

Notice of Meeting
Polk City | Planning and Zoning Commission (P&Z)

March 18, 2024 | 6:00 pm
City Hall | Council Chambers

Public Meeting participation in person or via phone
Call in #515-726-3598 Participant Code 535355

Public Members can provide comments directly to support@polkcityia.gov

**any comments received before the time of the meeting will be made a part of the minutes*

Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

Tentative Meeting Agenda

Deanna Triplett | Chair

Justin Vogel | Vice Chair

P&Z Commission Members: Ron Hankins | Krista Bowersox | Doug Ohlfest | Amber Pringnitz | Doug Sires

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of P&Z Commission Meeting minutes for February 19, 2024
5. Moeckly Rural Plat of Survey
 - a) Developer Report
 - b) City Engineer Report
 - c) Public Comment
 - d) Recommendation to Council to approve Plat of Survey for Parcel 2023-180
6. R-2A Zoning District modifications
 - a) City Engineer Report
 - b) Public Comment
 - c) Recommendation to Council to make modifications to the R-2A zoning district to ensure inclusion of patio homes
7. Reports & Particulars
Council Liaison, City Manager, Staff, and/or Commission
8. Adjourn until April 15, 2024

MEETING MINUTES
The City of Polk City
Planning and Zoning Commission
6:00 p.m., Monday, February 19, 2024

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on February 19, 2024 in City Hall Council Chambers.

The agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Vice Chair Vogel called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Bowersox, Vogel, Triplet (via Zoom), Ohlfest, Pringnitz, Sires | In attendance
3. **Approval of Agenda**
MOTION: A motion was made by Bowersox and seconded by Ohlfest to approve the agenda.
MOTION CARRIED UNANIMOUSLY
4. **Approval of Meeting Minutes**
MOTION: A motion was made by Hankins and seconded by Pringnitz to Vogel P&Z Commission Meeting Minutes for January 18, 2024.
MOTION CARRIED UNANIMOUSLY
5. **Parker Townhomes II Plat of Survey and Record of Lot Tie Agreement**
 - a) Daniel Willrich, Pelds Design Services provided an overview of the project
 - b) Travis Thornburgh, City Engineer provided a report that item #2 on the Engineering Comments has been satisfied, so once the developer provides recorded documents this project can move forward to Council.
 - c) No public comments
 - d) **MOTION:** A motion was made by Hankins and seconded by Pringnitz to recommend City Council approve the Plat of Survey and Record of Lot Tie Agreement subject to staff and engineering comments dated February 14, 2024
MOTION CARRIED UNANIMOUSLY
6. **On with Life Amended Site Plan and Plat of Survey**
 - a) Nikki Neal, Civil Design Advantage provided a review of the current construction project at 1002 Washington Avenue and explained that On with Life purchased the adjacent flag lot. On with Life needs to update both the Site Plan and the record of Plat of Survey. She said the Site Plan amendment also includes relocation of the buffer farther out towards the surrounding homes, except for 410 Tyler Street that has requested a buffer deferral. 25000
 - b) Travis Thornburgh, City Engineer provided a report.
 - c) No public comments
 - d) **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend City Council approve On with Life Amended Site Plan and Plat of Survey subject to staff and engineering comments dated February 14, 2024
MOTION CARRIED UNANIMOUSLY
7. **Clean-up Rezoning Petitions**
 - a) i. Travis Thornburgh, City Engineer reviewed the rezoning petition for 516 N 3rd Street from GF-1 to R-1
 - b) i. No public comments
 - c) i. **MOTION:** A motion was made by Hankins and seconded by Sires to recommend City Council approve the rezoning of 516 N 3rd Street from GF-1 to R-1
MOTION CARRIED UNANIMOUSLY
 - a) ii. Travis Thornburgh, City Engineer reviewed the rezoning petition for a portion of five (5) lots along Hillcrest Drive (405, 409, 413, 417, and 421) and a portion of one (1) lot at 1201 Washington from GF-1 to R-1
 - b) ii. Public comments were received from Scott Conway, 413 Hillcrest Dr and Randy Gibson, 1201 W Washington
 - c) ii. **MOTION:** A motion was made by Hankins and seconded by Bowersox to recommend City Council approve the rezoning of 405, 409, 413, 417, and 421 Hillcrest and 1201 W Washington from GF-1 to R-1
MOTION CARRIED UNANIMOUSLY
 - a) iii. Travis Thornburgh, City Engineer reviewed the rezoning petition for the Masonic Lodge located at 106 S. 3rd Street from C-1 to C-TS
 - b) iii. No public comments

- c) iii. **MOTION:** A motion was made by Hankins and seconded by Pringnitz to recommend City Council approve the rezoning of 106 S. 3rd Street from C-1 to C-TS

MOTION CARRIED UNANIMOUSLY

- a) iv. Travis Thornburgh, City Engineer reviewed the rezoning petition for the City Parking Lot from C-1 to GF-1
b) iv. No public comments
c) iv. **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend City Council approve the rezoning of the City Parking Lot from C-1 to GF-1

MOTION CARRIED UNANIMOUSLY

- a) v. Travis Thornburgh, City Engineer reviewed the rezoning petition for the City owned property at 1500 & 1600 W Broadway from C-2 to GF-1
b) v. Public comment was received from Nancy Elder, 245 Cherokee
c) v. **MOTION:** A motion was made by Hankins and seconded by Bowersox to recommend City Council approve the rezoning of the 1500 & 1600 W Broadway from C-2 to GF-1

MOTION CARRIED UNANIMOUSLY

8. Engineering, Staff and Commission Members discussed modifications of the R-2A zoning district to ensure inclusion of patio/garden homes. Engineering will bring recommendations to the Commission in March for formal action.
9. Staff and Commission Members discussed when the Commission meets regularly. Most of the Commission agreed it would be best to continue meetings on the third Monday of every month.

10. Reports & Particulars

- Council Member Vogel reported the Council has been discussing options to deal with the increasing costs of managing the City's brush pile and she knows something will change how it is managed, but not sure what that will look like yet. Vogel said the Council held a budget work session and staff has been working hard to keep costs down and the levy rate the same.
- Commission asked for an update on Leonard senior Living, City Manager Huisman reported they plan to start construction in the spring.

5. Adjournment

MOTION: A motion was made by Bowersox and seconded by Ohlfest to adjourn at 6:46 p.m.

MOTION CARRIED UNANIMOUSLY

Next Meeting Date – Monday March 18, 2024

Attest:

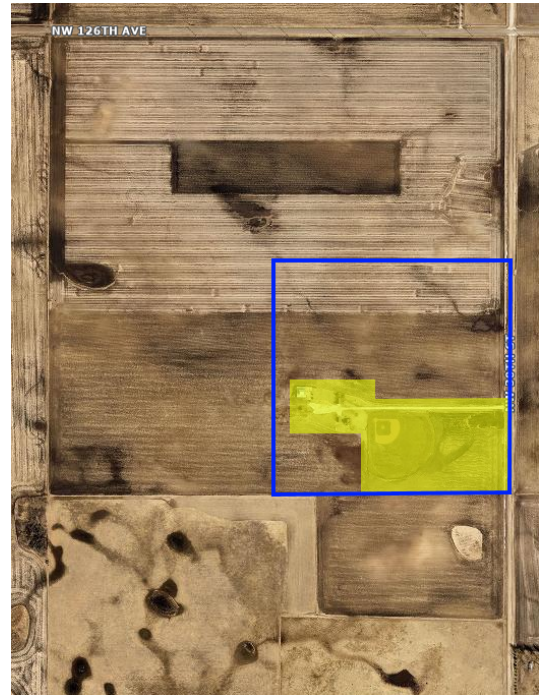
Jenny Coffin - City Clerk

PLAT OF SURVEY IN 2-MILE EXTRA-TERRITORIAL AREA

Date: March 14, 2024 Prepared by: Kathleen Connor
Travis D. Thornburgh, P.E.
Project: Moeckly Plat of Survey Project No.: 124.0264.01

GENERAL INFORMATION:

Applicant: Moeckly Family Farm, LLC
Owner: Moeckly Family Farm, LLC
Requested Action: Approval of P.O.S. for Parcel 2023-180
Location: 12292 NW 30th Street
Polk City, Iowa
Located South of NW 126th Avenue
On West Side of NW 30th Street
Parcel Size: 12.80 acres, net with 0.39 acres of Right of Way
Residual Parcel Size: 145.45, net
Current Zoning: Polk County – AG



PROJECT DESCRIPTION:

On behalf of the applicant, McClure has prepared a Rural Survey for the Moeckly Family Farm, LLC. property highlighted in blue on the aerial photo above. The property owners plan to split off a lot, defined in yellow above, on the east side of this parcel to separate the existing buildings and baseball field from the surrounding farm fields.

Polk County’s zoning for this approximately 158-acre property is AG – Agricultural, 145.51 acres of which will be defined as permanent as open space based on current zoning. Since the proposed 12.74-acre parcel exceeds the 10-acre minimum size in Polk City’s A-1 zoning district, the City’s equivalent zoning becomes A-1 Agricultural for review purposes. The setbacks shall need to meet or exceed Polk City’s A-1 requirements for lot size and width, including 200’ minimum width.

Polk City's amended Future Land Use Plan includes these parcels as light industrial (shown to the right). The Comprehensive Plan does not currently require dedication or construction of a trail on these parcels. Restrictions and redevelopment use will need to be considered should this lot be redeveloped.

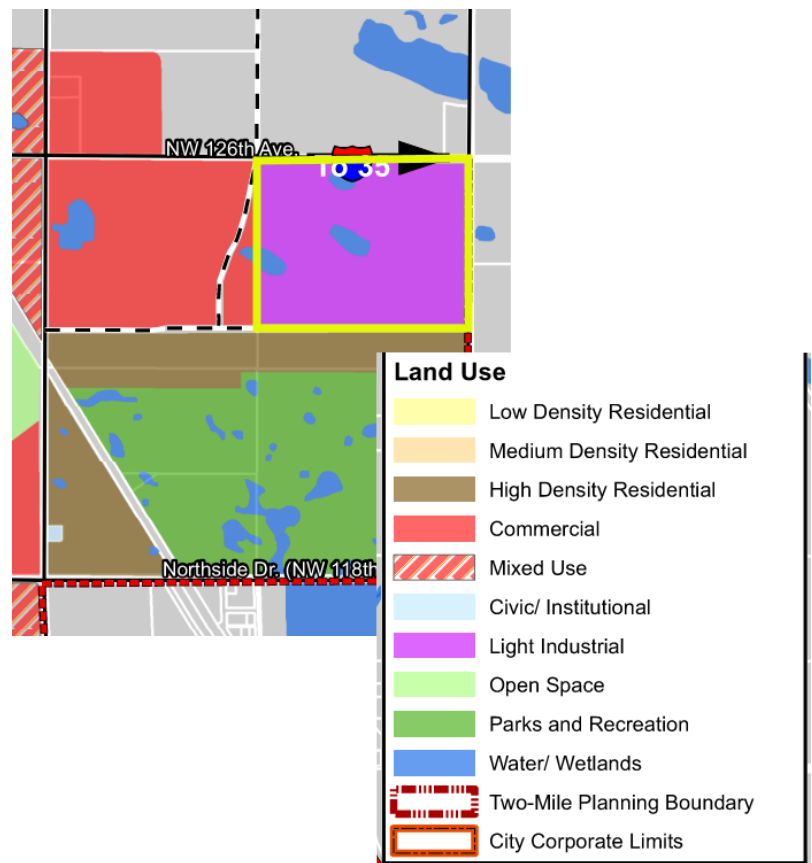
The property owner is aware that neither this parcel nor the residual parcel can be split the future without approval of a Plat of Subdivision.

The Major Streets Plan in Polk City's 2016 Comprehensive Plan identifies NW 126th Street as a minor arterial and identifies NW 30th Street as a local street. The Plat of Survey shows a future 33' half Right of Way along NW 30th Street, which will be dedicated to Polk City at no cost at such time as this parcel is annexed into the City.

The resulting parcel has one (1) existing gravel driveway access onto NW 30th Street. Parcel 2023-180 will not be permitted to construct additional accesses.

The Subdivision regulations require installation of a 5' wide public sidewalk along NW 30th Street. Staff recommends this sidewalk construction be deferred, provided the property owner signs the Petition and Waiver prepared by the City Attorney prior to Council approval of the plat.

Polk City Code requires any parcel of land being divided into two or more parcels to be a subdivision. However, since there are no public improvements associated with this land division, we recommend this requirement be waived, provided all review comments are addressed. The applicant should be aware that neither the subject parcel nor the remnant parcel can be split again via a Plat of Survey; a Plat of Subdivision will be required.



REVIEW COMMENTS:

Pursuant to our review of Submittal #3 of the above referenced Plat of Survey, we offer the following review comments:

1. Provide a signed copy of the Sidewalk Deferral agreement, to be provided by the City to the applicant, prior to this item being placed on the City Council agenda.

RECOMMENDATION:

Based on the satisfactory resolution of the above review comments, we recommend P&Z approval of the Plat of Survey for Parcel 2023-180 subject to the following:

1. The property owner shall sign a Petition & Waiver for a 5' public sidewalk along NW 30th Street prior to this item being presented for Council approval. The applicant shall be responsible for reimbursing the City of Polk City for recording fees and the City Clerk shall be responsible for recording the Petition & Waiver.
2. P&Z recommendations, if any, shall be addressed prior to this item being placed on the Council agenda.
3. Payment to the City Clerk for the Application Fee and Engineering Review Fees prior to Council action on this Plat of Survey.
4. Provision to the City Clerk of a signed copy of the Plat of Survey following approval by Polk County and recordation.

RURAL SURVEY POLK COUNTY, IOWA

INDEX LEGEND

CITY: N/A
COUNTY: POLK
STR: SECTION 32, T81N, R24W
ALIQ. PART: NE 1/4
PROPRIETOR: MOECKLY FAMILY FARM LLC
REQUESTED BY: MOECKLY FAMILY FARM LLC
SURVEYOR: PATRICK SHELQUIST
COMPANY: MCCLURE
RETURN TO: PATRICK SHELQUIST 1360 NW 121ST STREET, STE A CLIVE, IOWA 50325 / 515-964-1229

PROPRIETOR/APPLICANT:

MOECKLY FAMILY FARM LLC
4121 NW 110TH AVE
POLK CITY, IA 50226
ATTN: TYLER MOECKLY
PH: 515-681-5436
E: tmoeckly@hotmail.com

BASIS OF BEARING:

IARCS - ZONE 8

AREA SUMMARY PARCEL 2022-???:

12.80 ACRES TOTAL
-0.39 ROAD EASE
12.41 ACRES NET

LEGAL DESCRIPTION:

PARCEL 2023-180 BEING LOCATED IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 81 NORTH, RANGE 24 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 32; THENCE N00°18'27"E, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 32, A DISTANCE OF 517.22 FEET; THENCE S89°55'43"W, 772.41 FEET; THENCE N00°18'27"E, 117.05 FEET; THENCE S89°58'35"W, 474.93; THENCE S00°18'27"W, 290.94 FEET; THENCE N89°58'35"E, 416.41 FEET; THENCE S00°18'27"W, 348.95 FEET, TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 32; THENCE N89°58'35"E, ALONG SAID SOUTH LINE, 830.93 FEET, TO THE POINT OF BEGINNING.

DESCRIBED PARCEL CONTAINS 12.80 ACRES, WHICH INCLUDES 0.39 ACRES OF EXISTING PUBLIC ROAD EASEMENT.

SURVEY NOTES:

- 1) ALL SEPTIC SYSTEMS SHALL CONFORM TO POLK COUNTY REQUIREMENTS.
- 2) RESIDENCE SHALL CONNECT TO POLK CITY WATER SYSTEM, IF APPLICABLE.
- 3) NO MORE THAN ONE DRIVEWAY PERMITTED FOR PARCEL 2023-180.
- 4) ACCESS TO PARCEL 2023-180 SHALL BE LOCATED ±25' FROM THE NORTHEAST LOT CORNER.
- 5) NO ADDITIONAL DRIVEWAYS FOR EXISTING RESIDENCE ON PARCEL 2023-180, WHETHER OR NOT IT WOULD SERVE THE EXISTING RESIDENCE
- 6) ALL NEW DRIVEWAYS SHALL BE PAVED. (IF PARCEL IS INSIDE POLK CITY.)
- 7) MAILBOXES WITHIN PUBLIC ROW SHALL BE OF BREAKAWAY DESIGN.
- 8) ALL SERVICES LOCATED ON OPPOSITE SITE OF ROAD MUST BE BORED UNDER ROADWAY AT OWNER'S EXPENSE. (PAVED ROADS ONLY)
- 9) MAINTENANCE OF ALL DRAINAGE EASEMENTS, INCLUDING EMBANKMENTS, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS.
- 10) ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED SHALL BE RESTORED OR REROUTED BY THE PROPERTY OWNER.
- 11) THE PROPERTY OWNER ACKNOWLEDGES THIS PARCEL IS LOCATED IN AN AREA THAT HAS BEEN DESIGNATED FOR LIGHT INDUSTRIAL USE IN POLK CITY'S AMENDED COMPREHENSIVE PLAN.
- 12) PARCEL 2023-180 AND/OR THE RESIDUAL PARCEL CANNOT BE FURTHER SUBDIVIDED WITHOUT POLK CITY'S APPROVAL OF A PLAT OF SUBDIVISION.
- 13) THE P.U.E. SHALL BE AVAILABLE FOR USE BY ALL MUNICIPAL AND FRANCHISE UTILITIES PROVIDED THE FRANCHISE UTILITY COMPANY HAS OBTAINED A PERMIT FROM POLK COUNTY OR, FOLLOWING ANNEXATION, FROM POLK CITY."

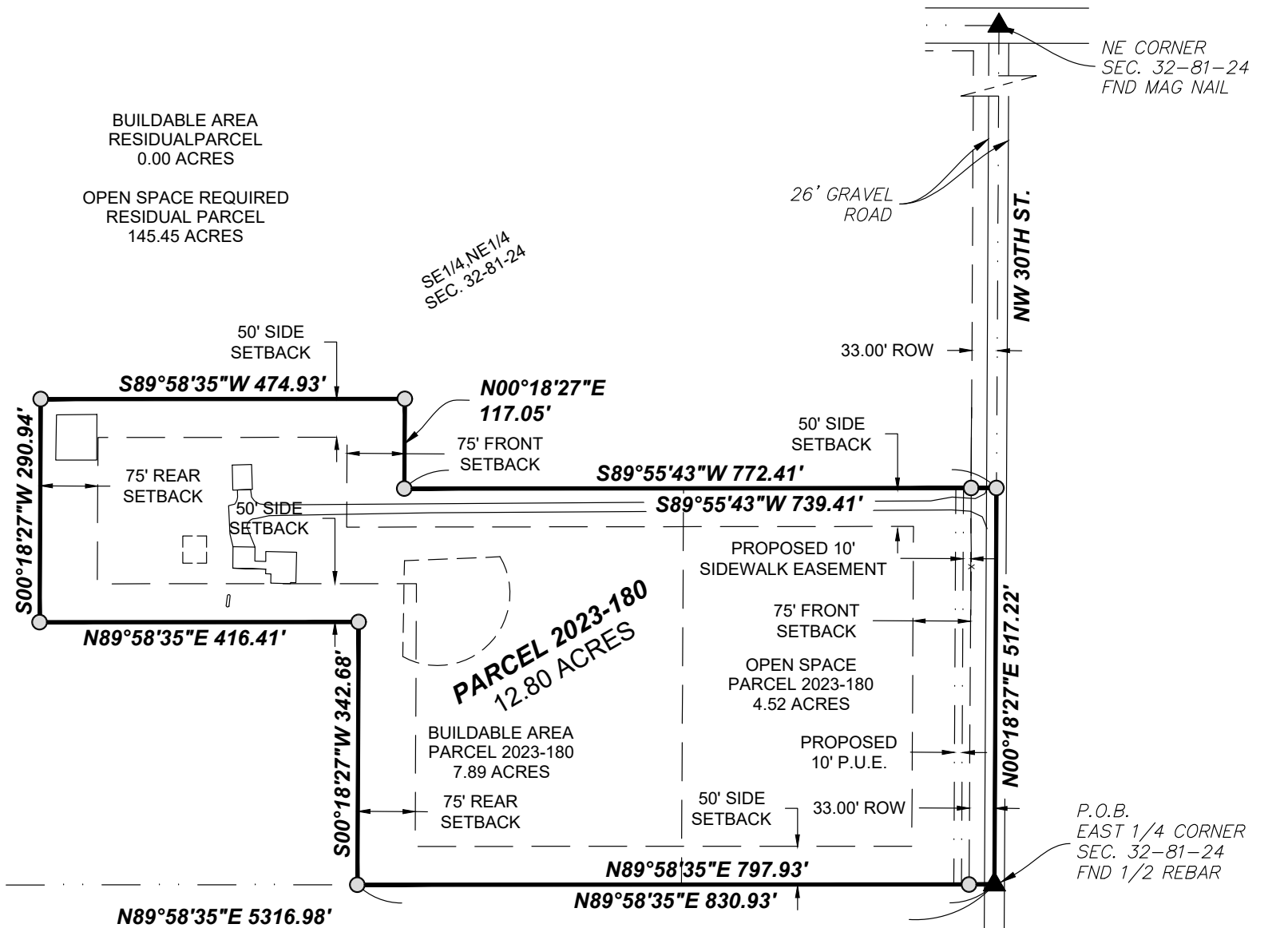
SITE ADDRESS:

12292 NW 30TH STREET
POLK CITY, IOWA 50226

WEST 1/4 CORNER
SEC. 32-81-24
SET MAG NAIL

SW 1/4, NE 1/4
SEC. 32-81-24

SE 1/4, NE 1/4
SEC. 32-81-24



- 1) THIS SURVEY WAS PERFORMED TO SPLIT THE EXISTING BUILDINGS AND BASEBALL FIELD FROM THE SURROUNDING PARCEL.
 - 2) RESIDUAL PARCEL IS BUILDABLE FOR 1 SINGLE FAMILY HOME. A SUBDIVISION PLAT WOULD BE REQUIRED TO FURTHER DIVIDE THE RESIDUAL PARCEL TO CREATE A SMALLER LOT.
 - 3) ZONING CLASSIFICATION: AG - AGRICULTURAL
 - 4) FLOOD INFO: MAP NO: 19153C0045F / EFFECTIVE DATE 2/1/2019 / ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD
- BASE AREA: 161.85 ACRES (GROSS) - 4.00 ACRES (ROW) = 157.85 ACRES (NET)
- MIN. OPEN SPACE: 157.85 ACRES X 0.95 = 149.96 ACRES
- NET BUILDABLE AREA: 157.85 ACRES - 149.96 ACRES = 7.89 ACRES
- MAX NET DENSITY: 7.89 ACES X 0.93 = 7 LOTS
- MAX GROSS DENSITY: 157.85 ACRES X 0.029 = 4 LOTS
- RESIDUAL PARCEL: 145.45 ACRES (NET)
- BUILDABLE AREA (RESIDUAL PARCEL): 7.89 ACRES - 7.89 ACRES (PARCEL 2023-180) = 0.00 ACRES
- OPEN SPACE REQUIRED (RESIDUAL PARCEL): 145.45 ACRES

SETBACKS:

(POLK CITY A-1 REGULATIONS)
FRONT: 75 FEET
SIDE: 50 FEET
REAR: 75 FEET

SUBMITTAL TABLE:

