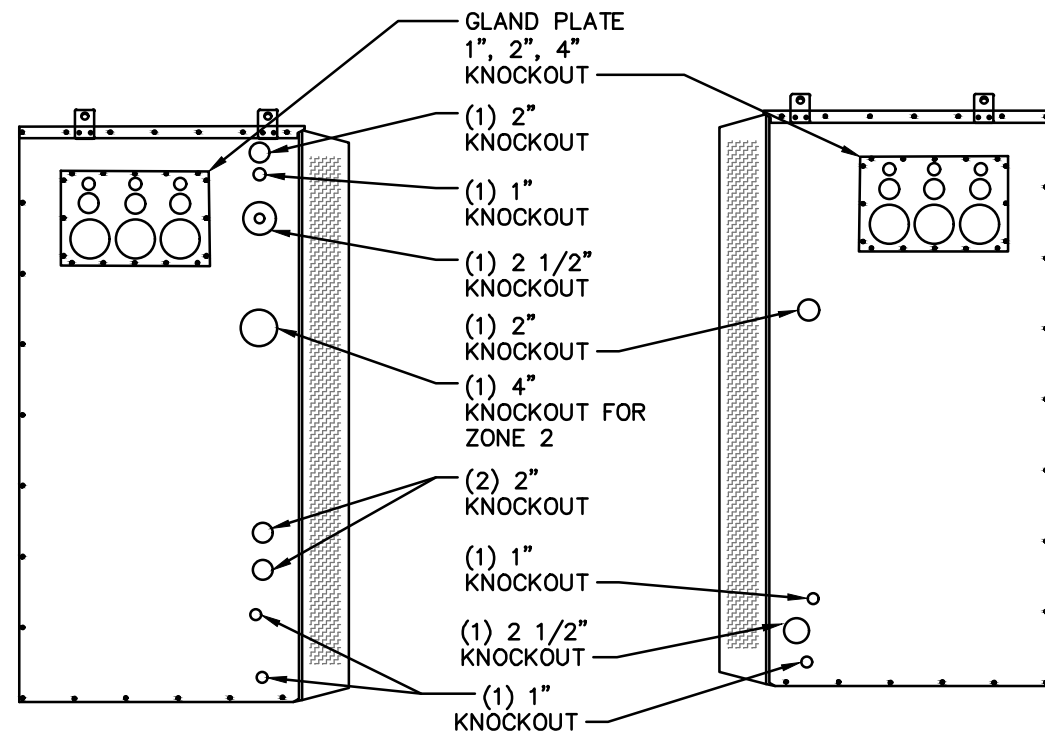
REFERENCE ONLY

A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR – EXISTING WATER TANK
 PROJ # 22-10-40-27
 DWG BY: BCC
 CHKD BY: MJM

SHEET TITLE
**RF PLUMBING
 DIAGRAM & DETAILS**

SHEET NUMBER
C-7.0



LEFT SIDE VIEW

RIGHT SIDE VIEW

ISOMETRIC VIEW

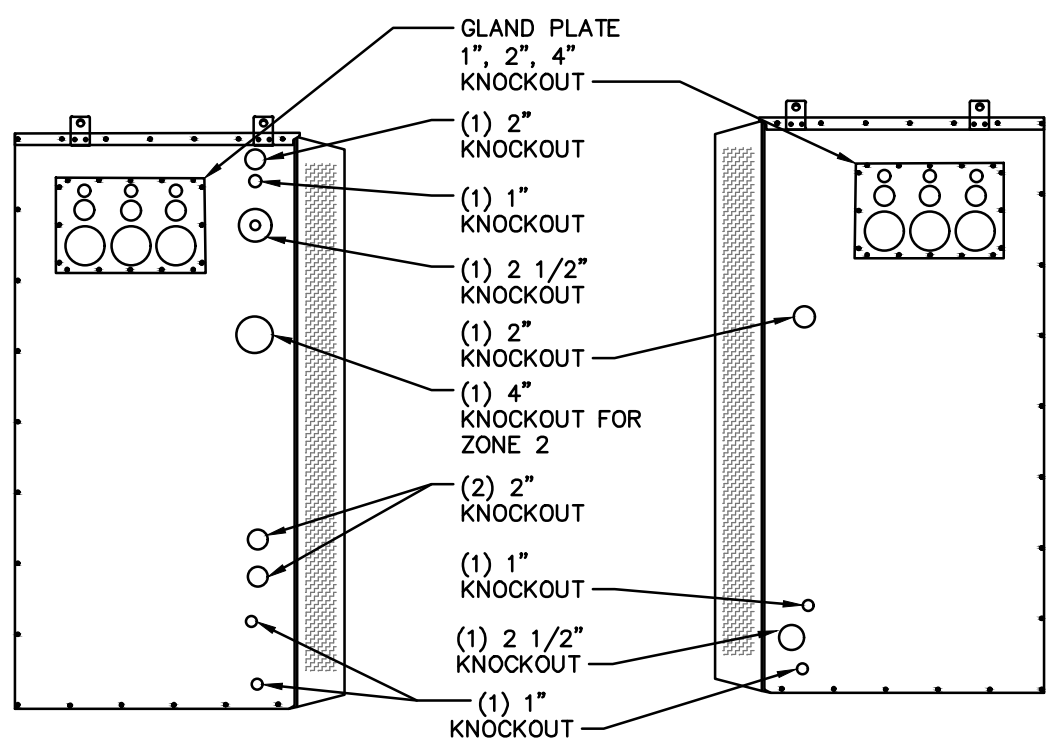
DELTA HPL3 - LARGE SSC	
DIMENSIONS:	72"H x 30"W x 35"D
WEIGHT CABINET ONLY:	±595 LBS (RECTIFIERS EXCLUDED)
WEIGHT OF CABINET (FULLY LOADED):	±2000 LBS

NOTE:
G.C. TO VERIFY CABINET INFORMATION w/MANUFACTURER PRIOR TO CABINET INSTALLATION & CONNECTION

BILL OF MATERIALS

BTS LEVEL			
DESCRIPTION	MANUFACTURER	PART #	QTY.
PIPE COLUMNS – 3.5" OD x 10.5' LONG	SITEPRO 1	SP126	2
PIPE END CAPS	N/A	N/A	2
UNISTRUT RAILING/RACK 10' PCS.	UNISTRUT	P1000	2
UNIVERSAL CLAMPS	N/A	N/A	4
RUBBER UNISTRUT END CAPS	UNISTRUT	P2860	4
24"x10' GRIP STRUT	SITEPRO1	LDGS10	1
GRIP STRUT SPLICE	SITEPRO1	WGB-SA	1
*FLOOD LIGHT	MAXLITE	FLS15U50B	2
SWITCH/OUTLET COMBO w/4 HOUR TIMER (NEMA3R)	N/A	N/A	1
BUSS BAR 1/4"x4"x14"	SABRE	C20105409	1
BUSS BAR INSULATED HARDWARE KIT	SABRE	C20105421	1
ANTENNA LEVEL			
DESCRIPTION	MANUFACTURER	PART #	QTY.
WATER TANK HANDRAIL MOUNT	COMMSCOPE	WT-HRM-U	4
RRU MOUNT	T.B.D.	T.B.D.	T.B.D.
PENDANT MOUNT PIPE 2" STD. x 6' LONG	SABRE	C10981206	2
ANTENNA MOUNT PIPE 2.5" STD. x 8' LONG	SABRE	C10901322	1
ANTENNA MOUNT PIPE 2.5" STD. x 10' LONG	SABRE	C10901329	3
BUSS BAR 1/4"x2"x10"	SABRE	C20105380	3
*OR CLIENT APPROVED EQUIVALENT			
PLEASE NOTE: G.C. SHALL COORDINATE w/T-MOBILE CM FOR FINAL BOM LIST PRIOR TO START OF CONSTRUCTION			

1 DELTA SSC DETAILS
SCALE: 1/2" = 1'-0"



LEFT SIDE VIEW

RIGHT SIDE VIEW

ISOMETRIC VIEW

2 DELTA LB3 BATTERY CABINET DETAILS
SCALE: 1/2" = 1'-0"

DELTA LB3 BATTERY CABINET	
DIMENSIONS:	72"H x 30"W x 35"D
WEIGHT CABINET ONLY:	±540 LBS (BATTERIES EXCLUDED)
WEIGHT OF CABINET (FULLY LOADED):	±2500 LBS

REFERENCE ONLY

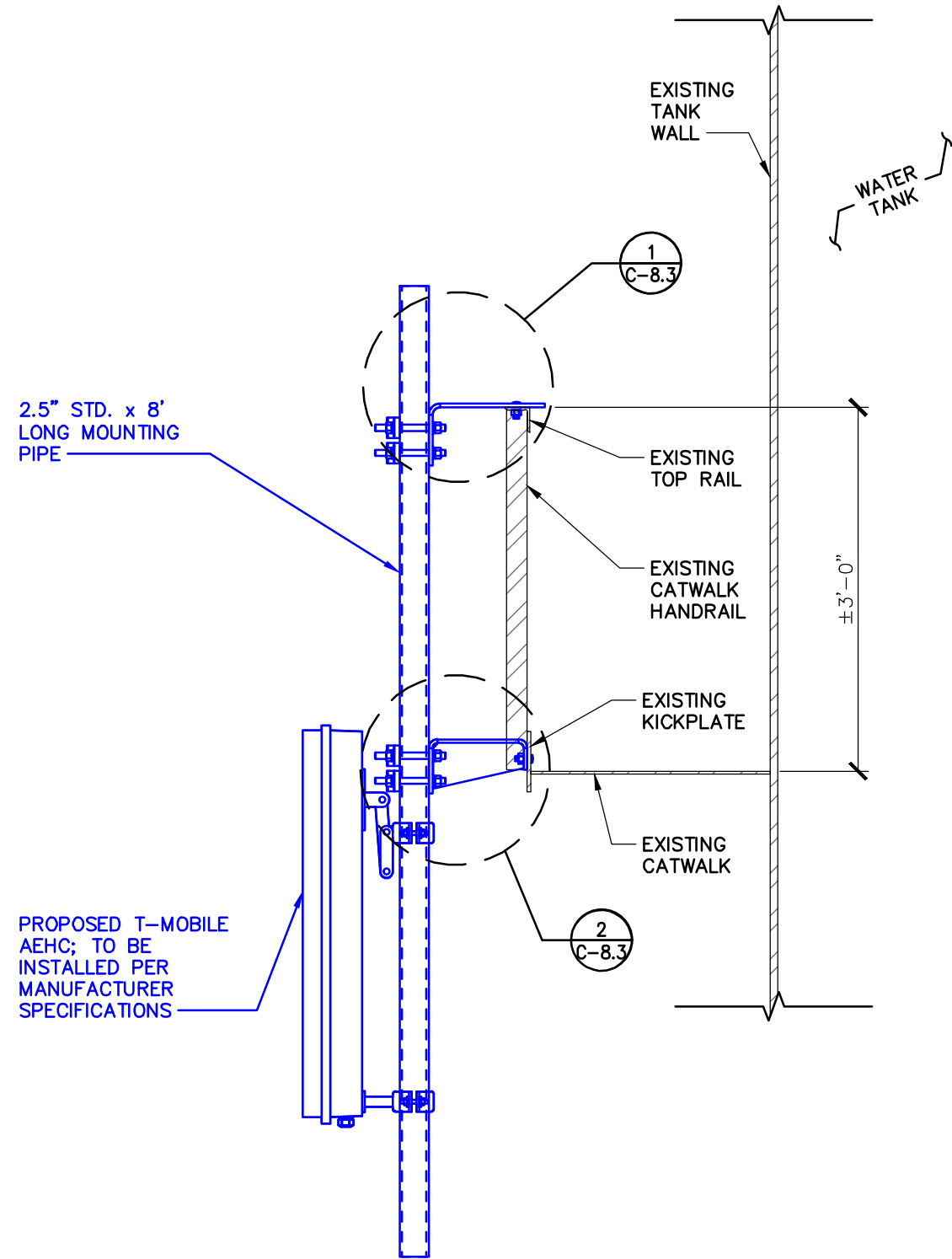
T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



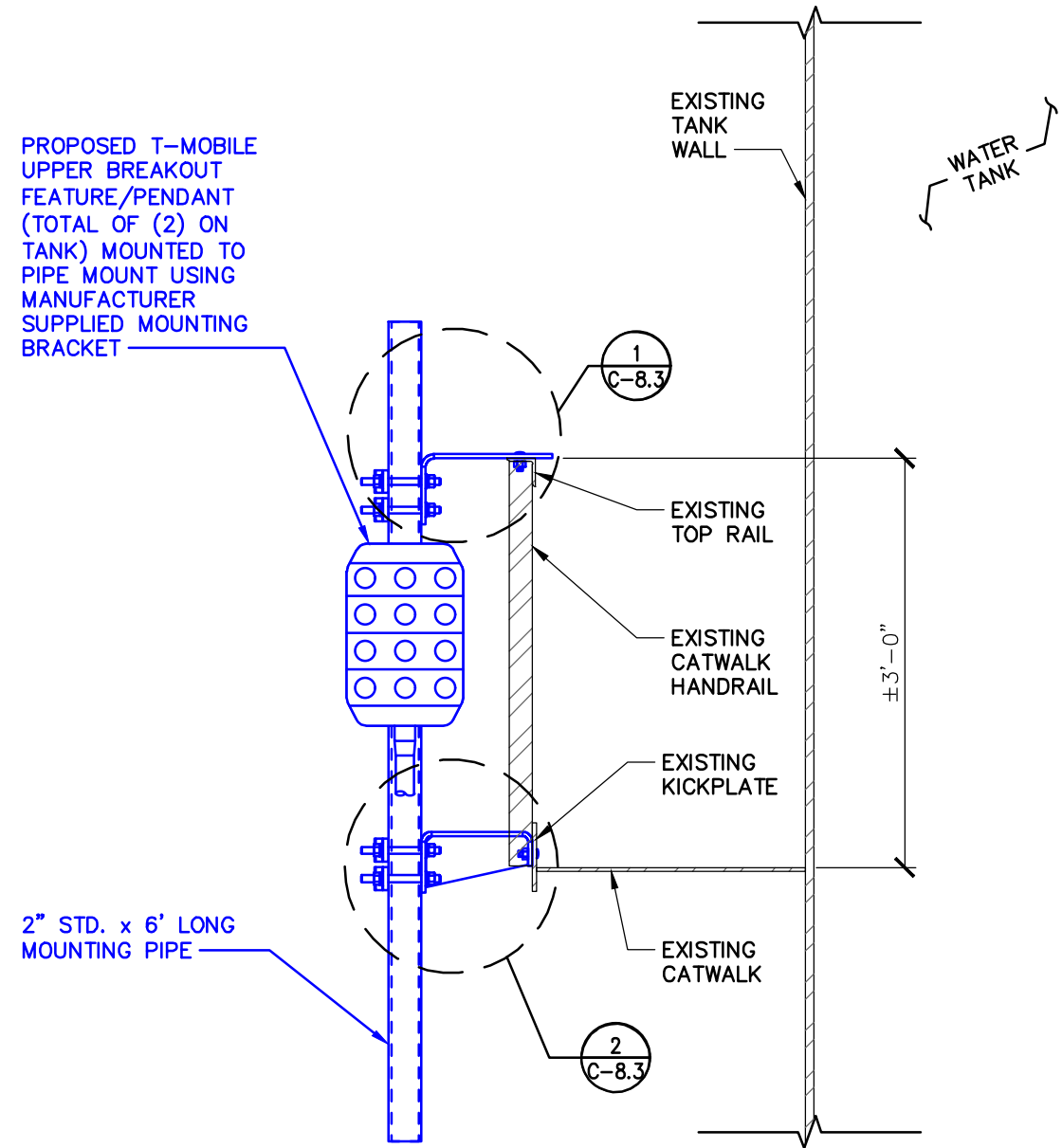
A 10/10/22	INTERNAL REVIEW	BCG
B 05/13/22	90% REVIEW	BCG
C 05/17/22	LL REVIEW	JD
D 08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR – EXISTING WATER TANK
PROJ # 22-10-40-27
DWG BY: BCG
CHKD BY: MJM

SHEET TITLE
EQUIPMENT DETAILS
SHEET NUMBER
C-8.0



PROPOSED T-MOBILE UPPER BREAKOUT FEATURE/PENDANT (TOTAL OF (2) ON TANK) MOUNTED TO PIPE MOUNT USING MANUFACTURER SUPPLIED MOUNTING BRACKET



1 ANTENNA MOUNTING DETAIL - AEHC (GAMMA SECTOR)
SCALE: 3/4" = 1'-0"

2 ANTENNA MOUNTING DETAIL - PENDANTS
SCALE: 3/4" = 1'-0"

A	05/10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

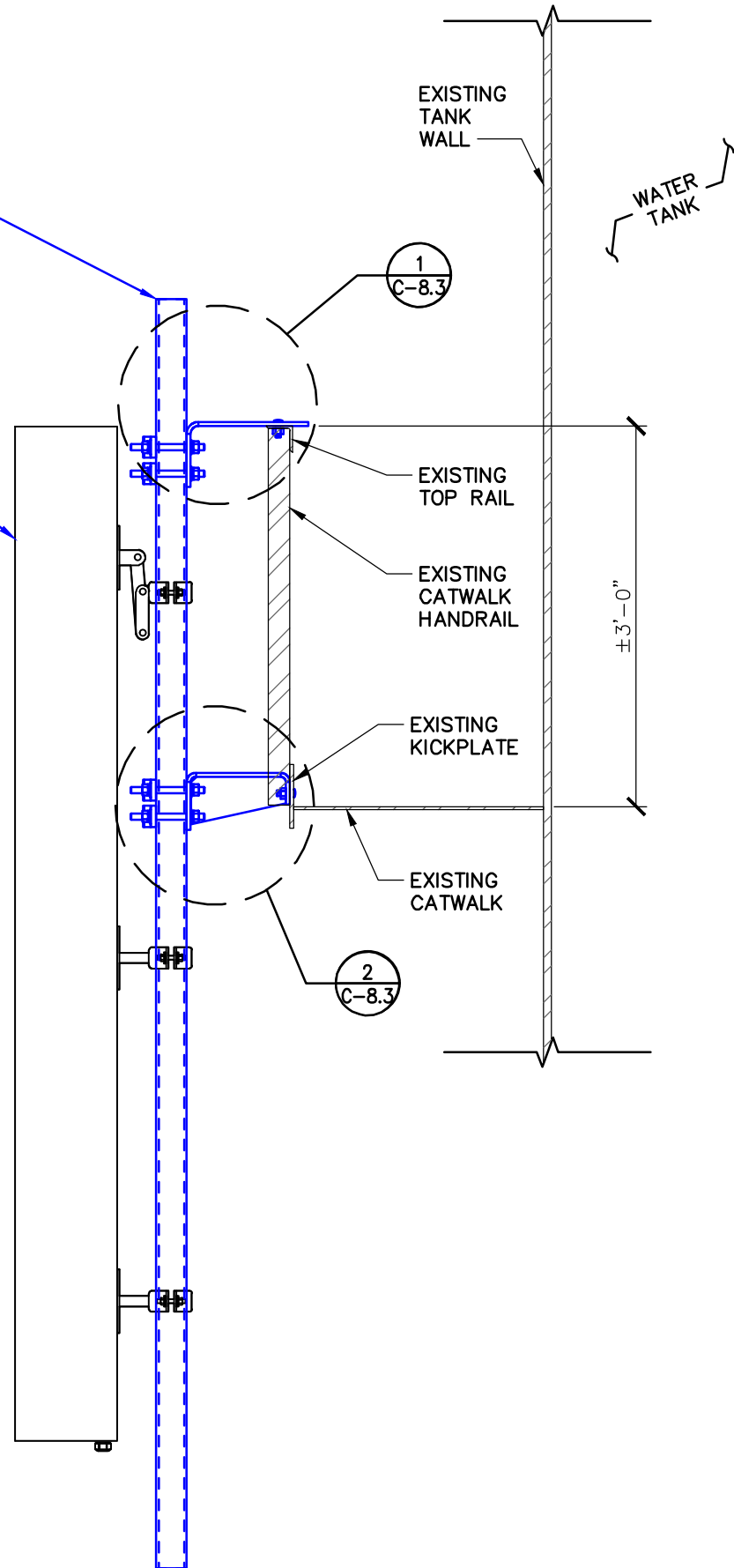
DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCG
CHKD BY: MJM

SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
C-8.1

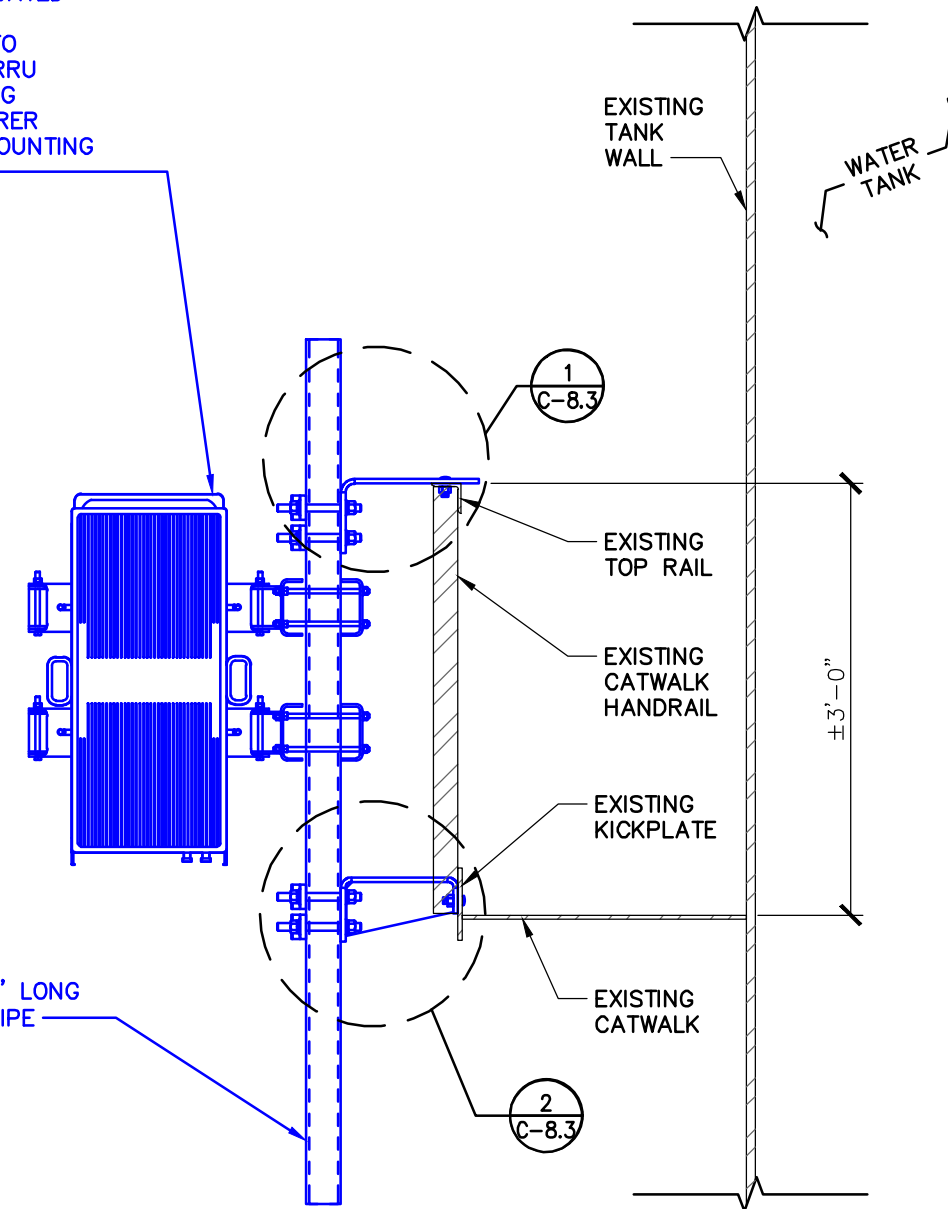
2.5" STD. x 10' LONG MOUNTING PIPE

RELOCATED T-MOBILE COMMSCOPE FFHH-65C-R3 ANTENNA; TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS



(1) PROPOSED T-MOBILE AHFIG RRU & (1) RELOCATED AHLOA RRU ATTACHED TO PROPOSED RRU MOUNT USING MANUFACTURER SUPPLIED MOUNTING BRACKET

2" STD. x 6' LONG MOUNTING PIPE



1 ANTENNA MOUNTING DETAIL - COMMSCOPE (GAMMA SECTOR)
SCALE: 3/4" = 1'-0"

2 ANTENNA MOUNTING DETAIL - RRUs (GAMMA SECTOR)
SCALE: 3/4" = 1'-0"

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266

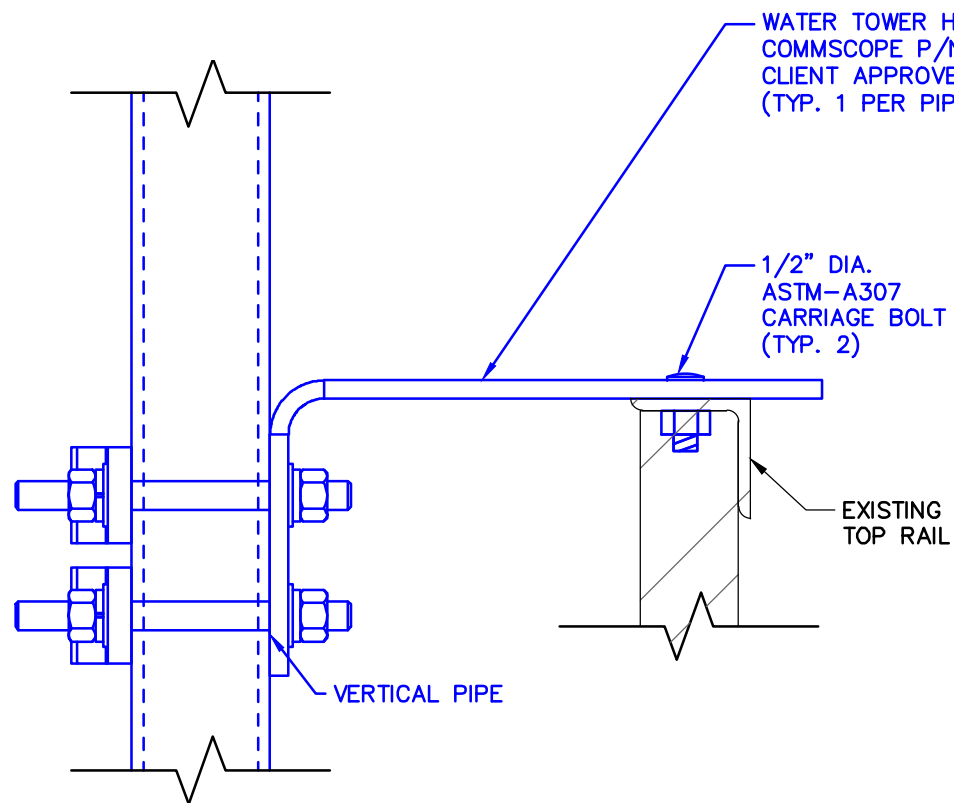


A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

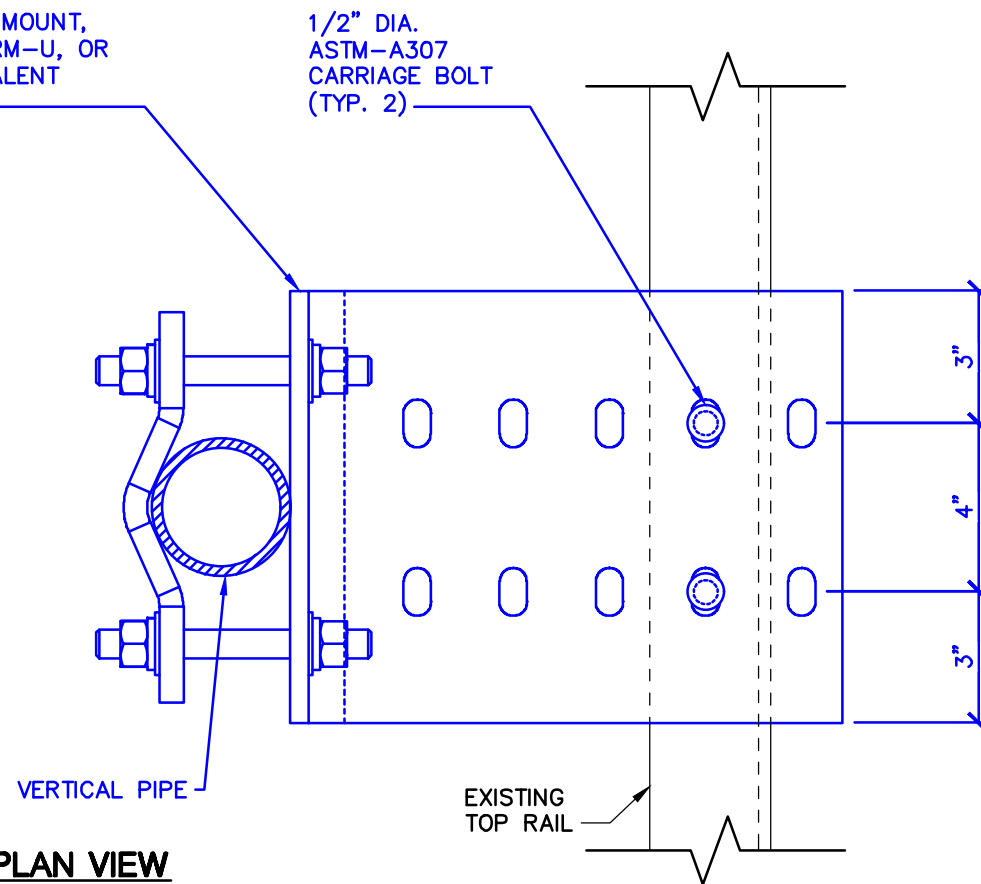
DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
C-8.2