POLK CITY:
1ST: 2/16/2024
2ND: 3/7/2024
3RD: 3/13/2024

POLK COUNTY:
1ST: 11/15/2023
2ND: 11/27/2023
3RD: 1/4/2024
4TH: 1/29/2024 (APPROVED)

ANKENY:
1ST: TO BE DETERMINED

GENERAL LEGEND

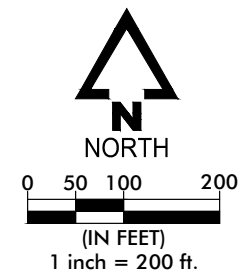
- SURVEY BOUNDARY
 - - - PROPOSED LOT
 - · · · · EXIST PROPERTY LINE
 - - - SECTION LINE
 - - - EXIST EASEMENT
- MONUMENTS FOUND:
- ▲ TYPE AS NOTED
 - 1/2" REBAR (UNLESS NOTED OTHERWISE)
- MONUMENTS SET:
- △ 1/2" REBAR W/RPC #24477
 - 1/2" REBAR W/RPC #24477
- FND FOUND
PC PLASTIC CAP
BK, PG BOOK AND PAGE
(M), (R) MEASURED, RECORDED
R.O.W. RIGHT-OF-WAY
P.U.E. PUBLIC UTILITY EASEMENT
P.O.B. POINT OF BEGINNING
P.O.C. POINT OF COMMENCEMENT
(XXX) STREET ADDRESS



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

PATRICK SHELQUIST
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
DATE _____
PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1/2 & 2/2
DATE SURVEYED: 10/05/2023



ENGINEER	DRAWN BY	REVISIONS
N/A	P.SHELQUIST	.
SURVEYOR	CREW CHIEF	.
P.SHELQUIST	P.SHELQUIST	.
DRAWING NO.	SHEET NO.	
POS-01	01/02	

RURAL SURVEY
PARCEL 2023-180
SEC. 32-81-24
POLK CITY, IOWA
POLK COUNTY
2023001456
11/27/2023

DRAWING PATH: C:\Users\psshelquist\OneDrive - McClure Engineering\Desktop\Working Files\Polk County - Moeckly Survey\Srv_2023001456.dwg PLOT DATE: 03/13/2024 11:05 AM PLOTTED BY: PATRICK SHELQUIST

RURAL OF SURVEY POLK COUNTY, IOWA

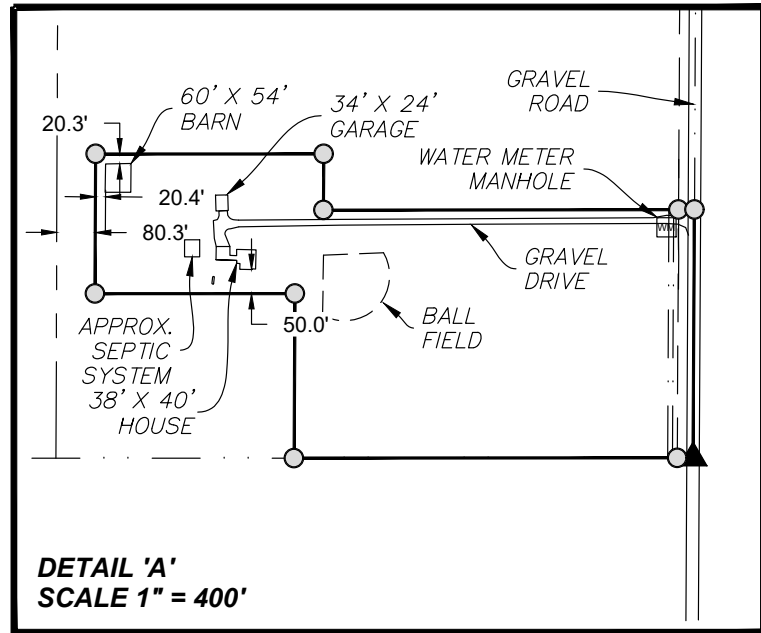
NORTH 1/4 CORNER
SEC. 32-81-24
FND MAG NAIL

NE CORNER
SEC. 32-81-24
FND MAG NAIL

1) THE REMAINING DEVELOPMENT ON THE RESIDUAL PARCEL MAY CONSIST OF 3 MORE DWELLING UNITS. 145.51 ACRES OF THE 149.96 ACRES OF PERMANENT OPEN SPACE IS CONTAINED ON THE RESIDUAL PARCEL AS DESIGNATED. PARCEL 2023-180 CONTAINS AN ADDITIONAL 4.45 ACRES OF PERMANENT OPEN SPACE WITHIN ITS BOUNDARIES.

2) AS OWNER OF ALL LAND IN THIS SURVEY. WE HEREBY AGREE TO A RESTRICTION OF DEVELOPMENT POTENTIAL ON THE RESIDUAL PARCEL, AS INDICATED AND AGREE TO THE RESTRICTION OF BUILDABLE AREA AS DESIGNATED ON THE RESIDUAL PARCEL AND PARCEL 2023-180.

SIGNED: _____ DATE: _____

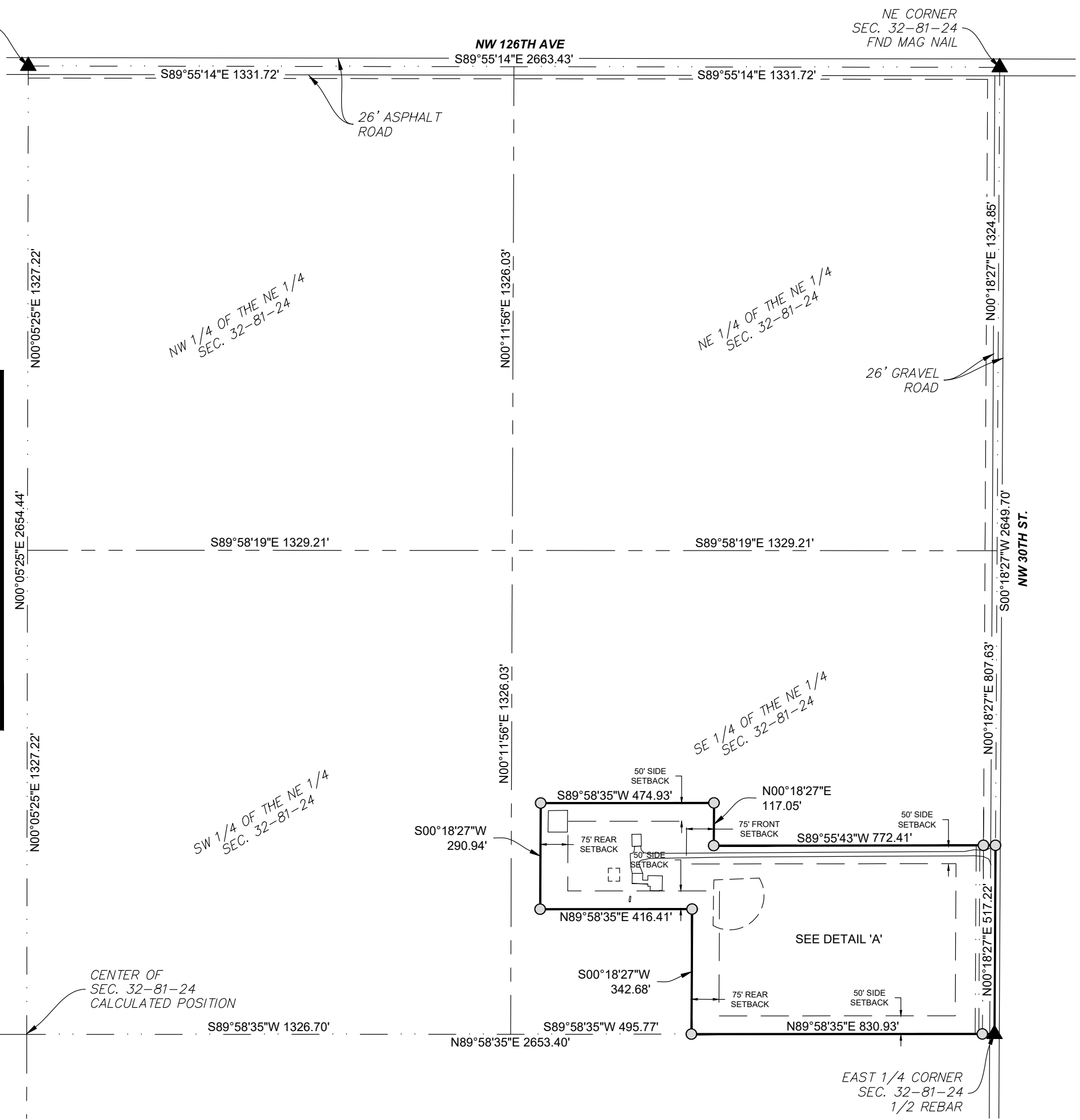


GENERAL LEGEND	
	SURVEY BOUNDARY
	PROPOSED LOT
	EXIST PROPERTY LINE
	SECTION LINE
	EXIST EASEMENT
MONUMENTS FOUND:	
	TYPE AS NOTED
	1/2" REBAR (UNLESS NOTED OTHERWISE)
MONUMENTS SET:	
	1/2" REBAR W/RPC #24477
	1/2" REBAR W/RPC #24477
FND	FOUND
PC	PLASTIC CAP
BK, PG	BOOK AND PAGE
(M), (R)	MEASURED, RECORDED
R.O.W.	RIGHT-OF-WAY
P.U.E.	PUBLIC UTILITY EASEMENT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
(XXX)	STREET ADDRESS

McCLURE™
making lives better.
1360 NW 121st Street, STE A
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

NORTH
0 75 150 300
(IN FEET)
1 inch = 300 ft.

RURAL SURVEY PARCEL 2023-?? SEC. 32-81-24 POLK CITY, IOWA POLK COUNTY 2023001456 11/27/2023	
ENGINEER N/A	DRAWN BY P.SHELQUIST
SURVEYOR P.SHELQUIST	CREW CHIEF P.SHELQUIST
DRAWING NO. POS-01	SHEET NO. 02/02



PROPOSED AMENDMENT TO R-2A ZONING DISTRICT

Date: March 14, 2024

Prepared by: Kathleen Connor, Planner
Travis D. Thornburgh, P.E.

Project: R-2A Townhome District Regulations

Project No.: 124.0001.01

ISSUE:

In recent years, staff have met with multiple developers regarding potential townhome projects that are intended to include various combinations of rowhomes, bi-attached townhomes, and/or villas (detached single-family homes within a townhome regime). Some of these concepts include amenities such as a community room, club house, gazebo or playground that would be owned and maintained by the Homeowners Association (HOA) in addition to their typical shared responsibility for private streets, driveways, sidewalks, certain utilities, detention basins, landscaping and open spaces.

In our preliminary review of such concepts, staff typically finds the current R-2A will not work for these townhome projects for a variety of reasons. The developer generally determines that Planned Unit Development (PUD) zoning is the best fit, and often the only fit, for their project. In fact, the only property that has ever been rezoned to the R-2A district is located in Antler Ridge for the planned 43-lots intended to accommodate bi-attached townhomes surrounding the C-2 commercial district, but that developer is considering rezoning this area for R-2 single-family detached homes rather than bi-attached townhomes.

Because the R-2A currently does not allow villas or postage stamp lots for individual townhome units; does not easily accommodate a mix of townhome types in one development; and because members of both P&Z and Council have expressed concern regarding the frequency of developer requests for PUD zoning, staff proposes that P&Z review the R-2A district regulations and consider making a recommendation to Council to amend these regulations.

CURRENT R-2A REGULATIONS & SUGGESTED REVISIONS:

Intent. On May 20, 2010, City Council adopted a major update to Chapter 165 – Zoning Regulation that established the R-2A Townhome Residential District. The R-2A district was intended “to provide for the development or redevelopment of medium-density residential areas of the City with townhome dwellings having at least two and no more than six dwelling units in one structure”. However, since the time this code section was written, villas have become a more desirable and a marketable housing choice so it seems reasonable for the city to better accommodate that option. Further, given Council’s prior concerns regarding densities, it makes sense for the R-2A to be re-designed to accommodate low density (1-4 du/ac) in addition to medium density (4-8 du/ac) townhome projects.

Recommendation #1: Revise the intent of the R-2A district in 165.09-1-D to provide for “the development or redevelopment of low- and medium-density residential areas of the City with rowhomes having at least two but no more than six dwelling units in one structure, villas, and/or a combination thereof, provided all dwellings are included

under a townhome regime providing for common ownership and maintenance responsibilities of facilities and amenities”.

Definitions. For reference, the Zoning Ordinance currently includes the following terms associated with townhomes:

- “Dwelling, garden home” means a building containing only one dwelling unit on a separate lot and designed for and occupied exclusively for residence purposes by only one family within a townhome development.

Recommendation #2: Update to “Dwelling, villa”, “Dwelling, garden home”, or “Dwelling, patio home” to codify other commonly-used terminology..

- “Dwelling, rowhome” means any one of three or more residences design for or occupied only by one family within a townhome development which are attached and in a continuous row. Each dwelling is designed and erected as a unit on a separate lot with an individual entrance. All dwelling units must be separated horizontally from each other dwelling by a dividing wall, but may not be separated vertically from each other by a dividing floor or ceiling. No more than six units shall be permitted in a single structure.

Recommendation #3: Revise to “any one of two or more residences”. This change should help avoid confusion with bi-attached homes which are a permitted use in R-2 and R-3 but are not required to be in a townhome regime in those districts.

- “Dwelling, townhomes” means a row dwelling or garden home as defined herein which is characterized by common elements which are specified in or determined under the rules and regulations set forth by recorded covenants. Said covenants shall establish the guidelines for maintenance of common elements and permit free movement though the common areas by members of the homeowners association to assure access to the structure exterior of each townhome unit by the individual unit owner.

Recommendation #4 Revise “garden home” to “villa” throughout code to consistently refer to “villa” as the preferred terminology. Using a one-word term will also simplify sentence structure and table descriptions..

Permitted Uses. The principal permitted uses in the R-2A district currently include:

- Agriculture – crop production only
- Civic – public or private parks and playgrounds
- Education – child care including daycares and preschools
- Hotels – bed & breakfast inn (up to 12 units)

Recommendation: Consider whether or not this use is appropriate in R-2A district.

- Residential – multiple family dwellings (up to 6 dwelling units per building) including apartments, townhomes and condominiums.

Recommendation: Eliminate this use in R-2A to clarify vertically- separated apartments and condos are not permitted in the townhome district since they are more appropriately located, and currently permitted, in the R-3 district.

- Residential - single-family, detached

Recommendation: Eliminate this use since SF homes do not meet the intent of this district which requires all dwellings in this district to be in a townhome regime. (This appears to have been a typo when the new regulations were codified since no bulk regs were listed for this use.)

- Residential – single-family villas in townhome regime
- Residential – townhomes, attached or detached (up to 6 units per building)

Recommendation: Revise to “townhomes, rowhomes (2 - 6 units per building.) Consider limiting to 4 units per building in R-2A so that structures with more than 4 units would be permitted only in R-3.

Bulk Regulations for townhomes. The current bulk regulations for townhomes in the R-2A District are provided below, along with some suggested changes for P&Z to consider. Attached to this Memo is a table showing the zoning district and applicable design criteria and/or bulk regulations for the various existing townhome developments in Polk City for reference.

Proposed Modifications to R-2A Townhome District Regulations		
Regulator:	Current:	Proposed, for Discussion:
Min Lot Area	9,000 sf	Villa: 5,200 sf ⁴ Rowhome: 3,900 sf plus 3,200 sf each for interior lots ⁴
Min. Lot Area per D. U. (includes common outlots)	3,000 sf	Revise to “Max. Density”: 6 du/ac, excluding public ROW
Min. Lot Width	85’ <i>(This was based on 3 rowhomes @ 30’ each for two exterior lots plus 25’ for each interior lot up to a max of 4 interior lots)</i>	Villa: 50’ ⁴ Rowhome: 40’ plus 32’ for each interior lot ⁴
Min. Front Yard	30’	30’ (public street) 20’ (private street, measured from sidewalk or curb, whichever is closer to structure)
Min. Rear Yard	35’	35’ (perimeter of development) 20’ (internal, or 40’ clearance)
Min. Side Yard	1-and 2- family _____ Other 12.5’	15’ (perimeter of development) 6’ (internal, or 12’ clearance)

<p>Note #4:</p>	<p>If the development maintains common areas under single management or control, the total required lot area for all dwelling units may be provided through a combination of private lots and common outlots.</p>	<p>“Postage stamp” lots are permitted in the R-2A district provided setbacks, clearances, and density requirements are met for the townhomes as a whole.</p>
-----------------	---	--

Other R-2A District Regulations. P&Z may wish to consider additional modifications and clarifications to the district regulations, including but not limited to the following:

- *Recommendation re: density:* Application of Note #4, as listed above, and using the current requirement of 3,000 sf per dwelling unit, would allow densities well in excess of the Comprehensive Plan’s maximum of 8 du/ac for medium density residential. For that reason, we propose to add a maximum density regulator to the Table, as noted above. We further recommend that a maximum density regulator be established for the R-3 multiple family district and R-4 mobile park district.
- *Recommendation re: “postage stamp” lots:* We recommend the above Note #4 be replaced by the suggested Note to make it clear that postage stamp lots are permitted, provided building setbacks and clearances between structures are in conformance with the district regulations. The current note is ambiguous as minimum setbacks and clearances and does not limit postage stamp lots.
- *Recommendation re: bulk regulations for other principal uses:* Depending on P&Z’s direction regarding other permitted uses that may be allowed in the R-2A district, such as daycares or bed and breakfast inns, all bulk regulations will need to be included for appropriate “other principal structures” in the table.
- *Recommendation re: garages:* Consider requiring attached garages for dwelling unit in the R-2A district so each row home or villa has their own private attached garage. Common garage structures, such as those in Parker Townhomes, would then only be permitted in R-3 district.
- *Recommendation re: private streets:* The City may wish to require internal streets to be private unless a collector or through street is required in accordance with the Comprehensive Plan or Subdivision ordinance. This would alleviate the need for the city to remove snow or maintain private streets within the townhome developments.
- *Recommendation:* Other recommendations to consider per P&Z.

RECOMMENDATION:

Staff recommends P&Z consider amending the R-2A zoning regulations to better accommodate bi-attached townhomes and patio homes provided they are incorporated in a townhome regime and provide direction to staff regarding preparation of a draft Ordinance for P&Z’s future consideration. At minimum, staff will clean up zoning regulations so that bulk regulations are provided for each permitted use.

POLK CITY TOWNHOME DEVELOPMENTS

Design Criteria for Townhomes (Villas, Bi-attached, and/or Row homes)

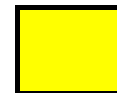
Plat/Project Name	Zoning	Number of Dwellings			Total Area (incl ROW)	Density	Lots (min)		Setbacks (Perimeter)			Setbacks (Internal)		
		Villa	Bi-attached	Row			Width (ft)	Area (sf)	Front	Side	Rear	Front	Side	Rear
EXISTING DEVELOPMENTS														
Tournament Club Townhomes (TCI Pod C)	PUD	13	32	-	11.093	4.1	Postage Stamp lots, Max density = 6 du/ac		30'	25'	25'	25'	7'	25'
Wolf Creek Townhomes (TCI Pod G - Original)	PUD	145	16	-	34.502	4.7	Postage Stamp lots, Max density = 6 du/ac		30'	30'	30'	20'	6'	19'
Wolf Creek Townhomes (TCI Pod G - Final)	PUD	99	16	-	34.502	3.3	Postage Stamp lots, Max density = 6 du/ac		30'	30'	30'	25'	6'	19'
Lakewoods Townhomes	PUD	10	30	-	7.620	5.2	54'	Bi-Att: 4,000 Villa: 7,000	30'	-	30'	25'/30'	7'	30'
Parker Townhomes 1	R-3	-	-	28	3.710	7.5	1 Lot - Condo Regime		30'	20'	n/a	n/a	10'	n/a
Parker Townhomes 2	PUD	-	-	24	4.0	6.0	1 Lot - Condo Regime		30'	20'	30'	24'	12.5'	n/a
Ledgestone Ridge Townhomes	PUD	-	32	-	5.728	5.6	38' (bi)	4000 sf	25'	8'	30'	n/a	n/a	n/a
Jester & Broadway Townhomes	R-3	-	-	12	3.796	3.2	1 Lot - Condo Regime		30	12.5'	40'	n/a	n/a	n/a
Indian Point Townhomes	R-3	-	-	14	1.617	8.7	Postage Stamp Lots: 25' wide, 2080 sf		30'	20'	30'	20'	10'	20'
Arrow Ridge Townhomes (Split w/o Site Plan)	R-3	-	-	28	2.676	10.5	7 lots split > 4 TH each; 100' wide, 16,640 sf (+/- 4,791 sf end unit)		30'	8'	30'	n/a	n/a	n/a
Edgewater Condominiums (Split w/o Site Plan)	R-3	-	-	16	2.084	7.7	4 lots split > 4 TH each; 110' wide, 21,789 sf		30'	8'	40'	n/a	n/a	n/a
Crossroads Townhomes	PUD	2	18	-	9.800	2.0	Postage Stamp Lots: Bi-Att: 40' wide, 2920 sf Villa: 50' wide, 3650 sf		30'	35'	35'	25'	5'	30'

Sample Calculations for Bulk Regulations for R-2A District

D.U. + Garage: Approx 38' w x 55' deep			
Bulk Regs Calcs	Villa	Bi-attached or Exterior Rowhome	Interior Rowhome
Lot Depth			
1/2 I/E easement	12	12	12
Clear at garage	20	20	20
Unit depth, incl garage	55	55	55
Rear yard	15	15	15
Min Lot Depth	102	102	102
Lot Width			
Side yard(s)	12	6	
Unit with, incl garage + door	38	38	38
Min Lot Width	50	44	38
Lot Width			
Min Lot Area	5100	4488	3876
Use: (Min Lot Area)	5200	4400	3800

D.U. + Garage: Approx 34' w x 50' deep			
Bulk Regs Calcs	Villa	Bi-attached or Exterior Rowhome	Interior Rowhome
Lot Depth			
1/2 I/E easement	12	12	12
Clear at garage	20	20	20
Unit depth, incl garage	50	50	50
Rear yard	15	15	15
Min Lot Depth	97	97	97
Lot Width			
Side yard(s)	12	6	
Unit with, incl garage + door	34	34	34
Min Lot Width	46	40	34
Lot Width			
Min Lot Area	4462	3880	3298
Use: (Min Lot Area)	4500	3900	3300

D.U. + Garage: Approx 32' w x 50' deep			
Bulk Regs Calcs	Villa	Bi-attached or Exterior Rowhome	Interior Rowhome
Lot Depth			
1/2 I/E easement	12	12	12
Clear at garage	20	20	20
Unit depth, incl garage	50	50	50
Rear yard	15	15	15
Min Lot Depth	97	97	97
Lot Width			
Side yard(s)	12	6	
Unit with, incl garage + door	32	32	32
Min Lot Width	44	38	32
Lot Width			
Min Lot Area	4268	3686	3104
Use: (Min Lot Area)	4500	3900	3200



Minimum lot width and area included in the Staff Memo dated 3/14/2024

ORDINANCE NO. 2002-700

AN ORDINANCE AMENDING THE POLK CITY, IOWA PLANNED UNIT DEVELOPMENT ORDINANCE

The purpose of this ordinance is to change the official zoning map of the City of Polk City, Iowa to amend the rules, regulations and guidelines for the development of the Tournament Club of Iowa Planned Unit Development, specifically Pod G.