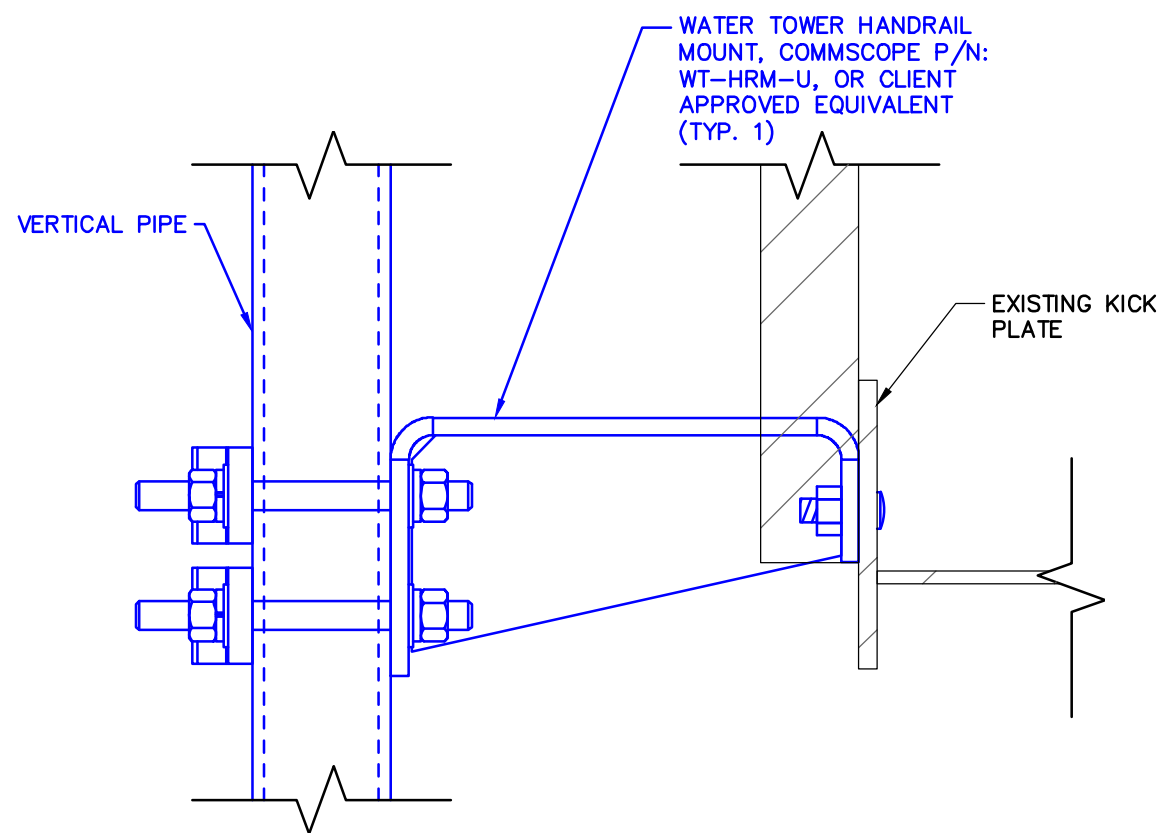


ELEVATION VIEW

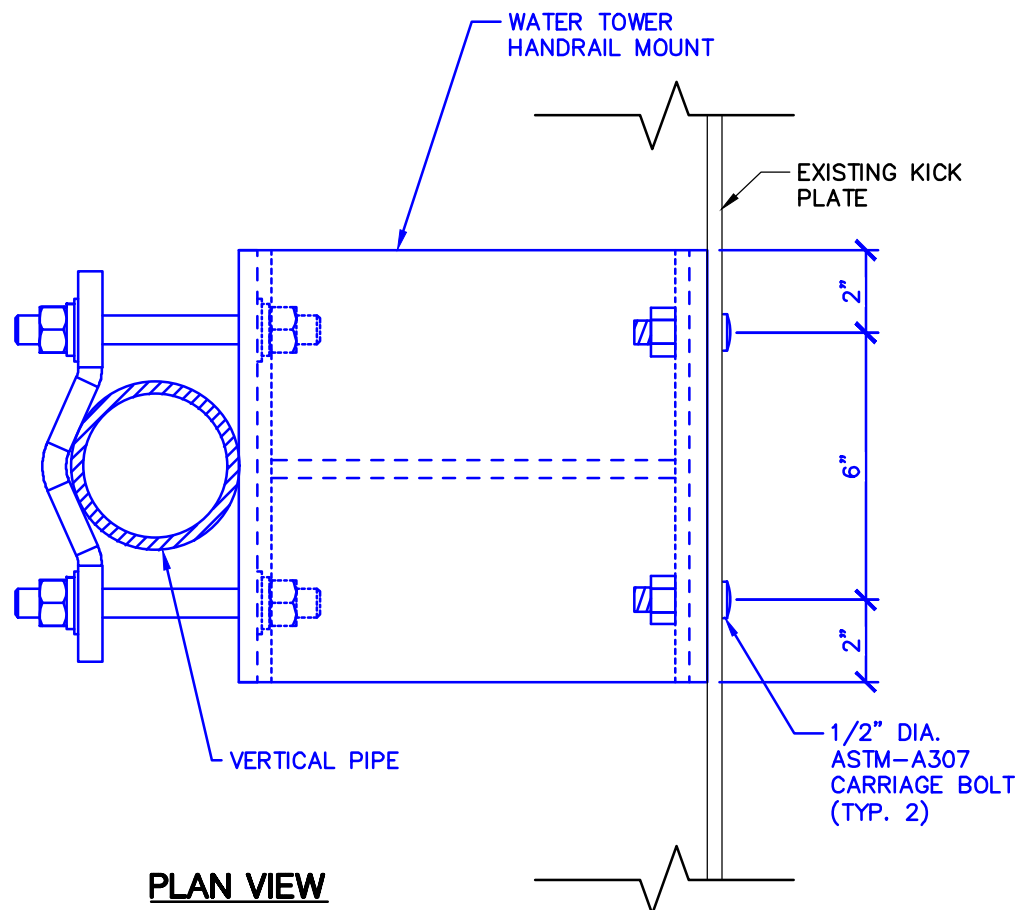


PLAN VIEW

1 UPPER ATTACHMENT DETAIL (TYP.)
SCALE: 3" = 1'-0"



ELEVATION VIEW



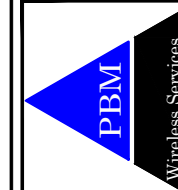
PLAN VIEW

2 LOWER ATTACHMENT DETAIL (TYP.)
SCALE: 3" = 1'-0"

NOTES:

1. STEEL WORK SHALL BE GALVANIZED UNLESS NOTED OTHERWISE.
2. NON-GALVANIZED STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS NOTED OTHERWISE.
3. STEEL BOLTING - ASTM A325-N BOLTS, SEE PLAN/DETAILS FOR DIAMETER, NON SLIP CRITICAL CONNECTIONS SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. DAMAGE TO THE EXISTING CATWALK/RAILING SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING ORIGINAL CONDITIONS AT THE CONTRACTOR'S EXPENSE.
5. STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AISC STANDARDS LATEST EDITION.
6. STEEL ANGLES AND PLATES - ASTM A36. (MINIMUM YIELD STRENGTH = 36KSI)
7. STEEL PIPES - ASTM A53 TYPE E. (MINIMUM YIELD STRENGTH = 35KSI)
8. CONTRACTOR SHALL COORDINATE AND VERIFY LAYOUT, PLACEMENT, ETC. OF EQUIPMENT PRIOR TO FABRICATION AND ERECTION.

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



A	05/10/22	INTERNAL REVIEW	BCC
B	05/13/22	90% REVIEW	BCC
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCC

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ #: 22-10-40-27
DWG BY: BCC
CHKD BY: MJM

SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
C-8.3

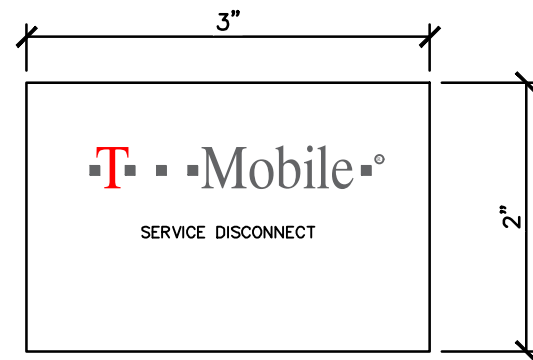
ELECTRICAL INSTALLATION NOTES:

ELECTRICAL INSTALLATION NOTES

- ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND APPLICABLE LOCAL CODES.
- CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
- CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE FACILITY SHALL BE LABELED IN ACCORDANCE WITH OSHA 1910.335(b)(1) AND SAFETY AND ACCIDENT PREVENTION TAGS SHALL BE USED WHERE NECESSARY TO WARN EMPLOYEES OF ELECTRICAL HAZARDS PER OSHA 1910.145.
- ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PLASTIC TAPE PER COLOR SCHEDULE. EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (I.E. PANEL BOARD AND CIRCUIT ID'S).
- PANEL BOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
- TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.

- POWER, CONTROL AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (14 AWG OR LARGER), 600 V, OIL RESISTANT THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET & DRY) OPERATION LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (6 AWG OR LARGER), 600V, OIL RESISTANT THWN-2 GREEN INSULATION CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET AND DRY) OPERATION LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (14 AWG OR LARGER), 600 V, OIL RESISTANT THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET AND DRY) OPERATION WITH OUTER JACKET LISTED OR LABELED FOR THE LOCATION USED UNLESS OTHERWISE SPECIFIED.
- POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR APPROVED EQUIVALENT). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75° C (90° C IF AVAILABLE).
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID METALLIC CONDUIT FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), SHALL BE USED FOR CONCEALED INDOOR LOCATIONS WHERE PERMITTED BY NEC.
- GALVANIZED STEEL RIGID METAL CONDUIT (RMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

- RIGID NONMETALLIC CONDUIT (I.E. RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS; SHALL BE PANDUIT TYPE E (OR EQUIVALENT); AND RATED NEMA 1 INTERIOR, NEMA 3R EXTERIOR (OR BETTER).
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET METAL. SHALL MEET OR EXCEED UL 50 AND RATED NEMA 1 (OR BETTER) INDOORS OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH AND OUTDOOR OUTLETS/DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 3R EXTERIOR (OR BETTER)
- THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



SERVICE DISCONNECT LABEL

SSC	ALARM
1	WHITE/BLUE 3
2	BLUE/WHITE 3 GROUND
4	WHITE/BROWN 7
5	BROWN/WHITE 7 GROUND
10	WHITE/ORANGE 4
11	ORANGE/WHITE 4 GROUND
13	WHITE/GREEN 5
14	GREEN/WHITE 5 GROUND
16	WHITE/BLUE 2 10
17	BLUE/WHITE 2 10 GROUND

66 BLOCK	DESCRIPTION	ALARM BOX
1A	WHITE/BLUE GEN RUNNING	12
1B	BLUE/WHITE GEN RUNNING	12 GROUND
2A	WHITE/ORANGE ATS IN EMERGENCY POSITION	11
2B	ORANGE/WHITE ATS IN EMERGENCY POSITION	11 GROUND
3A	WHITE/GREEN GEN FAIL TO START	6
3B	GREEN/WHITE GEN FAIL TO START	6 GROUND
13A	WHITE/BROWN LOSS OF SURGE	2
13B	BROWN/WHITE LOSS OF SURGE	2 GROUND



METER PEDESTAL



200A METER



BROKEN MAIN DISCONNECT



200A PPC



PPC DISCONNECT



PPC BREAKERS

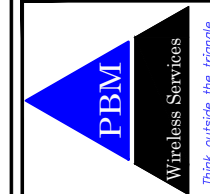
1 ALARM CABLING

SCALE: NONE

A EXISTING ELECTRICAL EQUIPMENT

SCALE: NONE

T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266



REVISION	DATE	BY	DESCRIPTION
A	10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ # 22-10-40-27
DWG BY: BCG
CHKD BY: MJM

SHEET TITLE
ELECTRICAL NOTES & DETAILS

SHEET NUMBER
E-0.0

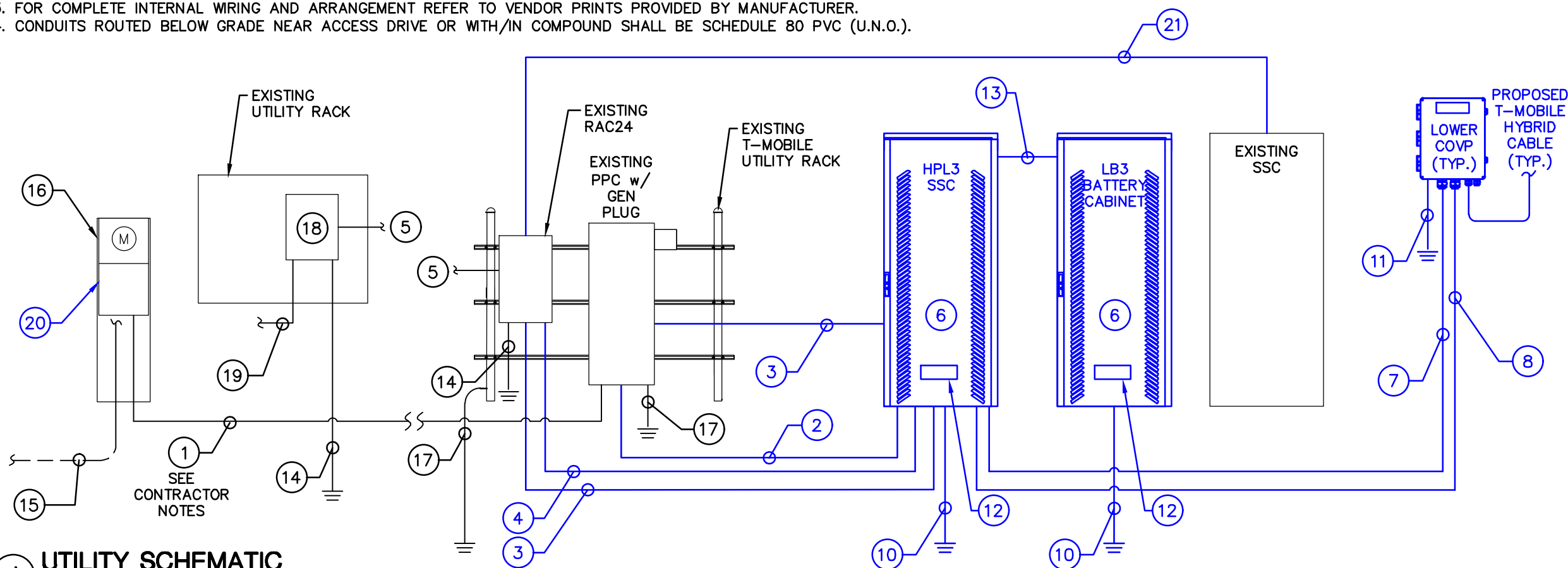
KEY NOTES:

- ① EXISTING T-MOBILE PPC ELEC SERVICE: (3) 3/0 AWG CU, (1) 2 AWG CU GND, 2"Ø CONDUIT; G.C. SHALL VERIFY SIZE & CONDITION
- ② PROPOSED T-MOBILE CABINET ELEC SERVICE: (3) 3/0 AWG CU, (1) 2 AWG CU GND, 2"Ø SEALTIGHT. (PHASE CONDUCTORS & GROUND SHALL BE SIZED AND TERMINATED PER MANUFACTURER SPECIFICATIONS) APPROX CONDUIT LENGTH = 20'
- ③ T-MOBILE ALARM/COMMUNICATION CONDUIT: CAT 5e OR EQUAL, 1-1/4"Ø SEALTIGHT. APPROX CONDUIT LENGTH = 20'
- ④ PROPOSED T-MOBILE RAC24 ELEC SERVICE: -48VDC FROM SSC IN 1-1/4"Ø SEALTIGHT. APPROX CONDUIT LENGTH = 20'
- ⑤ EXISTING T-MOBILE RAC24 COMM SERVICE FROM EXISTING FIBER DEMARC.
- ⑥ PROPOSED DELTA HPL3 SSC, AND LB3 BATTERY CABINET
- ⑦ PROPOSED T-MOBILE FIBER JUMPERS ROUTED INSIDE 2"Ø SEALTIGHT ROUTED FROM SSC TO LOWER COVPS; INSTALL J-BOX AS REQUIRED.
- ⑧ PROPOSED T-MOBILE DC POWER CABLES ROUTED INSIDE 2"Ø SEALTIGHT ROUTED FROM SSC TO LOWER COVPS; INSTALL J-BOX AS REQUIRED.
- ⑨ PROPOSED T-MOBILE 2 AWG SOLID TINNED BCW BELOW TO GND SYSTEM
- ⑩ G.C. SHALL BOND CHASSIS OF CABINET TO GROUND RING USING 2 AWG SOLID TINNED BCW
- ⑪ PROPOSED T-MOBILE 6 AWG STRANDED, GREEN INSULATED COPPER GROUND WIRE TO GROUNDING SYSTEM
- ⑫ G.C. SHALL BOND INTERNAL BUSS BAR TO CHASSIS USING 2 AWG STRANDED INSULATED GREEN GND WIRE
- ⑬ (1) PROPOSED T-MOBILE 4"Ø RIGID CONDUIT (WATER-TIGHT) FOR ROUTING BATTERY CABLES TO SSC
- ⑭ EXISTING T-MOBILE 6 AWG STRANDED, GREEN INSULATED COPPER GROUND WIRE TO GROUNDING SYSTEM; G.C. TO VERIFY SIZE & CONDITION
- ⑮ EXISTING INCOMING ELECTRICAL SERVICE; CONTRACTOR TO FIELD VERIFY (SEE NOTES THIS SHEET)
- ⑯ EXISTING T-MOBILE METER & DISCONNECT, PROTECT DURING CONSTRUCTION; CONTRACTOR TO FIELD VERIFY (SEE NOTES THIS SHEET)
- ⑰ EXISTING T-MOBILE 2 AWG SOLID TINNED BCW BELOW TO GND SYSTEM; G.C. TO VERIFY SIZE & CONDITION
- ⑱ EXISTING CIENA/MMP
- ⑲ EXISTING CONDUIT FROM COMM. UTILITY DEMARCATION TO UTILITY FRAME
- ⑳ G.C. SHALL INSTALL NEW 2 POLE 200A BREAKER IN MAIN DISCONNECT
- ㉑ G.C. SHALL INSTALL NEW CONDUIT FROM HPL3 TO RAC24 AND RAC24 TO EXISTING FIBER BACKHAUL ROUTE. G.C. MUST COORDINATE WITH T-MOBILE CM TO IDENTIFY FIBER INTERCEPT LOCATION. G.C. SHALL INSTALL NEW TEMPORARY CONDUIT BETWEEN THE RAC24 AND THE EXISTING SSC. G.C. SHALL INSTALL NEW FIBER JUMPER FROM EXISTING SSC THROUGH RAC24 TO NEW HPL3 WHEN CSR IS RELOCATED TO HPL3. NEW FIBER JUMPER CAN BE RE-USED WHEN FIBER PROVIDER RELOCATES NID TO RAC24. G.C. SHALL PROVIDE TELCO READY PICTURES TO BE SUPPLIED TO THE FIBER BACKHAUL PROVIDER. G.C. SHALL REMOVE TEMPORARY CONDUIT AND EXISTING SSC AFTER FIBER PROVIDER RELOCATES NID TO RAC24. G.C. MUST COORDINATE WITH T-MOBILE CM BEFORE REMOVING CABINETS

FINAL COMMUNICATION WORK WILL REQUIRE A RETURN VISIT

SERVICE NOTES:

- 1. SERVICE POWER SHALL BE (120/240VAC, 200A, 1Ø, 3W) OR (208/120VAC, 200A, 3Ø, 4W) CONTRACTOR SHALL ADJUST FEEDER AND CIRCUIT ACCORDINGLY AS PLANS ARE NOTED FOR (120/240VAC, 200A, 1Ø, 3W).
- 2. CABLE SIZES SHALL BE ADJUSTED TO COMPENSATE FOR VOLTAGE DROP IF LONGER THAN 180FT. VERIFY CONDUIT SIZE WHEN CHANGING CABLE SIZE.
- 3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY MANUFACTURER.
- 4. CONDUITS ROUTED BELOW GRADE NEAR ACCESS DRIVE OR WITH/IN COMPOUND SHALL BE SCHEDULE 80 PVC (U.N.O.).



1 UTILITY SCHEMATIC
SCALE: NONE

CONTRACTOR NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATION AND CONDITION OF EXISTING GROUNDING SYSTEM PRIOR TO START OF CONSTRUCTION & SHALL NOTIFY T-MOBILE CM w/DISCREPANCIES.
2. CONTRACTOR SHALL INSTALL PROPOSED EQUIPMENT PER MANUFACTURER SPECIFICATIONS.
3. PROPOSED T-MOBILE CONDUITS SHALL HAVE PULL CORDS.
4. CONTRACTOR SHALL VERIFY ELECTRICAL SERVICE EQUIPMENT, CONDITION, WIRING, SIZE & CAPACITY, ETC. AND SHALL NOTIFY T-MOBILE CM PRIOR TO SERVICE CONNECTION, EQUIPMENT PLACEMENT, AND WIRING.
5. CONDUITS AT GRADE TO INCLUDE A PVC EXPANSION COUPLING (TYPICAL).
6. SEE PLAN FOR EQUIPMENT LOCATIONS AND APPROXIMATE CONDUIT/CABLE LENGTHS.
7. G.C. SHALL VERIFY THE EXISTING T-MOBILE METER AND G.C. SHALL LABEL T-MOBILE'S METER WITH AN OUTDOOR RATED LABEL. LABEL SHALL BE PER T-MOBILE STANDARDS.

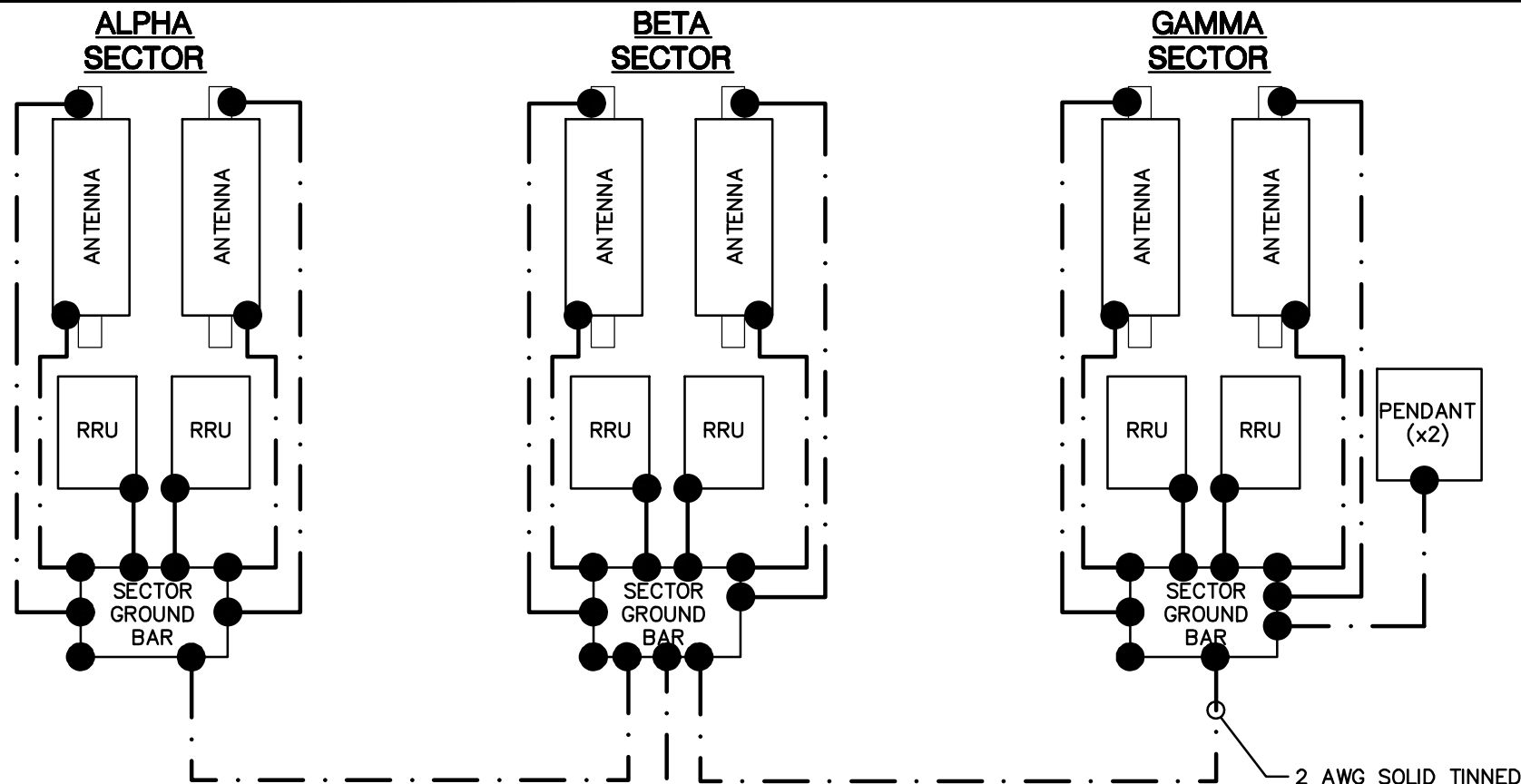
T-Mobile
7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
WEST DES MOINES, IA 50266

PBM
Wireless Services
Think outside the triangle.

A 05/10/22	INTERNAL REVIEW	BCG	BCG	JD	BCG
B 05/13/22	90% REVIEW				
C 05/17/22	LL REVIEW				
D 08/29/22	BID/PERMIT				

DM01403A - POLK CITY WT
401 BOOTH STREET U TOWER, POLK CITY, IA 50226
POLK COUNTY
ANCHOR - EXISTING WATER TANK
PROJ # 22-10-40-27
DWG BY: BCG
CHKD BY: MJM

SHEET TITLE
UTILITY SCHEMATIC
SHEET NUMBER
E-10



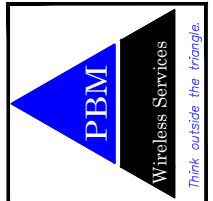
ANTENNA MAST GROUNDING:

1. T-MOBILE PROPOSED/EXISTING AND UNUSED ANTENNA MAST PIPES TO BE GROUNDED WITHIN 2" OF THE TOP OF THE ANTENNA MAST PIPE.
2. CONTRACTOR TO PROVIDE 6 AWG STRANDED, GREEN INSULATED COPPER GROUND WIRE FROM MOUNTING PIPES TO GROUNDING SYSTEM.

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATION AND CONDITION OF EXISTING GROUNDING SYSTEM PRIOR TO START OF CONSTRUCTION & SHALL NOTIFY DESIGN FIRM PM & T-MOBILE CM w/DISCREPANCIES.
2. PROPOSED T-MOBILE CONDUITS SHALL HAVE PULL CORDS.
3. GROUND LEADS TO BE INSTALLED ON REAR SIDE OF EQUIPMENT.
4. SEE COMPOUND PLAN FOR CORRECT CABINET ORIENTATION (TYP.).
5. SEE GROUNDING NOTES FOR ADDITIONAL INFORMATION.

T-Mobile
 7600 OFFICE PLAZA DRIVE SOUTH, SUITE 150
 WEST DES MOINES, IA 50266



LEGEND

- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION

A	05/10/22	INTERNAL REVIEW	BCG
B	05/13/22	90% REVIEW	BCG
C	05/17/22	LL REVIEW	JD
D	08/29/22	BID/PERMIT	BCG

2 AWG STRANDED, GREEN, INSULATED CU GROUND WIRE TO MASTER GROUND BAR @ BTS PLATFORM (TYP. 1)

NOTE: HOME RUN GROUND LEAD ONLY REQUIRED ON WATER TANKS AND BUILDINGS. ON TOWERS, THE SECTOR GROUND BARS SHOULD BE BONDED DIRECTLY TO THE TOWER STEEL

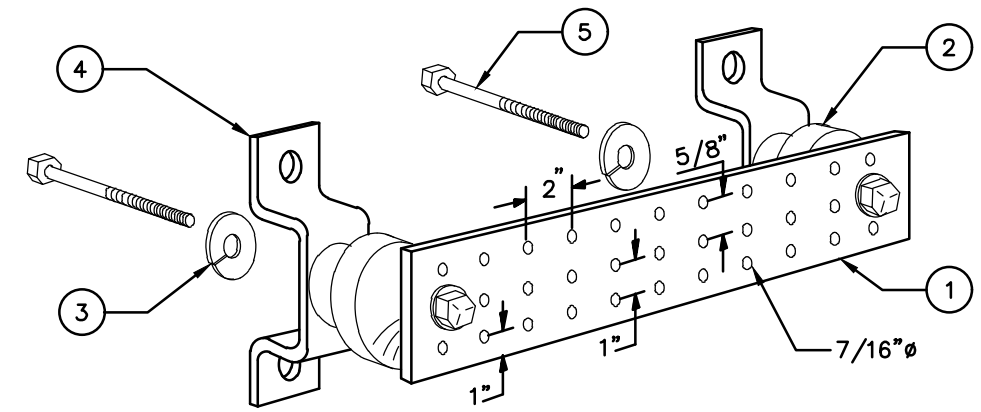
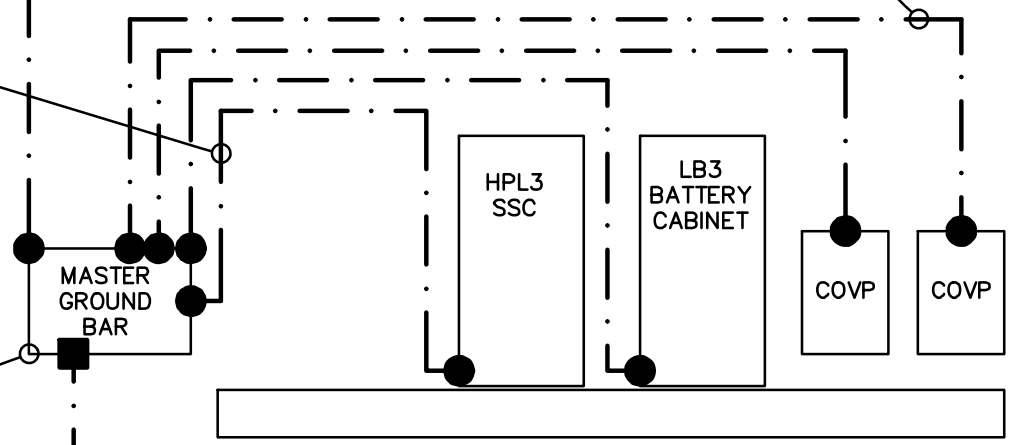
2 AWG SOLID TINNED BCW TO SECTOR GROUND BAR (TYP. @ ANTENNA SECTORS); AS REQUIRED PER T-MOBILE GROUNDING GUIDELINES

G.C. SHALL BOND CHASSIS OF CABINET TO GROUND RING USING 2 AWG SOLID TINNED BCW BELOW TO MGB

6 AWG SOLID TINNED BCW TO GROUNDING SYSTEM

EXISTING MASTER GROUND BAR; G.C. TO VERIFY CONDITION & CAPACITY

EXISTING GROUND WIRE TO GROUNDING SYSTEM; G.C. SHALL CONFIRM TERMINATION POINT



LEGEND

1. TINNED COPPER GROUND BAR, 1/4" x 4" x 20", HOLE CENTERS
2. INSULATORS
3. 3/8" LOCK WASHERS
4. WALL MOUNTING BRACKET
5. 3/8"-11 X 2" H.H.C.S. BOLTS

2 GROUND BAR DETAIL
 SCALE: NONE

1 GROUNDING SCHEMATIC
 SCALE: NONE

DM01403A - POLK CITY WT
 401 BOOTH STREET U TOWER, POLK CITY, IA 50226
 POLK COUNTY
 ANCHOR - EXISTING WATER TANK
 PROJ #: 22-10-40-27
 DWG BY: BCG
 CHKD BY: MJM

SHEET TITLE
GROUNDING SCHEMATIC

SHEET NUMBER
E-2.0

Site: DM1403A
Market: Des Moines, MTA

T-Mobile

ORIGINAL
COPY

Tower Lease with Option

THIS TOWER LEASE WITH OPTION AGREEMENT (this "Lease") is effective this 21st day of October, 1996, between, the City of Polk City, Iowa, ("Landlord"), and Western PCS I Corporation, a Delaware corporation ("Tenant").

1. Option to Lease.

(a) In consideration of the payment of Three Thousand Dollars (\$3,000.00) (the "Option Fee") by Tenant to Landlord, Landlord hereby grants to Tenant an option to lease the use of a portion of the tower and real property described in attached Exhibit A (the "Property"), on the terms and conditions set forth herein (the "Option"). The Option shall be for an initial term commencing on the date hereof and ending at 12:00 AM on the 21st day of October, 1997 (the "Option Period"). The Option Period may be extended by Tenant for an additional 12 months upon written notice to Landlord and payment of the sum of Eight Hundred Dollars (\$800.00) ("Additional Option Fee") at any time prior to the end of the Option Period.

(b) During the Option Period and any extension thereof, and during the term of this Lease, Landlord agrees to cooperate with Tenant in obtaining, at Tenant's expense, all licenses and permits or authorizations required for Tenant's use of the Premises from all applicable government and/or regulatory entities (the "Governmental Approvals") including appointing Tenant as agent for all conditional-use permit applications and zoning change applications, and Landlord agrees to cooperate with and to allow Tenant, at no cost to Landlord, to obtain a title report, zoning approvals and variances, conditional-use permits, perform surveys, soil tests, and other engineering procedures or environmental investigations on, under and over the Property, necessary to determine that Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system design, operations and Governmental Approvals. During the Option Period and any extension thereof, Tenant may exercise the Option by so notifying Landlord in writing, at Landlord's address in accordance with Section 12 hereof.

(c) If Tenant exercises the Option, then, subject to the following terms and conditions, Landlord hereby leases to Tenant (the "Lease") the use of that portion of the tower and Property, together with easements for access and utilities, described and depicted on attached Exhibit B (collectively referred to hereinafter as, the "Premises").

The Premises, located on the Polk City Water Tower located at 401 Booth Street, Polk City, Polk County, IA, 50226.

2. Term. The initial term of this Lease shall be five years commencing on the exercise of the option by Tenant, ("the Commencement Date"), and terminating at Midnight on the last day of the month in which the fifth annual anniversary of the Commencement Date shall have occurred.

3. Permitted Use.

(a) The Premises may be used by Tenant for, ~~among other things,~~ the transmission and reception of radio communication signals and for the construction, maintenance, repair or replacement of related facilities, towers, antennas, equipment or buildings and related activities. Tenant shall obtain, at Tenant's expense, all Governmental Approvals and may (prior to or after the Commencement Date) obtain a title report, perform environmental and other surveys, soil tests, and other engineering procedures on, under and over the Property, necessary to determine that Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system, design, operations and Governmental Approvals. Landlord agrees to reasonably cooperate with Tenant (at no cost to Landlord), where required, to perform such procedures or obtain Governmental Approvals. If necessary, Tenant has the right to immediately terminate this Lease if Tenant notifies Landlord of unacceptable results of any title report, governmental approvals, environmental survey or soil tests prior to Tenant's installation of the Antenna Facilities (as defined below) on the Premises.

(b) Landlord represents to Tenant that in light of the Tenant's Antenna Facilities being attached to a current structure of Landlord, that Tenant does not have to proceed with further zoning or permitting applications, as none such requirements apply. Tenant has, therefore, complied with any and all requirements concerning the Antenna Facilities that Landlord requires.

4. Rent.

(a) Tenant shall pay Landlord, as Rent, Seven Hundred Fifty Dollars (\$750.00) per month ("Rent"). Rent shall be payable in advance beginning on the Commencement Date for the remainder of the month in which the Commencement Date falls and for the following month, and thereafter rent will be payable monthly in advance on the fifth day of each month for the following month to the City of Polk City, Iowa, at Landlord's address specified in Section 12 below. For the purpose of this Lease, all references to "month" shall be deemed to refer to a calendar month. If the Commencement Date does not fall on the fifth day of the month, then Rent for the period from the Commencement Date to the last day of the following month shall be prorated based on the actual number of days from the Commencement Date to the last day of the following month. ***In addition to rent, Tenant shall provide Landlord with ten (10) PCS phones, activated at Tenant's cost, for use during the term of this Lease or any extension thereof. All cost associated with the use of the PCS service will be paid by Landlord.***

(b) If this Lease is terminated at a time other than on the last day of a month, Rent shall be prorated as of the date of termination for any reason other than a default by Tenant, and all prepaid Rents shall be refunded to Tenant.

5. **Renewal.** Tenant shall have the right to extend this Lease for five additional, five-year terms ("Renewal Term"). Each Renewal Term shall be on the same terms and conditions as set forth herein, except that rent shall be increased by **fifteen percent (15%)** of the rent paid over the preceding term.

This Lease shall automatically renew for each successive Renewal Term unless Tenant shall notify Landlord, in writing, of Tenant's intention not to renew this Lease, at least 60 days prior to the expiration of the term or any Renewal Term.

If Tenant shall remain in possession of the Premises at the expiration of this Lease or any Renewal Term without a written agreement, such tenancy shall be deemed a month-to-month tenancy under the same terms and conditions of this Lease.

6. **Interference.** Tenant shall not use the Premises in any way which interferes with the use of the Property by Landlord, or tenants or licensees of Landlord, with rights to the Property prior in time to Tenant's (subject to Tenant's rights under this Lease, including without limitation, non-interference). Similarly, Landlord shall not use, nor shall Landlord permit its ~~tenants, licensees,~~ employees, invitees or agents to use, any portion of Landlord's properties in any way which interferes with the operations of Tenant. ***Further, Landlord shall not permit its future Tenants or licensees, if any, to use any portion of Landlord's properties in any way which interferes with the operations of Tenant.*** Such interference shall be deemed a material breach by the interfering party, who shall, upon ***written*** notice from the other, be responsible for terminating said interference ***or for taking action to terminate said interference with thirty (30) days of sending of the written notice.*** In the event any such interference does not cease ~~promptly,~~ ***within the thirty day period following the written notice,*** the parties acknowledge that continuing interference may cause irreparable injury and, therefore, the injured party shall have the right, in addition to any other rights that it may have at law or in equity, to bring a court action to enjoin such interference or to terminate this Lease immediately upon written notice.

7. **Improvements; Utilities; Access.**

(a) Tenant shall have the right, at its expense, to erect and maintain on the Premises improvements, personal property and facilities, including without limitation any number of radio transmitting and receiving antennas, and an electronic equipment shelter (collectively the "Antenna Facilities"). The Antenna Facilities shall be initially configured generally as set forth in Exhibit C. Tenant shall have the right to replace or upgrade the Antenna Facilities at any time during the term of this Lease. Tenant shall cause all construction to occur lien-free and in compliance with all applicable laws and ordinances. The Antenna Facilities shall remain the exclusive property of Tenant. ~~Tenant shall have the right to remove the Antenna Facilities upon termination of this Lease.~~ ***Upon termination of this Lease, Tenant shall remove its Antenna Facilities,***

base transceiver station and any other equipment associated with its use of the Premises, at Tenant's expense, and shall restore the surface area of the Premises to its original condition or as near to its original condition as is reasonably practicable.

(b) Tenant, at its expense, ~~may~~ ***shall*** use any and all appropriate means of restricting access to the Antenna Facilities, including, the construction of a fence ***which construction and placement of the fence shall be coordinated by Tenant with Landlord so as not to interfere with Landlord's or existing Tenant's use of the Property.***

(c) Tenant shall pay any additional utilities charges due to Tenant's use. Tenant shall have the right to install utilities, at Tenant's expense, and to improve the present utilities on the Premises (including, but not limited to the installation of emergency power generators). Landlord hereby grants an easement to permanently place any utilities on, or to bring utilities across, the Property in order to service the Premises and the Antenna Facilities.

(d) As partial consideration for rent paid under this Lease, Landlord hereby grants Tenant an easement ("Easement") for ingress, egress, and access (including access as described in section 1) to the Premises adequate to service the Premises and the Antenna Facilities at all times during the term of this Lease or any Renewal Term. Upon prior written notice, Landlord shall have the right, at Landlord's sole expense, to relocate the Easement to Tenant, provided such new location shall not materially interfere with Tenant's operations. Any Easement provided hereunder shall have the same term as this Lease.

(e) Tenant shall have 24-hours-a-day, 7-days-a-week access to the Premises at all times during the term of this Lease and any Renewal Term.

8. Termination. Except as otherwise provided herein, this Lease may be terminated, without any penalty or further liability as follows:

(a) upon thirty (30) days written notice by Landlord for failure to cure a material default for payment of amounts due under this Lease within that 30-day period;

(b) upon thirty (30) days written notice by either party if the other party defaults and fails to cure such default within that 30-day period, or such longer period as may be required to diligently complete a cure commenced within that 30-day period;

(c) upon ninety (90) days written notice by Tenant, if it is unable to obtain, maintain, or otherwise forfeits or cancels any license, permit or Governmental Approval necessary to the construction and/or operation of the Antenna Facilities or Tenant's business;

(d) upon ninety (90) days written notice by Tenant if the Premises are or become unacceptable under Tenant's design or engineering specifications for its Antenna Facilities or the communications system to which the Antenna Facilities belong;

(e) immediately upon written notice if the Premises or the Antenna Facilities are destroyed or damaged so as in Tenant's reasonable judgment to substantially and adversely affect the effective use of the Antenna Facilities. In such event, all rights and obligations of the parties shall cease as of the date of the damage or destruction, and Tenant shall be entitled to the reimbursement of any Rent prepaid by Tenant. If Tenant elects to continue this Lease, then all Rent shall ~~abate~~ *continue* until the Premises and/or Antenna Facilities are restored to the condition existing immediately prior to such damage or destruction;

(f) at the time title of the Property transfers to a condemning authority, pursuant to a taking of all or a portion of the Property sufficient in Tenant's determination to render the Premises unsuitable for Tenant's use. Landlord and Tenant shall each be entitled to pursue their own separate awards with respect to such taking. Sale of all or part of the Property to a purchaser with the power of eminent domain in the face of the exercise of the power, shall be treated as a taking by condemnation.

(g) Landlord may terminate this Lease at any time after the initial five (5) year term by giving Tenant 180 days written notice.

9. Taxes. Tenant shall pay any personal property taxes assessed on, or any portion of such taxes attributable to, the Antenna Facilities. Landlord shall pay when due all real property taxes and all other fees and assessments attributable to the Property and the Building. In the event that Landlord fails to pay said real property taxes, then Tenant shall have the right to pay but not obligation to pay said taxes and deduct them from Rent amounts due under this agreement.

10. Insurance and Subrogation.

(a) Tenant will provide Commercial General Liability Insurance in an aggregate amount of \$1,000,000 and name Landlord as an additional insured on the policy or policies. Tenant may satisfy this requirement by obtaining appropriate endorsement to any master policy of liability insurance Tenant may maintain.

(b) Landlord and Tenant hereby mutually release each other (and their successors or assigns) from liability and waive all right of recovery against the other for any loss or damage covered by their respective first party property insurance policies for all perils insured thereunder. In the event of such insured loss, neither party's insurance company shall have a subrogated claim against the other.

11. Hold Harmless. Tenant agrees to hold Landlord harmless from claims arising from the installation, use, maintenance, repair or removal of the Antenna Facilities, except for claims arising from the negligence or intentional acts of Landlord,

its employees, agents or independent contractors. ***Tenant further agrees to hold Landlord harmless for any consequential or incidental damages including lost profits.***

12. Notices. All notices, requests, demands and other communications hereunder shall be in writing and shall be deemed given if personally delivered or mailed, certified mail, return receipt requested, or sent by overnight carrier to the following addresses:

If to Tenant, to:

Western PCS I Corporation
Attn.: PCS Leasing Administrator
2001 NW Sammanish Rd.
Issaquah, WA 98027
Phone: (206) 313-5200 *WA #*
Fax: (206) 313-5520 *"*

with a copy to:

~~Western PCS I Corporation
Attn.: Legal Department
2001 NW Sammanish Rd.
Issaquah, WA 98027
Phone: (206) 313-5200
Fax: (206) 313-5520~~

If to Landlord to:

City of Polk City, Iowa
112 3rd Street, P.O. Box 426
Polk City, IA 50226
Phone: (515) 984-6233
Fax: (515) 984-6403

with a copy to:

Brick, Gentry, Bowers, Swartz,
Stole, Schuling & Levis, P.C.
Attn.: Amy Beattie
39th & Ingersoll
350 Thirty-ninth Street, Suite 200
Phone: (515) 274-1450
Fax: (515) 274-1488

13. Quiet Enjoyment, Title and Authority. Landlord covenants and warrants to Tenant that (i) Landlord has full right, power and authority to execute this Lease; (ii) it has good and unencumbered title to the Premises free and clear of any liens or mortgages, except those disclosed to Tenant which will not interfere with Tenant's rights to or use of the Premises; (iii) execution and performance of this Lease will not violate any laws, ordinances, covenants, or the provisions of any mortgage, lease, or other agreement binding on Landlord.

Landlord covenants that at all times during the term of this Lease, Tenant's quiet enjoyment of the Premises or any part thereof shall not be disturbed as long as Tenant is not in default beyond any applicable grace or cure period.

14. Environmental Laws. Tenant represents, warrants and agrees that it will conduct its activities on the Property in compliance with all applicable Environmental Laws (as defined in attached Exhibit D). Landlord represents, warrants and agrees that it has in the past and will in the future conduct its activities on the Property in compliance with all applicable Environmental Laws and that the Property is free of Hazardous Substance (as defined in attached Exhibit D) as of the date of this Lease.

Landlord shall be responsible for, and shall promptly conduct any investigation and remediation as required by any Environmental Laws or common law, of all spills or other releases of Hazardous Substance, not caused solely by Tenant, that have occurred or which may occur on the Property. ***Tenant shall be responsible for its proportionate share of the costs, if any, which arise from Tenant's activities on the Premises.***

Tenant agrees to defend, indemnify and hold Landlord harmless from and against any and all claims, causes of action, demands and liability including, but not limited to, damages, costs, expenses, assessments, penalties, fines, losses, judgments and attorney's fees that Landlord may suffer due to the existence or discovery of any Hazardous Substance on the Property or the migration of any Hazardous Substance to other properties or release into the environment arising solely from Tenant's activities on the Property. ***Tenant shall be responsible for its proportionate share of the environmental costs, if any, which arise from Tenant's activities on the Premises.***

Landlord agrees to defend, indemnify and hold Tenant harmless from and against any all claims, causes of action, demands and liability including, but not limited to, damages, costs, expenses, assessments, penalties, fines, losses, judgments and attorney's fees that Tenant may suffer due to the existence or discovery of any Hazardous Substance on the property or the migration of any Hazardous Substance to other properties or released into the environment, that relate to or arise from Landlord's activities during this Lease and from all activities on the Property prior to the commencement of this Lease.

The indemnifications in this section specifically include without limitation costs incurred in connection with any investigation of site conditions or any cleanup, remedial, removal or restoration work required by any governmental authority.

15. **Assignment and Subleasing.** Tenant may assign this Lease upon written notice to Landlord, to any person controlling, controlled by, or under common control with Tenant, or any person or entity that, after first receiving FCC or state regulatory agency approvals, acquires Tenant's radio communications business and assumes all obligations of Tenant under this Lease. Upon such assignment, Tenant shall be relieved of all liabilities and obligations hereunder and Landlord shall look solely to the assignee for performance under this Lease and all obligations hereunder. Tenant may sublease the Premises, upon written notice to Landlord, only if such sublease is subject to the provisions of this Lease. Tenant may otherwise assign this Lease upon written approval of Landlord, which approval shall not be unreasonably delayed or withheld.

Additionally, Tenant may, upon notice to Landlord, mortgage or grant a security interest in this Lease and the Antenna Facilities, and may assign this Lease and the Antenna Facilities to any mortgagees or holders of security interests, including their successors or assigns, (hereinafter collectively referred to as "Mortgagees"), provided such Mortgagees agree to be bound by the terms and provisions of this Lease. In such event, Landlord shall execute such consent to leasehold financing as may reasonably be required by Mortgagees. Landlord agrees to notify Tenant and Tenant's Mortgagees

simultaneously of any default by Tenant and to give Mortgagees the same right to cure any default as Tenant or to remove any property of Tenant or Mortgagee located on the Premises, except that the cure period for any Mortgagee shall not be less than thirty (30) days after receipt of the default notice, as provided in Section 8 of this Lease. All such notices to Mortgagees shall be sent to Mortgagee at the address specified by Tenant upon entering into a financing agreement. Failure by Landlord to give Mortgagee such notice shall not diminish Landlord's rights against Tenant, but shall preserve all rights of Mortgagee to cure any default and to remove any property of Tenant or Mortgagee located on the Premises, as provided in Section 17 of this Lease.

16. Successors and Assigns. This Lease shall run with the Property, and shall be binding upon and inure to the benefit of the parties, their respective successors, personal representatives and assigns.

17. Waiver of Landlord's Lien. Landlord hereby waives any and all lien rights it may have, statutory or otherwise, concerning the Antenna Facilities or any portion thereof which shall be deemed personal property for the purposes of this Lease, regardless of whether or not the same is deemed real or personal property under applicable laws, and Landlord gives Tenant and Lender the right to remove all or any portion of the same from time to time, whether before or after a default under this Lease, in Tenant's and/or Lender's sole discretion and without Landlord's consent.

18. Miscellaneous.

(a) The substantially prevailing party in any litigation arising hereunder shall be entitled to its reasonable attorneys' fees and court costs, including appeals, if any.

(b) Each party agrees to furnish to the other, within ten (10) days after request, such truthful estoppel information as the other may reasonably request.

(c) This Lease constitutes the entire agreement and understanding of the parties, and supersedes all offers, negotiations and other agreements. There are no representations or understandings of any kind not set forth herein. Any amendments to this Lease must be in writing and executed by both parties.

(d) If either party is represented by a real estate broker in this transaction, that party shall be fully responsible for any fee due such broker, and shall hold the other party harmless from any claims for commission by such broker.

(e) Each party agrees to cooperate with the other in executing any documents (including a Memorandum of Lease in substantially the form as attached in Exhibit E) necessary to protect its rights or use of the Premises. The Memorandum of Lease may be recorded in place of this Lease, by either party.

(f) This Lease shall be construed in accordance with the laws of the state in which the Property is located.

(g) If any term of this Lease is found to be void or invalid, such invalidity shall not affect the remaining terms of this Lease, which shall continue in full force and effect. The parties intend that the provisions of this Lease be enforced to the fullest extent permitted by applicable law. Accordingly, the parties shall agree that if any provisions are deemed not enforceable, they shall be deemed modified to the extent necessary to make them enforceable.

(h) The persons who have executed this Lease represent and warrant that they are duly authorized to execute this Lease in their individual or representative capacity as indicated.

(i) The submission of this document for examination does not constitute an offer to lease or a reservation of or option for the Premises and shall become effective only upon execution by both Tenant and Landlord.

(j) This Lease may be executed in any number of counterpart copies, each of which shall be deemed an original, but all of which together shall constitute a single instrument.

(k) The parties understand and acknowledge that Exhibit A (the legal description of the Property), Exhibit B (the Premises location within the Property) and Exhibit C (the site plan) may be attached to the Lease in preliminary form. Accordingly, the parties agree that upon preparation of final, more complete exhibits, Exhibits A, B and/or C, as the case may be, which may have been attached hereto in preliminary form, may be replaced by Lessee with such final, more complete exhibits(s), ***provided, however, said exhibits must be approved by Landlord in the event that the final exhibit changes in substances from the preliminary exhibit.***

The Execution Date of this Lease is the 21 day of October, 1996.

LANDLORD: City of Polk City, Iowa

By: M. E. Burton
M.E. Burton

Its: Mayor

By: Deanna Deason
Deanna Deason

Its: City
County Clerk

Tax ID # 42-1019654

TENANT: Western PCS I Corporation
By: [Signature]
Its: VP

ACKNOWLEDGMENT

STATE OF IOWA)
) SS.
COUNTY OF POLK)

On this 21st day of October, 1996, before me, a Notary Public in and for the State of Iowa, personally appeared M.E. Burton, and Deanna Deason, to me personally known, and who, being by me duly sworn, did say that they are the Mayor, and City Clerk respectively, of the City of Polk City, Iowa, a municipal corporation; that the seal affixed to the forgoing instrument was signed and sealed on behalf of the corporation, by authority of its City Council, as contained in Resolution No. 96-47 on the 21st day of October, 1996, and that M.E. Burton and Deanna Deason acknowledged the execution of the instrument to be their voluntarily act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

[Signature]
NOTARY PUBLIC in and for the State
Iowa
My Commission expires: 8-16-97

ACKNOWLEDGMENT

STATE OF WASHINGTON)
)
COUNTY OF KING) ss:

On this 28 day of October, 1996, before me personally appeared David A Miller known to me to be the Vice President of Western PCS I, the corporation that executed the within and foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation for the uses and purposes therein mentioned, and on oath, stated that he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Amy S. Repasky
NOTARY PUBLIC in and for the State of
Washington
My commission expires: 11/03/99



EXHIBIT A

Legal Description

To the Tower Lease with Option dated the 21st day of October, 1996, between the City of Polk City, Iowa, as Landlord, and Western PCS I Corporation, as Tenant.

The Property is legally described as follows:

Tax Parcel ID#: 26-1-00328-000-000 & 26-1-00330-000-000

The Southeasterly 50.0 feet of Lot 3, all of Lot 4, and the Northwesterly 143.5 feet of Lot 5, Block "F", Wahkonsa, of the official Plat of the North Fractional One Half of Section 2, T80NR25 West of the 5th P.M., Polk County, Iowa

EXHIBIT B

Premises Location Within the Property

To the Tower Lease with Option dated the 21st day of October, 1996, between the City of Polk City, Iowa, as Landlord, and Western PCS I Corporation, as Tenant.

The location of the Premises (including easements) within the Property is more particularly described or depicted as follows:

PROPRIETOR: TOWN OF POLK CITY, IOWA

FLOOD CERTIFICATION: THERE ARE NO FLOOD ZONES GOING INTO OR OUT OF THE TOWN OF POLK CITY PER FIRM MAP INDEX FOR POLK COUNTY DATED NOVEMBER 18, 1992.

LEGAL DESCRIPTION: THE SOUTHEASTERLY 50.00 FEET OF LOT 3, ALL OF LOT 4, AND THE NORTHWESTERLY 143.5 FEET OF LOT 5 IN BLOCK F OF WAHKONSA OF THE OFFICIAL PLAT OF THE NORTH FRACTIONAL ONE-HALF OF SECTION 2, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., POLK COUNTY, IOWA.

LEASE DESCRIPTION: COMMENCING AT THE NORTHEAST CORNER OF LOT 4 IN BLOCK F OF WAHKONSA OF THE OFFICIAL PLAT OF THE NORTH FRACTIONAL ONE-HALF OF SECTION 2, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, THENCE S38°47'N, 120.54 FEET; THENCE N50°10'19"N, 19.98 FEET TO THE POINT OF BEGINNING; THENCE N50°10'19"N, 46.77 FEET; THENCE S39°50'41"N, 48.46'; THENCE S50°10'19"E, 46.77 FEET; THENCE N39°50'41"E 48.46 FEET TO THE POINT OF BEGINNING, TOTALING 0.05 ACRES.