Section 5 - subsection 7 of the original document shall be replaced with the following:

Section 5 - subsection 7. PARCEL G (Outlot G) R-3 PUD. All general use regulations, performance standards and provisions set forth in Chapter 15.36 of Title 15 for the R-3, Multiple-Family Residence District of the Municipal Code of the City of Polk City, Iowa, shall apply to any development in Parcel G.

Maximum number of total dwelling units within parcel = 207
Maximum number of multiple dwelling units = 207

Multiple dwelling units may include structures with 2 thru 8 units of a townhouse or condo variety where units are intended for owner occupancy. Units may have individual lots, with common wall boundaries, or may be part of a horizontal property regime with common ownership of grounds and facilities. Such common amenities as pools, outdoor sports facilities, clubhouses, and exercise facilities shall be allowed when approved as part of a development site plan.

The following Minimum Bulk Regulations shall apply for townhouse units within Parcel G:

- ✓ Minimum building setback from 3rd Street Right-of-Way shall be 30 feet.
- Minimum building setback from any portion of the perimeter of the Development Plan for Parcel G shall be 30 feet.
- Minimum building setback from any public street Right-of-Way within the perimeter of the Development Plan for Parcel G shall be 20 feet.

Minimum front building setback along any private drive within Parcel G shall be 25 feet from the Back-of-Curb to the garage door.

Equates 12' clear or 6' setback at foundations

- Minimum separation distance between two sides of any buildings within Parcel G shall be 10 feet from any part of the buildings including overhangs.

Minimum separation distance between the rear of any building to the side of any other building shall be 25 feet.

One public street connection between 3rd Street and the north boundary of Parcel G shall have no less than a 60 foot Right-of-Way width. All other public streets within the perimeter of the Development Plan for Parcel G shall have no less than a 50 foot Right-of-Way width.

All public streets shall be 28 feet from Back-of-Curb to Back-of-Curb.

All private drives shall be 22 feet from Back-of-Curb to Back-of-Curb.

Multiple dwelling units may include structures with 2 thru 8 units of a townhouse or condo variety where units are intended for owner occupancy. Units may have individual lots, with common wall boundaries, or may be part of a horizontal property regime with common ownership of grounds and facilities. Such common amenities as pools, outdoor sports facilities, clubhouses, and exercise facilities shall be allowed when approved as part of a development site plan.

General layout as depicted in sketch plan dated 10-03-2002 shall be acceptable if all criteria as listed above are met.

PASSED AND APPROVED the 11th day of November, 2002.

M. E. Burton, Mayor

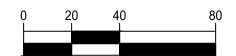
ATTEST:

Deanna Deason, Clerk/Treasurer

**GENERAL LAYOUT AND
DIMENSION PLAN**



NORTH



GRAPHIC SCALE

**LAKEWOODS TOWNHOMES
SITE PLAN**

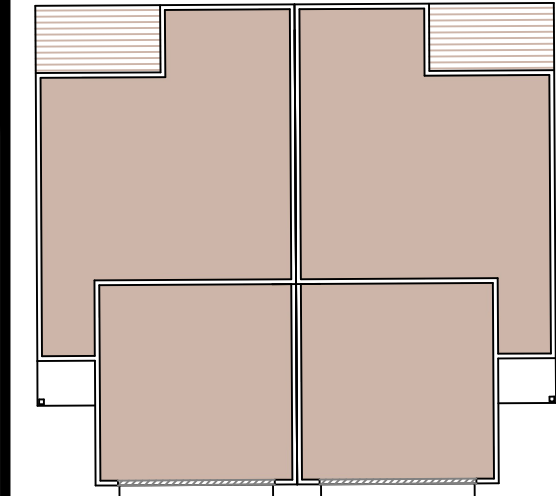
POLK CITY, IOWA
20216005-00
MARCH 2020

REVISIONS
SEPTEMBER 11, 2020
OCTOBER 12, 2020
OCTOBER 19, 2020

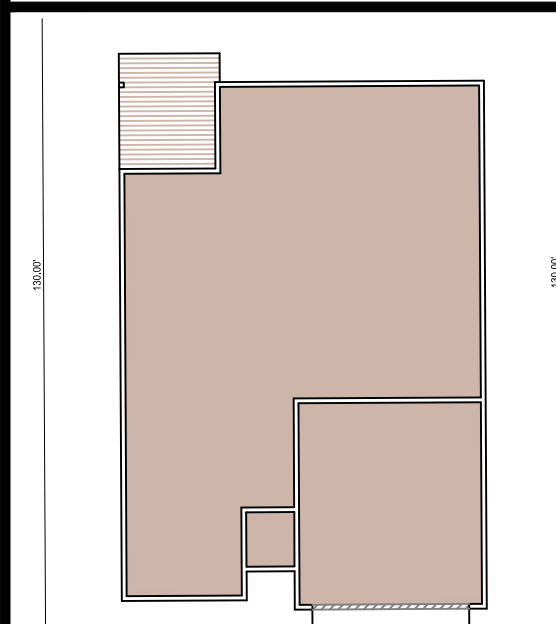
ENGINEER
C. SMITH
CHECKED BY

DRAWN BY
C. SMITH
FIELD BOOK NO.
20216005-00

DRAWING NO.
GN-04
SHEET NO.
04 / 13

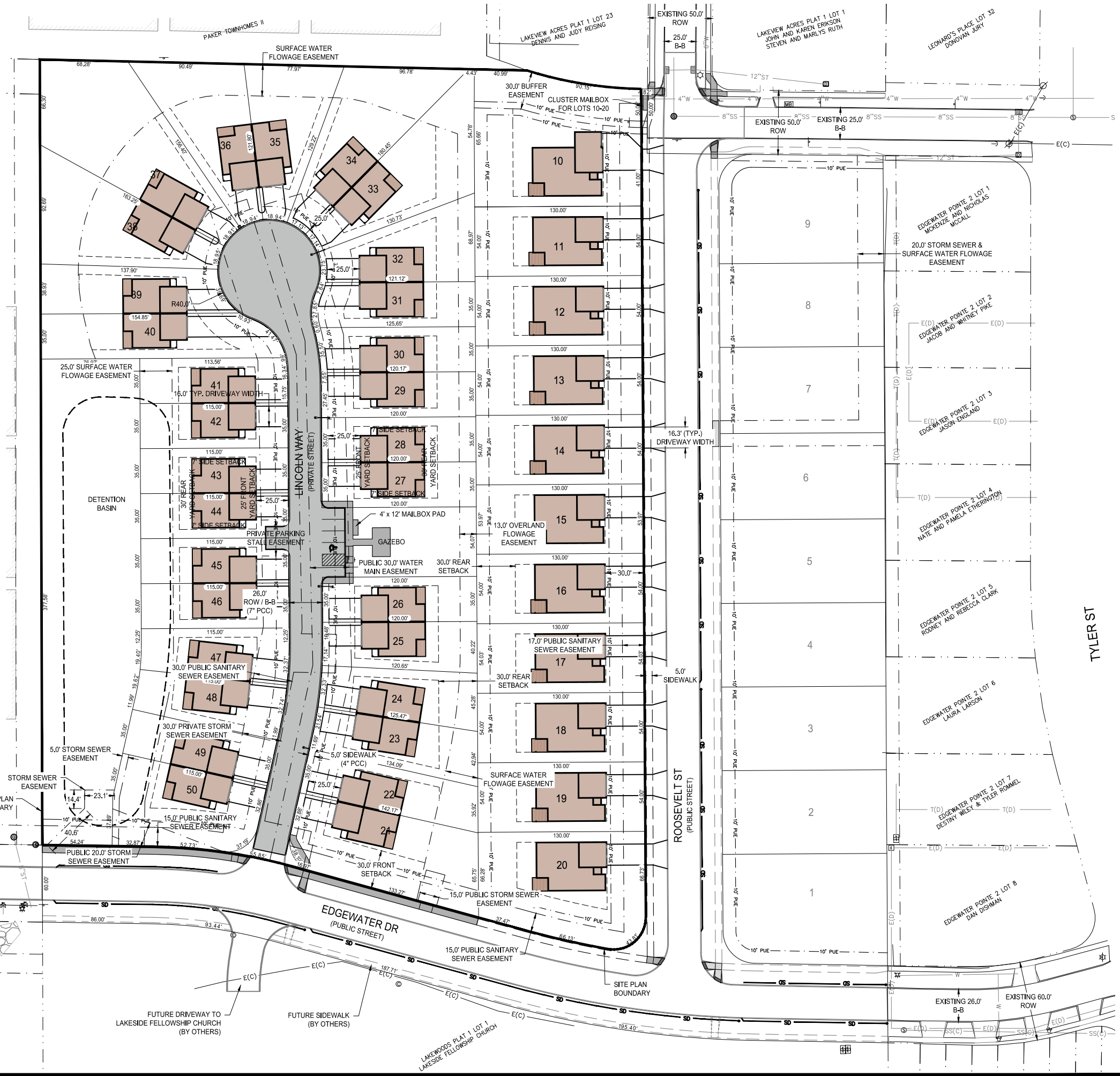


TOWNHOME UNIT DIMENSIONS
SCALE 1" = 10'



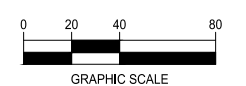
VILLA UNIT DIMENSIONS
SCALE 1" = 10'

- GENERAL NOTES:**
- 1) TOWNHOMES AND VILLAS WILL HAVE BASEMENTS.
 - 2) LINCOLN WAY WILL BE 7" PCC.
 - 3) SIDEWALKS WILL BE 4" PCC.
 - 4) DRIVEWAYS WILL BE 4" PCC.



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N:\Projects\PLK 20216005\Drawings\SitePlan\SitePlan.dwg

OVERALL LAYOUT AND UTILITY PLAN



LAKEWOODS DEVELOPMENT PRELIMINARY PLAT

POLK CITY, IOWA
20216005-00
JANUARY 2020

REVISIONS
FEB. 12, 2020 (STAFF COMMENTS)

ENGINEER
C. SMITH

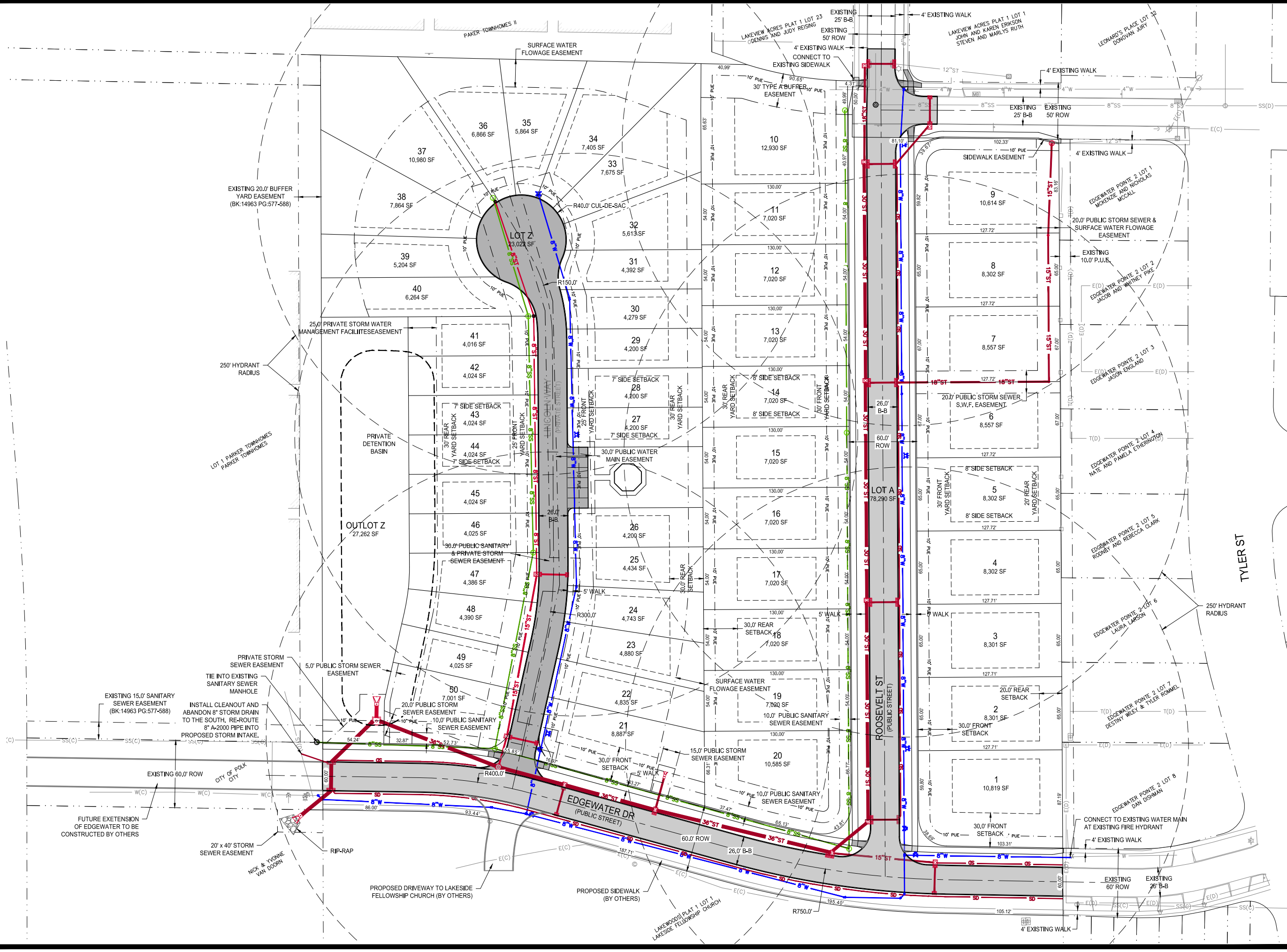
DRAWN BY
C. SMITH

CHECKED BY

FIELD BOOK NO.
20216005-00

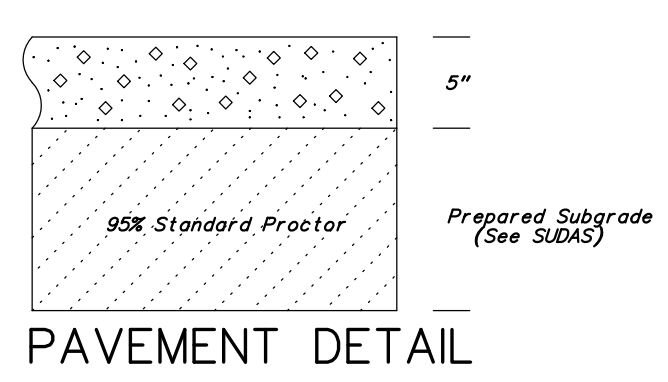
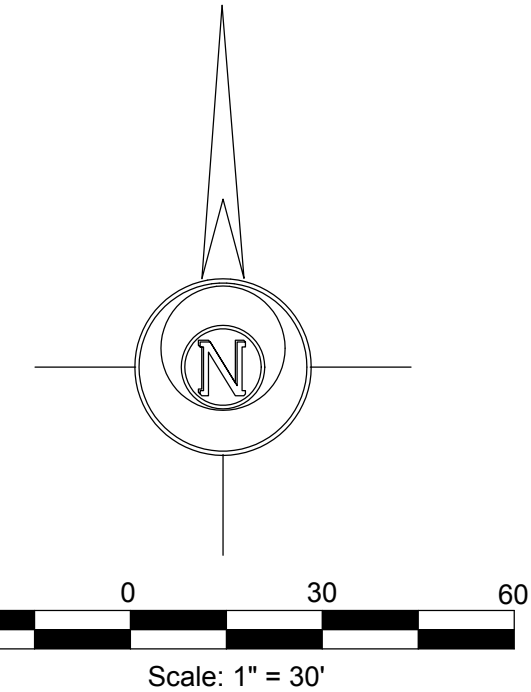
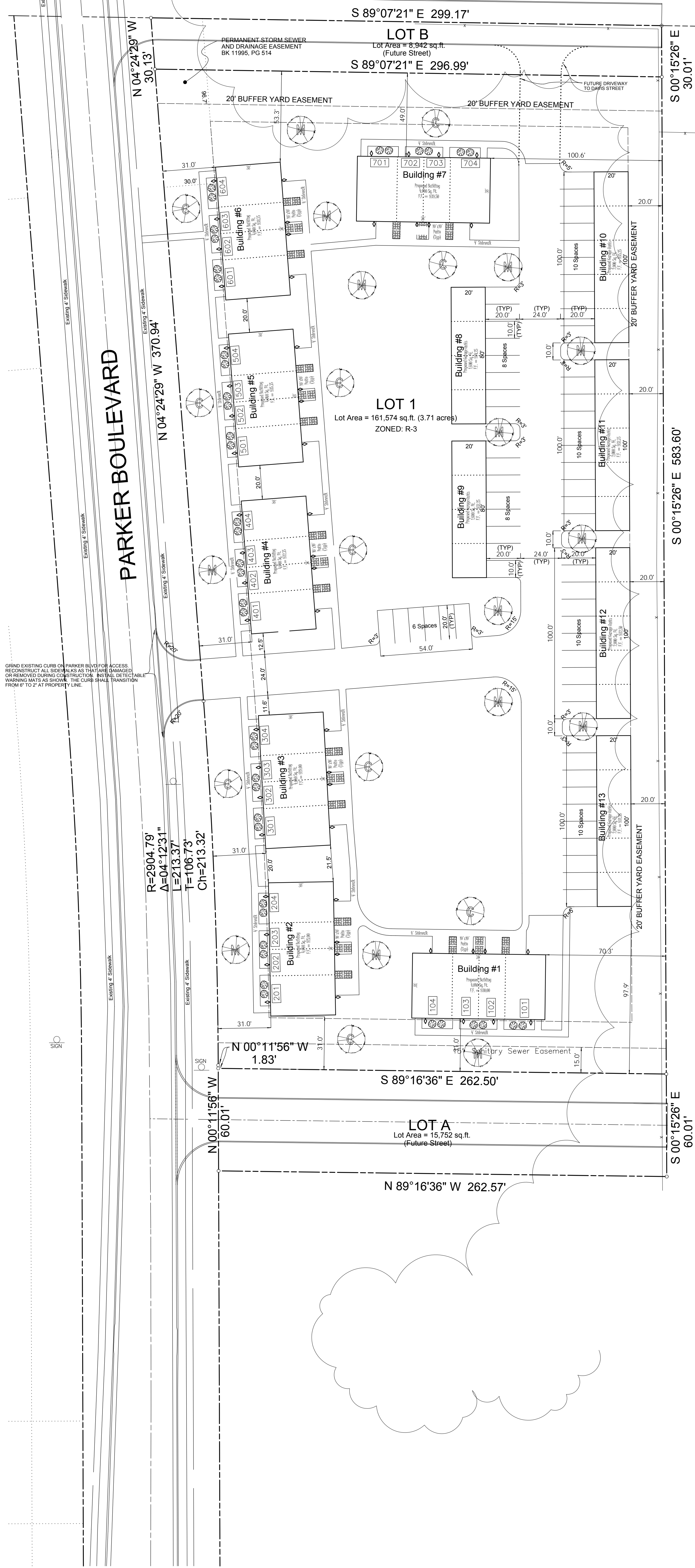
DRAWING NO.
GN-02

SHEET NO.
02 / 04



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All structures are on one R-3 lot.



- PAVING NOTES:
- 1) Sidewalks to be 4" thick P.C.C.
 - 2) Patio locations are approximate. Refer to building plans for exact locations.
 - 3) Contractor will grind curb on Parker Road. The sidewalk shall be repaired on Parker Road.

REQUIRED PLANTINGS:

Open Space Trees = Open Space sq.ft./3000 x 2 = # of Trees
 Open Space Shrubs = Open Space sq.ft./3000 x 6 = # of Shrubs
 Open Space Plantings = 24,236/3,000 = 8.1 x 2 = 16.2 use 17 Trees
 = 8.1 x 6 = 48.6 use 49 Shrubs

Parking Area Plantings = 20% of pavement sq.ft./700 = # of Trees
 0.20 x 27,889 = 5,578 5,578/700 = 7.9 = use 8 Trees

Total Plantings = 25 Trees and 49 Shrubs

REQUIRED PLANTINGS:

PROPOSED TREES:		
SYMBOL	#	COMMON NAME (BOTANICAL NAME) SIZE
	15	AMIR MAPLE (Acer Ginnala) 1-1/2" caliper B&B
	10	CENTURION FLOWERING CRAB (Malus "Centurion") 2-1/2" caliper B&B
TOTAL ==> 25		
PROPOSED SHRUBS:		
SYMBOL	#	COMMON NAME (BOTANICAL NAME) SIZE
	42	EMERALD GREEN ARBORVITAE (Thuja occidentalis "Smaragd") 5 Gallon Container
	42	LITTLE GEM ARBORVITAE (Thuja occidentalis "Little Gem") 5 Gallon Container
TOTAL=> 84		

GRIND EXISTING CURB ON PARKER BLVD FOR ACCESS. RECONSTRUCT ALL SIDEWALKS AS THOSE DAMAGED OR REMOVED DURING CONSTRUCTION. INSTALL DETECTABLE WARNING MATS AS SHOWN. THE CURB SHALL TRANSITION FROM 6" TO 2" AT PROPERTY LINE.

A. LEO ELDS ENGINEERING COMPANY
 Engineering | Planning | Surveying
 2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

LEGEND:

STANDARD SYMBOLS:

- IRON ROD OR PIPE FOUND
- SET IRON ROD WITH #4640 CAP
- △ SECTION CORNER MONUMENT FOUND
- ▽ SECTION CORNER MONUMENT SET
- ⊕ POWER POLE
- ⊙ LIGHT POLE
- ⊞ FINISHED FLOOR
- +/- TELEPHONE JUNCTION BOX
- ⊕ ELECTRIC TRANSFORMER
- ⊞ MORE OR LESS
- ⊞ FENCE LINE
- ⊕ FIRE HYDRANT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊕ VALVE
- ⊙ SPOT ELEVATION (@ x)
- ⊞ NOT TO SCALE
- ⊞ HOT MIX ASPHALT
- (M)/(R) P.C.C.
- W WATER
- G GAS
- S SANITARY SEWER
- ST STORM SEWER
- UGE/T UNDERGROUND ELEC. / TEL.
- OHE/T OVERHEAD ELEC. / TEL.
- CATV CABLE TELEVISION

Parker Townhomes
 Site Plan - 955 Parker Blvd.
 Polk City, Iowa

DATE: 07-30-2013
 DRAWN BY: V. Peids
 CHECKED BY: V. Peids
 PROJECT NO: 13-049

Scale: 1" = 30'

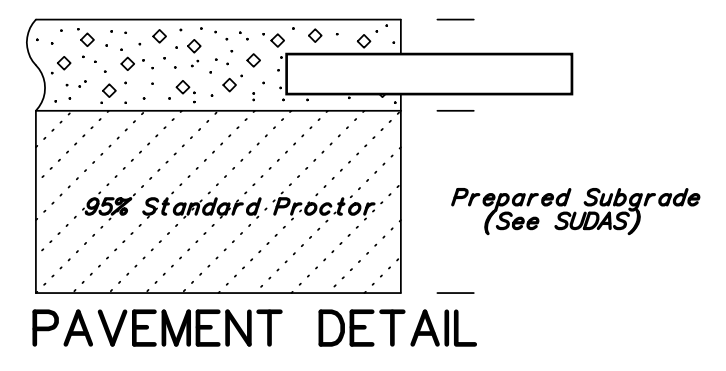
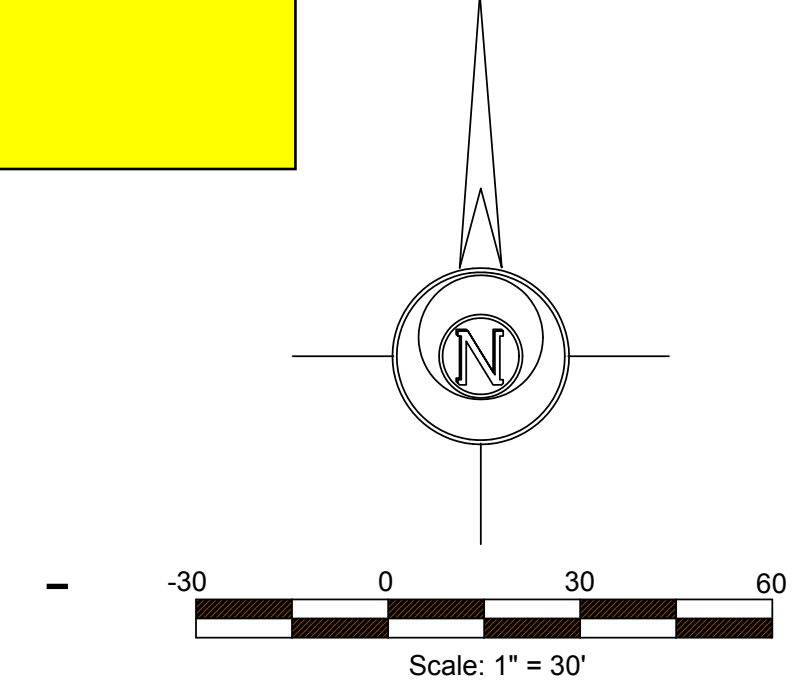
07-30-2013

V. Peids

13-049

Dimension, Paving, Landscape Plan

All structures are on one PUD lot.



- PAVING NOTES:**
- 1.) Sidewalks to be 4" thick P.C.C.
 - 2.) Patio locations are approximate. Refer to building plans for exact locations.
 - 3.) Contractor will grind curb on Parker Blvd. The sidewalk shall be repaired on Parker Blvd.

REQUIRED PLANTINGS:

OPEN SPACE = 15% OF PROPERTY AREA
 Open Space Trees = Open Space sq.ft./3000 x 2 = # of Trees
 Open Space Shrubs = Open Space sq.ft./3000 x 6 = # of Shrubs
 Open Space Plantings = 26,133/3,000 = 8.7 x 2 = 17.4 use 18 Trees
 = 8.7 x 6 = 52.2 use 63 Shrubs
 Parking Area Plantings = 20% of pavement sq.ft./700 = # of Trees
 0.20 x 28,000 = 5,600 5,600/700 = 8.0 = use 8 Trees
 Total Required Plantings = 26 Trees and 53 Shrubs

REQUIRED PLANTINGS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	7	AMUR MAPLE (Acer Ginnala)	1-1/2" caliper B&B
	7	CENTURION FLOWERING CRAB (Malus 'Centurion')	2-1/2" caliper B&B
TOTAL ==> 14 (MORE THAN 14 TREES WILL BE SAVED)			

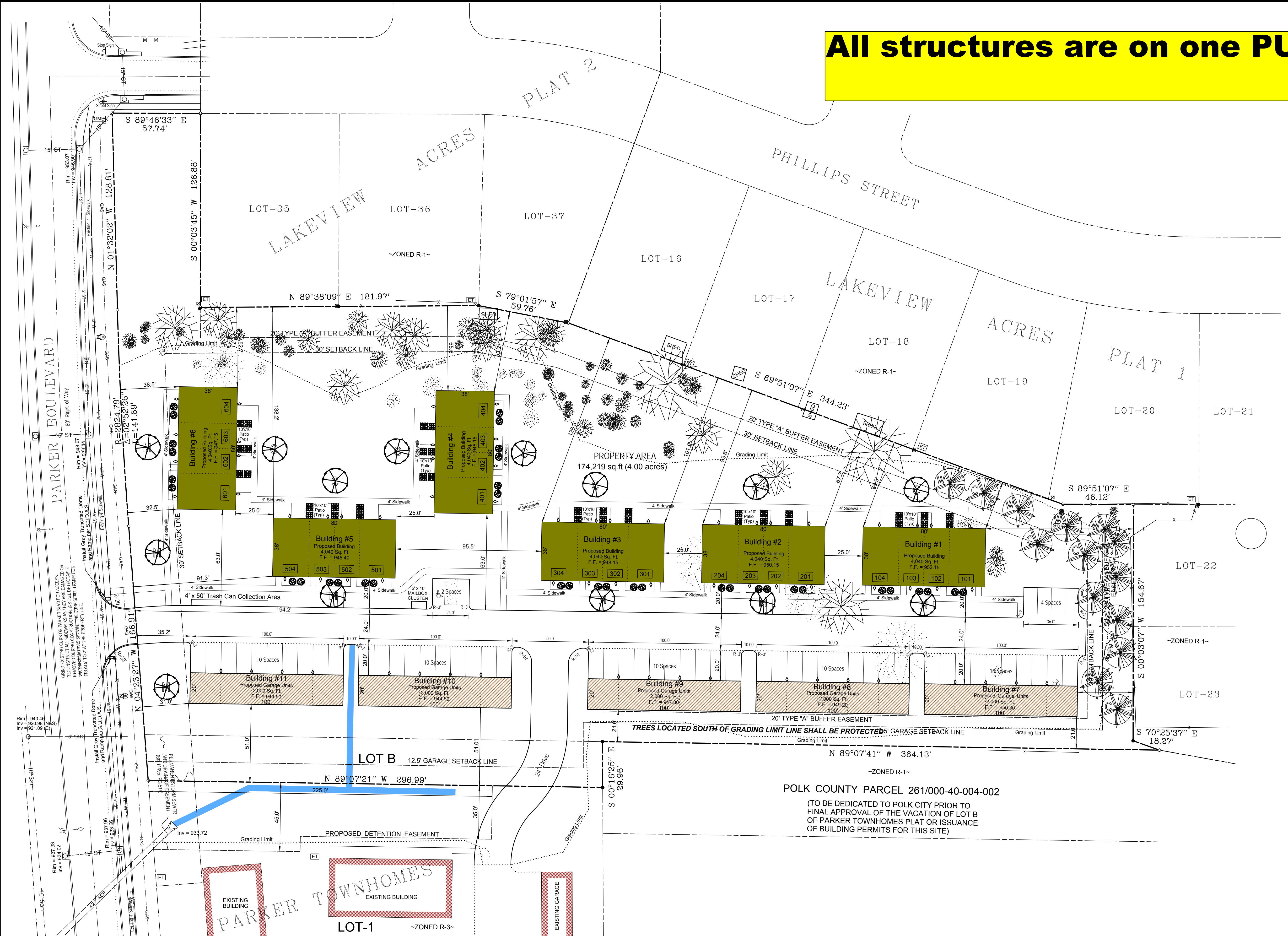
PROPOSED SHRUBS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	36	EMERALD GREEN ARBORVITAE (Thuja occidentalis 'Smaragd')	5 Gallon Container
	36	LITTLE GEM ARBORVITAE (Thuja occidentalis 'Little Gem')	5 Gallon Container
TOTAL==> 72			

BUFFER PLANTINGS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	7	WHITE SPRUCE (Picea glauca var.)	6' TALL B&B
	7	COLORADO SPRUCE (Picea pungens var.)	6' TALL B&B
TOTAL ==> 14			

- NOTES:**
- 1.) All disturbed areas will be seeded with lawn mixture.
 - 2.) The maximum spacing for trees, along the buffer areas is 30'. Once grading is complete, some additional trees may be required to meet this requirement.



POLK COUNTY PARCEL 261/000-40-004-002
 (TO BE DEDICATED TO POLK CITY PRIOR TO FINAL APPROVAL OF THE VACATION OF LOT B OF PARKER TOWNHOMES PLAT OR ISSUANCE OF BUILDING PERMITS FOR THIS SITE)

A. LEO PELDS ENGINEERING COMPANY
 Engineering | Planning | Surveying
 2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-8999).

DISCLAIMER:
 THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO PELDS ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALL P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND:

STANDARD SYMBOLS:

- MATCH EXISTING ELEVATION
- GAS MARKER POST
- UTILITY PEDESTAL
- LIGHT
- POWER POLE
- ELECTRIC TRANSFORMER
- FINISHED FLOOR
- +/- FENCE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- VALVE
- SPOT ELEVATION
- NOT TO SCALE
- CLEANOUT
- P XX PROPOSED UTILITY LINE
- XXXX UTILITY LINE OR PIPE
- W WATER
- SAN SANITARY SEWER
- ST STORM SEWER

Parker Townhomes II
Amended PUD Master Plan/Site Plan
Polk City, Iowa

03-02-2015 E. Pelds 1" = 30' 04-22-2015 15-017

3-11-2015 Revised per Snyder Comments dated Mar. 9, 2015
 3-18-2015 Revised per Snyder Comments
 3-26-2015 Revised per Snyder Comments

Dimension, Paving, Landscape Plan

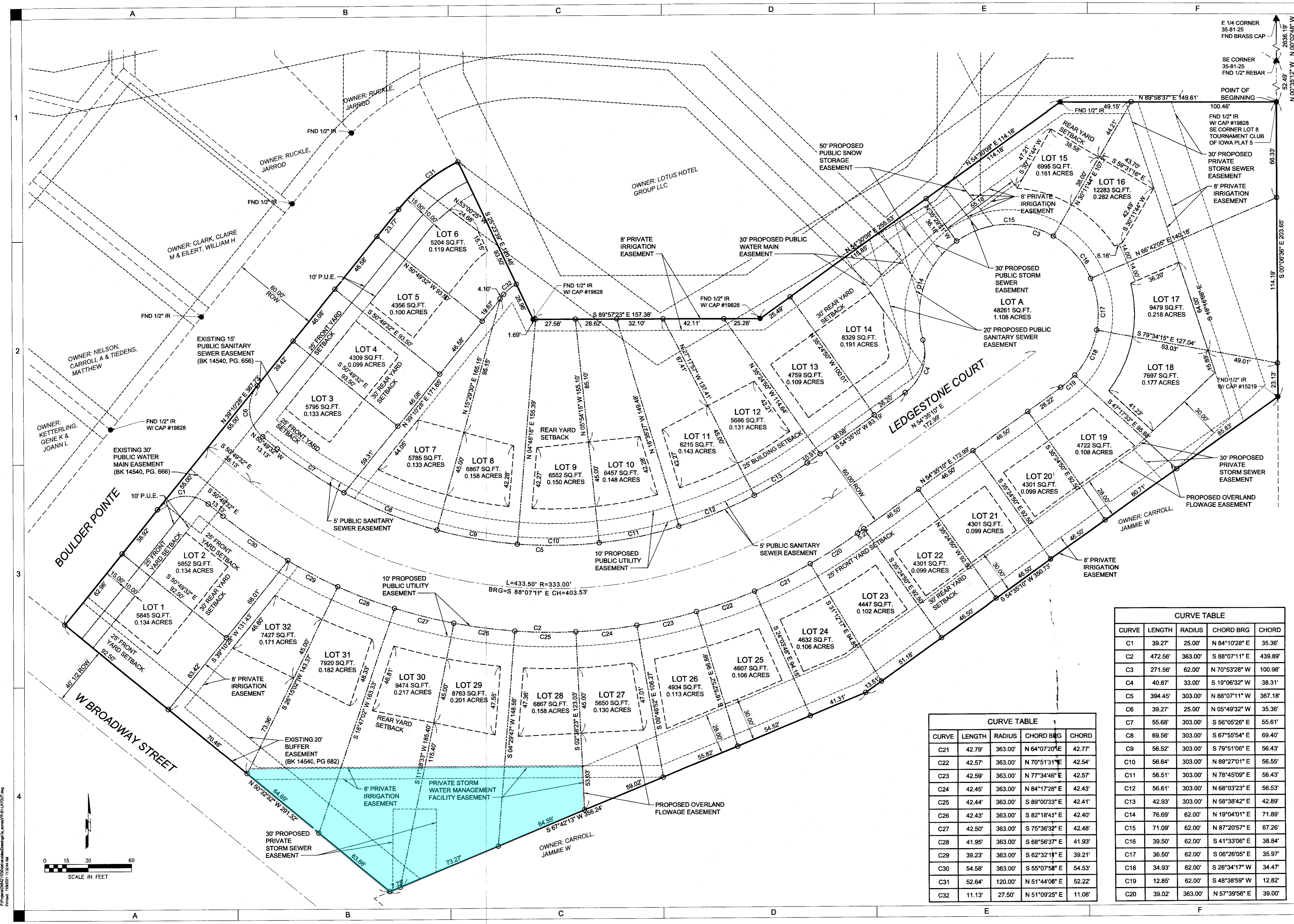
**FINAL PLAT OF
 LEDGESTONE RIDGE**

POLK CITY, IOWA

DRAWN: CMH
 APPROVED: MBH
 ISSUED FOR: FINAL PLAT
 DATE: 11/09/2021
 PROJECT NO: 247103-0
 FIELD BOOK: -
 CLIENT NO: -

LAYOUT

B101

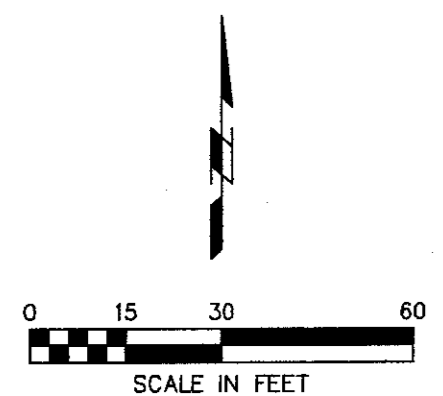


CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C1	39.27'	25.00'	N 84°10'28" E	35.36'
C2	472.56'	363.00'	S 88°07'11" E	439.89'
C3	271.56'	62.00'	N 70°53'28" W	100.98'
C4	40.87'	33.00'	S 19°06'32" W	38.31'
C5	394.45'	303.00'	N 88°07'11" W	367.18'
C6	39.27'	25.00'	N 05°49'32" W	35.36'
C7	55.68'	303.00'	S 56°05'26" E	55.61'
C8	69.56'	303.00'	S 67°55'54" E	69.40'
C9	56.52'	303.00'	S 79°51'06" E	56.43'
C10	56.64'	303.00'	N 89°27'01" E	56.55'
C11	56.51'	303.00'	N 78°45'09" E	56.43'
C12	56.61'	303.00'	N 68°03'23" E	56.53'
C13	42.93'	303.00'	N 58°38'42" E	42.89'
C14	76.69'	62.00'	N 19°04'01" E	71.89'
C15	71.09'	62.00'	N 87°20'57" E	67.26'
C16	39.50'	62.00'	S 41°33'06" E	38.84'
C17	36.50'	62.00'	S 06°26'05" E	35.97'
C18	34.93'	62.00'	S 26°34'17" W	34.47'
C19	12.85'	62.00'	S 48°38'59" W	12.82'
C20	39.02'	363.00'	N 57°39'56" E	39.00'
C21	42.79'	363.00'	N 64°07'20" E	42.77'
C22	42.57'	363.00'	N 70°51'31" E	42.54'
C23	42.59'	363.00'	N 77°34'46" E	42.57'
C24	42.45'	363.00'	N 84°17'28" E	42.43'
C25	42.44'	363.00'	S 89°00'33" E	42.41'
C26	42.43'	363.00'	S 82°18'41" E	42.40'
C27	42.50'	363.00'	S 75°36'32" E	42.48'
C28	41.95'	363.00'	S 68°56'37" E	41.93'
C29	39.23'	363.00'	S 62°32'11" E	39.21'
C30	54.58'	363.00'	S 55°07'58" E	54.53'
C31	52.64'	120.00'	N 51°44'06" E	52.22'
C32	11.13'	27.50'	N 51°09'25" E	11.06'

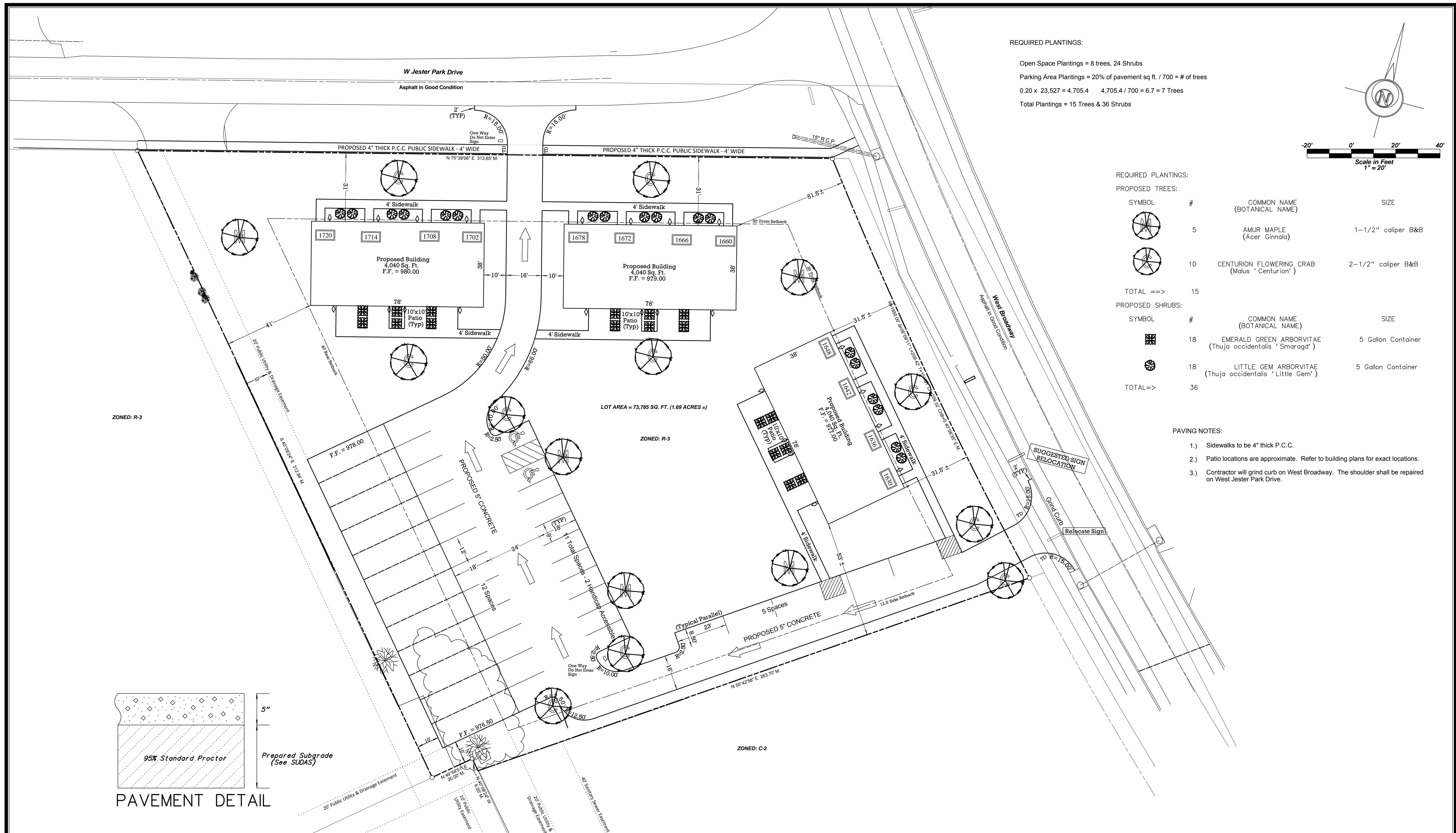
CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C1	39.27'	25.00'	N 84°10'28" E	35.36'
C2	472.56'	363.00'	S 88°07'11" E	439.89'
C3	271.56'	62.00'	N 70°53'28" W	100.98'
C4	40.87'	33.00'	S 19°06'32" W	38.31'
C5	394.45'	303.00'	N 88°07'11" W	367.18'
C6	39.27'	25.00'	N 05°49'32" W	35.36'
C7	55.68'	303.00'	S 56°05'26" E	55.61'
C8	69.56'	303.00'	S 67°55'54" E	69.40'
C9	56.52'	303.00'	S 79°51'06" E	56.43'
C10	56.64'	303.00'	N 89°27'01" E	56.55'
C11	56.51'	303.00'	N 78°45'09" E	56.43'
C12	56.61'	303.00'	N 68°03'23" E	56.53'
C13	42.93'	303.00'	N 58°38'42" E	42.89'
C14	76.69'	62.00'	N 19°04'01" E	71.89'
C15	71.09'	62.00'	N 87°20'57" E	67.26'
C16	39.50'	62.00'	S 41°33'06" E	38.84'
C17	36.50'	62.00'	S 06°26'05" E	35.97'
C18	34.93'	62.00'	S 26°34'17" W	34.47'
C19	12.85'	62.00'	S 48°38'59" W	12.82'
C20	39.02'	363.00'	N 57°39'56" E	39.00'



P:\Projects\2021\B101\B101.dwg
 Plot Date: 11/09/2021 11:32:04 AM

All structures are on one R-3 lot.



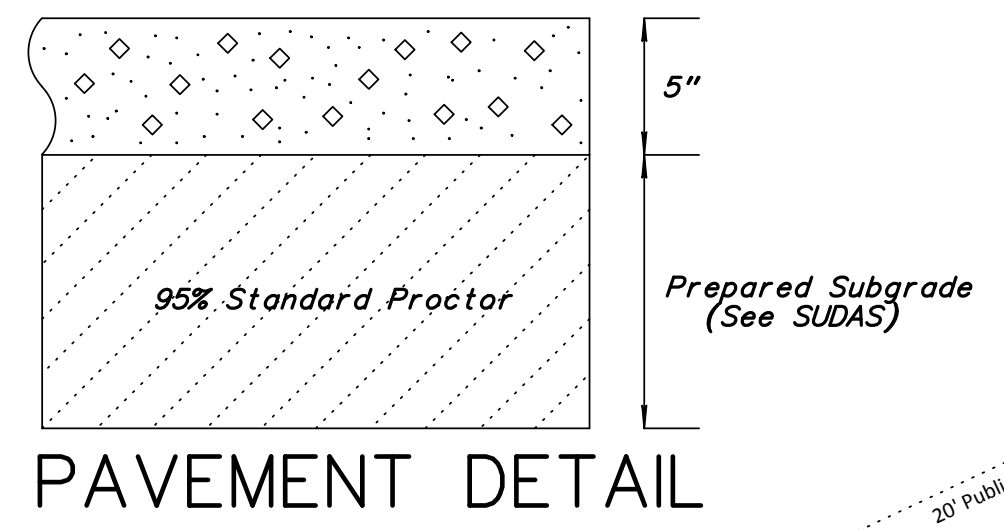
REQUIRED PLANTINGS:

Open Space Plantings = 8 trees, 24 Shrubs
 Parking Area Plantings = 20% of pavement sq ft. / 700 = # of trees
 0.20 x 23,527 = 4,705.4 4,705.4 / 700 = 6.7 = 7 Trees
 Total Plantings = 15 Trees & 36 Shrubs

REQUIRED PLANTINGS:

PROPOSED TREES:			
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	5	AMUR MAPLE (Acer Ginnala)	1-1/2" caliper B&B
	10	CENTURION FLOWERING CRAB (Malus 'Centurion')	2-1/2" caliper B&B
TOTAL ==>		15	
PROPOSED SHRUBS:			
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	18	EMERALD GREEN ARBORVITAE (Thuja occidentalis 'Smaragd')	5 Gallon Container
	18	LITTLE GEM ARBORVITAE (Thuja occidentalis 'Little Gem')	5 Gallon Container
TOTAL =>		36	

- PAVING NOTES:**
- 1.) Sidewalks to be 4" thick P.C.C.
 - 2.) Patio locations are approximate. Refer to building plans for exact locations.
 - 3.) Contractor will grind curb on West Broadway. The shoulder shall be repaired on West Jester Park Drive.