INGRESS/EGRESS EASEMENT: A STRIP OF LAND 30 FEET WIDE WHICH IS SITUATED 15 FEET ON EITHER SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 4 IN BLOCK F OF WAHKONSA AS PREVIOUSLY DESCRIBED, THENCE N50°42'24"N, 50.00 FEET; THENCE S38°47'00"N, 230.16 FEET ALONG THE SOUTHEASTERLY RIGHT-OF-WAY OF BOOTH STREET TO THE POINT OF BEGINNING; THENCE N90°00'00"E, 67.17 FEET TO THE CENTER OF THE SOUTHWESTERLY LINE OF THE LEASE AREA DESCRIBED PREVIOUSLY, AND THERE TERMINATING.

Certification: I hereby certify that this land surveying document was made by me or under my direct personal supervision and that I am a duly Registered Land Surveyor under the laws of the State of Iowa

Robert L. Stumbo, Jr.

Date: 10-18-96

Robert L. Stumbo, Jr., R.L.S., #6586
My registration is due for renewal on December 31, 1996



Stumbo and Associates-
Land Surveying, Inc.

LEASE AREA PLAN CELL SITE DM-1403A
WESTERN PCS I CORP
3580 109TH ST. NW
DES MOINES, IOWA 50322

Stumbo and Associates-Land Surveying, Inc.
Ph.# (515) 233-3689 Fax # (515) 233-4403

Box 1664..110 North Duff Avenue
Ames, Iowa 5001

EXHIBIT D

Environmental Laws

To the Tower Lease with Option dated the 21st day of October, 1996, between the City of Polk City, Iowa, as Landlord, and Western PCS I Corporation, as Tenant.

As used in this Lease, "Environmental Laws" means all federal, state and local environmental laws, rules, regulations, ordinances, judicial or administrative decrees, orders, decisions, authorizations or permits, including, but not limited to, the Resource Conservation and Recovery Act, 42 U.S.C. §§ 6901, et seq., the Clean Air Act, 42 U.S.C. §§ 7401, et seq., the Federal Water Pollution Control Act, 33 U.S.C. §§ 1251, et seq., the Emergency Planning and Community Right to Know Act, 42 U.S.C. §§ 1101, et seq., the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. §§ 9601, et seq., the Toxic Substances Control Act, 15 U.S.C. §§ 2601, et seq., the Oil Pollution Control Act, 33 U.S.C. §§ 2701, et seq., the Hazardous Materials Transportation Act, 49 U. S. C. §§ 1801 et seq., the Safe Drinking Water Act, 42 U.S.C. §§ 300f et seq., and state laws, or any other comparable local, state or federal statute or ordinance pertaining to the environment or natural resources and all regulations pertaining thereto.

As used in this Lease, "Hazardous Substance" means any hazardous substances as defined by the Comprehensive Environmental Response, Compensation and Liability Act, as amended from time to time; any hazardous waste as defined by the Resource Conservation and Recovery Act of 1976, as amended from time to time; any and all material or substance defined as hazardous pursuant to any federal, state or local laws or regulations or order; and any substance which is or becomes regulated by any federal, state or local governmental authority; any oil, petroleum products and their by-products.

EXHIBIT E

Memorandum of Lease

To the Tower Lease with Option dated the 21st day of October, 1996, between the City of Polk City, Iowa, as Landlord, and Western PCS I Corporation, as Tenant.

After recording, please return to:

Western PCS I Corporation
Attn.: PCS Leasing Administrator
2001 NW Sammanish Rd.
Issaquah, WA 98027
Phone: (206) 313-5200
Fax: (206) 313-5520

Site Identification: DM1403A

Market: Des Moines, MTA

Memorandum of Lease Between the City of Polk City, Iowa ("Landlord") and Western PCS I Corporation ("Tenant")

A Tower Lease with Option between the City of Polk City, Iowa, ("Landlord") and Western PCS I Corporation ("Tenant") was made regarding the following premises:

See attached exhibit A

The date of execution of the Tower Lease with Option was the 21st day of October, 1996. Subject Lease is for a term of five (5) years and will commence on the _____ day of _____, 1996, (the "Commencement Date") and shall terminate at midnight on the last day of the month in which the 5th anniversary of the Commencement Date shall have occurred. Tenant shall have the right to extend this Lease for five additional five year terms. Landlord may terminate this lease at anytime after the initial five (5) year term by giving Tenant 180 days written notice.

IN WITNESS WHEREOF, the parties hereto have respectively executed this memorandum this 21 day of October, 1996.

LANDLORD: City of Polk City, Iowa

By: M. E. Burton
M.E. Burton

Its: Mayor

By: Deanna Deason
Deanna Deason

Its: County Clerk

Tax ID # 42-1019654

TENANT: Western PCS I Corporation

By: [Signature]

Its: VP

ACKNOWLEDGMENT

STATE OF IOWA)
) SS.
COUNTY OF POLK)

On this 21st day of October, 1996, before me, a Notary Public in and for the State of Iowa, personally appeared M.E. Burton, and Deanna Deason, to me personally known, and who, being by me duly sworn, did say that they are the Mayor, and City Clerk respectively, of the City of Polk City, Iowa, a municipal corporation; that the seal affixed to the forgoing instrument was signed and sealed on behalf of the corporation, by authority of its City Council, as contained in Resolution No. 96.____ on the 21st day of October, 1996, and that M.E. Burton and Deanna Deason acknowledged the execution of the instrument to be their voluntarily act and deed and the voluntary act and deed of the corporation, by it voluntarily executed.

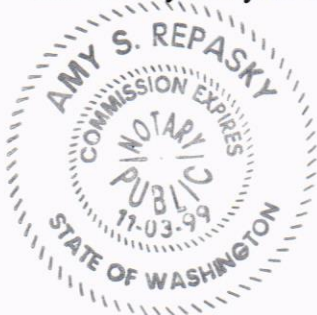
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

NOTARY PUBLIC in and for the State
Iowa
My Commission expires: _____

STATE OF WASHINGTON)
) ss:
COUNTY OF KING)

On this 28 day of October, 1996, before me personally appeared David A. Muller known to me to be the Vice President of Western PCS I, the corporation that executed the within and foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation for the uses and purposes therein mentioned, and on oath, stated that he was authorized to execute said instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.



Amy S. Repasky

NOTARY PUBLIC in and for the State of
Washington
My commission expires: 11/03/99

Kay Marie
Richards

773-444-

5457

Lease Administrator



City of Polk City, Iowa City Council Agenda Communication

Date: September 26, 2022 City Council Meeting
To: Mayor Steve Karsjen & City Council
From: Chelsea Huisman, City Manager
Subject: Release of Development Agreement with Deer Haven Land Company

BACKGROUND: For the City Council's consideration is the request to release a development agreement between the City and Deer Haven Land Company. This developer has completed all of the requirements related to public improvements for the subdivision project, known as Deer Haven. The development agreement outlined outstanding items from the project that were required to be completed.

The request to release the development agreement was made by a builder looking to develop on 2 of the lots. This request has occurred more frequently. We will look for better ways to address these requests in a more timely manner.

The City Attorney has reviewed the request, and City staff recommends the release of the development agreement.

ALTERNATIVES: Do not approve

FINANCIAL CONSIDERATIONS: There are no financial considerations for this item.

RECOMMENDATION: It is my recommendation that the Council approve the release of the development agreement with the developer.

EXHIBIT C
CERTIFICATE OF COMPLETION OF PUBLIC IMPROVEMENTS

WHEREAS, the City of Polk City, Iowa ("City") and Deer Haven Land Company, L.L.C., an Iowa limited liability company, having an office for the transaction of business at 9550 Hickman Road, Ste. 101, Clive, Iowa ("Developer"), did on or about the ____ day of . 20____, make, execute and deliver, each to the other, an Agreement for Private _____.

Development ("Agreement"), wherein and whereby the Developer agreed, in accordance with the terms of the Agreement, to develop and maintain certain real property located within the City and as more particularly described as follows:

Deer Haven Plats 1 & 2:

Lots Three (3) and Four (4) in the Official Plat of the Northwest Fractional Quarter (NW Frl 1/4) and North Half (N 1/2) of the Southwest Quarter (SW 1/4) of Section 1, Township 80 North, Range 25, West of the 5th P.M., except that part beginning at the Southwest corner of said Lot 3, thence North 1288.53 feet to the centerline of Highway 415, thence Northwesterly 461.11 feet, thence Southwesterly 215.68 feet, thence Southeasterly 163.46 feet, thence Southeasterly 150.79 feet, thence Southerly 311.4 feet, thence Southeasterly 369.6 feet, thence Southerly 533.5 feet, thence East 85 feet to the point of beginning, now included in and forming a part of the City of Polk City, Polk County, Iowa; and,

A tract of land located in Lots 5 and 7 of the Official Plat of the Northwest Fractional 1/4 and the North 1/2 of the Southwest 1/4 and in the West 1/2 of the Northeast 1/4 all of which is in Section 1, Township 80 North, Range 25 West of the 5th P.M., Polk City, Polk County, Iowa. Said tract of land being more particularly described as follows:

Beginning at the Southeast Corner of said Lot 5; thence N00°24'14" E, 58.65 feet along the East Line of said Lot 5; thence N49°06'11" E, 240.21 feet; thence N26°03'37" W, 235.26 feet; thence N83°42'18" W, 542.39 feet; thence N50°48'37" W, 640.00 feet; thence S38°29'53" W, 102.00 feet to the North Right-of-way Line of Broadway as it is presently established; thence S51° 1303.31 feet along said North Right-of-way Line to the Southeast Corner of said Lot 5 and to the Point of Beginning.

Said tract of land subject to all easements of record.

Deer Haven Plat 3

A tract of land located in Lots 5 and 7 of the Official Plat of the Northwest Fractional 1/4 and the North 1/2 of the Southwest 1/4 and in the West 1/2 of the Northeast 1/4 all of which is in Section 1, Township 80 North, Range 25 West of

the 5th P.M., Polk City, Polk County, Iowa. Said tract of land being more particularly described as follows:

Beginning at the Southeast Corner of said Lot 5; thence N00°24'14" E, 58.65 feet along the East Line of said Lot 5; thence N49°06'11" E, 240.21 feet; thence N26°03'37" W, 235.25 feet; thence N83°42'18" W, 542.39 feet; thence N50°48'37" W, 640.00 feet; thence S38°39'53" W, 102.00 feet to the North Right-of-way Line of Broadway as it is presently established; thence S51°30'07" E, 1303.31 feet along said North Right-of-way Line to the Southeast Corner of said Lot 5 and to the Point of Beginning.

Said tract of land subject to all easements of record.

Said tract of land contains 5.43 acres more or less.

(the "Development Property"); and

WHEREAS, the Agreement incorporated and contained certain covenants and restrictions with respect to the development of the Development Property, and obligated the Developer to construct certain Public Improvements (as defined therein) in accordance with the Agreement; and

WHEREAS, the Developer has to the present date performed said covenants and conditions insofar as they relate to the construction of said Public Improvements in a manner deemed by the City to be in conformance with the approved building plans to permit the execution and recording of this certification.

NOW, THEREFORE, pursuant to Section 3.4 of the Agreement, this is to certify that all covenants and conditions of the Agreement with respect to the obligations of the Developer, and its successors and assigns, to construct the Public Improvements on the Development Property have been completed and performed by the Developer and are hereby released absolutely and forever terminated insofar as they apply to the land described herein. The County Recorder of Polk County is hereby authorized to accept for recording and to record the filing of this instrument, to be a conclusive determination of the satisfactory termination of the covenants and conditions of said Agreement with respect to the construction of the Public Improvements on the Development Property.

All other provisions of the Agreement shall otherwise remain in full force and effect until termination as provided therein.

[Remainder of this page intentionally left blank. Signature pages to follow.]

(SEAL)

CITY OF POLK CITY, IOWA

By: _____
Steve Karsjen, Mayor

ATTEST:

By: _____
Jenny Coffin, City Clerk

STATE OF IOWA)
) SS
COUNTY OF POLK)

On this _____ day of _____, 2017, before me a Notary Public in and for said State, personally appeared Steve Karsjen and Jenny Coffin, to me personally known, who being duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of Polk City, Iowa, a Municipality created and existing under the laws of the State of Iowa, and that the seal affixed to the foregoing instrument is the seal of said Municipality, and that said instrument was signed and sealed on behalf of said Municipality by authority and resolution of its City Council, and said Mayor and City Clerk acknowledged said instrument to be the free act and deed of said Municipality by it voluntarily executed.

Notary Public in and for the State of Iowa

[Signature page to Certificate of Completion – City of Polk City, Iowa]



September 21, 2022

Honorable Mayor and City Council
City of Polk City
PO Box 426
Polk City, Iowa 50226

RE: APPROVAL OF CONSTRUCTION CONTRACT AND BOND
WEST BRIDGE ROAD WATER MAIN LOOP PROJECT

Honorable Mayor and City Council:

The bid letting for the above referenced project was held by City Staff and Snyder & Associates on Wednesday, September 7, 2022. Elder Corporation was the apparent low bidder and City Council elected to award the contract in the amount of \$79,200.00.

Elder Corporation has provided the enclosed construction contract, with required insurance certificates and Performance, Payment, and Maintenance Bond as specified within the project bid documents. The enclosed documents appear to be in order.

We recommend City Council approve the enclosed construction contract, bonds, and insurance certificates. Further, we recommend the City Council authorize the City Manager to issue the Contractor, Elder Corporation, a Notice to Proceed on this project following the conducting of a pre-construction conference with City Staff, the Project Engineer, and all subcontractors to discuss the details of the project.

We will be in attendance at the council meeting on September 26, 2022. Please feel free to let us know if you have any questions or need any additional information prior to the council meeting.

Sincerely

SNYDER & ASSOCIATES, INC.

A handwritten signature in blue ink that reads 'Travis D. Thornburgh'.

Travis D. Thornburgh, P.E.

Enclosures

cc: Chelsea Huisman, City of Polk City
Mike Schulte, Polk City Public Works
Kathleen Connor, Snyder & Associates
Todd Inman, Project Manager, Elder Corporation
Brent Thompson, Vice President of Estimating, Elder Corporation

_____ introduced the following resolution entitled “**RESOLUTION APPROVING CONSTRUCTION CONTRACT AND BOND**” and moved that the same be adopted. _____ seconded the motion to adopt. The roll was called and the vote was:

AYES: _____

NAYES: _____

Whereupon, the Mayor declared the following Resolution duly adopted:

RESOLUTION NO. 2022-113

RESOLUTION APPROVING CONSTRUCTION CONTRACT AND BOND.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:

Section 1. That the following bid for the construction of certain public improvements described in general as the West Bridge Road Water Main Loop Project, described in the plans and specifications heretofore adopted by this Council on September 12, 2022, by Resolution 2022-108, be and are hereby accepted, the same being the lowest responsible, responsive bid received for said work, as follows:

Contractor: Elder Corporation
of Des Moines, Iowa

Date of contract: September 12, 2022

Amount of contract: \$79,200

Bond surety: Merchants Bonding Company

Date of bond: September 12, 2022

Portion of project: All construction Work

PASSED AND APPROVED this 26th day of September 2022.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

CONTRACT NO. 121.0378.01

DATE _____

CONTRACT

THIS CONTRACT, made and entered into at Polk City, Iowa this 12th day of September, 2022, by and between the City of Polk City by its Mayor, upon order of its City Council hereinafter called the "Jurisdiction," and Elder Corporation, hereinafter called the "Contractor."

WITNESSETH:

The Contractor hereby agrees to complete the work comprising the below referenced improvement as specified in the contract documents, which are officially on file with the Jurisdiction, in the office of the City Clerk. This contract includes all contract documents. The work under this contract shall be constructed in accordance with the SUDAS Standard Specifications, 2022 Edition, and as further modified by the supplemental specifications and special provisions included in said contract documents, and the Contract Attachment - Item 1: General, which is attached hereto. The Contractor further agrees to complete the work in strict accordance with said contract documents, and to guarantee the work as required by law, for the time required in said contract documents, after its acceptance by the Jurisdiction.

This contract is awarded and executed for completion of the work specified in the contract documents for the bid prices shown on the Contract Attachment - Item 2: Bid Items, Quantities, and Prices, which were proposed by the Contractor in its proposal submitted in accordance with the Notice to Bidders and Notice of Public Hearing for the following described improvements:

West Bridge Road Water Main Loop Project

The Project includes water main installation, water main removal, removal and replacement of HMA driveway, and associated permanent seeding and fertilizing. The construction is located in the NE quadrant of the West Bridge Road and Parker Boulevard intersection of Polk City, Iowa.

The Contractor agrees to perform said work for and in consideration of the Jurisdiction's payment of the bid amount of SEVENTY-NINE THOUSAND TWO HUNDRED AND NO/100 dollars (\$79,200.00) which amount shall constitute the required amount of the performance, maintenance, and payment bond. The Contractor hereby agrees to commence work under this contract on or before a date to be specified in a written notice to proceed by the Jurisdiction and to fully complete the project as follows:

The Contractor shall be given the option to proceed with work on said project either in the Fall of 2022 or in the Spring of 2023.

Fall 2022: Should the Contractor choose to begin work on said project in the Fall of 2022, work shall commence no sooner than the pre-construction meeting, and no later than November 15, 2022. The contractor shall be allotted 15 working days to complete all work, including installation of permanent surface restoration. Working day shall be counted from the date that work commences, or November 1, whichever occurs first. Once work has commenced, the contractor shall work diligently to complete work as soon as practical. Demobilization by the Contractor from the site will not be allowed prior to final surface restoration. Liquidated damages in the amount of five hundred (\$500.00) per working day will be assessed for each day that work remains uncompleted after the end of the contract period.

Spring 2023: Should the Contractor choose to begin work on said project in the Spring of 2023, work shall commence no sooner than the pre-construction meeting, and no later than May 15, 2023. The contractor shall be allotted 15 working days to complete all work, including installation of permanent surface restoration. Working day shall be counted from the date that work commences, or May 15, whichever occurs first. Once work has commenced, the contractor shall work diligently to complete work as soon as practical. Demobilization by the Contractor from the site will not be allowed prior to final surface restoration. Liquidated damages in the amount of five hundred (\$500.00) per working day will be assessed for each day that work remains uncompleted after the end of the contract period.

IN WITNESS WHEREOF, the Parties hereto have executed this instrument, in triplicate on the date first shown written.

JURISDICTION

CONTRACTOR

By _____

Elder Corporation

Contractor

(Seal)
ATTEST:

By 

Signature

V.P.

Title

FORM APPROVED BY:

5088 East University Avenue

Street Address

Attorney for Jurisdiction

Des Moines, Iowa 50327

City, State, Zip Code

515-266-3111

Telephone

CONTRACTOR PUBLIC REGISTRATION INFORMATION To Be Provided By:

1. All Contractors: The Contractor shall enter its Public Registration Number C 1 3 0 6 - 3 4 issued by the Iowa Commissioner of Labor pursuant to Section 91C.5 of the Iowa Code.
2. Out-of-State Contractors:
 - A. Pursuant to Section 91C.7 of the Iowa Code, an out-of-state contractor, before commencing a contract in excess of five thousand dollars in value in Iowa, shall file a bond with the division of labor services of the department of workforce development. It is the contractor's responsibility to comply with said Section 91C.7 before commencing this work.
 - B. Prior to entering into contract, the designated low bidder, if it is a corporation organized under the laws of a state other than Iowa, shall file with the Engineer a certificate from the Secretary of the State of Iowa showing that it has complied with all the provisions of Chapter 490 of the Iowa Code, or as amended, governing foreign corporations.

NOTE: All signatures on this contract must be original signatures in ink; copies, facsimile, or electronic signatures will not be accepted.

CORPORATE ACKNOWLEDGMENT

State of Iowa)
) SS
Polk County)

On this 12th day of September, 2022, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Brent Thompson and NIA, to me known, who, being by me duly sworn, did say that they are the Vice President, and NIA, respectively, of the corporation executing the foregoing instrument; that (no seal has been procured by) ~~(the seal affixed thereto is the seal of)~~ the corporation; that said instrument was signed ~~(and sealed)~~ on behalf of the corporation by authority of this Board of Directors; that Brent Thompson and NIA acknowledged the execution of the instrument to be the voluntary act and deed of the corporation, by it and by them voluntarily executed.



Linda S. Breeden
Notary Public in and for the State of Iowa
My commission expires May 8, 2025

PARTNERSHIP ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ___ day of _____, 20 ___, before me, the undersigned, a Notary Public in and for the State of _____, personally appeared _____ to me personally known, who being by me duly sworn, did say that the person is one of the partners of _____, a partnership, and that the instrument was signed on behalf of the partnership by authority of the partners and the partner acknowledged the execution of the instrument to be the voluntary act and deed of the partnership by it and by the partner voluntarily executed.

Notary Public in and for the State of _____
My commission expires _____, 20____

INDIVIDUAL ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the State of _____, personally appeared _____ and _____, to me known to be the identical person(s) named in and who executed the foregoing instrument, and acknowledged that (he) (she) (they) executed the instrument as (his) (her) (their) voluntary act and deed.

Notary Public in and for the State of _____
My commission expires _____, 20____

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ____ day of _____, 20____, before me a Notary Public in and for said county, personally appeared _____, to me personally known, who being by me duly sworn did say that person is _____ of said _____, that (the seal affixed to said instrument is the seal of said OR no seal has been procured by the said) _____, and that said instrument was signed and sealed on behalf of the said _____, by authority of its managers and the said _____ acknowledged the execution of said instrument to be the voluntary act and deed of said _____, by it voluntarily executed.

Notary Public in and for the State of _____
My commission expires _____, 20____

CONTRACT ATTACHMENT**Project Name: West Bridge Road Water Main Loop
Project****CONTRACT ATTACHMENT: ITEM 2 - BID ITEMS AND QUANTITIES**

This contract is awarded and executed for completion of the work specified in the contract documents for the bid prices tabulated below as proposed by the Contractor in its proposal submitted in accordance with notice to bidders and notice of public hearing. All quantities are subject to revision by the Jurisdiction. Quantity changes that amount to 20% or less of the amount bid shall not affect the unit bid price.

ITEM	DESCRIPTION	UNITS	QUANTITY	UNIT PRICE	TOTAL PRICE
EARTHWORK					
2.1	Topsoil, On-Site	CY	149	\$ 10.10	\$ 1,504.90
2.2	Remove, Salvage, and Replace Erosion Control Rock	CY	58	\$ 68.50	\$ 3,973.00
TRENCH EXCAVATION AND BACKFILL					
3.1	Trench Compaction Testing	LS	1	\$ 1,200.00	\$ 1,200.00
WATER MAIN AND APPURTENANCES					
5.1	Water Main, Trenched, PVC C900, 12"	LF	252	\$ 107.50	\$ 27,090.00
5.2	Fitting, 22.5 Degree Bend, 12"	EA	2	\$ 1,400.00	\$ 2,800.00
5.3	Fitting, 45 Degree Bend, 12"	EA	2	\$ 1,400.00	\$ 2,800.00
5.4	Valve, Gate, 12"	EA	1	\$ 4,100.00	\$ 4,100.00
5.5	Fire Hydrant Assembly Removal	EA	1	\$ 1,300.00	\$ 1,300.00
5.6	Connection to Existing Water Main	EA	1	\$ 6,000.00	\$ 6,000.00
STREETS AND RELATED WORK					
7.1	Driveway Removal, HMA	SY	26	\$ 90.50	\$ 2,353.00
7.2	HMA Driveway, Low Traffic, 1/2" Mix, 58-28S	SY	26	\$ 159.50	\$ 4,147.00
TRAFFIC CONTROL					
8.1	Temporary Traffic Signal	LS	1	\$ 4,700.00	\$ 4,700.00
SITE WORK AND LANDSCAPING					
9.1	Conventional Seeding and Fertilizing, Permanent, Type 1	AC	0.3	\$ 18,000.00	\$ 5,400.00
MISCELLANEOUS					
11.1	Mobilization	LS	1	\$ 9,800.00	\$ 9,800.00
11.2	Remove, Salvage, and Reset Mailbox	EA	1	\$ 390.00	\$ 390.00
11.3	Utility Exploration/Potholing	LS	1	\$ 1,642.10	\$ 1,642.10
TOTAL BID: \$					79,200.00

PERFORMANCE, PAYMENT, AND MAINTENANCE BOND

KNOW ALL BY THESE PRESENTS:

That we, Elder Corporation, as Principal (hereinafter the "Contractor" or "Principal" and Merchants Bonding Company (Mutual), as Surety are held and firmly bound unto City of Polk City, Iowa, as Obligee (hereinafter referred to as "the Jurisdiction"), and to all persons who may be injured by any breach of any of the conditions of this Bond in the penal sum of SEVENTY-NINE THOUSAND TWO HUNDRED AND NO/100 dollars (\$79,200.00), lawful money of the United States, for the payment of which sum, well and truly to be made, we bind ourselves, our heirs, legal representatives and assigns, jointly or severally, firmly by these presents.

The conditions of the above obligations are such that whereas said Contractor entered into a contract with the Jurisdiction, bearing date the 12th day of September, 2022, hereinafter the "Contract") wherein said Contractor undertakes and agrees to construct the following described improvements:

West Bridge Road Water Main Loop Project

The Project includes water main installation, water main removal, removal and replacement of HMA driveway, and associated permanent seeding and fertilizing. The construction is located in the NE quadrant of the West Bridge Road and Parker Boulevard intersection of Polk City, Iowa.

and to faithfully perform all the terms and requirements of said Contract within the time therein specified, in a good and workmanlike manner, and in accordance with the Contract Documents. Provided, however, that one year after the date of acceptance as complete of the work under the above referenced Contract, the maintenance portion of this Bond shall continue in force but the penal sum for maintenance shall be reduced to the sum of SEVENTY-NINE THOUSAND TWO HUNDRED AND NO/100 dollars (\$79,200.00), which is the cost associated with those items shown on the proposal and in the Contract that require a maintenance bond period in excess of one year.

It is expressly understood and agreed by the Contractor and Surety in this bond that the following provisions are a part of this Bond and are binding upon said Contractor and Surety, to-wit:

1. **PERFORMANCE:** The Contractor shall well and faithfully observe, perform, fulfill, and abide by each and every covenant, condition, and part of said Contract and Contract Documents, by reference made a part hereof, for the above referenced improvements, and shall indemnify and save harmless the Jurisdiction from all outlay and expense incurred by the Jurisdiction by reason of the Contractor's default of failure to perform as required. The Contractor shall also be responsible for the default or failure to perform as required under the Contract and Contract Documents by all its subcontractors, suppliers, agents, or employees furnishing materials or providing labor in the performance of the Contract.

2. **PAYMENT:** The Contractor and the Surety on this Bond hereby agreed to pay all just claims submitted by persons, firms, subcontractors, and corporations furnishing materials for or performing labor in the performance of the Contract on account of which this Bond is given, including but not limited to claims for all amounts due for labor, materials, lubricants, oil, gasoline, repairs on machinery, equipment, and tools, consumed or used by the Contractor or any subcontractor, wherein the same are not satisfied out of the portion of the contract price the Jurisdiction is required to retain until completion of the improvement, but the Contractor and Surety shall not be liable to said persons, firms, or corporations unless the claims of said claimants against said portion of the contract price shall have been established as provided by law. The Contractor and Surety hereby bind themselves to the obligations and conditions set forth in Chapter 573 of the Iowa Code, which by this reference is made a part hereof as though fully set out herein.
3. **MAINTENANCE:** The Contractor and the Surety on this Bond hereby agree, at their own expense:
 - A. To remedy any and all defects that may develop in or result from work to be performed under the Contract within the period of four (4) year (s) from the date of acceptance of the work under the Contract, by reason of defects in workmanship or materials used in construction of said work;
 - B. To keep all work in continuous good repair; and
 - C. To pay the Jurisdiction's reasonable costs of monitoring and inspection to assure that any defects are remedied, and to repay the Jurisdiction all outlay and expense incurred as a result of Contractor's and Surety's failure to remedy any defect as required by this section.
4. **GENERAL:** Every Surety on this Bond shall be deemed and held bound, any contract to the contrary notwithstanding, to the following provisions:
 - A. To consent without notice to any extension of time to the Contractor in which to perform the Contract;
 - B. To consent without notice to any change in the Contract or Contract Documents, which thereby increases the total contract price and the penal sum of this bond, provided that all such changes do not, in the aggregate, involve an increase of more than 20% of the total contract price, and that this bond shall then be released as to such excess increase; and
 - C. To consent without notice that this Bond shall remain in full force and effect until the Contract is completed, whether completed within the specified contract period, within an extension thereof, or within a period of time after the contract period has elapsed and the liquidated damage penalty is being charged against the Contractor.
 - D. That no provision of this Bond or of any other contract shall be valid that limits to less than five years after the acceptance of the work under the Contract the right to sue on this Bond.
 - E. That as used herein, the phrase "all outlay and expense" is not to be limited in any way but shall include the actual and reasonable costs and expenses incurred by the Jurisdiction including interest, benefits, and overhead where applicable. Accordingly, "all outlay and expense" would include but not be limited to all contract or employee expense, all equipment usage or rental, materials, testing, outside experts, attorneys fees (including overhead expenses of the Jurisdiction's staff attorneys), and all costs and expenses of litigation as they are incurred by the Jurisdiction. It is intended the Contractor and Surety

will defend and indemnify the Jurisdiction on all claims made against the Jurisdiction on account of Contractor's failure to perform as required in the Contract and Contract Documents, that all agreements and promises set forth in the Contract and Contract Documents, in approved change orders, and in this Bond will be fulfilled, and that the Jurisdiction will be fully indemnified so that it will be put into the position it would have been in had the Contract been performed in the first instance as required.