A. LEO FELDS ENGINEERING COMPANY
 Engineering | Planning | Surveying
 2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-5989).

NOTE:
 THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO FELDS ENGINEERING COMPANY (A.L.F.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.F.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.F.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND:

STANDARD SYMBOLS:		
●	IRON ROD OR PIPE FOUND	+/-
○	CALCULATED CORNER	— x — x —
▲	SECT. COR. MONUMENT FOUND	○
△	SECT. COR. MONUMENT CALC.	○
□	POWER POLE	⊙
⊙	LIGHT POLE	⊙
F.F.	FINISHED FLOOR	125, 3
		N.T.S.
		H.M.A.
		MORE OR LESS
		FENCE LINE
		FIRE HYDRANT
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		STORM SEWER MANHOLE
		VALVE
		STOPBOX
		SPOT ELEVATION (@ x)
		NOT TO SCALE
		HOT MIX ASPHALT
		TRUNCATED DOMES (GRAY)
		P.C.C.
		PORTLAND CEMENT CONCRETE
		UTILITY LINE OR PIPE
		W
		G
		S
		SANITARY SEWER
		ST
		STORM SEWER
		U/E/T
		UNDERGROUND ELEC. / TEL.
		O/H/E/T
		OVERHEAD ELEC. / TEL.
		CATV
		CABLE TELEVISION
		◇
		COACH LIGHT

JESTER AND BROADWAY TOWNHOMES
SITE PLAN
POLK CITY, IOWA

Scale: Scaled from USGS 24k Topo Map	7-16-2012 COMMENTS FROM SNYDER - BJM
06-25-2010 J. MINGST 1" = 20'	7-16-2012 COMMENTS FROM SNYDER - EBU
07-16-2012	12-021
DIMENSION & PAVING	

**4 units
on each
lot. No
Site Plan
was
required.**

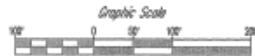
FINAL PLAT

ARROW RIDGE POINT PLAT NO. 2

Being an Official Plat of part of Lots 34 and 35 of the Official Plat of Section 35, Township 81 North, Range 25 West of the 5th P.M. Park City, Iowa, and described as commencing at the S1/4 corner of Section 35, Township 81 North, Range 25 West of the 5th P.M.; thence S89°51'32"W, 635.64 feet along the South line of said Section 35 to the point of beginning, said point being the SW corner of Arrow Ridge Point Plat No. 1; thence continuing along the South line of Section 35, S89°51'32"W, 1063.3 feet to the Southeast corner of the First Plat of Chandler Heights; thence N0°02'30"W, 334.3 feet along the East line of said Chandler Heights; thence N83°37'E, 808.5 feet; thence N40°07'W, 399.0 feet; thence S75°41'30"W, 30.4 feet; thence N14°18'30"W, 320.0 feet to the South right-of-way line of West Jester Park Drive; thence continuing N14°18'30"W, 33.0 feet to the centerline of said West Jester Park Drive; thence N75°41'30"W, 840.0 feet to the intersection of West Jester Park Drive and West Broadway; thence Southwesterly along the centerline of West Broadway, on a 3.00' curve to the left 369.8 feet, said curve having a central angle of 11°05' and a chord distance of 369.0 feet with a chord bearing of S42°00'T to the P.C. of a 9.00' curve to the left having a radius of 636.67 feet; thence Southwesterly along said curve to the left 97.0 feet, said curve having a central angle of 8°43' and a chord distance of 96.9 feet with a chord bearing of S52°01'E to a point on the centerline of West Broadway; thence S42°58'W (Recorded as S42°42'55"W), 33.2 feet to the Northwest corner of Arrow Ridge Point Plat No. 1; thence continuing S42°58'W (Recorded as S42°42'55"W), 304.5 feet along the Northwesterly line of Lots 12 and 13, Arrow Ridge Point Plat No. 1; thence S0°10'55"W, 153.5 feet along the West line of said Lot 12; thence S88°41'E (Recorded as S88°51'05"E), 150.0 feet along the Southwesterly line of said Lot 12; thence S21°19'W (Recorded as S21°08'55"W), 329.2 feet along the West line of Arrow Ridge Point Plat No. 1; thence S5°35'W, 108.4 feet (Recorded as S5°26'W, 108.7 feet) along the West line of Lot 10, of said Arrow Ridge Point Plat No. 1, to the point of beginning, except 33 feet for present existing right-of-way along West Broadway and along West Jester Park Drive, and containing 19.90 acres.



SCALE 1" = 100'



AUGUST - 1995
#FP9502R

I hereby certify that I have prepared this plat from notes of a field survey and that the same is correct to the best of my knowledge.
Signed

GEROLD F. TIGGES, P.E., L.S.

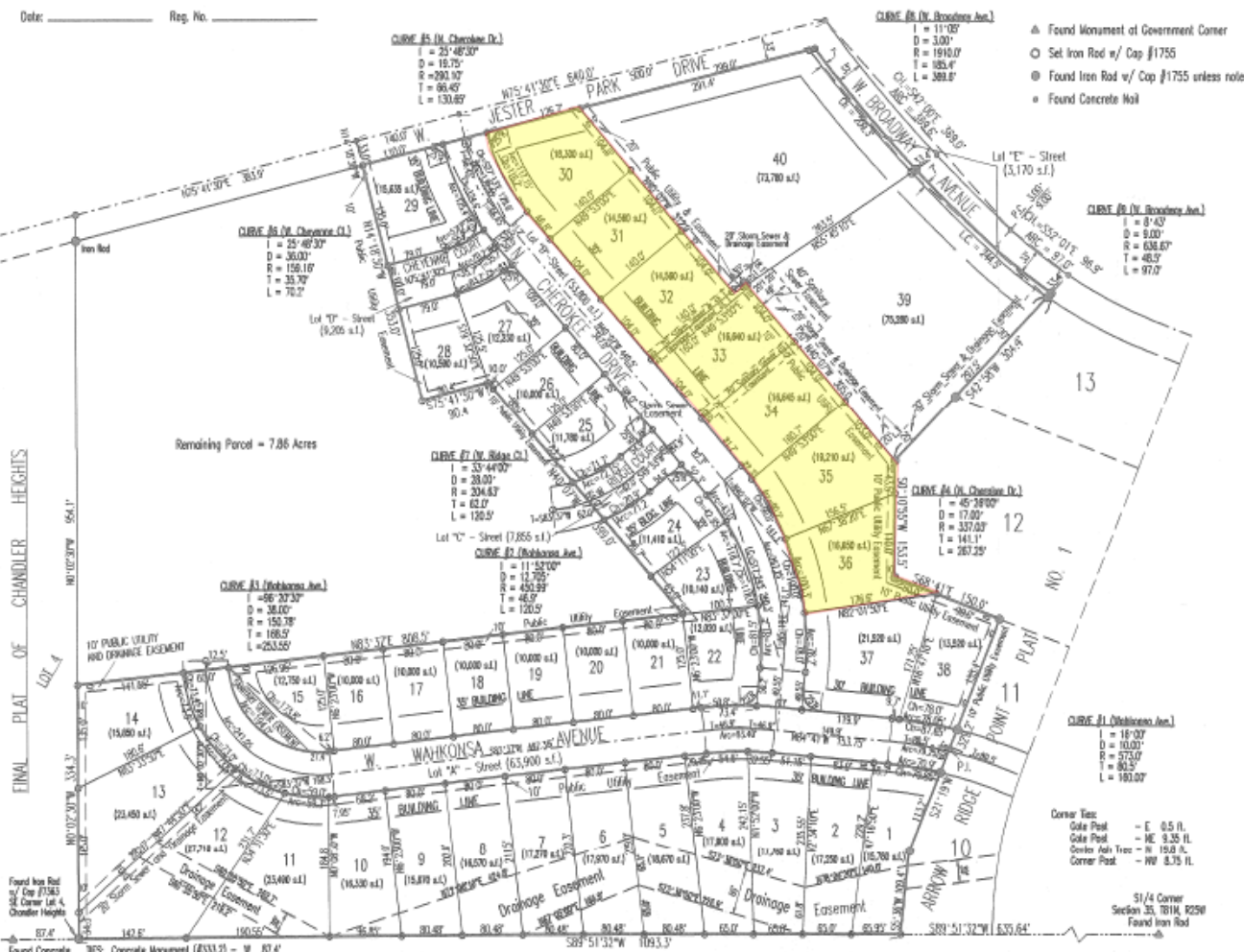
Date: _____ Reg. No. _____

OWNER / DEVELOPER

Lint Development & Builders Corporation
206 Second Street
Polk City, IA 50226
PH: (515) 984-6276

ENGINEER / SURVEYOR

Tigges Engineering, Inc.
4910 Urbandale Ave. - Suite 303
Des Moines, IA 50310
PH: (515) 274-3932



FINAL PLAT OF CHANDLER HEIGHTS

Found Iron Rod w/ Cap #1745
Found Concrete Monument, Army Corps - #333.2
Found Concrete Monument (#333.2) - W 87.4'
Corner Nails in base of line - SW 3.8'
Iron Rod w/ Cap #6195 - N 171.0'

S1/4 Corner Section 35, T81N, R25W
Found Iron Rod

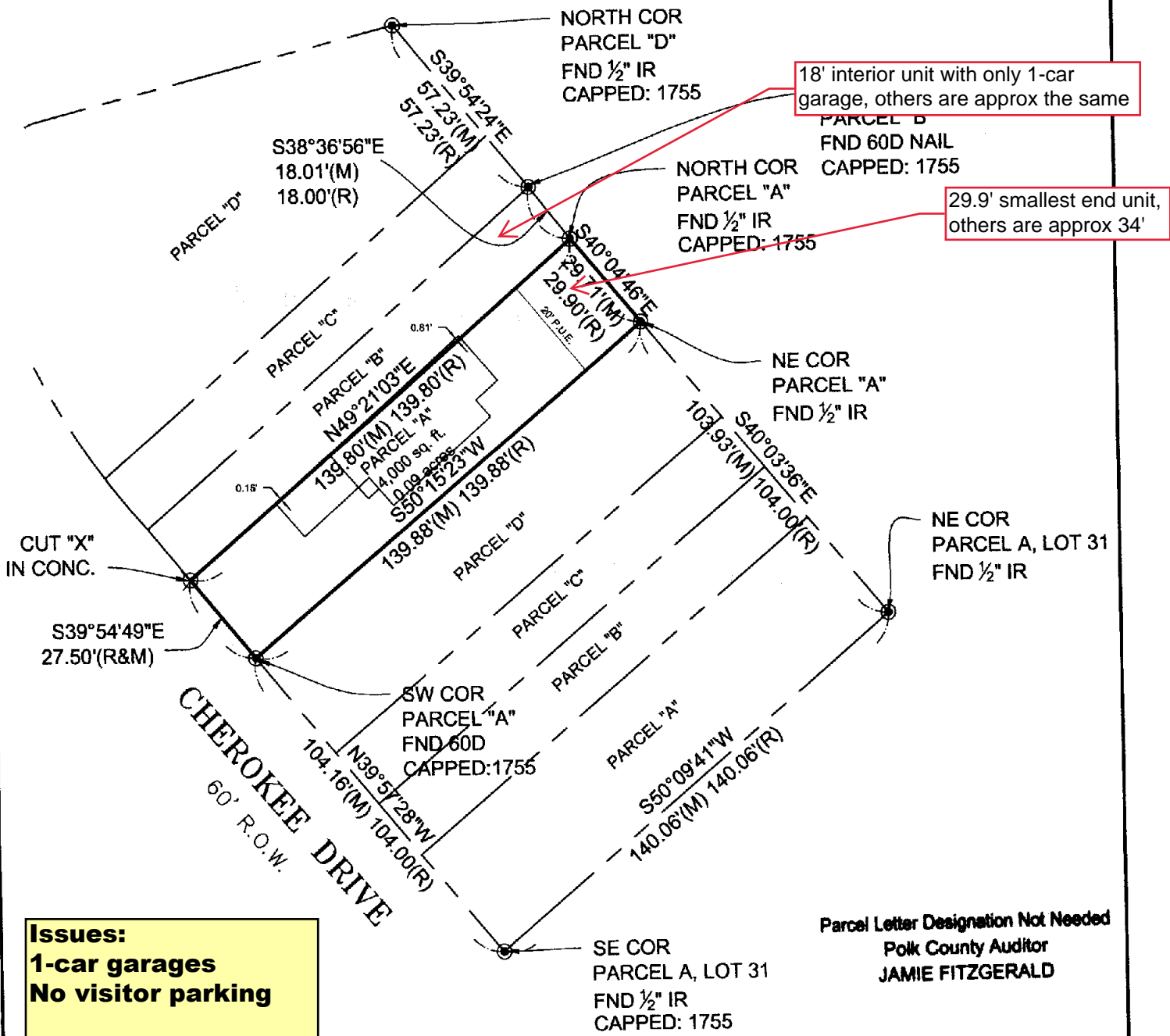


Doc ID: 031299020001 Type: PLT
 Kind: SURVEY
 Recorded: 10/19/2016 at 01:29:27 PM
 Fee Amt: \$7.00 Page 1 of 1
 Polk County Iowa
 JULIE M. HAGGERTY RECORDER
 File# 2016-00036173
 BK **16232** PG **315**

PREPARED BY & RETURN TO: ross LAND SURVEYING, inc. PO Box 336 Johnston, Iowa 50131 515-254-2567

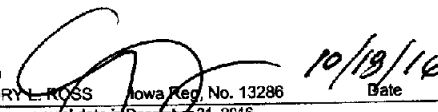
RETRACEMENT PLAT OF SURVEY

OWNER OF RECORD: MICHELLE R PARMENTER
 ADDRESS OF SURVEY: 349 N CHEROKEE DR POLK CITY, IA 50226
 LEGAL DESCRIPTION: PARCEL A BEG 75F SE OF N COR THN SE 29.9F SW 140F NW 27.5F
 NE 140F TO POB LT 30 ARROW RIDGE POINT PLAT 2, AN OFFICIAL PLAT, NOW INCLUDED IN
 AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY IOWA

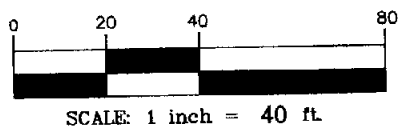


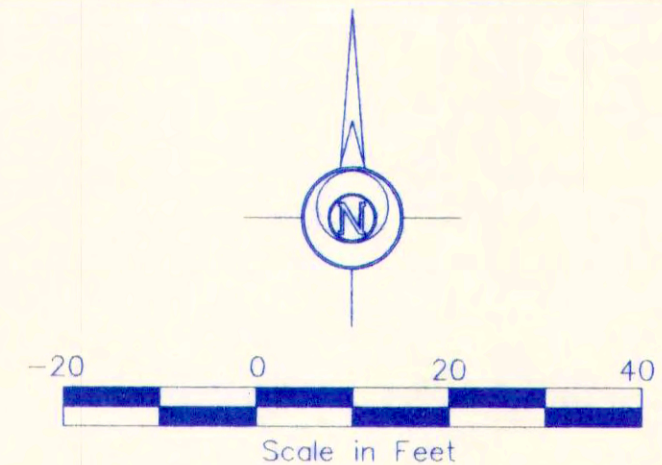
Issues:
 1-car garages
 No visitor parking

Parcel Letter Designation Not Needed
 Polk County Auditor
 JAMIE FITZGERALD

DATE OF FIELD WORK: 9.21.16	JOB NO: 5448
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEY UNDER THE LAWS OF THE STATE OF IOWA. SIGNED:  10/19/16 GREGORY L. ROSS Iowa Reg. No. 13286 Date My License renewal date is December 31, 2016	BASIS OF BEARINGS BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM IOWA SOUTH ZONE, DETERMINED BY GPS OBSERVATIONS. LEGEND ● - MONUMENT FOUND AS NOTED ○ - SET 1/2" IR (W/ ORANGE PLASTIC CAP #13286) ⊗ - CUT "X" IP - IRON PIPE (M) - MEASURED DISTANCE IR - IRON ROD (R) - RECORDED DISTANCE

ross LAND SURVEYING, inc
 www.rosslandsurveying.co
 PO Box 336 Johnston, Iowa 50131
 PH 515-254-2567 FX 515-254-1621





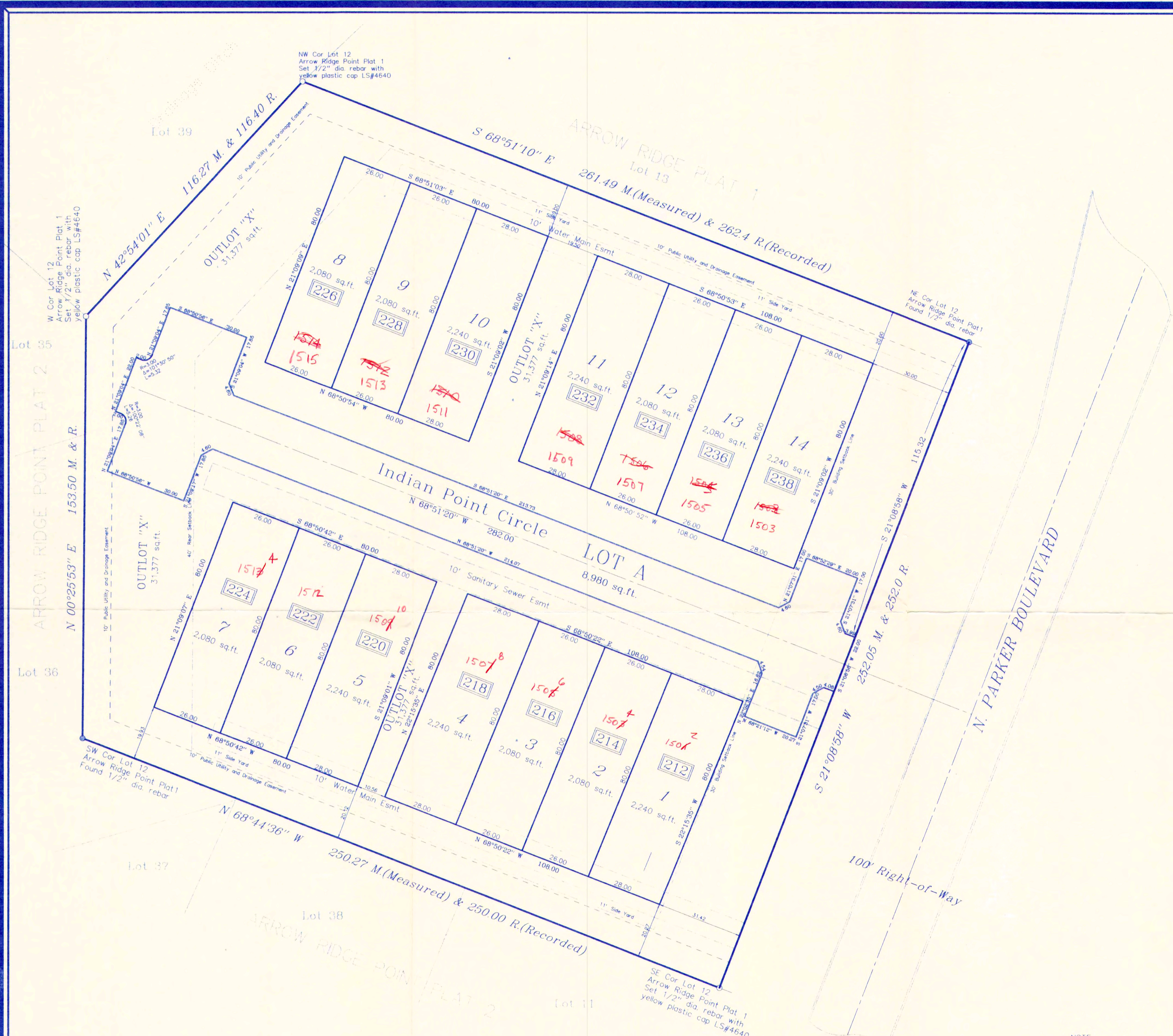
INDIAN POINT FINAL PLAT

Legal Description:

A Replat of Lot 12 of Arrow Ridge Point Plat 1, an Official Plat, all being in and forming a part of Polk City, Polk County, Iowa, containing 1.617 acres, more or less.

NOTE:

All corners will be set by November 30th 2000



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Aivos Pelds 9-25-2000
 AIVARS LEO PELDS, IOWA LIC. NO. 4640 DATE
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 1999
 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE).