In the event the Jurisdiction incurs any "outlay and expense" in defending itself against any claim as to which the Contractor or Surety should have provided the defense, or in the enforcement of the promises given by the Contractor in the Contract, Contract Documents, or approved change orders, or in the enforcement of the promises given by the Contractor and Surety in this Bond, the Contractor and Surety agree that they will make the Jurisdiction whole for all such outlay and expense, provided that the Surety's obligation under this bond shall not exceed 125% of the penal sum of this bond.

In the event that any actions or proceedings are initiated regarding this Bond, the parties agree that the venue thereof shall be Polk County, State of Iowa. If legal action is required by the Jurisdiction to enforce the provisions of this Bond or to collect the monetary obligation incurring to the benefit of the Jurisdiction, the Contractor and the Surety agree, jointly, and severally, to pay the Jurisdiction all outlay and expense incurred therefor by the Jurisdiction. All rights, powers, and remedies of the Jurisdiction hereunder shall be cumulative and not alternative and shall be in addition to all rights, powers, and remedies given to the Jurisdiction, by law. The Jurisdiction may proceed against surety for any amount guaranteed hereunder whether action is brought against the Contractor or whether Contractor is joined in any such action(s) or not.

NOW THEREFORE, the condition of this obligation is such that if said Principal shall faithfully perform all the promises of the Principal, as set forth and provided in the Contract, in the Contract Documents, and in this Bond, then this obligation shall be null and void, otherwise it shall remain in full force and effect.

When a work, term, or phrase is used in this Bond, it shall be interpreted or construed first as defined in this Bond, the Contract, or the Contract Documents; second, if not defined in the Bond, Contract, or Contract Documents, it shall be interpreted or construed as defined in applicable provisions of the Iowa Code; third, if not defined in the Iowa Code, it shall be interpreted or construed according to its generally accepted meaning in the construction industry; and fourth, if it has no generally accepted meaning in the construction industry, it shall be interpreted or construed according to its common or customary usage.

Failure to specify or particularize shall not exclude terms or provisions not mentioned and shall not limit liability hereunder. The Contract and Contract Documents are hereby made a part of this Bond.

PRINCIPAL:

Elder Corporation
Contractor

By [Signature]
Signature

V.P.
Title

SURETY:

Merchants Bonding Company (Mutual)
Surety Company

By [Signature]
Signature Attorney-in-Fact Officer

Anne Crowner, Attorney-in-Fact
Printed Name of Attorney-in-Fact Officer

FORM APPROVED BY:

Attorney for Jurisdiction

Holmes, Murphy and Associates, LLC
Company Name

2727 Grand Prairie Parkway
Company Address

Waukee, IA 50263
City, State, Zip Code

(515) 223-6800
Company Telephone Number

NOTE:

1. All signatures on this performance, payment, and maintenance bond must be original signatures in ink; copies, facsimile, or electronic signatures will not be accepted.
2. This bond must be sealed with the Surety's raised, embossing seal.
3. The Certificate or Power of Attorney accompanying this bond must be valid on its face and sealed with the Surety's raised, embossing seal.
4. The name and signature of the Surety's Attorney-in-Fact/Officer entered on this bond must be exactly as listed on the Certificate or Power of Attorney accompanying this bond.

MERCHANTS
BONDING COMPANY™
POWER OF ATTORNEY

Know All Persons By These Presents, that MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., both being corporations of the State of Iowa (herein collectively called the "Companies") do hereby make, constitute and appoint, individually, Anne Crowner; Ashlea McCaughey; Ben Williams; Brian M Deimerly; Cameron M Burt; Cindy Bennett; Craig E Hansen; D Gregory Stitts; Dione R Young; Donald E Appleby; Douglas Muth; Ginger Hoke; Grace Rasmussen; Greg Krier; Jay D Freiermuth; Jennifer Marino; Jessica Jean Rini; Jessie Allen; Joe Tieman; John Cord; Kate L Fineran; Mark R DeWitt; Mark Sweigart; Michelle R Gruis; Sara Huston; Sarah C Brown; Seth D Rooker; Stacy Venn; Tim McCulloh; Todd Bengford

their true and lawful Attorney(s)-in-Fact, to sign its name as surety(ies) and to execute, seal and acknowledge any and all bonds, undertakings, contracts and other written instruments in the nature thereof, on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

This Power-of-Attorney is granted and is signed and sealed by facsimile under and by authority of the following By-Laws adopted by the Board of Directors of Merchants Bonding Company (Mutual) on April 23, 2011 and amended August 14, 2015 and adopted by the Board of Directors of Merchants National Bonding, Inc., on October 16, 2015.

"The President, Secretary, Treasurer, or any Assistant Treasurer or any Assistant Secretary or any Vice President shall have power and authority to appoint Attorneys-in-Fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings obligatory in the nature thereof."

"The signature of any authorized officer and the seal of the Company may be affixed by facsimile or electronic transmission to any Power of Attorney or Certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually fixed."

In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.

In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner-Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

In Witness Whereof, the Companies have caused this instrument to be signed and sealed this 18th day of August, 2022.

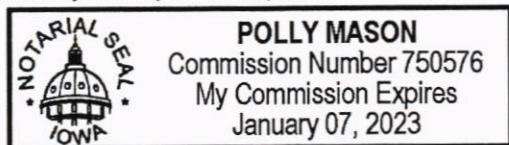


MERCHANTS BONDING COMPANY (MUTUAL)
MERCHANTS NATIONAL BONDING, INC.

By *Larry Taylor*
President

STATE OF IOWA
COUNTY OF DALLAS ss.

On this 18th day of August 2022, before me appeared Larry Taylor, to me personally known, who being by me duly sworn did say that he is President of MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC.; and that the seals affixed to the foregoing instrument are the Corporate Seals of the Companies; and that the said instrument was signed and sealed in behalf of the Companies by authority of their respective Boards of Directors.



Polly Mason
Notary Public

(Expiration of notary's commission does not invalidate this instrument)

I, William Warner, Jr., Secretary of MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., do hereby certify that the above and foregoing is a true and correct copy of the POWER-OF-ATTORNEY executed by said Companies, which is still in full force and effect and has not been amended or revoked.

In Witness Whereof, I have hereunto set my hand and affixed the seal of the Companies on this 12th day of September, 2022.



William Warner Jr.
Secretary



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
09/12/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Holmes Murphy & Assoc - WDM PO Box 9207 Des Moines, IA 50306-9207	1-800-247-7756	CONTACT NAME: Lauren Hamilton PHONE (A/C, No, Ext): E-MAIL ADDRESS: lhamilton@holmesmurphy.com	FAX (A/C, No):
INSURED Elder Corporation, Elder Properties, LLC 5088 East University Avenue Pleasant Hill, IA 50327		INSURER(S) AFFORDING COVERAGE INSURER A: ZURICH AMER INS CO INSURER B: CINCINNATI INS CO INSURER C: INSURER D: INSURER E: INSURER F:	NAIC # 16535 10677

COVERAGES

CERTIFICATE NUMBER: 66554975

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Contractual Liability GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:			GLO3757123	11/01/21	11/01/22	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> ACV or Cost			BAP3757124	11/01/21	11/01/22	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0			EXS0593401	11/01/21	11/01/22	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$
A	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N N/A	WC3757122	11/01/21	11/01/22	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The City of Polk City and Snyder & Associates, Inc. and their employees and agents are Additional Insureds on General Liability as required by written contract with the insured, per policy terms and conditions.

CERTIFICATE HOLDERCity of Polk City

112 S 3rd Street
PO Box 426
Polk City, IA 50226

USA

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2015 ACORD CORPORATION. All rights reserved.

PRELIMINARY PLAT REVIEW

Date: September 21, 2022

 Prepared by: Kathleen Connor, Planner
 Travis D. Thornburgh, P.E.

Project: Antler Ridge Preliminary Plat

Project No.: 122.0178.01

GENERAL INFORMATION:

Applicant:	Antler Ridge, LLC
Property Owner:	Antler Ridge, LLC & Genevieve Lillskau
Requested Action:	Approval of Preliminary Plat
Location	West of NW 44 th Street & South of E. Southside Drive
Size:	138.46 acres
Zoning:	R-1 – Single Family R-2 – One & Two Family R-2A – Townhome C-2 – Commercial
Proposed Use:	150 SF lots; 43 bi-attached lots; 3 Commercial outlots; 2 Outlots; 1 Park; ROW



PROJECT DESCRIPTION:

On behalf of the developer, Nilles Engineering has submitted the Preliminary Plat for Antler Ridge. This Preliminary Plat is in general conformance with the concept plans provided during the rezoning process. This subdivision includes 75 R-1 lots and 75 R-2 lots that are intended for single family homes. This subdivision also includes 43 R-2A lots for townhomes that require Site Plan approval prior to construction. Also included is a 25.5-acre commercial outlot fronting on NW 44th Street and a 4.0- acre commercial outlot fronting on E. White Pine Drive to the north. A 0.77-acre outlot will be used for detention for the northern portion of the commercial area.

This subdivision now proposes to vacate a portion of E. Southside Drive by creating a new collector street system, similar to E. Southside Drive in Marina Cove, thus eliminating the need to upgrade this non-compliant street. E. Red Cedar is a collector street, running from NW 44th Street to E. Southside Drive at the northwest corner of the subdivision. E. White Pine Drive is a collector street, running from NW 44th Street through the commercial area to E. Southside Drive where it will eventually be extended to E. Northside Drive. E. Southside Drive/E. Antler Ridge Drive will be an east/west collector through the development. All other streets in this subdivision are local street. Water mains and sanitary sewers will serve the lots within this plat and provide for future extension. The developer proposes a multi-basin storm water management facility that will be privately maintained by the Homeowners/Business Owners Association.

ITEMS OF NOTE:

1. **Park & Recreational Trail.** The developer plans to dedicate a 3.06-acre park located west of the existing home on Lot 195. A minimum of 75% of this park area will be graded to 5% max., with the exception of an existing stand of trees that will remain. A Recreational Trail will be paved along the south side of Red Cedar Drive, from the park to SE 23rd Street. From SE 23rd Street, the trail will extend along the rear of Lots 1-9 east to NE 44th Street and along the rear of Lot Z north to E. Southside Drive. A trail will be constructed along the east side of Outlot Z to match the trail in Holly Woods.
2. **Zoning.** The current zoning on the property does not match the proposed lot layout. The developer will need to request a cleanup rezoning prior to final platting that revises the zoning district boundaries to match proposed lot lines and street centerlines to avoid confusion in the enforcement of zoning regulations.
3. **Traffic Impact Study.** Snyder & Associates has completed a draft TIS. The preliminary plat reflect the on-site public improvements to be constructed by the developer. Off-site improvements will be covered by a Development Agreement.
4. **E. Southside Drive.** City staff agrees with the concept to realign E. Southside Drive in order to avoid reconstruction of a large portion of this street, similar to the realignment of E. Southside Drive in the Marina Cove subdivision.
 - a. The north half of E. Southside Drive is owned by Polk County. City staff and the developer have had preliminary discussions with the county and they appear to be in agreement with the developer's plan to vacate a portion of this street. However, Polk County will need to provide written approval of this street vacation prior to Council approval of the construction drawings for any streets, storm sewers, or water main in this subdivision.
 - b. Vacation of portions of this right-of-way will require Public Hearings by both Polk City and Polk County. A revised Phasing Plan will need to be provided that addresses the sequence of construction and vacation in order to maintain traffic through all phases of development.
 - c. A Development Agreement may be required to define the city's and the developer's responsibility for resurfacing and/or reconstruction of E. Southside Drive. This Agreement will need to be approved prior to approval of the Construction Drawings for Antler Ridge Plat 1.
5. **Sanitary Sewer.** This Preliminary Plat includes relocation of the SE Trunk Sewer from its planned location along the creek to an overdepth sewer through Antler Ridge. A Development Agreement is required to define the city's responsibility for cost sharing associated with upsizing the sanitary trunk sewer and for overdepth construction, based on information provided by the developer and the SE Trunk Sewer Study. This Agreement will need to be approved by prior to approval of the Construction Drawings for Antler Ridge Plat 1 or Holly Woods Plat 1.

REVIEW COMMENTS:

All staff review comments were addressed on Submittal #8.

RECOMMENDATION:

Based on Items of Note identified herein, P&Z and staff recommend approval of the Preliminary Plat for Antler Ridge, subject to:

1. Polk County's concurrence with the vacation of E. Southside Drive prior to approval of the construction drawings for Phase 1.
2. The developer shall sign a Development Agreement(s) defining cost sharing responsibilities for the City and Developer for public improvements as prepared by the City Attorney, including but not limited to, overdepth installation and upsizing of sanitary sewer, reconstruction and vacation of E. Southside Drive, and cost-sharing of off-site roadway improvements required due to traffic growth related to this development prior to approval of the construction drawings for applicable improvements.
3. The developer shall submit a Petition for Rezoning to clean up the zoning for the entire subdivision prior to submittal of a Final Plat for any portion of this subdivision.

RESOLUTION NO. 2022-114

A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR ANTLER RIDGE

WHEREAS, Antler Ridge, LLC submitted a Preliminary Plat for Antler Ridge; and

WHEREAS, on September 19, 2022, the Polk City Planning and Zoning Commission met and recommended approval of the Preliminary Plat for Antler Ridge subject to completion of the City Engineer’s review comments being satisfactorily addressed; and

WHEREAS, the City Engineer has reviewed the revised Preliminary Plat and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Preliminary Plat subject to the following:

- 1) Polk County’s concurrence with the vacation of E. Southside Drive prior to approval of the construction drawings for Phase 1.
- 2) The developer shall sign a Development Agreement(s) defining cost sharing responsibilities for the City and Developer for public improvements as prepared by the City Attorney, including but not limited to, overdepth installation and upsizing of sanitary sewer, reconstruction and vacation of E. Southside Drive, and cost-sharing of off-site roadway improvements required due to traffic growth related to this development prior to approval of the construction drawings for applicable improvements.
- 3) The developer shall submit a Petition for Rezoning to clean up the zoning for the entire subdivision prior to submittal of a Final Plat for any portion of this subdivision.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and deems it appropriate to approve the Preliminary Plat for Antler Ridge subject to the following: 1) Polk County’s concurrence with the vacation of E. Southside Drive prior to approval of the construction drawings for Phase 1. 2) The developer shall sign a Development Agreement(s) defining cost sharing responsibilities for the City and Developer for public improvements as prepared by the City Attorney, including but not limited to, overdepth installation and upsizing of sanitary sewer, reconstruction and vacation of E. Southside Drive, and cost-sharing of off-site roadway improvements required due to traffic growth related to this development prior to approval of the construction drawings for applicable improvements. 3)The developer shall submit a Petition for Rezoning to clean up the zoning for the entire subdivision prior to submittal of a Final Plat for any portion of this subdivision.

PASSED AND APPROVED the 26th day September 2022.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

ANTLER RIDGE PRELIMINARY PLAT

OWNERS

Antler Ridge LLC
5721 Merle Hay Road, Suite A
Johnston, Iowa 50131-1261
Contact - John Larson
Ph: 515-491-4090
johnlarson89@gmail.com

Genevieve Lillskau
10616 NW 44th Street
Polk City, Iowa 50226-1119
Contact - Andy Snetselaar
Ph: 515-240-7827

DEVELOPER

Antler Ridge LLC
5721 Merle Hay Road, Suite A
Johnston, Iowa 50131-1261
Contact - John Larson
Ph: 515-491-4090
johnlarson89@gmail.com

DEVELOPMENT SCHEDULE

Phase 1 Final Plat and Construction Drawings	Spring 2022
Sanitary sewer and Phase 1 construction	Summer 2022 - Spring 2023
Future phases	2023 - 2025

PARKLAND DEDICATION

Parkland dedication required = 4.91 Acres (214,004 SF)
995.95 SF / Single family lot x 153 lots = 153,381 SF
721.70 SF / Bi-Attached units x 84 units = 60,623 SF
Parkland dedication provided - 3.03 Acres (131,906 SF)
Useable area = 2.52 Acres (109,878 sf) 83.3%
Remaining 1.88 acres to be provided in fees or trail widening improvements. 1.88 x Fair Market Value

Final trail widening calculations will be provided and adjusted as required at the time of final plat and construction drawings for 1st Phase of development.

BENCHMARK

- East Quarter corner of Section 07, Township 80 North, Range 24 West; Stubby nail in centerline of NW 44th Street. Elevation = 965.53 feet (NAVD88)

SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	PP-1	PRELIMINARY PLAT
2	PP-2	PRELIMINARY PLAT - OVERALL
3	PP-3	E SOUTHSIDE DRIVE & E RED CEDAR DRIVE
4	PP-4	E AUTUMN TRAIL CIRCLE & E AMBER LEAF CIRCLE
5	PP-5	E SOUTHSIDE DRIVE & E EAGLE'S NEST CIRCLE
6	PP-6	E LARSON COURT & SE 21ST STREET
7	PP-7	E ANTLER RIDGE AVENUE & E AUTUMN TRAIL AVENUE
8	PP-8	E AUTUMN TRAIL AVE & E RED CEDAR DR
9	PP-9	SE 21ST STREET & SE 22ND STREET
10	PP-10	E LARSON COURT & SE 22ND STREET
11	PP-11	E ANTLER RIDGE AVE & SE 23RD ST
12	PP-12	E AUTUMN TRAIL AVE & SE 23RD ST
13	PP-13	E WHITE PINE DR & E ANTLER RIDGE AVE
14	PP-14	OUTLOT Z
15	PP-15	E RED CEDAR DRIVE & NW 44TH STREET
16	PP-16	COMMERCIAL LANDSCAPE PLAN

GENERAL NOTES

- All materials and construction shall be in accordance with 2022 statewide urban design and specifications (SUDAS).
 - The owner shall be responsible for obtaining all necessary permits for the project.
 - The east line of the Northeast Quarter of Section 07, Township 80 North, Range 24 West, is assumed to bear South 00°10'28" West.
 - Lot 33 and Lots 135-154 and Outlot X shall not be permitted direct access onto East Southside Drive.
 - No lot shall be permitted more than one driveway or access.
 - All field fences shall be removed, with the exception of the fence along the south plat boundary, as a plat improvement.
 - Water Service: City of Polk City, Iowa.
 - Sewage disposal: City of Polk City, Iowa.
 - All existing wells and septic systems will be removed according to Iowa DNR standards.
 - It shall be the developer's responsibility to apply for and obtain any storm water discharge permits from the Iowa Department of Natural Resources if said permits are required of this project.
 - Overland Flowage Easement areas shall be maintained by the applicable property owner, including removal of obstructions of flow, maintenance of any ponds and pond outlet structures, and repair of any damage caused by erosion. The City shall have the right, but not the obligation, to enter the easement area to remove obstructions.
 - The site lies within Zone X with areas of minimal flood hazard, as shown on the Flood Insurance Rate Map Community Panel Number 19153 C0045 F, with an effective date of February 1, 2019.
 - Street lights and electrical distribution will be determined at the time of final platting.
 - Franchise utility design and distribution will be coordinated at the time of final platting.
 - All public improvements will require construction observation by the City of Polk City or their designated representative.
 - All public improvements will require a 4-year maintenance bond prior to acceptance of the public improvements.
 - All utility services shall be underground.
 - The approximate area of proposed tree clearing is 9.45 acres for plat construction. Additional clearing may be necessary during the time when individual homes are constructed.
 - Access to Outlot Z from NW 44th Street will be restricted to this predetermined access location as shown on PP-14.
 - Additional fire hydrant assemblies will be required with the site plan for the commercial lots (Outlots X, Y and Z) to ensure that proper hydrant coverage is achieved based on proposed development. Water main will be required to be looped through said Lots at the time of site development.
 - All proposed storm water management facilities, including basins, embankments, pipes, and structures will be maintained by the property owners of all lots in Holly Woods Plat 1 and in the Antler Ridge subdivision. At the time of final platting, a Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement will be executed that covers all property within both plats that will be updated with each subsequent final plat to specifically include the additional facilities and lots being final platted. Property owners will be responsible for annual inspections by a professional engineer and for maintaining and repairing all facilities. The Agreement will specify the method used to determine each lot's share of the costs for said inspections, maintenance, and repairs.
 - Storm sewer subdrain shall be provided on both sides of all public streets.
 - All pavement shall be 6" continuously reinforced concrete on a 6" granular sub-base, for all 26' & 31' wide curb streets. A pavement thickness design will be required for the portion of East Southside Drive from the intersection of Red Cedar Drive to the western plat boundary.
 - Right-of-Way return radii at all intersections are 25 feet.
 - A 10' wide recreational trail will be required along NW 44th Street in conjunction with the site plan for the commercial lots (Outlots Y & Z).
 - A minimum of 4" of clean, lightly compacted topsoil shall be provided in park area. The park shall be seeded with a lawn mixture as approved by the City of Polk City.
 - A photometric plan will be required as part of construction drawings submittal.
 - A full Storm Water Management Plan will be submitted along with construction drawings for Antler Ridge or Holly Woods Plat 1, whichever is submitted first. The full Storm Water Management Plan will include measures to detain both the minor and major storm down to the pre-developed 5-year storm event. This plan will also describe the detention requirements for all commercial parcels.
 - A geo-technical report was prepared for this property dated April 27, 2022.
 - All R2-A lots with the exception of single family detached homes on an 85' lot, require City Council approval of a site plan for the townhomes prior to issuance of a building permit on Lots 1-41 and 133-134.
 - A development agreement will be required to define the city and developers responsibilities for costs associated with design and construction of the SE Trunk Sanitary Sewer prior to approval of construction drawings for Antler Ridge Plat 1 or Holly Woods Plat 1.
 - A development agreement will be required to define the city and
- developers responsibilities for costs associated with design and construction of the East Southside Drive Improvements prior to approval of construction drawings for Antler Ridge plat 1.
- All cul-de-sac right-of-way radii are 62 feet with a 33 feet radii return to the main line right-of-way. All cul-de-sac paving radii are 45 feet with a 50 feet radii return to the main line paving. All "eye brow" cul-de-sac right-of-way radii are 65 feet with a 33 feet radii return to the main line right-of-way. All "eye brow" cul-de-sac paving radii are 50 feet with a 50 feet radii return to the main line paving. The minimum paving centerline radii used for collectors was 333 feet and the minimum centerline radii used for local streets was 250 feet. More detailed geometric information will be shown on the construction drawings at the time of final design. Right-of-way and pavement width dimensions are shown on sheets PP-3 thru PP-15 as B-B dimensions.
 - Sidewalk will be required to connect mailbox pads to nearest ramp or driveway connection as part of plat improvements.
 - Construction fence shall be installed by contractor and inspected by a Polk City Construction Observer, within the area to be developed, prior to issuance of a grading permit or beginning construction.
 - The owners of Outlots X and Z will be responsible for installing sidewalk connections to East Southside Drive at the time it is improved.
 - All sanitary trunk sewer as part of this plat will be surcharged with 5' of soil for a minimum of 6 months prior to paving.
 - Lots 42, 69, 70, 84, 160, 166, 167, & 175 are not allowed driveway connections to Red Cedar Drive due to proposed trail.
 - Outlot O shall be owned by the Homeowners Association for Antler Ridge.
 - Outlot N is not a buildable lot and will have ownership tied to adjacent Lot 181.
 - The E. White Pine Drive / NW 44th Street intersection and the commercial access on NW 44th Street intersections will not be signalized in the future.
 - There shall be no access to NW 44th Street from Outlot Y, Lot 1 or Lot 10.
 - All R-2A lots are restricted to a single access to the adjacent street for each lot.
 - Lots 22, 41-42, 69-70, 84, 152, 153, 155-156, 158, 164-165, 173-174 & 186 will not be allowed driveways along E. Red Cedar Drive in accordance with Polk City Code.
 - Lots 31, 32, 34 & 133 will not be allowed driveways along E. Antler Ridge Avenue in accordance with Polk City Code.
 - Easements shall be signed by the appropriate property owner or all temporary and permanent off-site improvements on a form that is acceptable to the City prior to approval of the Construction Drawings for Antler Ridge Plat 1 or Holly Woods.
 - Outlot X is not a buildable lot and will be for storm water purposes only. A Storm Water Maintenance Facility Easement will encompass the entire lot.
 - The location of the fire hydrant on Lot 195 will be reviewed on the construction drawings. Additional pavement may be required by the Fire Chief for maneuvering fire trucks on this site.
 - Written approval of cluster mailbox locations by the United States Postal Service will be required prior to approval of construction drawings.
 - No fences or structures may be placed; no trees shall be planted; and no change of grade shall be permitted within the WRA easement areas.
 - It will be the developer's responsibility to obtain written approval from WRA for any proposed grade changes within their easement areas, including filling the ditch behind Lots 133-152.
 - Areas of Special Flood Hazard Area AE lie within Outlots 162A, 168A, 169A, 179A, 180A & 181A, which will be non buildable lots and permanently tied to the abutting and corresponding numbered lots.
 - At NW 44th Street & E. Red Cedar Drive, the Developer of Outlot Z may be responsible for installing a southbound right turn lane in accordance with an updated TIS for the commercial development.
 - At the future SE commercial entrance, the Developer of Outlot Z shall be responsible for installing a southbound right turn lane and 150' minimum northbound left turn lane with mirrored pavement widening on the north side of the intersection in accordance with an updated TIS for the commercial development. The Developer may also be responsible for a southbound right turn lane at the E. Southside Drive/NW 44th Street intersection, based on proposed uses of the commercial outlots.
 - E. Southside Drive, from SE 23rd Street to E. Red Cedar Drive, will be removed as a plat improvement following Right-of-Way vacation and completion of E. Red Cedar Drive through this subdivision.
 - A sanitary sewer service stub will be provided to 5069 NW 110th Avenue, Polk City, Iowa as part of the Antler Ridge public improvements. The property owner will be responsible for extending a service line from this stub to their home.
 - Lots 190, 191, and 192 will not be provided a sump collector service.
 - Storm sewer, temporary swales, and temporary drainage areas for the commercial outlots will be designed and provided as part of the construction drawings for Lots 1-7 and Lots 10-17 or Lots 150-156 and 174-192, whichever comes first.
 - Existing water main on E. Southside Drive from the west side of E. 23rd Street to the east side of the knuckle will be abandoned at the same time E. Southside Drive is vacated.

ZONING

SEE SHEET PP-2 FOR ZONING AREA DESIGNATIONS

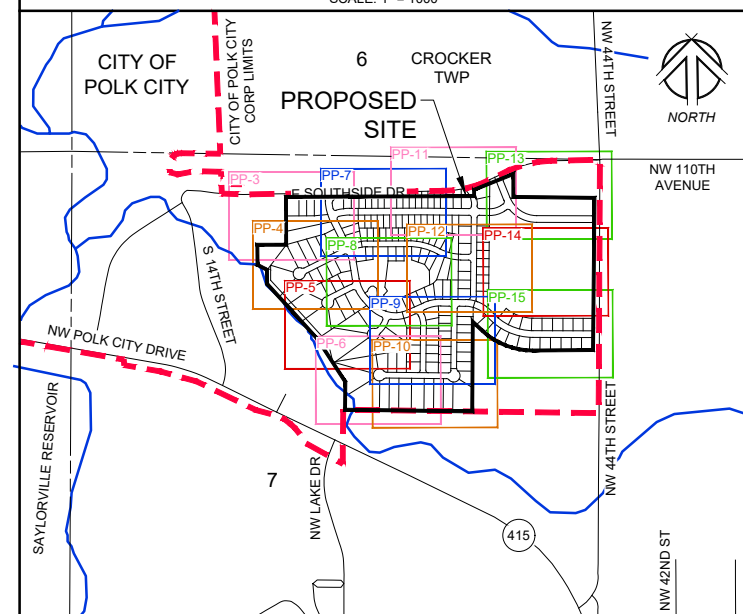
- R-1 Single Family Detached Residential District (Lots 49-63, 85-101, 150-156 & 158-193)
Minimum Lot Width - 80 feet
Front Yard Setback - 35 feet
Rear Yard Setback - 35 feet (dwellings) / 45 feet (other principal structures)
Side Yard Setback - 8 feet (one family detached) / 20 feet (other principal structures)
- R-2 One and Two-Family Residential District (Lots 42-48, 64-84, 102-132, 135-149 & 157)
Minimum Lot Width - 65 feet SF, 85 feet 2F, 42.5 feet BI
Front Yard Setback - 30 feet
Rear Yard Setback - 35 feet (dwellings)
35 feet (other principal structures)
Side Yard Setback - 8 feet (one family detached)
15 feet (other principal structures)
- R-2A Townhome Residential District (Lots 1-41, 133 & 134)
Minimum Lot Width - 85 feet TH, 100 feet MFI
Front Yard Setback - 30 feet
Rear Yard Setback - 35 feet (dwellings)
35 feet (other principal structures)
Side Yard Setback - 12.5 feet
- C-2 Commercial District (Outlots X, Y, & Z)
Front Yard Setback - 25 feet
Rear Yard Setback - 35 feet, for each foot that the front yard is increased over 25 feet, the rear yard may be decreased proportionately, except that where the rear yard adjoins an "R" District, there shall be a minimum rear yard of 20 feet required adjacent to said lot line or the width of the required buffer easement whichever is greater.
Side Yard Setback - None, except 20 feet where adjacent to "R" residential districts or the width of the required buffer easement, whichever is greater.
Building Height Limit - 4 stories or 60 feet

LEGEND

Existing / Proposed	Existing / Proposed	Existing / Proposed
IR Round iron rebar	●▲ Found monument 5/8" IR with red cap #18530 unless otherwise noted	○▲ Found monument 5/8" IR with blue cap #26306 unless otherwise noted
IP Round iron pipe	○▲ Address	○▲ Spot elevation
PCC Portland cement concrete	○▲ Well	○▲ Sanitary sewer manhole
ACC Asphaltic cement concrete	○▲ Storm sewer manhole	○▲ Cleanout
FL Pipe flowline elevation	○▲ Storm sewer intake	○▲ Storm sewer beehive
RCP Reinforced concrete pipe	○▲ Flared end section	○▲ Fire Hydrant Assembly
CMP Corrugated metal pipe	○▲ Water valve	○▲ Water service shut-off
CPP Corrugated plastic pipe	○▲ Water main manhole	○▲ Monitoring well
PVC Polyvinyl chloride pipe	○▲ Cast iron pipe	○▲ Yard hydrant
CIP Cast iron pipe	○▲ Buffer easement	○▲ Well
B/E Buffer easement	○▲ P.U.E. Public utility easement	○▲ Gas meter
P.U.E. Public utility easement	○▲ O.F.E. Overland Flowage easement	○▲ Gas valve
O.F.E. Overland Flowage easement	○▲ S.W.F.E. Surface Water Flowage easement	○▲ Air conditioning unit
S.W.F.E. Surface Water Flowage easement	○▲ S.T.M.F.E. Storm Water Maintenance Facility Easement & Agreement	○▲ Electric manhole
S.T.M.F.E. Storm Water Maintenance Facility Easement & Agreement	○▲ G.E. Gas easement	○▲ Electric meter
G.E. Gas easement	○▲ I.E.E. Ingress / Egress easement	○▲ Electric pedestal
I.E.E. Ingress / Egress easement	○▲ L.E. Landscape buffer easement	○▲ Electric transformer
L.E. Landscape buffer easement	○▲ P.W.E. Parkway easement	○▲ Utility hand hole
P.W.E. Parkway easement	○▲ R.T.E. Recreational trail easement	○▲ Utility pole
R.T.E. Recreational trail easement	○▲ S.S.E. Sanitary sewer easement	○▲ Utility pole with light
S.S.E. Sanitary sewer easement	○▲ S.T.S.E. Storm sewer easement	○▲ Light pole
S.T.S.E. Storm sewer easement	○▲ S.W.E. Sidewalk easement	○▲ GUY wire
S.W.E. Sidewalk easement	○▲ W.E. Water main easement	○▲ Traffic signal
W.E. Water main easement	○▲ B/B Back of curb to back of curb	○▲ Traffic signal with light
B/B Back of curb to back of curb	○▲ Section line	○▲ Traffic manhole
Section line	○▲ Proposed boundary line	○▲ Communication pedestal
Proposed boundary line	○▲ Existing boundary line	○▲ Telephone booth
Existing boundary line	○▲ Future boundary line	○▲ TV pedestal
Future boundary line	○▲ Proposed easement line	○▲ Street sign
Proposed easement line	○▲ Existing easement line	○▲ Down spout
Existing easement line	○▲ Setback line	○▲ Tree shrub
Setback line	○▲ Special Flood Hazard Area Zone AE line	○▲ Deciduous tree
Special Flood Hazard Area Zone AE line	○▲ Flood Hazard Area Zone X line	○▲ and trunk diameter
Flood Hazard Area Zone X line	○▲ Edge of delineated wetland line	○▲ Coniferous tree
Edge of delineated wetland line	○▲ Zoning boundary line	○▲ and trunk diameter
Zoning boundary line	○▲ Barbed wire fence line	○▲ Swale flowline
Barbed wire fence line	○▲ Chain-link fence line	○▲ Edge of tree drip line
Chain-link fence line	○▲ Edge of water	○▲ Proposed orange construction fence and grading limit line
Edge of water	○▲ Straw Wattle	○▲ Proposed street light
Straw Wattle	○▲ Silt fence	○▲ 250 feet hydrant radius
Silt fence	○▲ Sanitary sewer & size	○▲ Buildable area within lot
Sanitary sewer & size	○▲ Storm sewer & size	
Storm sewer & size	○▲ Water main & size	
Water main & size	○▲ Gas main & size	
Gas main & size	○▲ Overhead electric & wires	
Overhead electric & wires	○▲ O.H.C. Overhead communication	
O.H.C. Overhead communication	○▲ U.G.E. Underground electric	
U.G.E. Underground electric	○▲ U.G.C. Underground communication	
U.G.C. Underground communication	○▲ Contour elevation	
Contour elevation	○▲ 900'	
900'	○▲ Phase 1 construction line	
Phase 1 construction line	○▲ Trees to be cleared for plat construction	

VICINITY MAP

SCALE: 1" = 1000'



LEGAL DESCRIPTION

Those parts of Lot A and Lot 3, RED CEDAR PRAIRIE PLAT 1, an official plat, located in and forming a part of Polk City, Polk County, Iowa; AND those parts of Lot B and Outlot X, WHITE PINE PRAIRIE PLAT 1, an official plat, located in and forming a part of Polk City, Polk County, Iowa; AND that part of the existing East Southside Drive right-of-way, which lies in the Southwest Quarter and Southeast Quarter of Section 07, Township 80 North, Range 24 West of the 5th P.M., located in and forming a part of Polk City, Polk County, Iowa, and being more particularly described as follows:

Beginning at the southeast corner of said Lot 3; thence North 89 degrees 10 minutes 30 seconds West, along the south line of said Lot 3, a distance of 1322.23 feet, to the westerly line of said Lot 3; thence North 00 degrees 48 minutes 06 seconds East, along said westerly line of Lot 3, a distance of 289.73 feet; thence North 33 degrees 02 minutes 14 seconds West, continuing along said westerly line of Lot 3, a distance of 531.53 feet; thence North 42 degrees 21 minutes 48 seconds West, continuing along said westerly line of Lot 3, a distance of 389.19 feet; thence North 04 degrees 25 minutes 30 seconds West, continuing along said westerly line of Lot 3, a distance of 390.00 feet; thence North 00 degrees 29 minutes 14 seconds West, continuing along said westerly line of Lot 3, a distance of 146.28 feet; thence North 62 degrees 10 minutes 49 seconds West, continuing along said westerly line of Lot 3, a distance of 112.02 feet; thence North 00 degrees 12 minutes 33 seconds West, to the south line of Lot 2, said RED CEDAR PRAIRIE PLAT 1, a distance of 208.36 feet; thence North 89 degrees 48 minutes 04 seconds East, along said south line of Lot 2, a distance of 300.00 feet, to the east line of Lot 2; thence North 00 degrees 12 minutes 33 seconds West, along said east line of Lot 2, a distance of 498.00 feet, to the north line of said Lot 3; thence North 89 degrees 48 minutes 04 seconds East, along said north line of Lot 3, a distance of 505.30 feet; thence North 00 degrees 11 minutes 56 seconds West, a distance of 35.00 feet, to the centerline of said existing East Southside Drive; thence North 89 degrees 48 minutes 04 seconds East, along said centerline of existing East Southside Drive, a distance of 148.25 feet; thence North 89 degrees 39 minutes 22 seconds East, continuing along said centerline of existing East Southside Drive, a distance of 1015.99 feet, thence northeasterly 419.07 feet along a curve to the left, tangent to the last described line, continuing along said centerline of existing East Southside Drive, having a radius of 1000.00 feet, a delta angle of 24 degrees 00 minutes 39 seconds, and a chord distance of 416.01 feet which bears North 76 degrees 39 minutes 03 seconds East; thence North 64 degrees 38 minutes 44 seconds East, tangent to the last described curve, continuing along said centerline of existing East Southside Drive, a distance of 105.50 feet; thence South 21 degrees 56 minutes 25 seconds East, a distance of 40.15 feet, to the north line of said Outlot X; thence North 68 degrees 03 minutes 35 seconds East, along said north line of Outlot X, a distance of 198.17 feet, to the west line of Lot 2, said WHITE PINE PRAIRIE PLAT 1; thence South 00 degrees 10 minutes 29 seconds West, along said west line of Lot 2, a distance of 239.75 feet, to the north line of said Outlot X; thence South 89 degrees 21 minutes 26 seconds East, along said north line of Outlot X, a distance of 846.00 feet, to the east line of said Outlot X; thence South 00 degrees 10 minutes 28 seconds West, along said east line of Outlot X, a distance of 1592.42 feet; thence North 89 degrees 49 minutes 32 seconds West, a distance of 641.23 feet; thence northwesterly 573.29 feet along a curve to the right, tangent to the last described line, having a radius of 770.00 feet, a delta angle of 42 degrees 39 minutes 32 seconds and a chord distance of 560.14 feet which bears North 68 degrees 29 minutes 46 seconds West; thence North 47 degrees 10 minutes 01 second West, tangent to the last described curve, a distance of 137.27 feet, to said the east line of said Lot 3; thence South 00 degrees 34 minutes 17 seconds West, along said east line of Lot 3, a distance of 933.85 feet, to said south line of said Lot 3 and the Point of Beginning.
Containing 140.28 acres more or less.

Said parcel is subject to any and all restrictions, covenants and easements of record.

CERTIFICATIONS

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: _____ Date: _____
Name: Adam D. Schoepfner, P.L.S. No. 26306
My license renewal date is December 31, 2023
Pages or sheets covered by this seal: This sheet only

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date: _____
Name: Jacob T. Nilles, P.E. No. 26369
My license renewal date is December 31, 2023
Pages or sheets covered by this seal: All sheets

1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0723 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

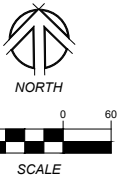
NILLES ASSOCIATES

REVISIONS:
1) 1/20/22 PER COMMENTS DATED 4-1-22
2) 1/20/22 PER COMMENTS DATED 6-17-22
3) 1/20/22 PER COMMENTS DATED 8-16-22
4) 1/20/22 PER COMMENTS DATED 8-16-22
5) 1/20/22 PER COMMENTS DATED 8-16-22
6) 1/20/22 PER COMMENTS DATED 8-16-22
7) 1/20/22 PER COMMENTS DATED 8-16-22
OR CONFLICTS WHICH ARE ALLEGED.

NOTE: NILLES ASSOCIATES, INC. WARRANTS THAT THE SURVEYING AND ENGINEERING WORK WAS PREPARED BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR WHO IS A MEMBER OF THE IOWA SOCIETY OF PROFESSIONAL ENGINEERS AND SURVEYORS AND WHO HAS NOT BEEN DISCIPLINED BY THE BOARD OF ENGINEERING AND SURVEYING OR THE BOARD OF ARCHITECTURE AND INTERIOR DESIGN.

ANTLER RIDGE
LOT 3 RED CEDAR PRAIRIE PLAT 1 & PART OF OUTLOT X WHITE PINE PRAIRIE PLAT 1, POLK CITY, IOWA

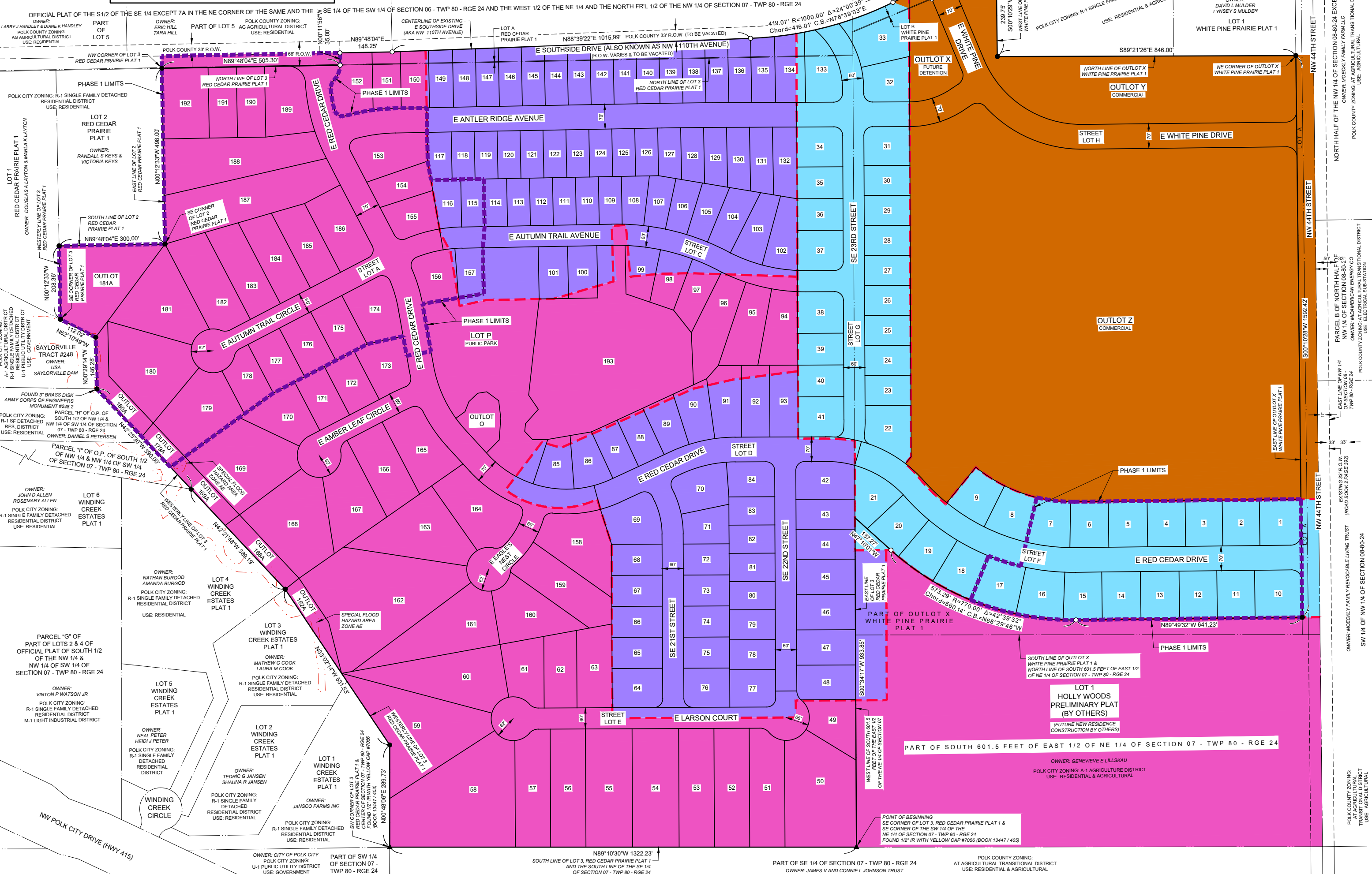
PROJECT NAME: _____
DESCRIPTION: _____
DATE: 03/23/22
DRAWN BY: T.J.H.
CHECKED BY: R.J.S.
SHEET SIZE: 24" X 36"
SHEET TITLE: PP-1
SHEET NO.: 1/16



ZONING

SEE SHEET PP-1 FOR ZONING BULK REGULATIONS

- R-1 Single Family Detached Residential District
- R-2 One and Two-Family Residential District
- R-2A Townhome Residential District
- C-2 Commercial District



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone • (515) 965-3322 fax
NILLES ASSOCIATES
 Civil Engineering - Land Surveying
 Landscape Architecture

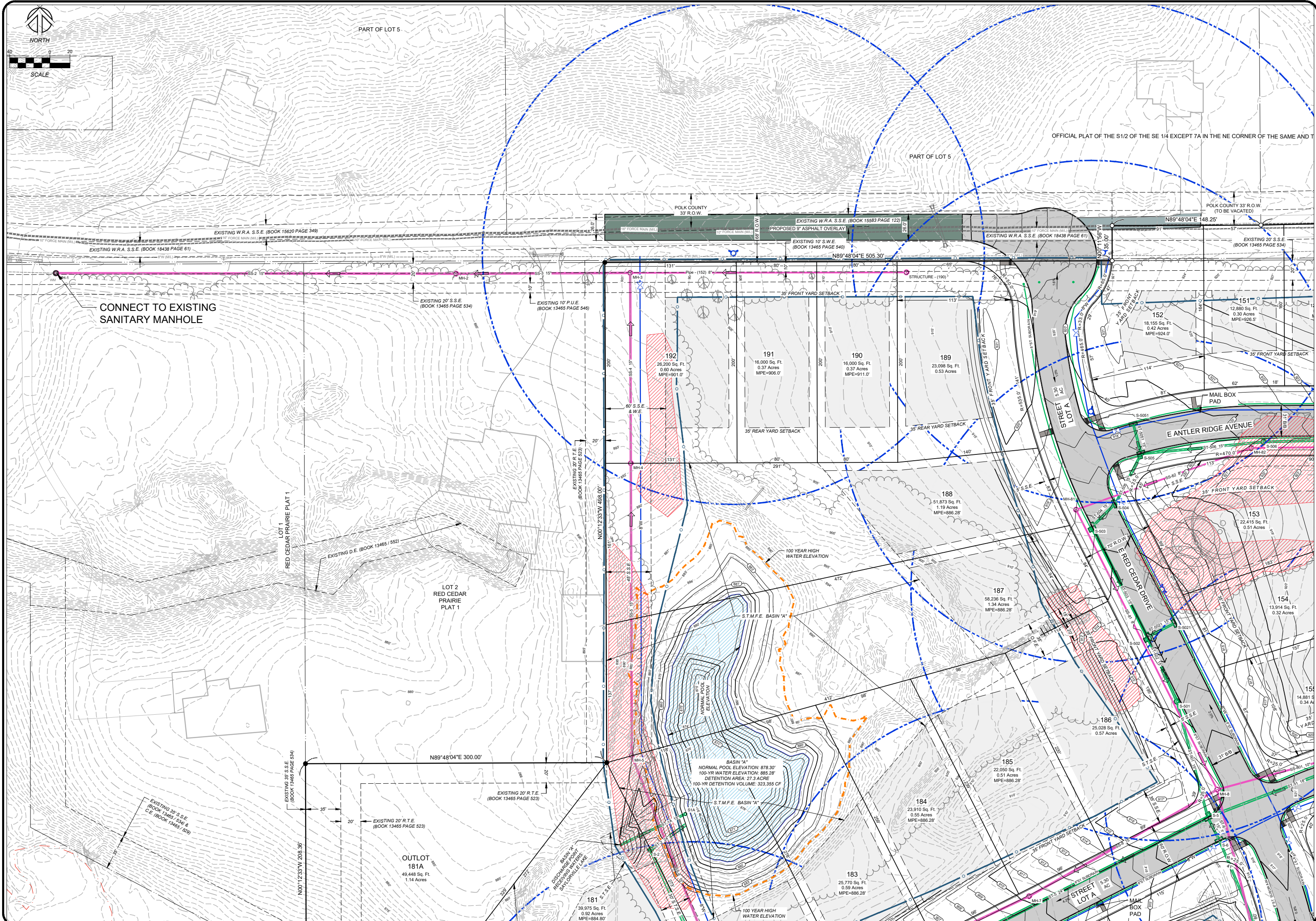
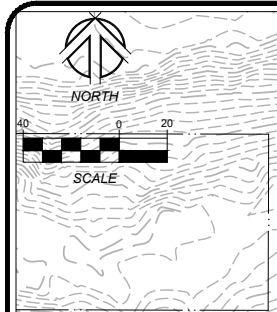
REVISIONS:

- 1) 1/10/22 PER COMMENTS DATED 4-1-22
- 2) 1/10/22 PER COMMENTS DATED 6-1-22
- 3) 1/10/22 PER COMMENTS DATED 6-1-22
- 4) 1/10/22 PER COMMENTS DATED 6-1-22
- 5) 1/10/22 PER COMMENTS DATED 6-1-22
- 6) 1/10/22 PER COMMENTS DATED 6-1-22
- 7) 1/10/22 PER COMMENTS DATED 6-1-22

NOTE: NILLES ASSOCIATES, THE ENGINEER OF RECORD, HAS REVIEWED THE PRELIMINARY PLAT FOR CONFORMANCE WITH THE REQUIREMENTS OF THE IOWA BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS. THE ENGINEER'S REVIEW IS LIMITED TO TECHNICAL ASPECTS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS THEREOF. THE ENGINEER'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS THEREOF.

PROJECT NAME:
ANTLER RIDGE
 LOT 3 RED CEDAR PRAIRIE PLAT 1 IS PART OF OUTLOT X WHITE PINE PRAIRIE PLAT 1, POLK CITY, IOWA
PRELIMINARY PLAT - OVERALL

DATE: 03/23/22
 DRAWN BY: TJH
 CHECKED BY: RJS
 SHEET SIZE: 24" X 36"
 SHEET TITLE: PP-2
 SHEET NO.: 2/16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone • (515) 965-3322 fax
 Civil Engineering • Land Surveying
 Landscape Architecture

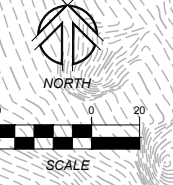
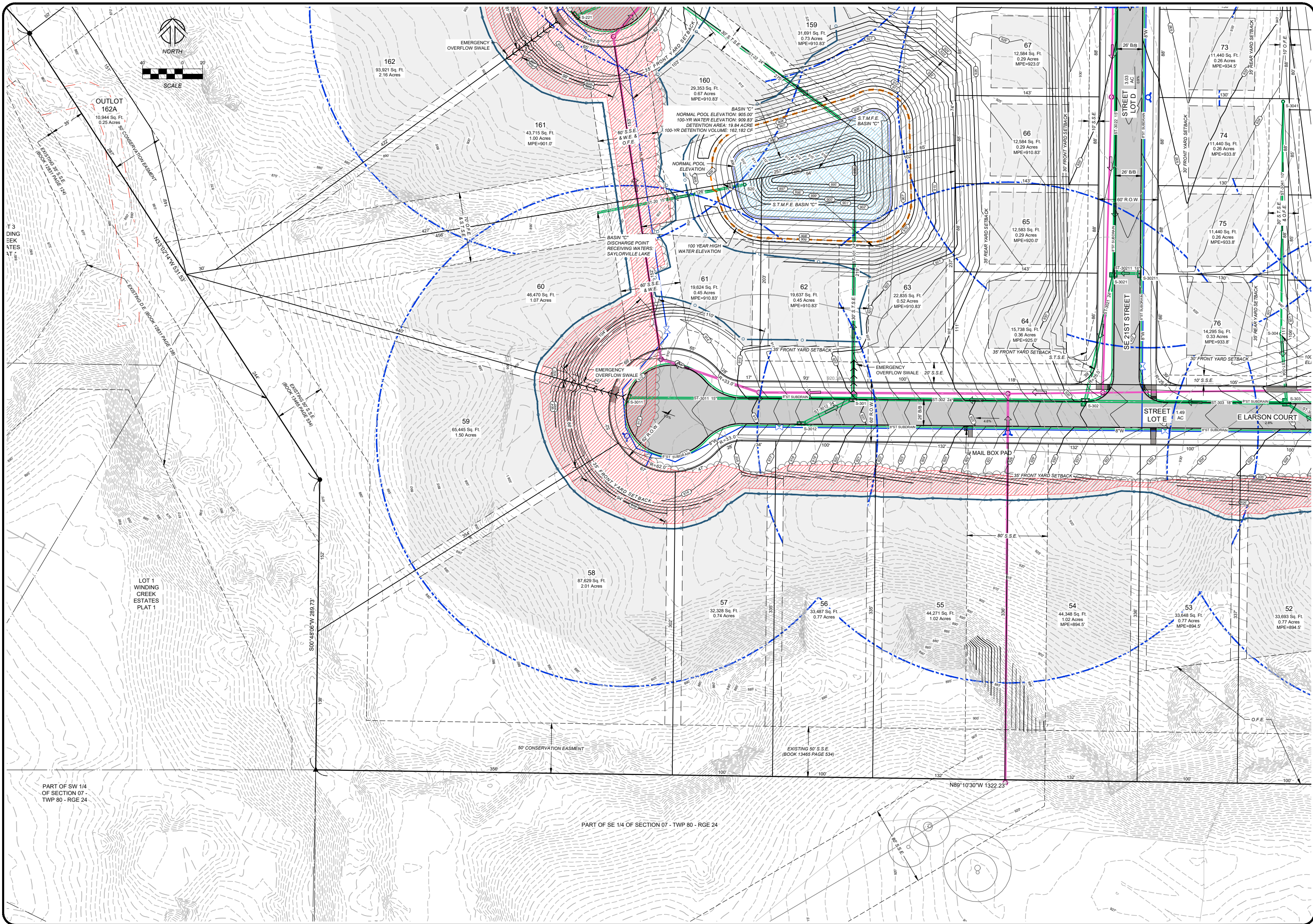
NILLES ASSOCIATES

REVISIONS:
 1) 1/20/22 PER COMMENTS DATED 4-1-22
 2) 1/20/22 PER COMMENTS DATED 6-1-22
 3) 1/20/22 PER COMMENTS DATED 8-1-22
 4) 1/20/22 PER COMMENTS DATED 8-1-22
 5) 1/20/22 PER COMMENTS DATED 8-1-22
 6) 7/22

NOTE: ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS ARE SHOWN FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS ARE SHOWN FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS ARE SHOWN FROM THE CENTERLINE OF THE ROAD OR FROM THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED.