NOTE: THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO PELDS ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

EXISTING UTILITIES NOTE: THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.

engineers **A. LEO PELDS ENGINEERING COMPANY** **surveyors**

1372 E. 12th ST. DES MOINES, IOWA 50306 PH. (515)265-8196

INDIAN POINT - FINAL PLAT

REVISIONS:	BENCHMARK:
SCALE: 1" = 20'	COPYRIGHT DATE: 05-08-99
DRAWN BY: VLP	DWG. NO. 10445

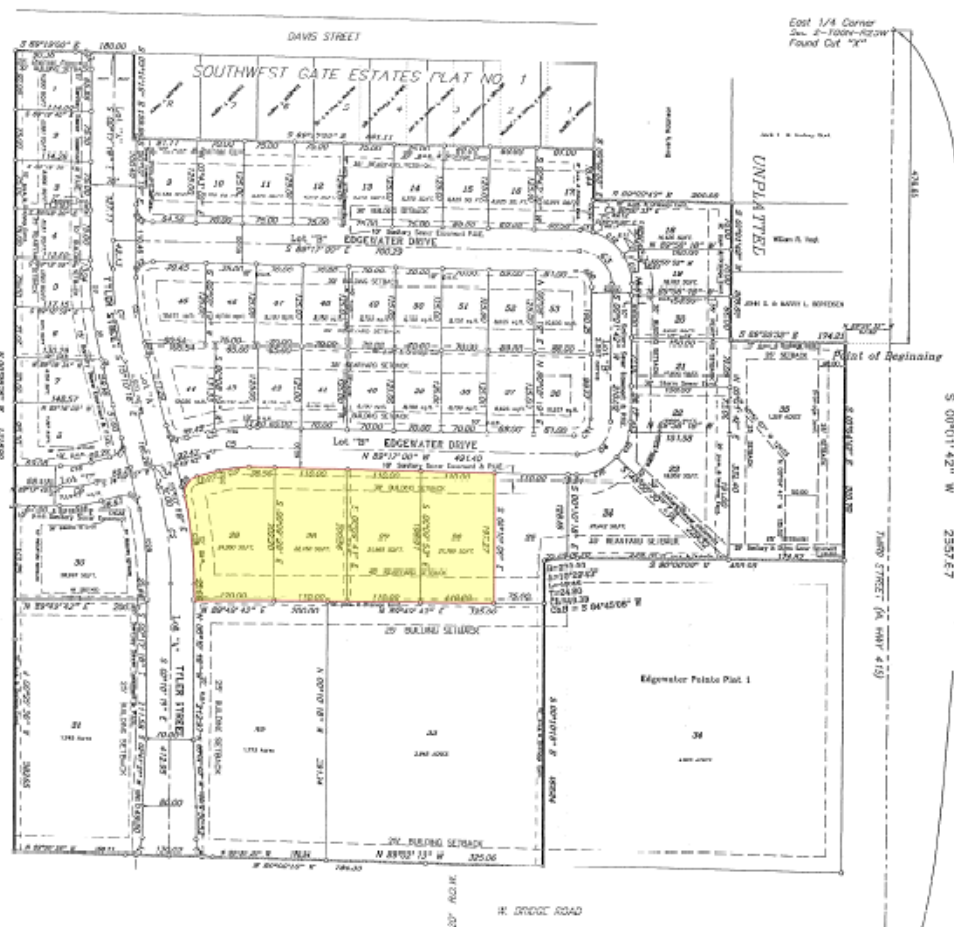
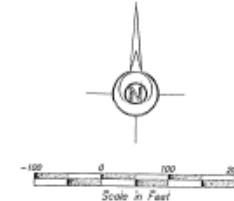
STANDARD SYMBOLS	engineers	A.	LEO PELDS	ENGINEERING	COMPANY	surveyors
●	IRON ROD OR PIPE FOUND	+/-	MORE OR LESS	---	UTILITY LINE OR PIPE	
○	SET IRON ROD WITH #4640 CAP	—	FIRE HYDRANT	W	WATER	
△	SECTION CORNER MONUMENT FOUND	○	MANHOLE	S	SANITARY SEWER	
▲	SECTION CORNER MONUMENT SET	×	VALVE	S.S.	STORM SEWER	
+	POWER POLE	125_3	SPOT ELEVATION (●+)	USE/T	UNDERGROUND ELECTRIC / TELEPHONE	
*	LIGHT POLE	N.T.S.	NOT TO SCALE	ONE/T	OVERHEAD ELECTRIC / TELEPHONE	
FF	FINISHED FLOOR	ACC./P.C.C.	ASPHALT/PORTLAND CEMENT CONCRETE	CATV	CABLE TELEVISION	

Submitted 9/25/00
Council Approval

EDGEWATER POINTE PLAT 2

FINAL PLAT

FILED FOR RECORD
 REC'D - SURVEY
 DEC 17 A 7:44.3
 FINELY J. JAMES
 RECORDER
 INST # 042245
 RECORDING FEE 91.00
 AUDITOR FEE
 8658 606-618



Legal Description:

THE NORTHEAST QUARTER (1/4) OF THE SOUTHWEST QUARTER (1/4) OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 10 WEST, OF THE 5TH PRINCIPAL MERIDIAN, NOW PARTIALLY IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA, EXCEPT THE SOUTH 1/2 OF THE NORTH 1/2 OF THE WEST 200.0 FEET OF THE EAST 241.6 FEET OF THE EAST 452.2 FEET OF THE WEST 200.0 OF THE EAST 241.6 FEET THEREOF, AND EXCEPT BEGINNING 89.0 FEET SOUTH AND 450.0 FEET WEST OF THE EAST QUARTER (1/4) CORNER OF SAID SECTION 2; THENCE WEST ALONG THE SOUTH LINE OF DAVIS STREET AS NOW ESTABLISHED, 89.0 FEET; THENCE SOUTH 130.0 FEET, THENCE EAST, PARALLEL TO WEST 4 FEET; THENCE SOUTH 130.0 FEET, THENCE EAST, PARALLEL TO WEST 4 FEET, TO THE POINT OF BEGINNING; AND EXCEPT LEGALLY ESTABLISHED HIGHWAYS AND RAILS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER (1/4) CORNER OF SAID SECTION 2; THENCE SOUTH 09°01'52" West along the East line of the Southeast Quarter (1/4) of said Section 2, a distance of 476.00 feet; THENCE North 82°20'32" West, a distance of 67.40 feet to the POINT OF BEGINNING, said point being on the West Right-of-Way line of Iowa Highway 115;

THENCE South 00°04'42" East along the West Right-of-Way line of Iowa Highway 435, a distance of 330.70 feet;

THENCE South 00°00'00" West, a distance of 403.00 feet to the point of curvatures, a distance of 403.00 feet to the left having a radius of 270.00 feet, a delta of 107°24'30" on a length of 49.50 feet and a chord which bears South 84°42'00" West a distance of 49.59 feet to a point;

THENCE South 00°00'00" West, a distance of 402.24 feet to a point on the West Right-of-Way line of West Bridge Road;

THENCE North 89°02'12" West along North Right-of-Way line of West Bridge Road, a distance of 121.11 feet;

THENCE North 02°20'20" West, a distance of 1,215.00 feet to a point on the South Right-of-Way line of Davis Street;

THENCE South 89°19'00" East along the South Right-of-Way line of Davis Street, a distance of 150.00 feet to the Northwest corner of lot 8 of Southwest Gate Estates Plat No. 1;

THENCE South 00°10'19" East, a distance of 129.98 feet to the Southwest corner of said lot 8;

THENCE South 82°17'00" East, a distance of 691.51 feet to the Southwest corner of lot 1 of said Plat 1;

THENCE South 00°00'00" East, a distance of 70.44 feet;

THENCE South 89°25'42" East, a distance of 206.00 feet;

THENCE South 02°01'42" West, a distance of 206.00 feet;

THENCE South 89°20'10" East, a distance of 174.21 feet to the POINT OF BEGINNING, containing 25.364 acres, more or less.

CURVE TABLE

#	Muflus	Delta	Length	Chord	Tangent	Chord Bearing
1	569.88	14°22'24"	142.91	142.54	71.83	S 07°52'56" E
2	569.88	15°00'00"	149.34	149.72	75.00	N 07°40'18" W
3	591.85	09°18'24"	177.94	177.28	89.40	N 44°33'38" W
4	60.00	00°41'18"	79.14	71.13	30.49	S 45°22'21" E
5	500.00	15°52'48"	155.46	155.46	77.73	S 82°18'21" W
6	500.00	15°52'48"	155.46	155.46	77.73	S 82°18'21" W
7	604.40	00°33'28"	62.17	62.15	31.11	S 03°40'20" E
8	504.68	01°14'14"	76.16	76.11	30.00	S 10°18'32" E
9	504.68	01°14'14"	76.16	76.11	30.00	S 10°18'32" E
10	534.50	02°02'34"	19.06	19.06	9.53	S 14°09'51" E
11	80.00	11°42'18"	20.25	20.25	10.18	S 14°13'50" E
12	80.00	40°42'34"	47.63	47.63	23.81	S 14°09'51" E
13	80.00	34°05'50"	45.61	45.61	24.53	N 17°01'13" W
14	80.00	11°24'38"	13.06	13.06	6.53	S 14°13'50" E
15	80.00	10°15'19"	15.91	15.91	7.96	N 09°44'01" E
16	80.00	48°43'30"	68.03	68.00	36.23	N 68°21'15" E
17	170.00	15°52'48"	147.14	146.99	73.72	S 82°18'21" W
18	170.00	15°52'48"	147.14	146.99	73.72	S 82°18'21" W
19	230.00	15°52'48"	63.74	63.54	30.78	N 82°46'09" E
20	25.00	89°18'42"	38.97	39.25	20.30	N 44°22'21" E
21	25.00	90°41'10"	39.37	39.36	20.30	N 44°22'21" E
22	25.00	91°37'37"	39.98	39.85	20.32	S 44°51'53" W
23	534.58	10°45'38"	100.42	100.27	50.36	S 09°10'18" E
24	23.00	90°00'00"	31.27	31.26	15.63	N 29°49'42" E
25	36.00	90°00'00"	30.22	30.36	15.11	N 29°49'42" E
26	25.00	87°43'29"	38.28	38.45	24.15	S 09°10'18" E
27	25.00	92°48'41"	40.50	38.21	20.26	N 50°49'27" W
28	404.44	12°48'20"	124.29	124.02	62.14	N 09°32'02" W
29	534.58	12°11'18"	121.11	121.74	60.57	S 44°16'52" E
30	25.00	88°50'11"	38.76	34.99	20.30	N 45°24'37" E
31	25.00	91°09'30"	39.70	30.71	20.51	N 45°24'37" E
32	230.00	12°11'18"	63.80	63.80	31.90	S 44°16'52" E
33	25.00	89°06'41"	38.88	35.08	24.82	S 44°16'52" E
34	230.00	12°27'39"	54.03	53.91	27.14	S 83°40'11" W
35	230.00	02°08'38"	5.74	5.74	2.87	S 76°02'32" W

ADDRESS ASSIGNMENTS:

LOT	ADDRESS	LOT	ADDRESS
1	900 Tyler Street	27	860 Edgewater Drive
2	870 Tyler Street	28	870 Edgewater Drive
3	920 Tyler Street	29	880 Edgewater Drive
4	930 Tyler Street	30	900 Edgewater Drive
5	940 Tyler Street	31	1010 Tyler Street
6	950 Tyler Street	32	1015 Tyler Street
7	960 Tyler Street	33	705 W. Bridge Road
8	970 Tyler Street	35	900 Thira Street
9	800 Edgewater Drive	36	831 Edgewater Drive
10	802 Edgewater Drive	37	839 Edgewater Drive
11	804 Edgewater Drive	38	847 Edgewater Drive
12	806 Edgewater Drive	39	855 Edgewater Drive
13	808 Edgewater Drive	40	863 Edgewater Drive
14	810 Edgewater Drive	41	871 Edgewater Drive
15	812 Edgewater Drive	42	879 Edgewater Drive
16	814 Edgewater Drive	43	887 Edgewater Drive
17	816 Edgewater Drive	44	895 Edgewater Drive
18	818 Edgewater Drive	45	903 Edgewater Drive
19	820 Edgewater Drive	46	911 Edgewater Drive
20	822 Edgewater Drive	47	919 Edgewater Drive
21	824 Edgewater Drive	48	927 Edgewater Drive
22	826 Edgewater Drive	49	935 Edgewater Drive
23	828 Edgewater Drive	50	943 Edgewater Drive
24	830 Edgewater Drive	51	951 Edgewater Drive
25	832 Edgewater Drive	52	959 Edgewater Drive
26	834 Edgewater Drive	53	967 Edgewater Drive

State of Iowa, Polk County as I certify that the attached plat has been entered of record in the office of the Polk County Auditor and Recorder. My commission expires 12-31-2022.
 MICHAEL A. MAHON County Auditor

**4 units on each of 4 lots.
 No site plan was required.**

NOTE: THIS DRAWING IS BEING MADE AVAILABLE BY A LEAD ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. DOES NOT ASSUME RESPONSIBILITY FOR ANY PART THEREOF EXCEPT AS ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

Southeast Corner
 Saw 2 FROM TOWNSHIP
 Found 1/2" Diameter Rubber
 over Stone approx. 1' deep

EXISTING UTILITIES NOTE:
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN LOCATED FROM AVAILABLE SURVEY AND/OR RECORDS. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS TO DETERMINE THE EXISTING UTILITIES (SERIALS IF NOT KNOWN) ARE NOT DAMAGED DURING CONSTRUCTION.



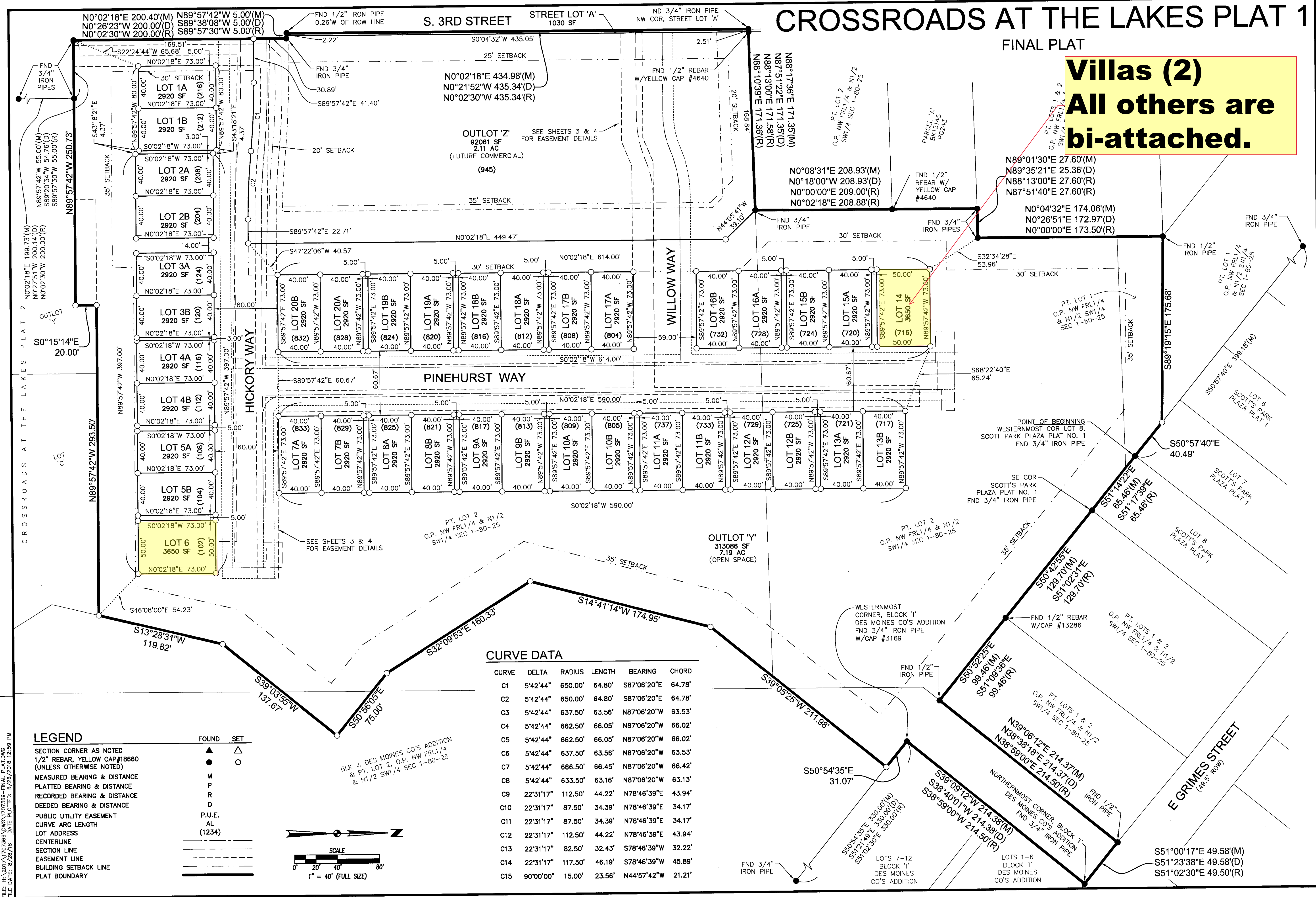
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY DATA AND INFORMATION THEREON IN ACCORDANCE WITH THE IOWA SURVEYING AND MAPPING ACT AND THE IOWA PROFESSIONAL LAND SURVEYOR BOARD'S RULES OF THE STATE OF IOWA.
 Leo Pelds 12-30-2020
 ATTORNEY FOR RECORD, IOWA, L.C. NO. 4548 DATE
 MY LICENSE EXPIRES DATE IS DECEMBER 31, 2028
 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (SEE BACKS OF SHEETS FOR DETAILS)

LEO PELDS ENGINEERING COMPANY
 1572 E. 12th St. DES MOINES, IOWA 50305 Ph (515)265-0189
 EDGEWATER POINTE PLAT 2 - FINAL PLAT
 Scale 1" = 100' SHEET DATE 10-11-2000 DRAWN BY E.L.P. FILE NO. 10453

CROSSROADS AT THE LAKES PLAT 1

FINAL PLAT

Villas (2)
All others are
bi-attached.



CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	5°42'44"	650.00'	64.80'	S87°06'20"E	64.78'
C2	5°42'44"	650.00'	64.80'	S87°06'20"E	64.78'
C3	5°42'44"	637.50'	63.56'	N87°06'20"W	63.53'
C4	5°42'44"	662.50'	66.05'	N87°06'20"W	66.02'
C5	5°42'44"	637.50'	63.56'	N87°06'20"W	63.53'
C6	5°42'44"	662.50'	66.05'	N87°06'20"W	66.02'
C7	5°42'44"	637.50'	63.56'	N87°06'20"W	63.53'
C8	5°42'44"	633.50'	63.16'	N87°06'20"W	63.13'
C9	22°31'17"	112.50'	44.22'	N78°46'39"E	43.94'
C10	22°31'17"	87.50'	34.39'	N78°46'39"E	34.17'
C11	22°31'17"	87.50'	34.39'	N78°46'39"E	34.17'
C12	22°31'17"	112.50'	44.22'	N78°46'39"E	43.94'
C13	22°31'17"	82.50'	32.43'	S78°46'39"W	32.22'
C14	22°31'17"	117.50'	46.19'	S78°46'39"W	45.89'
C15	90°00'00"	15.00'	23.56'	N44°57'42"W	21.21'

LEGEND

SECTION CORNER AS NOTED
 1/2" REBAR, YELLOW CAP #18660
 (UNLESS OTHERWISE NOTED)

MEASURED BEARING & DISTANCE
 PLATTED BEARING & DISTANCE
 RECORDED BEARING & DISTANCE
 DEEDED BEARING & DISTANCE

PUBLIC UTILITY EASEMENT
 CURVE ARC LENGTH
 LOT ADDRESS
 CENTERLINE
 SECTION LINE
 EASEMENT LINE
 BUILDING SETBACK LINE
 PLAT BOUNDARY

FOUND SET

▲ ○
 ● ○
 M P
 R D
 P.U.E.
 AL
 (1234)

SCALE
 0 20 40 80'
 1" = 40' (FULL SIZE)

DATE: 08/28/18
 SIGNED SUBMITTAL: 08/27/18
 THIRD SUBMITTAL: 08/15/17
 SECOND SUBMITTAL: 07/19/17
 FIRST SUBMITTAL: 07/26/17

REVISIONS:

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: TECH:

ESA
 CIVIL DESIGN ADVANTAGE

CROSSROADS AT THE LAKES PLAT 1
 FINAL PLAT

2/4
 1707.369

FILE: H:\2017\1707369\DWG\1707369-FINAL PLAT.DWG
 FILE DATE: 8/28/18 DATE PLOTTED: 8/28/2018 12:59 PM

The following Minimum Bulk Regulations shall apply for single dwelling unit lots within Parcel C.

Minimum Lot Area	7500 S.F.
Minimum Lot Width	65 FT.
Minimum Front Yard Setback	19 FT.
Minimum Rear Yard Setback	25 FT.
Minimum Side Yard Setback	5 FT.

The following Minimum Bulk Regulations shall apply for bi-attached townhouse units within Parcel C.

Minimum Rear Yard Setback shall be 40 feet from the perimeter of the Site Development Plan containing Parcel C, provided, this may be reduced to 25 feet when adjacent to an existing natural buffer such as a steep slope, ravine or woods, or next to an existing public open space such as a golf course, park or lake.

Minimum Front Yard Setback shall be 30 feet along Broadway, and the minimum front yard setback along any private street within Parcel C shall be 25 feet from the back-of-curb to the garage door.

Minimum Side Yard shall be a minimum separation between bi-attached buildings of 10 feet from any part of the building including overhangs, except for the separation between the side of one building and the rear of another, which will be 2 feet.

Multiple dwelling units may include 2, 3, and 4 unit structures of a townhouse or condo variety where units are intended for owner occupancy. Units may have individual lots with common wall boundaries, or may be part of a horizontal property regime with common ownership of grounds and facilities. Such common amenities as pools, outdoor sports facilities, clubhouses, and exercise facilities shall be allowed when approved as part of a development site plan.

TOURNAMENT CLUB OF IOWA
13
TP13

NOTES

- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR UTILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT UTILITIES AND STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGING ANY UTILITY LINE OR APPURTENANCE, OR INTERRUPTING THEIR SERVICE. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND URBAN DESIGN STANDARDS.
- SIDEWALK AND DRIVE APPROACH INSTALLATIONS TO BE INSPECTED BY CITY OF POLK CITY, ENGINEERING DEPARTMENT, MINIMUM 24 HOURS NOTICE.
- PAVEMENT THICKNESS SHALL BE 6" REINFORCED P.C.C.
- PAVEMENT SHALL HAVE A 6-INCH CURB DROPPING TO A 3-INCH ROLL CURB WHERE INDICATED.
- DRIVEWAYS SHALL BE 5" NONREINFORCED P.C.C.
- THIS PROJECT WILL BE COMPLETED IN ONE PHASE. GRADING, UNDERGROUND UTILITIES, AND PAVING WILL BE COMPLETED FALL 2002. LANDSCAPING/SODDINGS WILL BE INSTALLED AS BUILDINGS ARE COMPLETED.
- IF BUMP-OUT IS CONSTRUCTED, SEE ALLENDER-BUTZKE REPORT PN 021426 A FOR BUILDING FOUNDATION & SLOPE STABILIZATION RECOMMENDATIONS. BUILDING PERMITS WILL BE ISSUED ONLY UPON COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS.
- BI-ATTACHED UNITS MAY BE CONSTRUCTED ON LOTS 32-41 WITHOUT FURTHER REVISIONS TO THE FINAL DEVELOPMENT PLAN.

REVISED FINAL DEVELOPMENT PLAN
TOURNAMENT CLUB TOWNHOMES

POLK CITY, IOWA

PREPARED FOR

TOURNAMENT CLUB TOWNHOMES L.C.
2530 73rd STREET
URBANDALE, IOWA 50322
PH. 515-270-1441

LEGAL DESCRIPTION

A PARCEL OF LAND IN OUTLOT C, OUTLOT D AND LOT 1, TOURNAMENT CLUB OF IOWA FLAT 1, AN OFFICIAL FLAT, CITY OF POLK CITY, POLK COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID OUTLOT C; THENCE NORTHERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 491.93 FEET AND A CHORD BEARING OF N44°02'51"W, AN ARC LENGTH OF 168.56 FEET ALONG THE WEST LINE OF SAID OUTLOT C TO A POINT OF TANGENCY; THENCE N44°02'51"W, 202.75 FEET ALONG SAID WEST LINE TO A POINT OF CURVATURE; THENCE NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 806.45 FEET AND A CHORD BEARING OF N41°11'55"W, AN ARC LENGTH OF 403.33 FEET ALONG SAID WEST LINE TO A POINT; THENCE N3°21'34"E, 84.72 FEET TO A POINT; THENCE N05°11'38"E, 45.30 FEET TO A POINT; THENCE N24°41'04"E, 73.04 FEET TO A POINT; THENCE N41°34'34"E, 67.13 FEET TO A POINT; THENCE N80°00'00"E, 114.02 FEET TO A POINT; THENCE S89°12'00"E, 154.30 FEET TO A POINT; THENCE S45°00'00"E, 152.13 FEET TO A POINT; THENCE N14°19'31"E, 182.25 FEET TO A POINT OF CURVATURE; THENCE EASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 450.00 FEET AND A CHORD BEARING OF S71°33'06"E, AN ARC LENGTH OF 363.22 FEET TO A POINT; THENCE S6°13'00"E, 49.85 FEET TO A POINT; THENCE S89°30'00"E, 44.45 FEET TO A POINT; THENCE S88°02'18"E, 150.34 FEET TO A POINT; THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 171.00 FEET AND A CHORD BEARING OF S27°41'21"E, AN ARC LENGTH OF 171.00 FEET TO A POINT; THENCE N65°51'50"E, 37.42 FEET TO A POINT; THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 171.00 FEET AND A CHORD BEARING OF S68°11'11"W, AN ARC LENGTH OF 187.46 FEET TO A POINT OF TANGENCY; THENCE S36°42'32"W, 230.91 FEET TO THE SOUTHEAST CORNER OF SAID OUTLOT C; THENCE N63°40'38"W, 465.18 FEET ALONG THE SOUTH LINE OF SAID OUTLOT C TO A POINT; THENCE S84°00'24"W, 274.04 FEET ALONG SAID SOUTH LINE TO A POINT; THENCE S85°54'04"W, 243.06 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING AND CONTAINING 10.915 ACRES MORE OR LESS.

AREAS

BUILDINGS	126395 S.F.	26%
HARD SURFACE	44103 S.F.	11%
OPEN SPACE	243322 S.F.	63%
TOTAL	464420 S.F.	100%

LAND USE

EXISTING: VACANT
PROPOSED: TOWNHOMES

ZONING

EXISTING: R-3 P.U.D.

PROPOSED UTILITIES

SANITARY - CITY OF POLK CITY
STORM - CITY OF POLK CITY
WATER - CITY OF POLK CITY

DENSITY

41 UNITS/ACRE

CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Melissa M. Fauley 12-29-05
MELISSA M. FAULEY, IOWA REG. NO. 16023 DATE MY LICENSE RENEWED DATE 6 DECEMBER 31, 2009 PAGES OR SHEETS COVERED BY THIS SEAL.
Sheets 1 thru 3

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Jerry P. Oliver 12/19/05
JERRY P. OLIVER, IOWA REG. NO. 18444 DATE MY LICENSE RENEWED DATE 6 DECEMBER 31, 2009 PAGES OR SHEETS COVERED BY THIS SEAL.
Sheets 1 thru 3

LEGEND

EXISTING/PROPOSED

- PLAT BOUNDARY
- ST" - STORM SEWER & SIZE
- SAN" - SANITARY SEWER & SIZE
- M" - WATER MAIN & SIZE
- MANHOLE
- STORM INTAKE
- FIRE HYDRANT
- VALVE
- FIBER OPTICS
- LIGHT FIXTURE & 20' STANDARD
- SEE NOTE #10

TOURNAMENT CLUB OF IOWA

DIMENSION PLAN

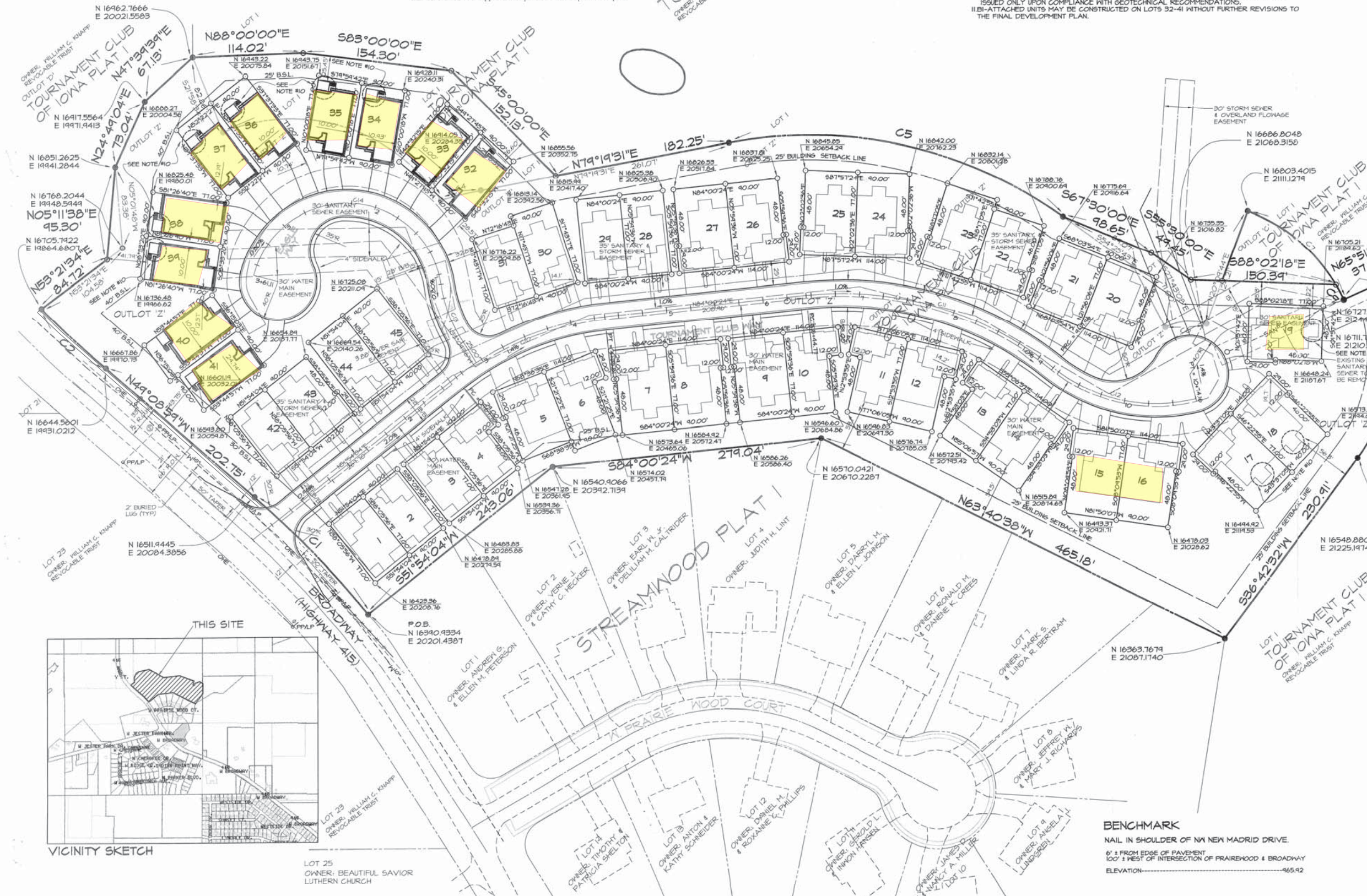
DATE: 12-04-05	SHEET
REVISIONS: 12-24-05	1
	OF 4

NORTH
SCALE: 1"=50'

CEC CIVIL ENGINEERING CONSULTANTS, INC.
2400 86TH STREET, UNIT 12 DES MOINES, IOWA 50322.4379
PHONE: 515.276.4884 FAX: 515.276.7084

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	4°46'34"	487.43	168.56	84.44	168.36	N44°02'51"W
C2	6°29'03"	806.45	403.33	45.21	402.28	N41°11'55"W
C3	18°21'38"	186.21	251.16	152.14	235.67	S72°44'16"E
C4	5°23'16"	450.00	42.32	21.17	42.30	N16°31'53"E
C5	46°14'46"	450.00	363.22	142.15	353.44	S71°33'06"E
C6	45°55'55"	54.50	43.64	23.10	42.53	N05°14'44"E
C7	44°56'35"	171.00	136.84	73.21	135.31	S41°21'50"E
C8	60°50'42"	171.00	187.46	103.44	174.26	S06°11'11"W
C9	5°35'22"	171.00	17.27	8.64	17.26	S27°41'21"E
C10	32°06'20"	300.00	168.10	86.32	165.91	N61°51'14"E
C11	44°49'19"	350.00	273.19	143.48	266.31	S73°37'57"E
C12	52°38'43"	170.00	156.20	84.10	150.76	S71°39'34"E
C13	24°40'33"	150.00	64.60	32.81	64.10	N20°44'19"W
C14	15°07'48"	49.00	27.50	14.44	14.07	N87°02'57"W



BENCHMARK
NAIL IN SHOULDER OF NEW MADRID DRIVE.
6' FROM EDGE OF PAVEMENT
100' WEST OF INTERSECTION OF PRAIRIEWOOD & BROADWAY
ELEVATION: 465.92

LOT 25
OWNER: BEAUTIFUL SAVIOR LUTHERN CHURCH

Approved #1 Submitted #2 1-3-06
Approval

FINAL DEVELOPMENT PLAN WOLF CREEK TOWNHOMES

POLK CITY, IOWA

LAYOUT NOTES

- PUBLIC STREET PAVEMENT SHALL BE 20' B/W TYPICAL.
- PRIVATE STREETS SHALL BE 22' B/W TYPICAL UNO.
- PAVEMENT CORNER RADII SHALL BE 25.0' UNO.
- RIGHT-OF-WAY RADII SHALL BE 25.0' AT INTERSECTIONS UNO.
- ALL DRIVEWAYS SHALL HAVE A 3" ROLL CURB.
- SEE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- PARKING STALLS SHALL BE 4' WIDE AT THE NARROWEST POINT AND 10' DEEP.
- PAVEMENT RADII AT PARKING STALLS SHALL BE 5.0'.
- SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF THE PUBLIC STREET R.O.W. AS PER STANDARD STOPS.
- PROVIDE ACCESSIBLE SIDEWALK RAMP(S) AT ALL STREET INTERSECTIONS.
- SEE UTILITY PLAN FOR PROPOSED EASEMENTS AND SETBACK LINES.

PHASING

PHASE #1 66 UNITS
PHASE #2 52 UNITS
PHASE #3 43 UNITS

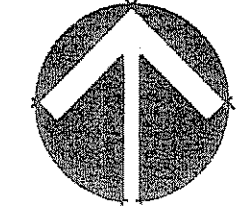
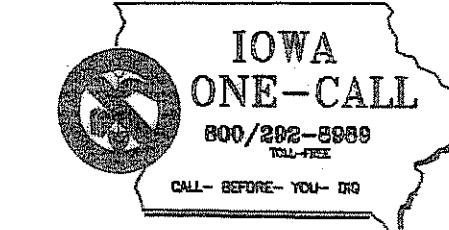
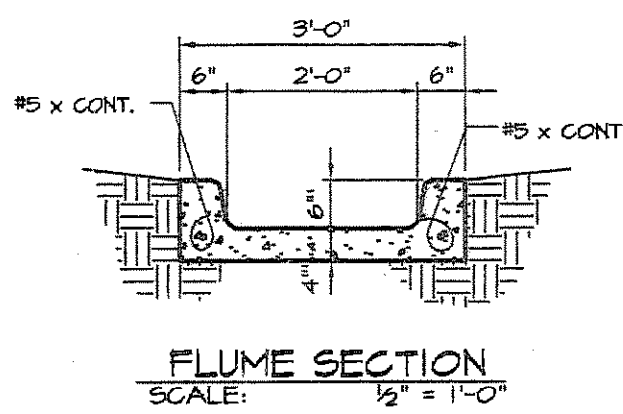
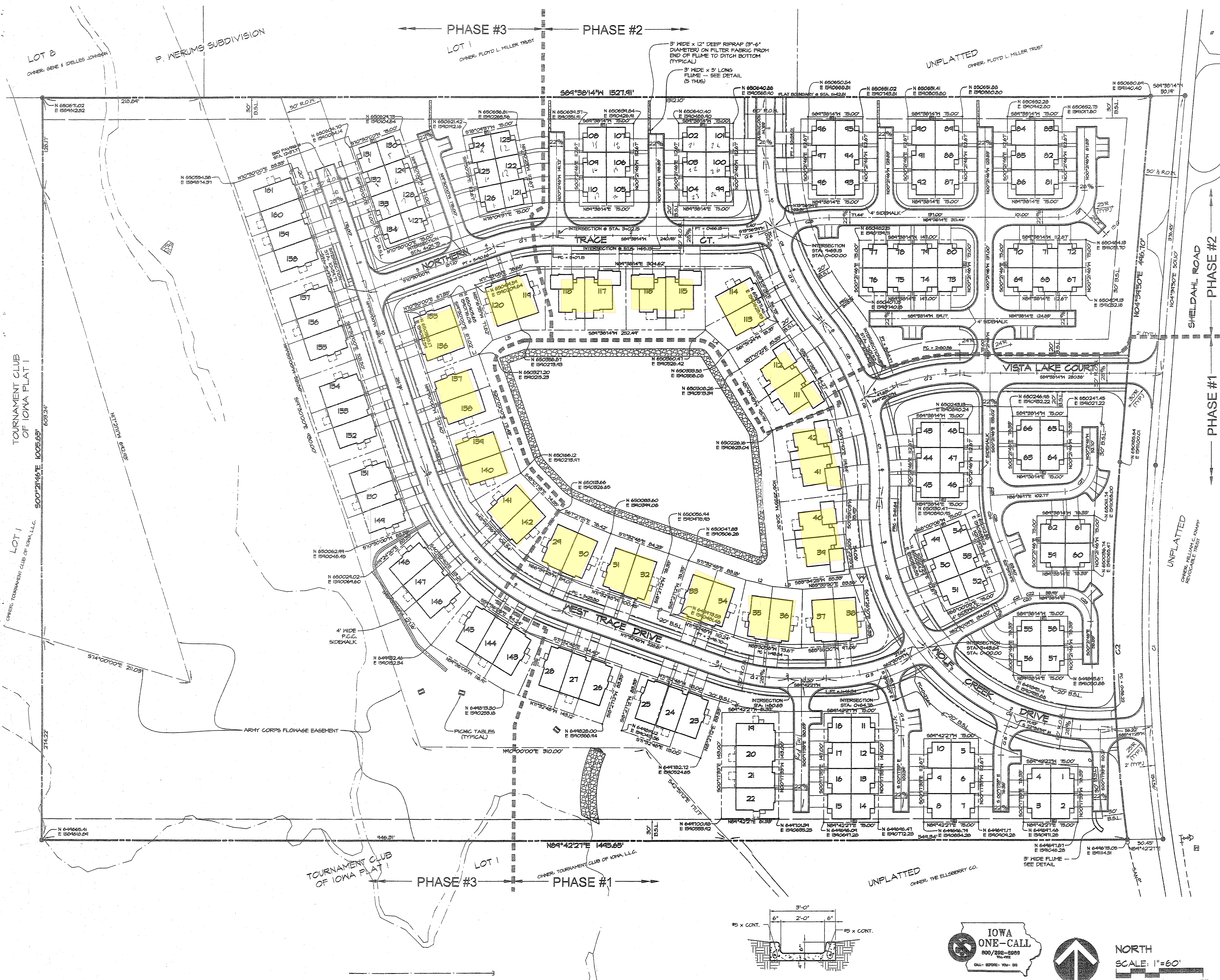
CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	12°44'15"	2242.00'	504.34'	255.82'	308.49'	N01°42'17"W
C2	12°34'13"	2842.00'	513.82'	281.45'	512.71'	N01°31'16"W
C3	46°31'40"	300.00'	505.42'	336.24'	447.73'	S43°56'45"E
C4	54°53'34"	300.00'	281.42'	155.81'	276.55'	S66°45'48"E
C5	41°38'05"	300.00'	218.00'	114.06'	213.23'	S18°24'59"E
C6	42°03'03"	350.00'	256.81'	134.53'	231.15'	N18°42'21"W
C7	22°53'55"	350.00'	134.88'	70.84'	138.43'	N04°07'53"W
C8	14°04'08"	350.00'	116.44'	54.05'	116.45'	N30°04'25"W
C9	34°22'13"	350.00'	240.50'	125.22'	235.80'	S20°02'32"E
C10	23°40'38"	350.00'	144.64'	73.36'	143.81'	S21°53'40"E
C11	15°41'35"	350.00'	45.86'	48.23'	45.56'	S08°12'33"E
C12	20°13'05"	250.00'	86.22'	44.57'	81.76'	S16°15'42"W
C13	27°12'18"	250.00'	118.10'	60.44'	117.54'	N76°06'18"W
C14	18°44'45"	300.00'	48.15'	44.52'	41.72'	S80°55'10"E
C15	52°02'48"	300.00'	272.52'	148.47'	263.24'	S45°31'24"E
C16	15°41'53"	200.00'	54.78'	21.56'	54.61'	N81°47'27"E
C17	15°08'14"	250.00'	83.50'	42.14'	83.11'	S80°04'07"W
C18	22°52'32"	100.00'	34.48'	20.23'	34.66'	S11°08'43"W
C19	18°41'56"	150.00'	48.94'	24.64'	48.72'	N04°38'21"W
C20	27°08'06"	75.00'	33.52'	18.10'	35.14'	S16°04'12"W
C21	8°43'10"	75.00'	11.46'	5.74'	11.45'	S66°32'44"W
C22	18°22'56"	75.00'	24.06'	12.14'	23.46'	S80°26'46"W
C23	40°00'00"	36.00'	56.55'	36.00'	50.91'	N45°21'46"W
C24	21°38'08"	200.00'	75.52'	38.22'	75.07'	S11°10'50"E
C25	3°01'52"	200.00'	10.54'	10.54'	10.58'	S01°52'44"E
C26	18°36'10"	200.00'	64.44'	32.76'	64.65'	S12°41'48"E
C27	86°58'02"	36.00'	54.64'	34.14'	44.55'	N43°07'16"E
C28	15°41'35"	200.00'	54.78'	21.56'	54.61'	S81°47'27"W
C29	40°00'00"	36.00'	56.55'	36.00'	50.91'	N44°30'14"E

LINE DATA

LINE	LENGTH	BEARING
L1	10.74	N70°30'00"E
L2	41.16	S71°04'01"E
L3	41.38	S85°05'40"E
L4	42.32	N52°12'34"W
L5	42.00	S71°45'05"W

57' fill
10' - back to back
14'



NORTH
SCALE: 1"=60'

DATE		REVISION	
4-16-03		5-13-03	

CEC	LAYOUT PLAN	SHEET 2 OF 8
	CIVIL ENGINEERING CONSULTANTS, INC. 2403 86TH STREET UNIT 12, DES MOINES, IOWA 50322-4279 PHONE: 515.276.4884 FAX: 515.276.7084	

ORDINANCE NO. 2002-700

AN ORDINANCE AMENDING THE POLK CITY, IOWA PLANNED UNIT DEVELOPMENT ORDINANCE

The purpose of this ordinance is to change the official zoning map of the City of Polk City, Iowa to amend the rules, regulations and guidelines for the development of the Tournament Club of Iowa Planned Unit Development, specifically Pod G.

Section 5 - subsection 7 of the original document shall be replaced with the following:

Section 5 - subsection 7. PARCEL G (Outlot G) R-3 PUD. All general use regulations, performance standards and provisions set forth in Chapter 15.36 of Title 15 for the R-3, Multiple-Family Residence District of the Municipal Code of the City of Polk City, Iowa, shall apply to any development in Parcel G.

Maximum number of total dwelling units within parcel = 207
Maximum number of multiple dwelling units = 207

Multiple dwelling units may include structures with 2 thru 8 units of a townhouse or condo variety where units are intended for owner occupancy. Units may have individual lots, with common wall boundaries, or may be part of a horizontal property regime with common ownership of grounds and facilities. Such common amenities as pools, outdoor sports facilities, clubhouses, and exercise facilities shall be allowed when approved as part of a development site plan.

The following Minimum Bulk Regulations shall apply for townhouse units within Parcel G:

- ✓ Minimum building setback from 3rd Street Right-of-Way shall be 30 feet.
- Minimum building setback from any portion of the perimeter of the Development Plan for Parcel G shall be 30 feet.
- Minimum building setback from any public street Right-of-Way within the perimeter of the Development Plan for Parcel G shall be 20 feet.

Minimum front building setback along any private drive within Parcel G shall be 25 feet from the Back-of-Curb to the garage door.

Equates 12" clear or 6' setback at foundations

→ Minimum separation distance between two sides of any buildings within Parcel G shall be 10 feet from any part of the buildings including overhangs.

Minimum separation distance between the rear of any building to the side of any other building shall be 25 feet.

One public street connection between 3rd Street and the north boundary of Parcel G shall have no less than a 60 foot Right-of-Way width. All other public streets within the perimeter of the Development Plan for Parcel G shall have no less than a 50 foot Right-of-Way width.

All public streets shall be 28 feet from Back-of-Curb to Back-of-Curb.

All private drives shall be 22 feet from Back-of-Curb to Back-of-Curb.

Multiple dwelling units may include structures with 2 thru 8 units of a townhouse or condo variety where units are intended for owner occupancy. Units may have individual lots, with common wall boundaries, or may be part of a horizontal property regime with common ownership of grounds and facilities. Such common amenities as pools, outdoor sports facilities, clubhouses, and exercise facilities shall be allowed when approved as part of a development site plan.

General layout as depicted in sketch plan dated 10-03-2002 shall be acceptable if all criteria as listed above are met.

PASSED AND APPROVED the 11th day of November, 2002.