ANTLER RIDGE
 LOT 3 RED CEDAR PRAIRIE PLAT 1, E PART OF OUTLOT X WHITE PINE PRAIRIE PLAT 1, POLK COUNTY, IOWA
 E SOUTHSIDE DRIVE & E RED CEDAR DRIVE

PROJECT NAME	ANTLER RIDGE
DATE	03/23/22
DRAWN BY	TJH
CHECKED BY	RJS
SHEET NO.	PP-3
SHEET TOTAL	3/16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 CIVIL ENGINEERING - LAND SURVEYING
 LANDSCAPE ARCHITECTURE



REVISIONS:
 1) 1/20/22 PER COMMENTS DATED 4-1-22
 2) 1/20/22 PER COMMENTS DATED 6-17-22
 3) 1/20/22 PER COMMENTS DATED 8-15-22
 4) 1/20/22 PER COMMENTS DATED 9-15-22
 5) 1/20/22 PER COMMENTS DATED 9-15-22
 6) 1/20/22 PER COMMENTS DATED 9-15-22
 7) 1/20/22 PER COMMENTS DATED 9-15-22

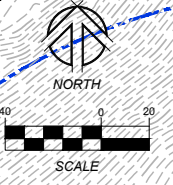
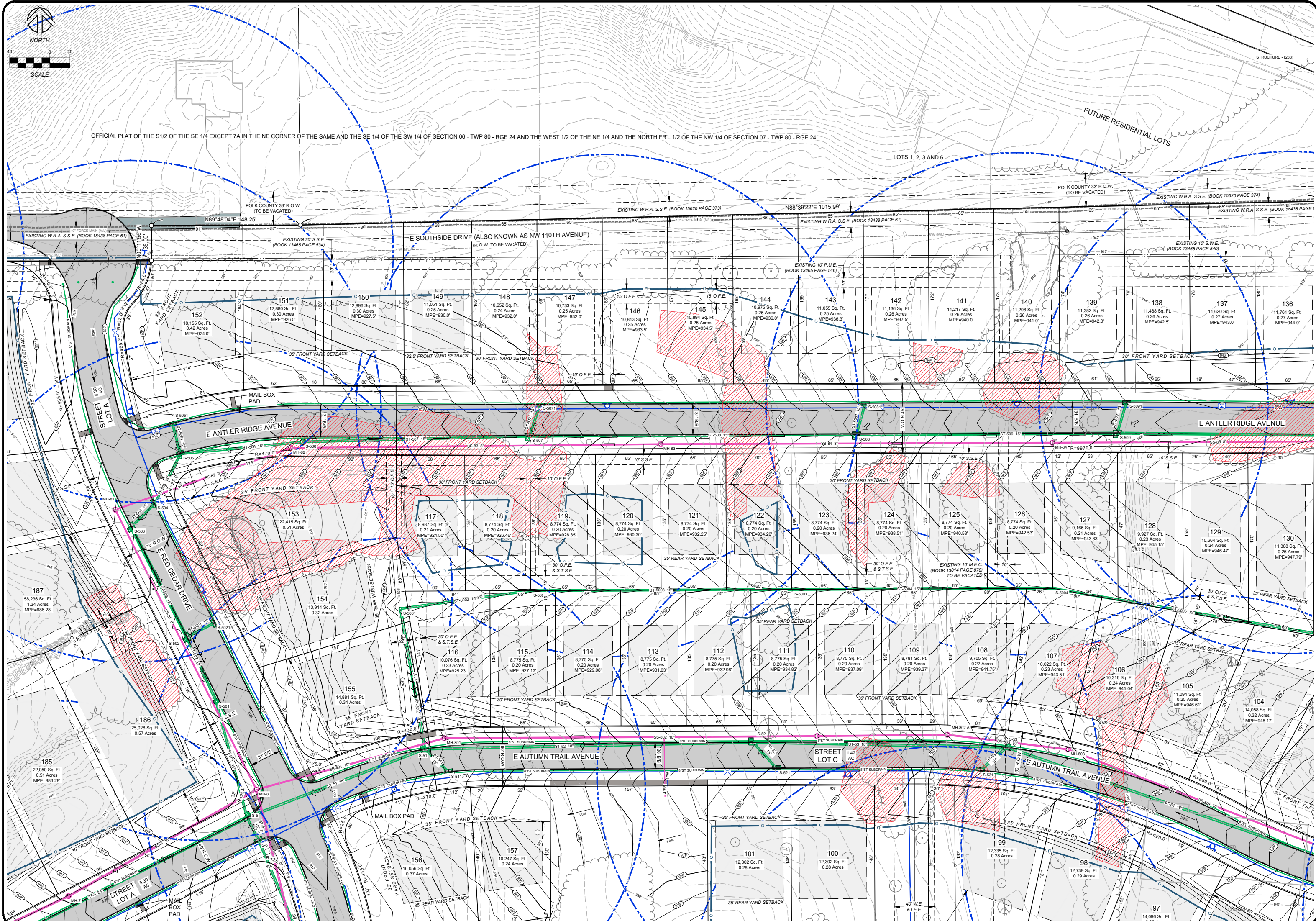
NOTE: NILES ASSOCIATES, THE WRITERS AND ENGINEERS, SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE WRITERS AND ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE CAUSED BY THE USER OF THIS INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR FOLLOWING ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS WHICH ARE APPLICABLE TO THE PROJECT.

PROJECT NAME:
 ANTLER RIDGE
 LOT 3 RED CEDAR PRAIRIE PLAT 1, PART OF OUTLOT X WHITE PINE PRAIRIE PLAT 1, POLK COUNTY, IOWA
 DESCRIPTION:
 E LARSON COURT & SE 21ST STREET

PROJECT NO.: 21255
 DATE: 03/23/22
 DRAWN BY: TJH
 CHECKED BY: RJS
 SHEET SIZE: 24" X 36"
 SHEET TITLE: PP-6
 SHEET NO.: 6/16

PART OF SW 1/4
 OF SECTION 07 -
 TWP 80 - RGE 24

PART OF SE 1/4 OF SECTION 07 - TWP 80 - RGE 24



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 Civil Engineering - Land Surveying
 Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

- 1) 1/20/22 PER COMMENTS DATED 4-1-22
- 2) 1/20/22 PER COMMENTS DATED 6-1-22
- 3) 1/20/22 PER COMMENTS DATED 8-1-22
- 4) 1/20/22 PER COMMENTS DATED 10-1-22
- 5) 1/20/22 PER COMMENTS DATED 12-1-22

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON, AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND FOLLOWING ALL APPLICABLE REGULATIONS, ORDINANCES, AND STATUTES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOLLOWING ALL APPLICABLE REGULATIONS, ORDINANCES, AND STATUTES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOLLOWING ALL APPLICABLE REGULATIONS, ORDINANCES, AND STATUTES.

ANTLER RIDGE
 LOT 3 RED CEDAR PRRIARE PLAT 1, PART OF OUTLOT X WHITE PINE PRRIARE PLAT 1, POLK COUNTY, IOWA

E ANTLETRIDGE AVENUE & E AUTUMN TRAIL AVENUE

PROJECT NAME: ANTLETRIDGE

DESCRIPTION: LOT 3 RED CEDAR PRRIARE PLAT 1, PART OF OUTLOT X WHITE PINE PRRIARE PLAT 1, POLK COUNTY, IOWA

DATE: 03/23/22

DRAWN BY: TJH

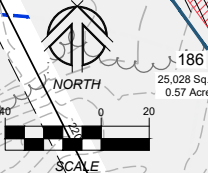
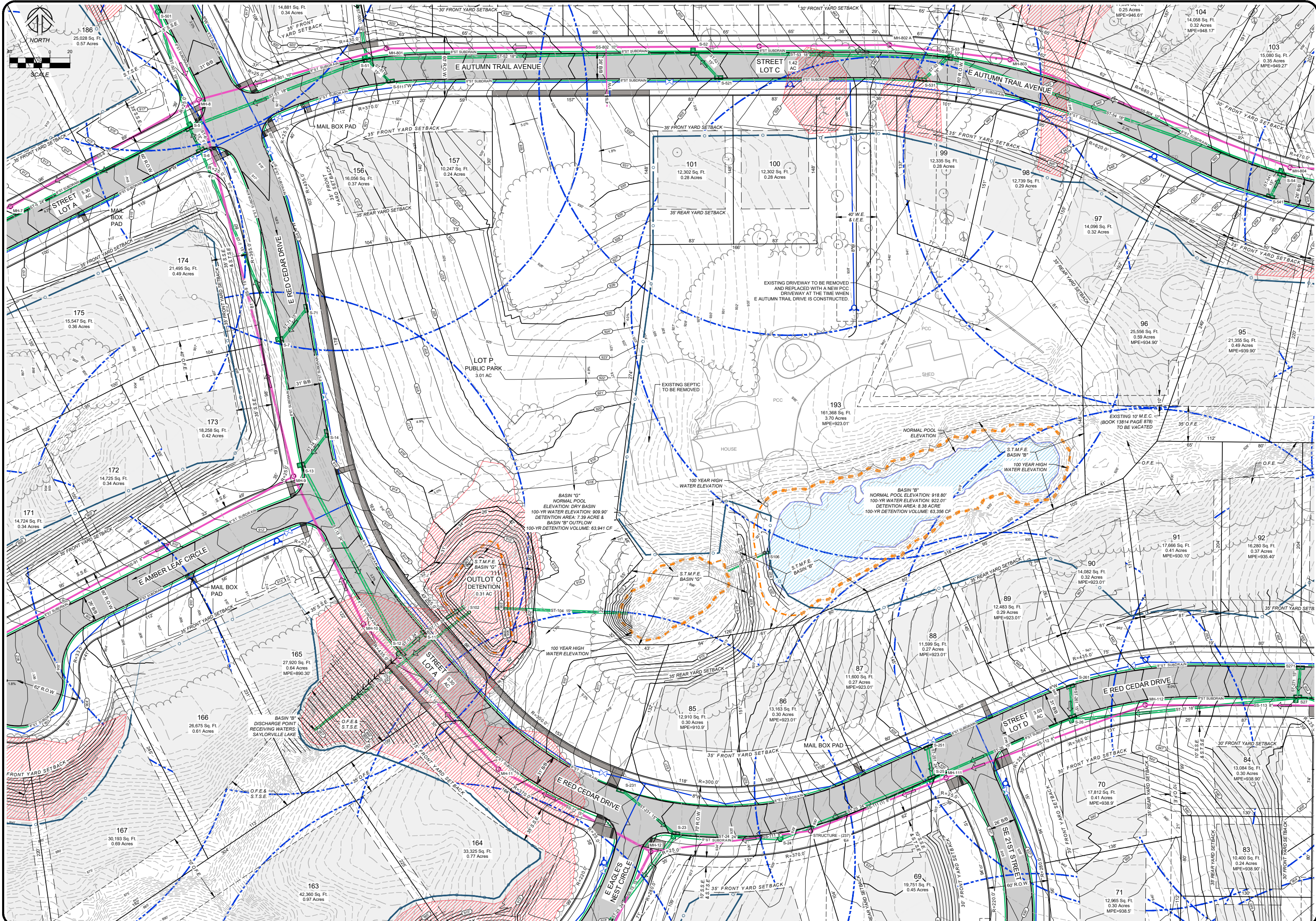
CHECKED BY: RJS

SHEET SIZE: 24" X 36"

SHEET TITLE: PP-7

SHEET NO.: 7/16

PROJECT NO.: 21255



1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone • (515) 965-3322 fax
Civil Engineering • Land Surveying
Landscape Architecture



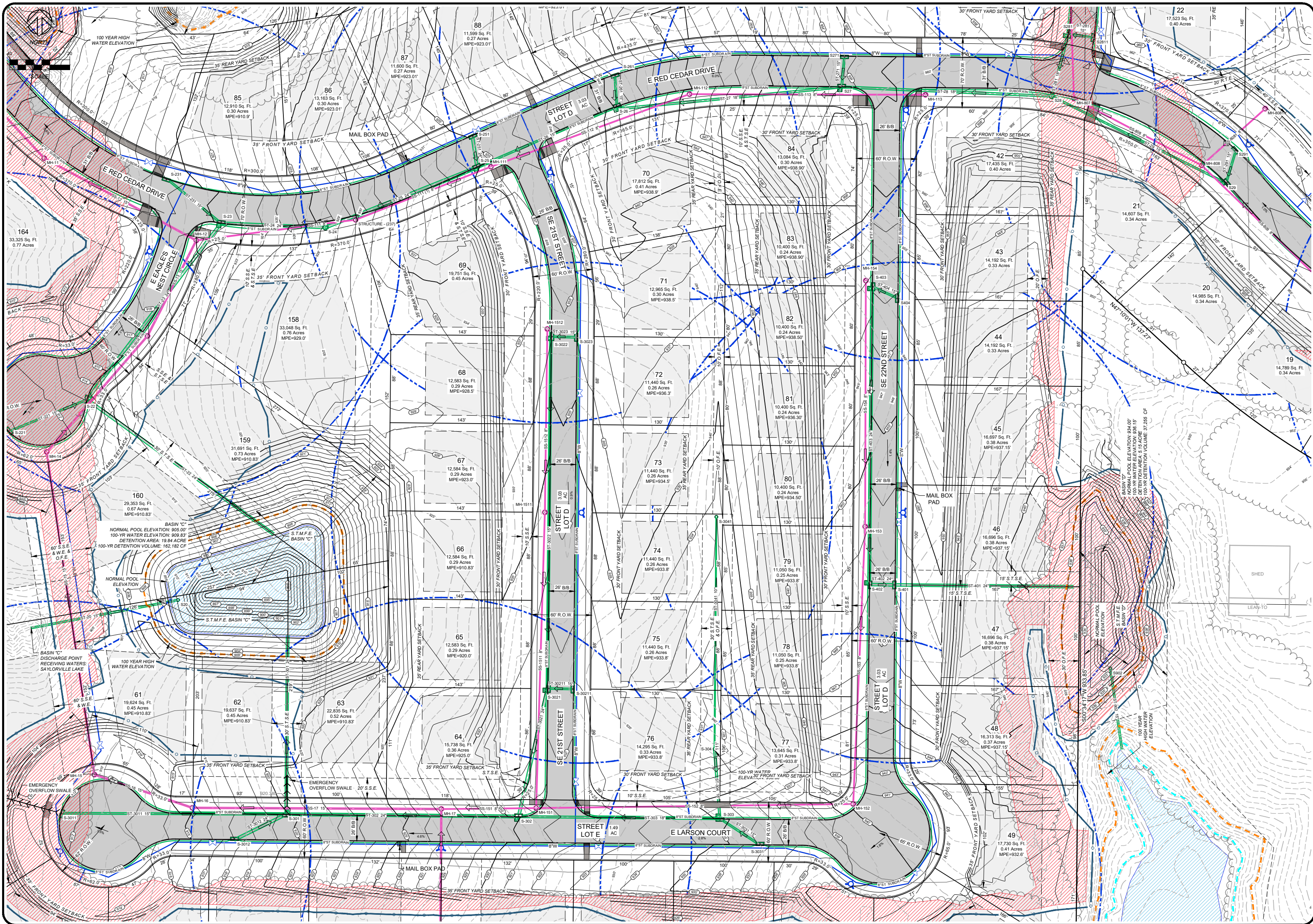
REVISIONS:
1) 1/20/22 PER COMMENTS DATED 4-1-22
2) 1/20/22 PER COMMENTS DATED 6-17-22
3) 1/20/22 PER COMMENTS DATED 8-15-22
4) 1/20/22 PER COMMENTS DATED 8-15-22
5) 1/20/22 PER COMMENTS DATED 8-15-22
6) 1/20/22 PER COMMENTS DATED 8-15-22

NOTE: NILES ASSOCIATES, INC. WARRANTS THAT THE INFORMATION CONTAINED HEREIN IS ACCURATE AND COMPLETE TO THE BEST OF OUR KNOWLEDGE AND BELIEF AT THE TIME OF THE PREPARATION OF THIS PLAN. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURES OR UTILITIES SHOWN ON THIS PLAN UNLESS THEY ARE SPECIFICALLY IDENTIFIED AS SUCH. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER AND DOES NOT INCLUDE THE DESIGN OR CONSTRUCTION OF ANY STRUCTURES OR UTILITIES UNLESS THEY ARE SPECIFICALLY IDENTIFIED AS SUCH. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER AND DOES NOT INCLUDE THE DESIGN OR CONSTRUCTION OF ANY STRUCTURES OR UTILITIES UNLESS THEY ARE SPECIFICALLY IDENTIFIED AS SUCH.

PROJECT NAME:
ANTLER RIDGE
LOT 3 RED CEDAR PRRIE PLAT 1 - PART OF OUTLOT X WHITE PINE PRRIE PLAT 1, POLK COUNTY, IOWA

E AUTUMN TRAIL AVE & E RED CEDAR DR

PROJECT NAME:	ANTLER RIDGE
LOT:	LOT 3 RED CEDAR PRRIE PLAT 1 - PART OF OUTLOT X WHITE PINE PRRIE PLAT 1, POLK COUNTY, IOWA
PROJECT NAME:	E AUTUMN TRAIL AVE & E RED CEDAR DR
DATE:	03/23/22
DRAWN BY:	TJH
CHECKED BY:	RJS
SHEET NO.:	PP-8
SHEET TITLE:	PP-8
SHEET NO.:	8/16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone • (515) 965-3322 fax
 Civil Engineering • Land Surveying
 Landscape Architecture

NILLES ASSOCIATES

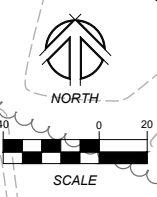
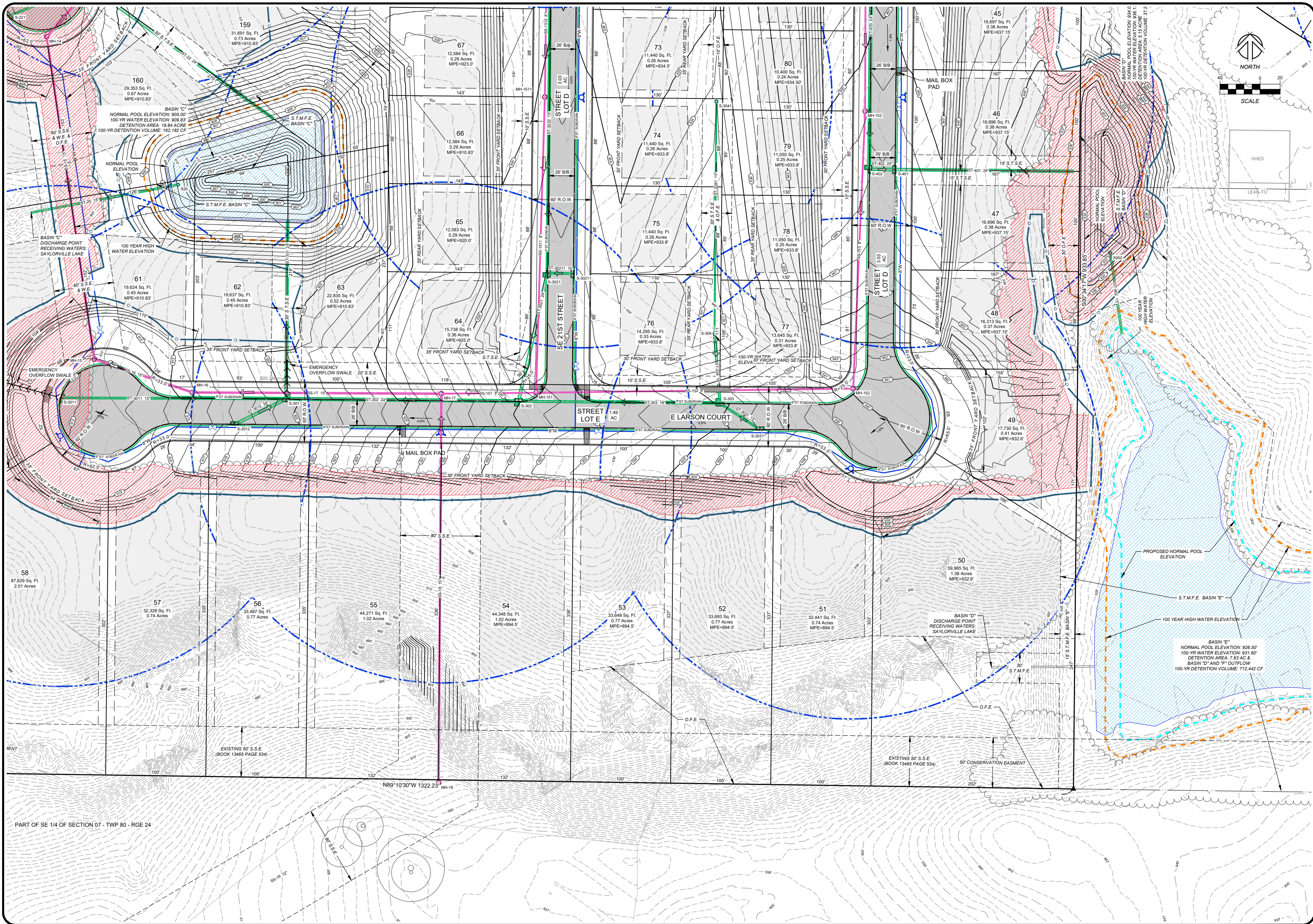
REVISIONS:
 1) 1/18/22 PER COMMENTS DATED 4-1-22
 2) 1/18/22 PER COMMENTS DATED 6-1-22
 3) 1/18/22 PER COMMENTS DATED 8-1-22
 4) 1/18/22 PER COMMENTS DATED 9-1-22
 5) 1/18/22 PER COMMENTS DATED 9-1-22
 6) 1/18/22 PER COMMENTS DATED 9-1-22
 7) 1/18/22 PER COMMENTS DATED 9-1-22

NOTE: NILES ASSOCIATES, INC. AND ITS SUBSIDIARIES SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE CAUSED BY THE USER OF THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR OBTAINING AND FOLLOWING THE ENGINEER'S AND ARCHITECT'S ADVICE AND INSTRUCTIONS. INDEMNITIES AND AGREEMENTS OR CONFLICTS WHICH ARE ALLEGED.

PROJECT NAME:
 ANTLER RIDGE
 LOT 3 RED CEDAR PRRIRE PLAT 1 - PART OF OUTLOT X WHITE PINE PRRIRE PLAT 1, POLK COUNTY, IOWA

DESCRIPTION:
 SE 21ST STREET & SE 22ND STREET

DATE:	03/23/22
DRAWN BY:	TJH
CHECKED BY:	RJS
SHEET NO.:	24
SHEET TITLE:	PP-9
SHEET NO.:	9/16



1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone • (515) 965-3322 fax
Civil Engineering • Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

- 1) 10/20/22 PER COMMENTS DATED 4-13-22
- 2) 10/20/22 PER COMMENTS DATED 6-17-22
- 3) 10/20/22 PER COMMENTS DATED 8-16-22
- 4) 10/20/22 PER COMMENTS DATED 9-14-22
- 5) 10/20/22 PER COMMENTS DATED 9-14-22
- 6)
- 7)

NOTES:

- 1) ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- 2) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3) ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 4) ALL DIMENSIONS ARE TO EXTERIOR UNLESS OTHERWISE NOTED.
- 5) ALL DIMENSIONS ARE TO INTERIOR UNLESS OTHERWISE NOTED.
- 6) ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 7) ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

ANTLER RIDGE

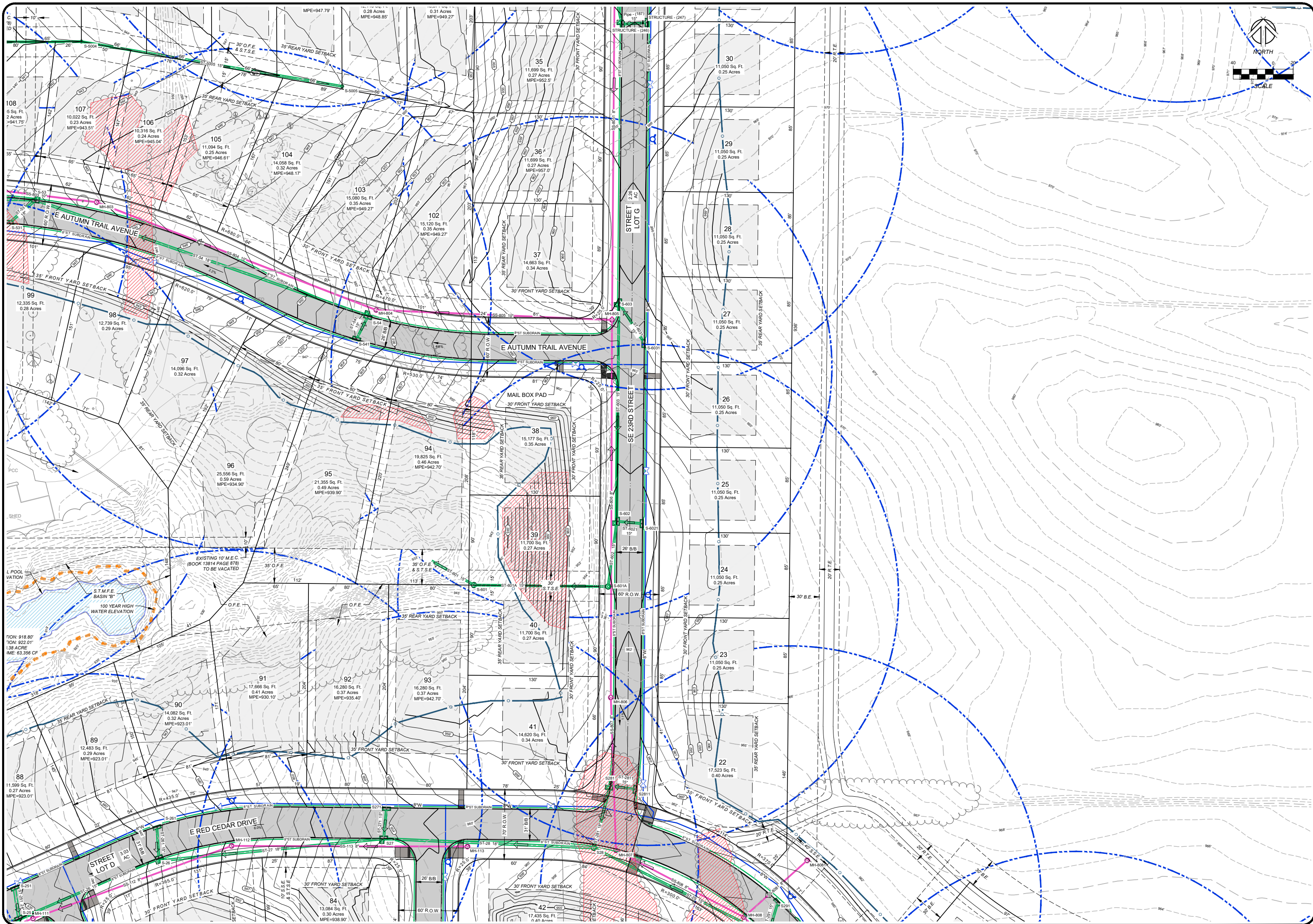
LOT 3 RED CEDAR PRairie PLAT 1 IS PART OF OUTLOT X WHITE PINE PRairie PLAT 1, POLK CITY, IOWA

E LARSON COURT & SE 22ND STREET

PROJECT NAME: _____

DESCRIPTION: _____

DATE:	03/23/22
DRAWN BY:	TJH
CHECKED BY:	RJS
SHEET NO.:	PP-10
SHEET TITLE:	10/16
SHEET NO.:	10/16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 Civil Engineering - Land Surveying
 Landscape Architecture



REVISIONS:
 1) 08/02/22 PER COMMENTS DATED 4-1-22
 2) 08/02/22 PER COMMENTS DATED 6-15-22
 3) 08/02/22 PER COMMENTS DATED 6-15-22
 4) 08/02/22 PER COMMENTS DATED 6-15-22
 5) 08/02/22 PER COMMENTS DATED 6-15-22
 6) 08/02/22 PER COMMENTS DATED 6-15-22

NOTE: NILES ASSOCIATES, THE UNDERSIGNED ENGINEER, HAS PREPARED THIS PLAN FROM A REVIEW OF THE INFORMATION PROVIDED BY THE SUBMITTER AND FROM A VISUAL INSPECTION OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A SURVEY OF THE SITE NOR HAS HE OR SHE CONDUCTED A FIELD SURVEY OF THE SITE. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS PLAN AND TO THE EXTENT OF THE ENGINEER'S NEGLIGENCE, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

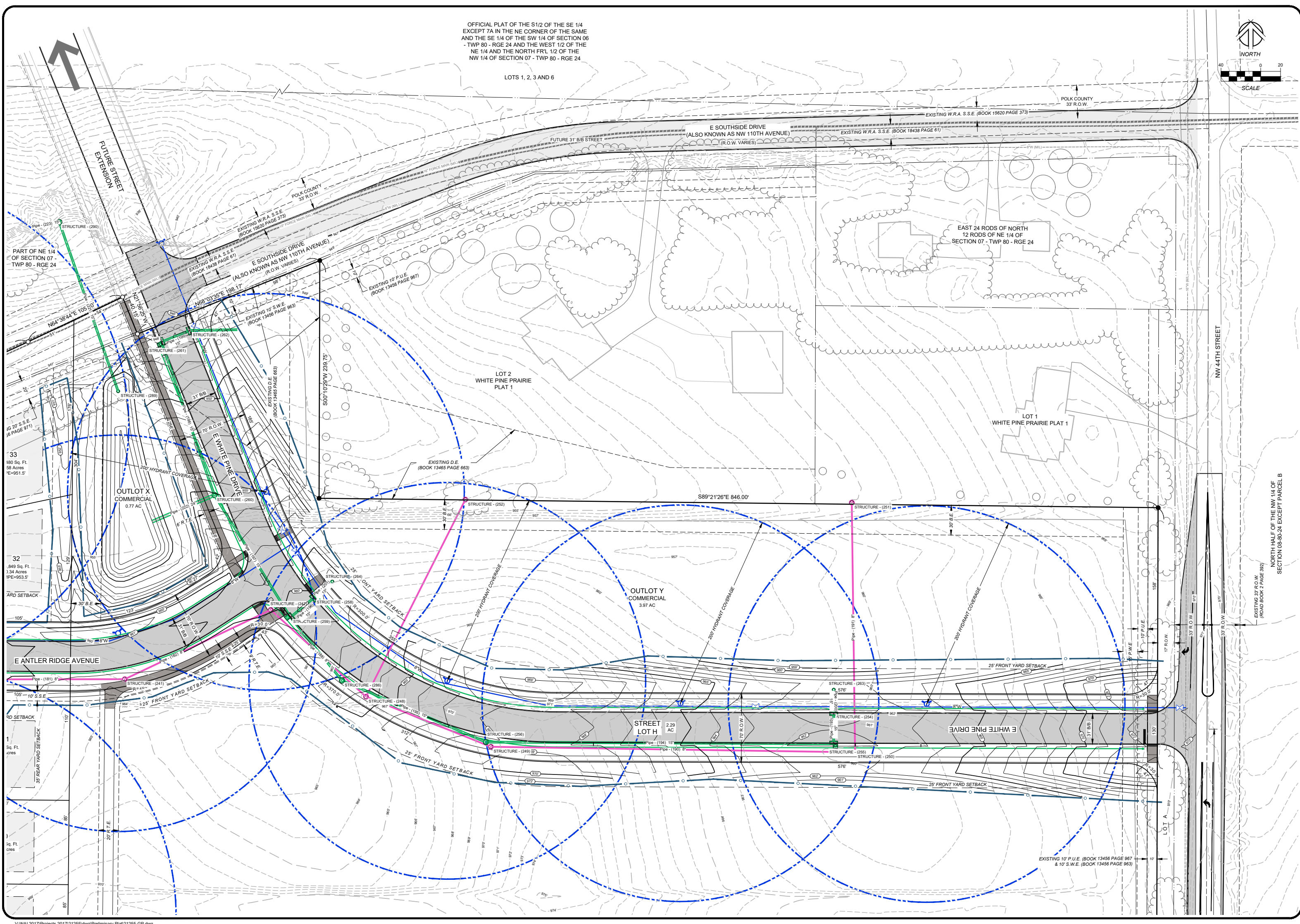
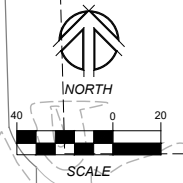
PROJECT NAME:
 ANTLER RIDGE
 LOT 3 RED CEDAR PRIME PLAT 1 - PART OF OUTLOT X WHITE PINE PRIME PLAT 1, POLK COUNTY, IOWA

DESCRIPTION:
 E AUTUMN TRAIL AVE & SE 23RD ST

NO.:	21255
DATE:	03/23/22
DRAWN BY:	TJH
CHECKED BY:	RJS
SHEET SIZE:	24" X 36"
SHEET TITLE:	PP-12
SHEET NO.:	12/16

OFFICIAL PLAT OF THE S 1/2 OF THE SE 1/4
EXCEPT 7A IN THE NE CORNER OF THE SAME
AND THE SE 1/4 OF THE SW 1/4 OF SECTION 06
- TWP 80 - RGE 24 AND THE WEST 1/2 OF THE
NE 1/4 AND THE NORTH FRL 1/2 OF THE
NW 1/4 OF SECTION 07 - TWP 80 - RGE 24

LOTS 1, 2, 3 AND 6



1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

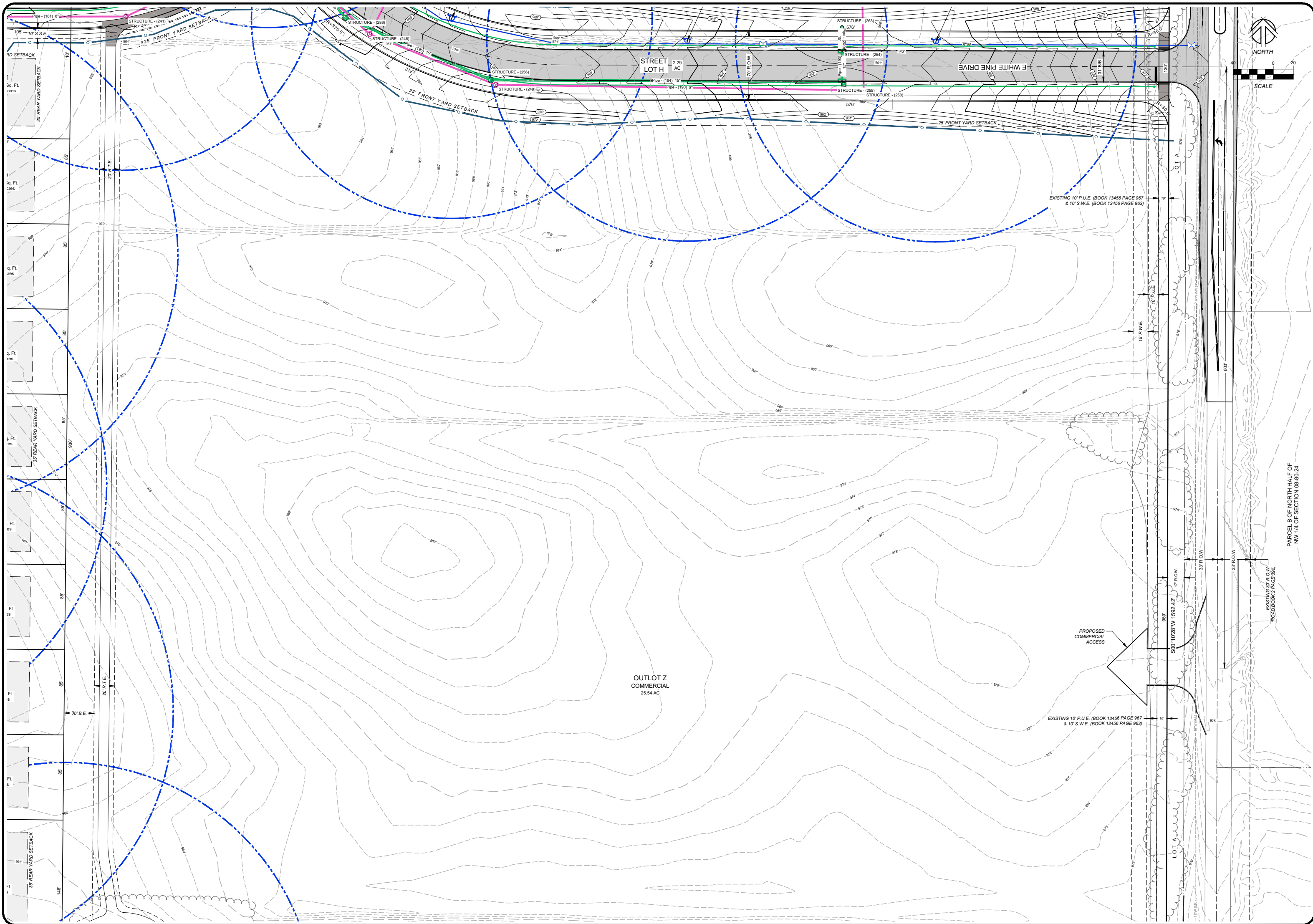
REVISIONS:
1) 1/10/22 PER COMMENTS DATED 4-1-22
2) 1/10/22 PER COMMENTS DATED 6-17-22
3) 1/10/22 PER COMMENTS DATED 8-12-22
4) 1/10/22 PER COMMENTS DATED 8-12-22
5) 1/10/22 PER COMMENTS DATED 8-12-22
6) 1/10/22 PER COMMENTS DATED 8-12-22
7) 1/10/22 PER COMMENTS DATED 8-12-22

NOTE: NILES ASSOCIATES, INC. WARRANTS THAT THE INFORMATION CONTAINED HEREIN IS ACCURATE AND COMPLETE TO THE BEST OF OUR KNOWLEDGE AND BELIEF AT THE TIME OF THE PREPARATION OF THIS PLAN. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR ANY OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

PROJECT NAME:
ANTLER RIDGE
LOT 3 RED CEDAR PRAIRIE PLAT 1 - PART OF OUTLOT X WHITE PINE PRAIRIE PLAT 1, POLK COUNTY, IOWA

DESCRIPTION:
E WHITE PINE DR & E ANTLER RIDGE AVE

PROJECT NAME:	ANTLER RIDGE
DESCRIPTION:	LOT 3 RED CEDAR PRAIRIE PLAT 1 - PART OF OUTLOT X WHITE PINE PRAIRIE PLAT 1, POLK COUNTY, IOWA
DATE:	03/23/22
DRAWN BY:	TJH
CHECKED BY:	RJS
SHEET NO.:	PP-13
SHEET TITLE:	13 / 16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0723 phone - (515) 965-3322 fax
 Civil Engineering - Land Surveying
 Landscape Architecture

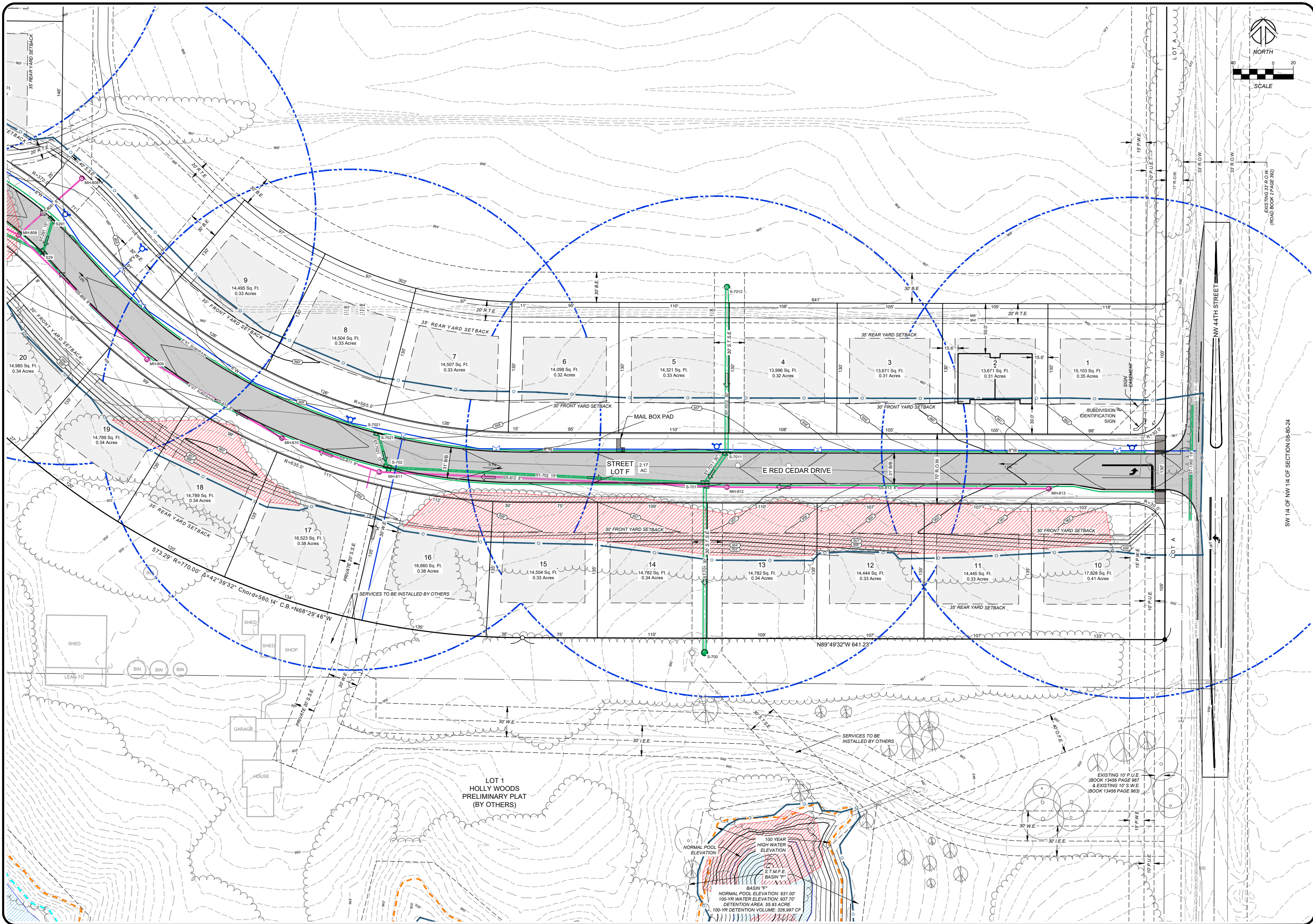
NILLES ASSOCIATES

REVISIONS:
 1) 10/20/22 PER COMMENTS DATED 4-1-22
 2) 10/20/22 PER COMMENTS DATED 6-17-22
 3) 10/20/22 PER COMMENTS DATED 8-15-22
 4) 10/20/22 PER COMMENTS DATED 9-12-22
 5) 10/20/22 PER COMMENTS DATED 9-12-22
 6) _____
 7) _____

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON WHICH MAY BE SUBJECT TO CHANGE WITHOUT NOTICE. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURES OR UTILITIES SHOWN ON THIS PLAN UNLESS THEY ARE SPECIFICALLY IDENTIFIED AS SUCH. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE UTILITIES AND STRUCTURES SHOWN ON THIS PLAN.

PROJECT NAME: ANTLER RIDGE
 LOT 3 RED CEDAR PRIME PLAT 1 IS PART OF OUTLOT X WHITE PINE PRIME PLAT 1, POLK COUNTY, IOWA
 OUTLOT Z

PROJECT NO.	21255
DATE	03/23/22
DRAWN BY	TJH
CHECKED BY	RJS
SHEET NO.	14
SHEET TOTAL	16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 CIVIL ENGINEERING - LAND SURVEYING
 LANDSCAPE ARCHITECTURE

NILLES ASSOCIATES

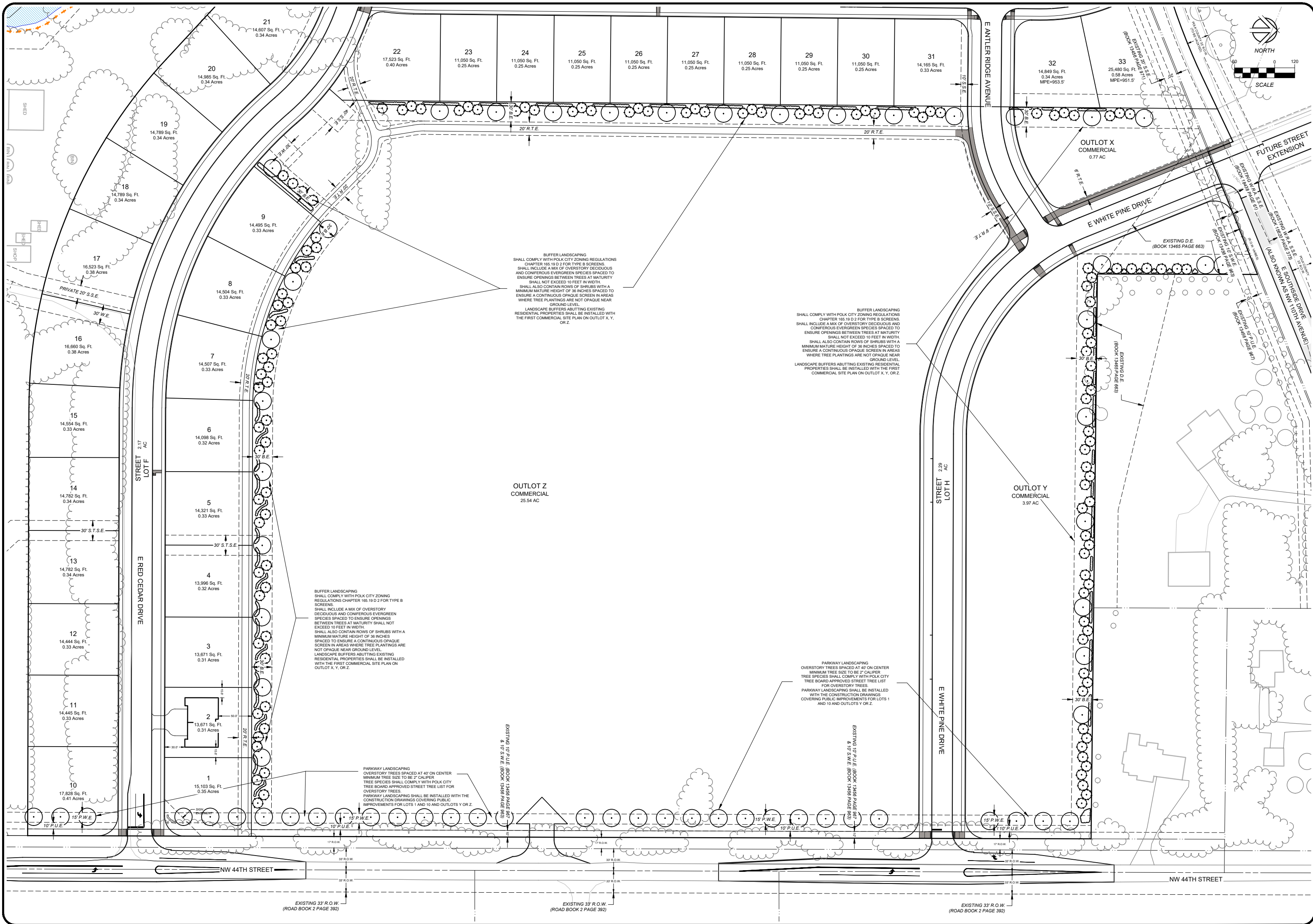
REVISIONS:
 1) 10/20/22 PER COMMENTS DATED 4-1-22
 2) 10/20/22 PER COMMENTS DATED 6-17-22
 3) 09/02/22 PER COMMENTS DATED 8-15-22
 4) 09/02/22 PER COMMENTS DATED 8-15-22
 5) 10/14/22 PER COMMENTS DATED 9-15-22
 6) 10/14/22 PER COMMENTS DATED 9-15-22
 7) 10/14/22 PER COMMENTS DATED 9-15-22

NOTE: NILES ASSOCIATES, THE UNDERSIGNED ENGINEER, HAS REVIEWED THE SUBMITTAL AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE IOWA DEPARTMENT OF TRANSPORTATION AND THE IOWA DEPARTMENT OF NATURAL RESOURCES. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTAL AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF THE ENGINEERING WORK. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTAL AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF THE ENGINEERING WORK.

ANTLER RIDGE
 LOT 3 RED CEDAR PRIME PLAT 1 IS PART OF OUTLOT X WHITE PINE PRIME PLAT 1, POLK COUNTY, IOWA
 E RED CEDAR DRIVE & NW 44TH STREET

PROJECT NAME:
 DESCRIPTION:

PROJECT NO.	21255
DATE	03/23/22
DRAWN BY	TJH
CHECKED BY	RJS
SHEET NO.	24' X 36'
SHEET TITLE	PP-15
SHEET NO.	15 / 16



1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone • (515) 965-3322 fax
 CIVIL ENGINEERING • LAND SURVEYING
 LANDSCAPE ARCHITECTURE



REVISIONS:

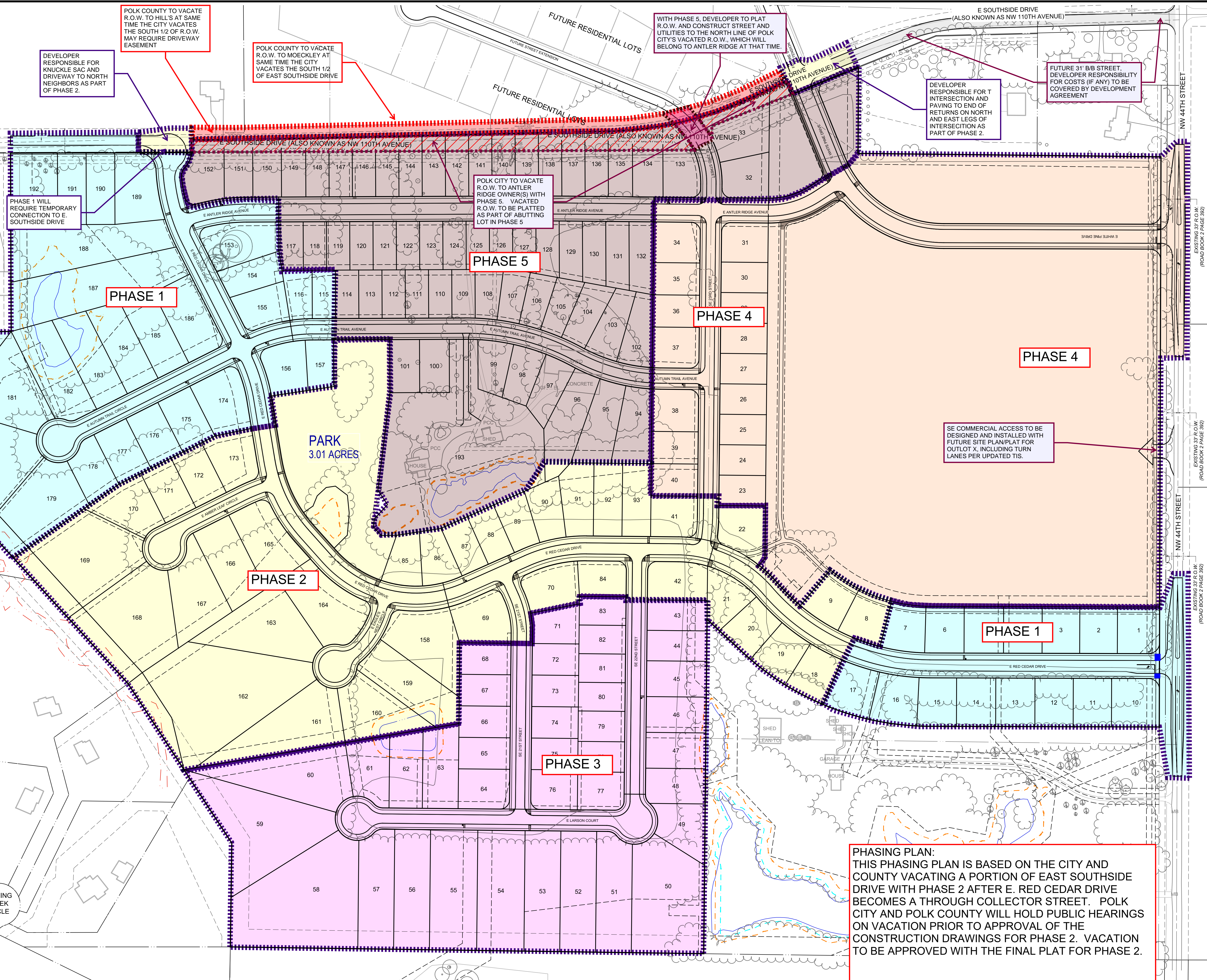
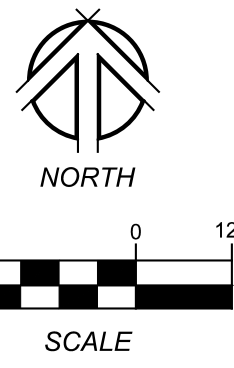
- 1) 08/02/22 PER COMMENTS DATED 6-14-22
- 2) 08/02/22 PER COMMENTS DATED 6-14-22
- 3) 08/02/22 PER COMMENTS DATED 6-14-22
- 4) 08/02/22 PER COMMENTS DATED 6-14-22
- 5) 08/02/22 PER COMMENTS DATED 6-14-22
- 6) 08/02/22 PER COMMENTS DATED 6-14-22
- 7) 08/02/22 PER COMMENTS DATED 6-14-22

NOTES:

- 1) NILES ASSOCIATES, INC. WAIVES ANY AND ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING BUT NOT LIMITED TO, SPECIAL, CONSEQUENTIAL, AND PUNITIVE DAMAGES, ARISING FROM FAILURE TO OBTAIN NECESSARY PERMITS FROM THE POLK COUNTY ENGINEERING DEPARTMENT AND/OR THE POLK COUNTY ZONING DEPARTMENT TO OBTAIN AND/OR FOLLOW THE ENGINEERING AND SURVEYING STANDARDS AND PRACTICES, AND/OR OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

ANTLER RIDGE
 LOT 3 RED CEDAR PRUIRE PLAT 1, E PART OF OUTLOT X WHITE PINE PRUIRE PLAT 1, POLK CITY, IOWA
COMMERCIAL LANDSCAPE PLAN

PROJECT NAME	ANTLER RIDGE
DESCRIPTION	LOT 3 RED CEDAR PRUIRE PLAT 1, E PART OF OUTLOT X WHITE PINE PRUIRE PLAT 1, POLK CITY, IOWA
DATE	03/23/22
DRAWN BY	TJH
CHECKED BY	RJS
SHEET NO.	PP-16
SHEET SIZE	24" X 36"
SHEET TITLE	PP-16
SHEET NO.	16 / 16



POLK COUNTY TO VACATE R.O.W. TO HILL'S AT SAME TIME THE CITY VACATES THE SOUTH 1/2 OF R.O.W. MAY REQUIRE DRIVEWAY EASEMENT

DEVELOPER RESPONSIBLE FOR KNUCKLE SAC AND DRIVEWAY TO NORTH NEIGHBORS AS PART OF PHASE 2.

POLK COUNTY TO VACATE R.O.W. TO MOECKLEY AT SAME TIME THE CITY VACATES THE SOUTH 1/2 OF EAST SOUTHSIDE DRIVE

WITH PHASE 5, DEVELOPER TO PLAT R.O.W. AND CONSTRUCT STREET AND UTILITIES TO THE NORTH LINE OF POLK CITY'S VACATED R.O.W., WHICH WILL BELONG TO ANTLER RIDGE AT THAT TIME.

DEVELOPER RESPONSIBLE FOR T INTERSECTION AND PAVING TO END OF RETURNS ON NORTH AND EAST LEGS OF INTERSECTION AS PART OF PHASE 2.

FUTURE 31' B/B STREET. DEVELOPER RESPONSIBILITY FOR COSTS (IF ANY) TO BE COVERED BY DEVELOPMENT AGREEMENT

PHASE 1 WILL REQUIRE TEMPORARY CONNECTION TO E. SOUTHSIDE DRIVE

POLK CITY TO VACATE R.O.W. TO ANTLER RIDGE OWNER(S) WITH PHASE 5. VACATED R.O.W. TO BE PLATTED AS PART OF ABUTTING LOT IN PHASE 5

SE COMMERCIAL ACCESS TO BE DESIGNED AND INSTALLED WITH FUTURE SITE PLAN/PLAT FOR OUTLOT X, INCLUDING TURN LANES PER UPDATED TIS.

PHASING PLAN:
THIS PHASING PLAN IS BASED ON THE CITY AND COUNTY VACATING A PORTION OF EAST SOUTHSIDE DRIVE WITH PHASE 2 AFTER E. RED CEDAR DRIVE BECOMES A THROUGH COLLECTOR STREET. POLK CITY AND POLK COUNTY WILL HOLD PUBLIC HEARINGS ON VACATION PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS FOR PHASE 2. VACATION TO BE APPROVED WITH THE FINAL PLAT FOR PHASE 2.



REVISIONS:

NOTE: NILES ASSOCIATES, INC. MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEERING INTENT OF THIS PLAN, OR ANY PART THEREOF, IS TO BE USED IN ACCORDANCE WITH THE ENGINEERING PROFESSIONAL SEAL AND LICENSE NUMBER OF THE ENGINEER OF RECORD. ANY OTHER USE IS UNAUTHORIZED AND VOID.

ANTLER RIDGE
POLK CITY, IOWA
PHASING PLAN

PROJECT NAME:	
DESCRIPTION:	
DATE:	09/08/22
DRAWN BY:	RJS
CHECKED BY:	
SHEET NO.:	21255
SHEET SIZE:	24" X 36"
SHEET TITLE:	
SHEET NO.:	1/1