M. E. Burton, Mayor

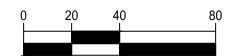
ATTEST:

Deanna Deason, Clerk/Treasurer

GENERAL LAYOUT AND
DIMENSION PLAN



NORTH



GRAPHIC SCALE

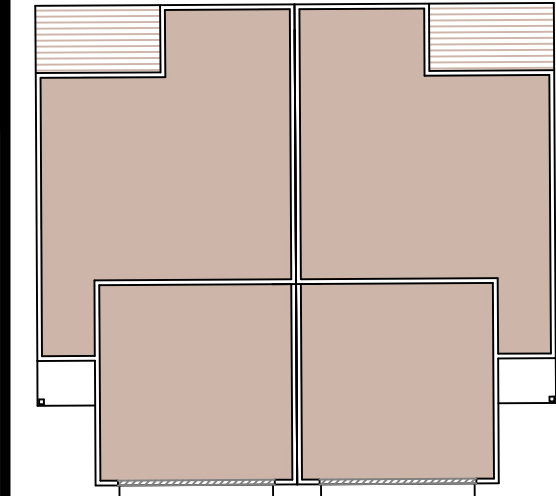
LAKEWOODS TOWNHOMES
SITE PLAN

POLK CITY, IOWA
20216005-00
MARCH 2020

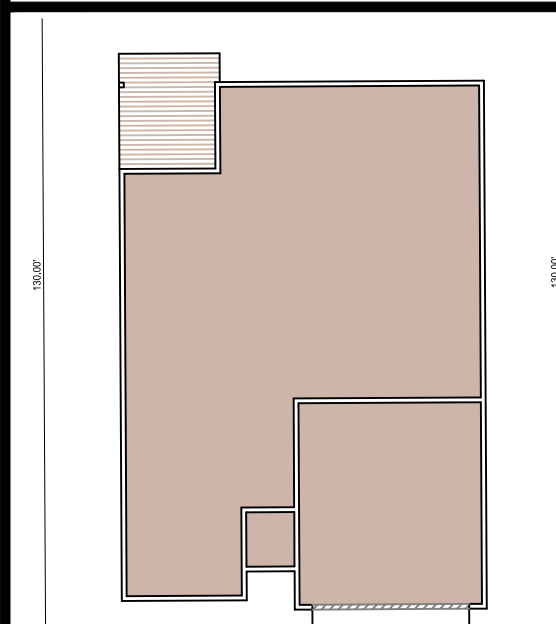
REVISIONS
SEPTEMBER 11, 2020
OCTOBER 12, 2020
OCTOBER 19, 2020

ENGINEER: C. SMITH
DRAWN BY: C. SMITH
CHECKED BY: [blank]
FIELD BOOK NO.: 20216005-00

DRAWING NO.: GN-04
SHEET NO.: 04 / 13



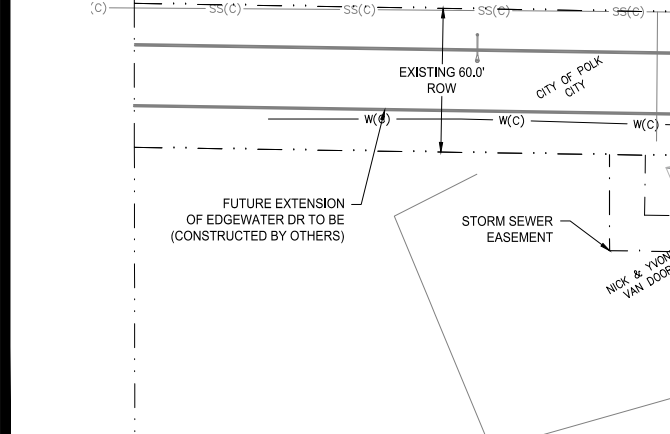
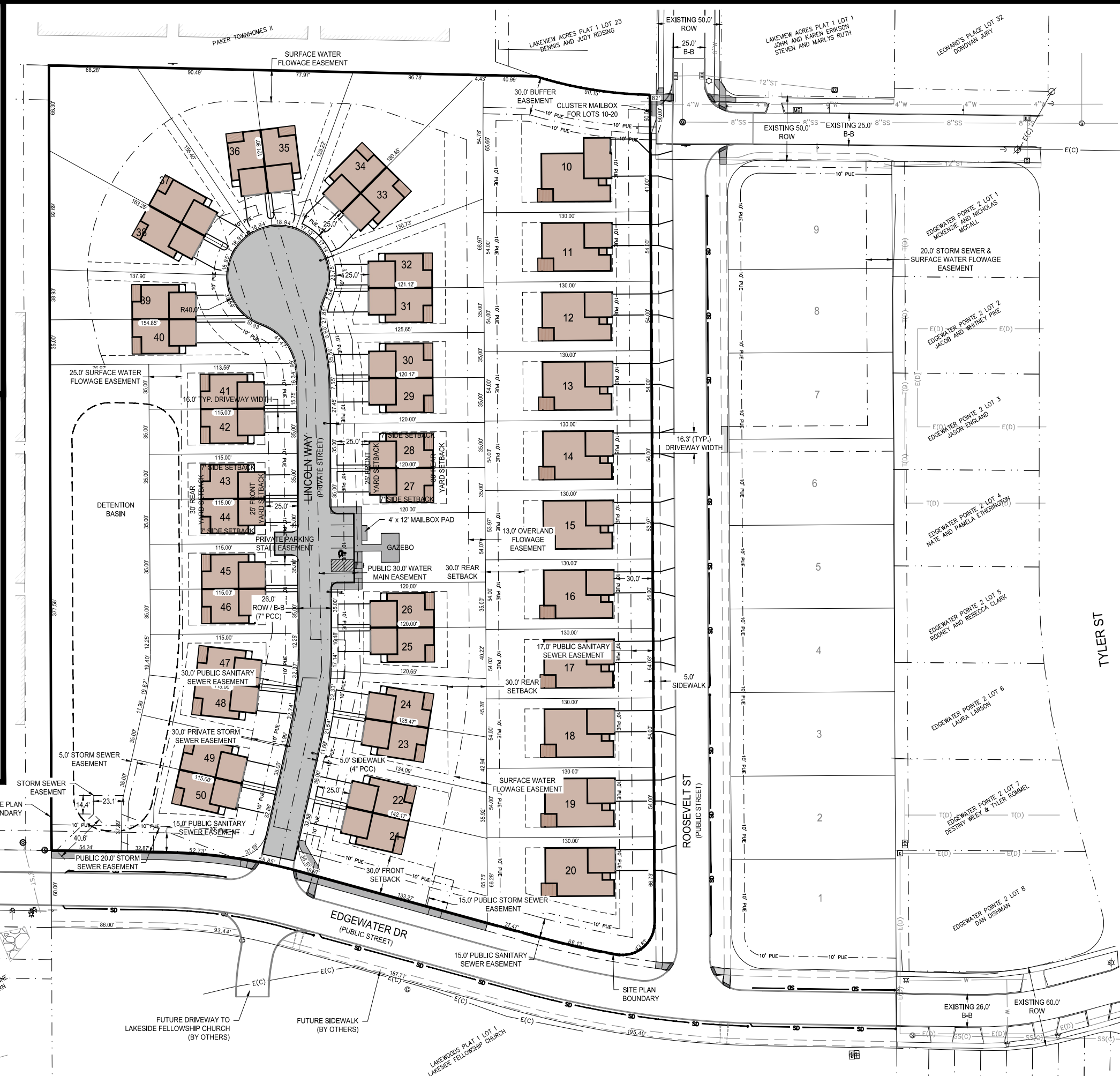
TOWNHOME UNIT DIMENSIONS
SCALE 1" = 10'



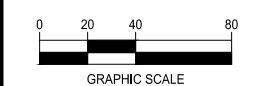
VILLA UNIT DIMENSIONS
SCALE 1" = 10'

- GENERAL NOTES:
- 1) TOWNHOMES AND VILLAS WILL HAVE BASEMENTS.
 - 2) LINCOLN WAY WILL BE 7" PCC.
 - 3) SIDEWALKS WILL BE 4" PCC.
 - 4) DRIVEWAYS WILL BE 4" PCC.

10/19/2020 5:08 PM
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OVERALL LAYOUT AND UTILITY PLAN



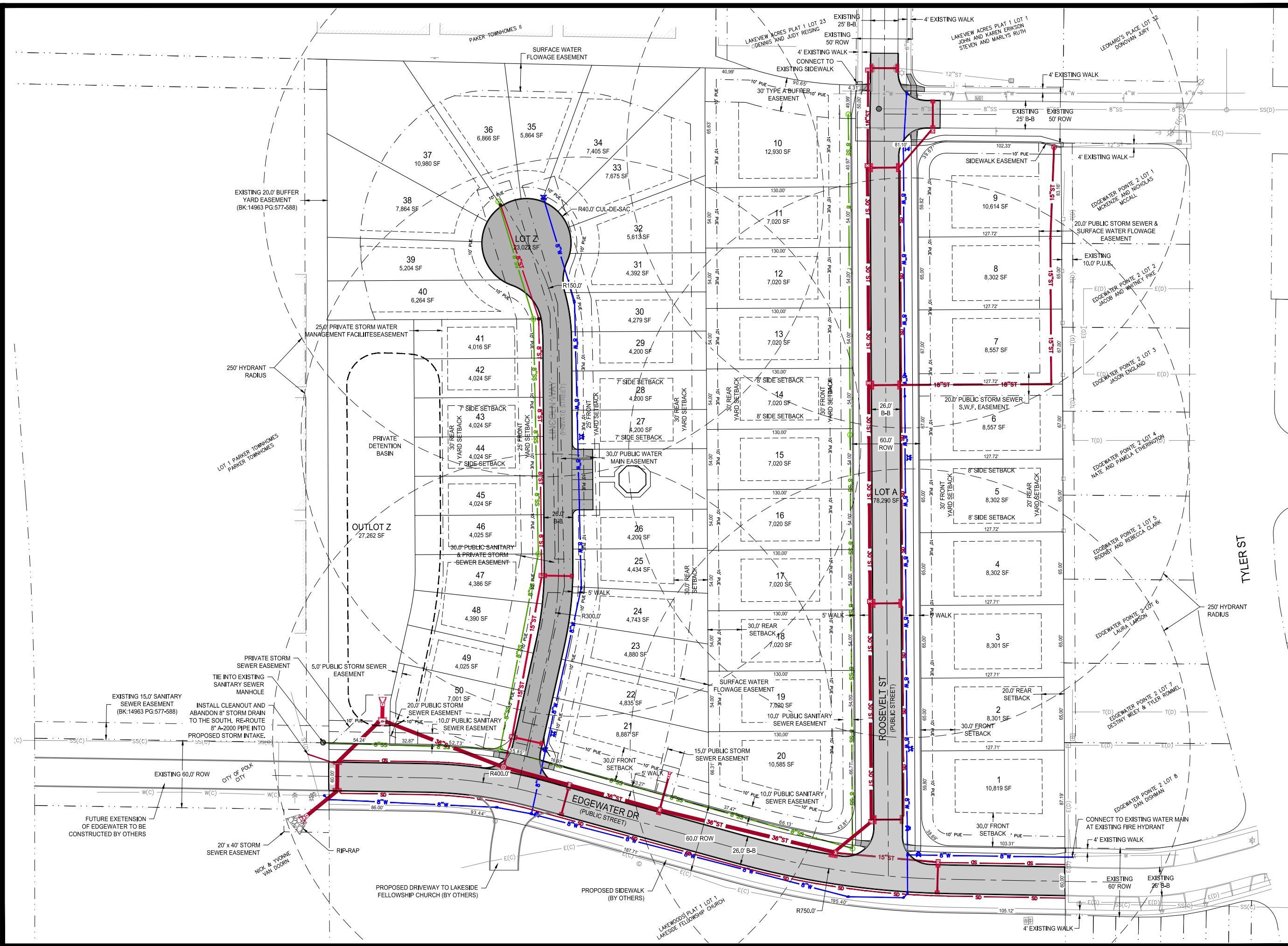
LAKEWOODS DEVELOPMENT PRELIMINARY PLAT

POLK CITY, IOWA
20216005-00
JANUARY 2020

REVISIONS
FEB. 12, 2020 (STAFF COMMENTS)

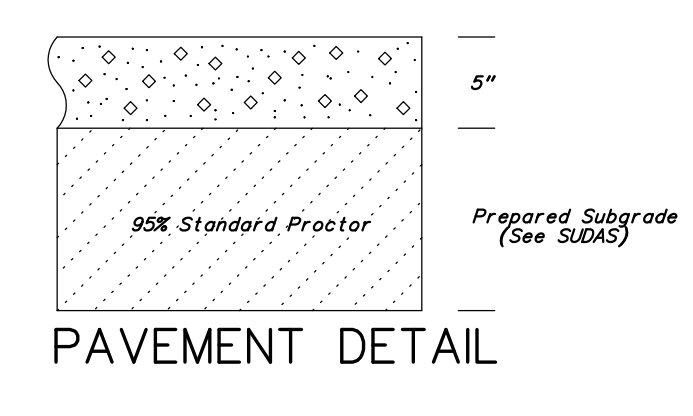
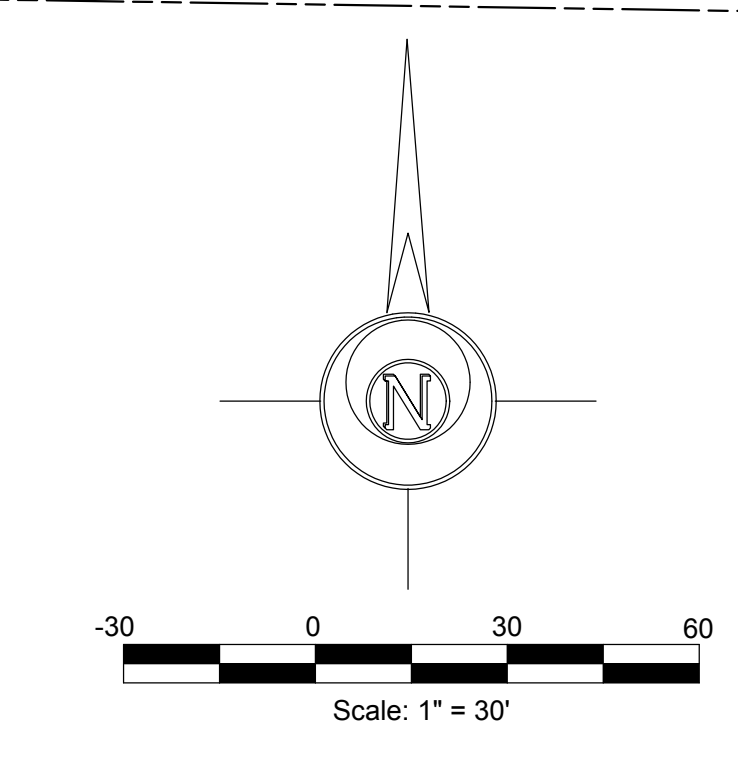
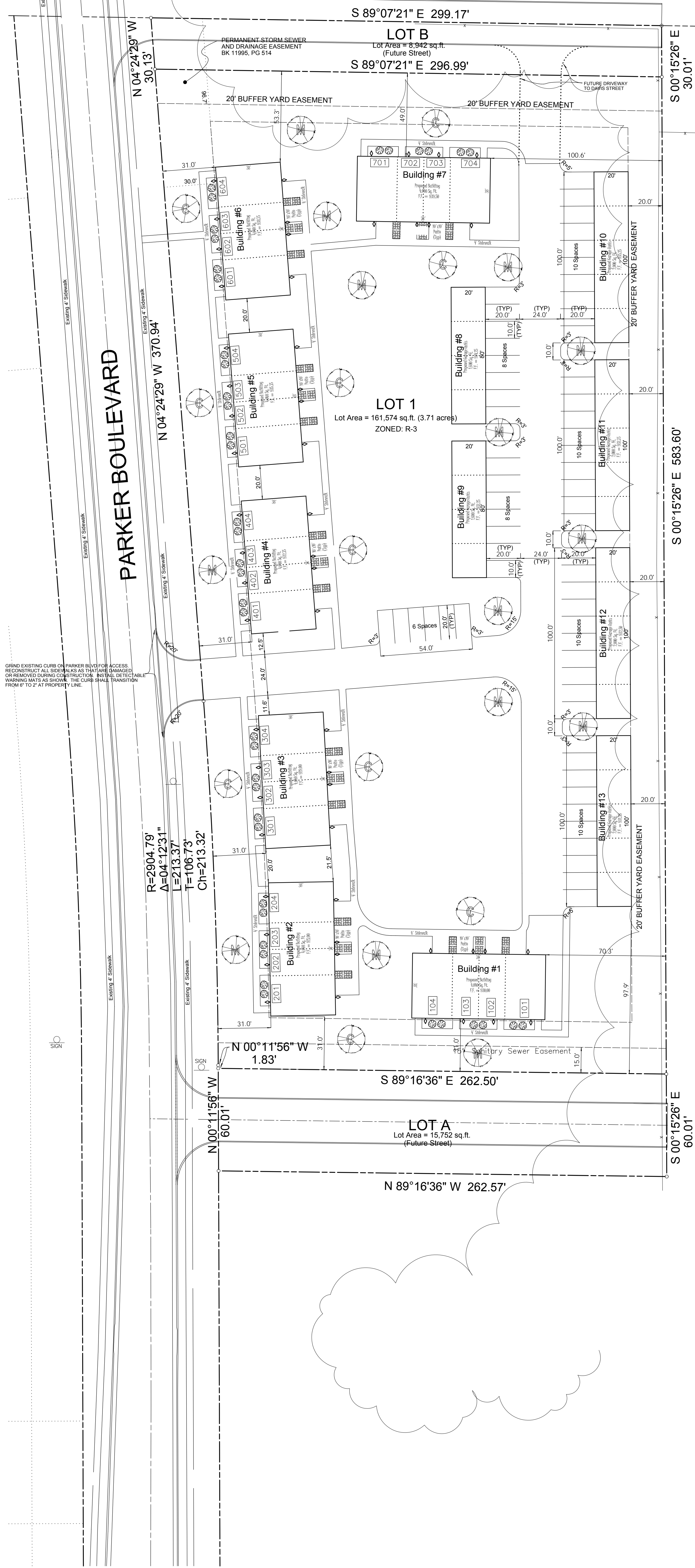
ENGINEER: C. SMITH
DRAWN BY: C. SMITH
CHECKED BY: [blank]
FIELD BOOK NO.: 20216005-00

DRAWING NO.: **GN-02**
SHEET NO.: **02 / 04**



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 3/26/2020 9:47 AM

All structures are on one R-3 lot.



- PAVING NOTES:
- 1) Sidewalks to be 4" thick P.C.C.
 - 2) Patio locations are approximate. Refer to building plans for exact locations.
 - 3) Contractor will grind curb on Parker Road. The sidewalk shall be repaired on Parker Road.

REQUIRED PLANTINGS:

Open Space Trees = Open Space sq.ft./3000 x 2 = # of Trees
 Open Space Shrubs = Open Space sq.ft./3000 x 6 = # of Shrubs
 Open Space Plantings = 24,236/3,000 = 8.1 x 2 = 16.2 use 17 Trees
 = 8.1 x 6 = 48.6 use 49 Shrubs

Parking Area Plantings = 20% of pavement sq.ft./700 = # of Trees
 0.20 x 27,889 = 5,578 5,578/700 = 7.9 = use 8 Trees

Total Plantings = 25 Trees and 49 Shrubs

REQUIRED PLANTINGS:

PROPOSED TREES:		
SYMBOL	#	COMMON NAME (BOTANICAL NAME) SIZE
	15	AMIR MAPLE (Acer Ginnala) 1-1/2" caliper B&B
	10	CENTURION FLOWERING CRAB (Malus "Centurion") 2-1/2" caliper B&B
TOTAL ==> 25		
PROPOSED SHRUBS:		
SYMBOL	#	COMMON NAME (BOTANICAL NAME) SIZE
	42	EMERALD GREEN ARBORVITAE (Thuja occidentalis "Smaragd") 5 Gallon Container
	42	LITTLE GEM ARBORVITAE (Thuja occidentalis "Little Gem") 5 Gallon Container
TOTAL=> 84		

GRIND EXISTING CURB ON PARKER BLVD FOR ACCESS. RECONSTRUCT ALL SIDEWALKS AS THOSE DAMAGED OR REMOVED DURING CONSTRUCTION. INSTALL DETECTABLE WARNING MATS AS SHOWN. THE CURB SHALL TRANSITION FROM 6" TO 2" AT PROPERTY LINE.

A. LEO ELDS ENGINEERING COMPANY
 Engineering | Planning | Surveying
 2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

LEGEND:

STANDARD SYMBOLS:

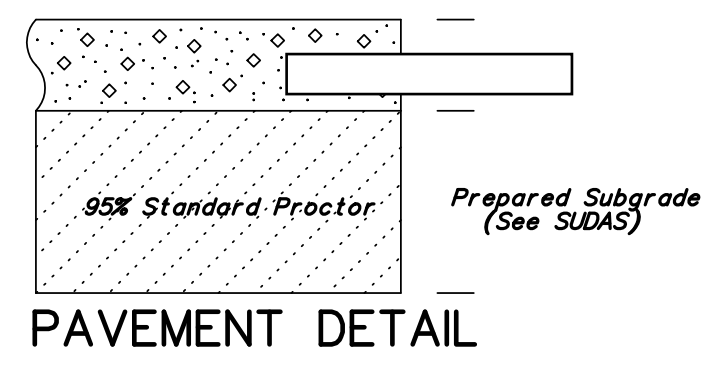
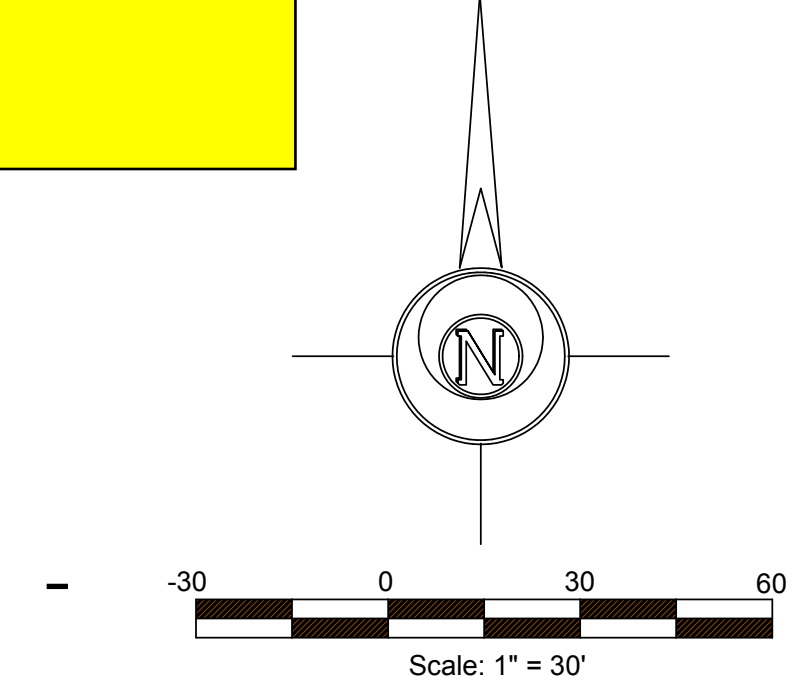
●	IRON ROD OR PIPE FOUND	+/-	TELEPHONE JUNCTION BOX
○	SET IRON ROD WITH #4640 CAP	x x x	ELECTRIC TRANSFORMER
△	SECTION CORNER MONUMENT FOUND	○	MORE OR LESS
▽	SECTION CORNER MONUMENT SET	○	FENCE LINE
⊙	POWER POLE	⊙	FIRE HYDRANT
⊙	LIGHT POLE	⊙	SANITARY SEWER MANHOLE
⊙	FINISHED FLOOR	⊙	STORM SEWER MANHOLE
		⊙	VALVE
		⊙	SPOT ELEVATION (@ x)
		⊙	NOT TO SCALE
		⊙	HOT MIX ASPHALT
		⊙	(M)/(R)
		⊙	P.C.C.
		⊙	W
		⊙	WATER
		⊙	G
		⊙	GAS
		⊙	S
		⊙	SANITARY SEWER
		⊙	STORM SEWER
		⊙	UNDERGROUND ELEC. / TEL.
		⊙	OVERHEAD ELEC. / TEL.
		⊙	CABLE TELEVISION

Parker Townhomes
 Site Plan - 955 Parker Blvd.
 Polk City, Iowa

DATE: 08-14-2013	DATE: 09-06-2013
1" = 30'	07-30-2013
V. Peids	13-049

2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

All structures are on one PUD lot.



- PAVING NOTES:**
- 1.) Sidewalks to be 4" thick P.C.C.
 - 2.) Patio locations are approximate. Refer to building plans for exact locations.
 - 3.) Contractor will grind curb on Parker Blvd. The sidewalk shall be repaired on Parker Blvd.

REQUIRED PLANTINGS:

OPEN SPACE = 15% OF PROPERTY AREA
 Open Space Trees = Open Space sq.ft./3000 x 2 = # of Trees
 Open Space Shrubs = Open Space sq.ft./3000 x 6 = # of Shrubs
 Open Space Plantings = 26,133/3,000 = 8.7 x 2 = 17.4 use 18 Trees
 = 8.7 x 6 = 52.2 use 63 Shrubs
 Parking Area Plantings = 20% of pavement sq.ft./700 = # of Trees
 0.20 x 28,000 = 5,600 5,600/700 = 8.0 = use 8 Trees
 Total Required Plantings = 26 Trees and 53 Shrubs

REQUIRED PLANTINGS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	7	AMUR MAPLE (Acer Ginnala)	1-1/2" caliper B&B
	7	CENTURION FLOWERING CRAB (Malus 'Centurion')	2-1/2" caliper B&B
TOTAL ==> 14 (MORE THAN 14 TREES WILL BE SAVED)			

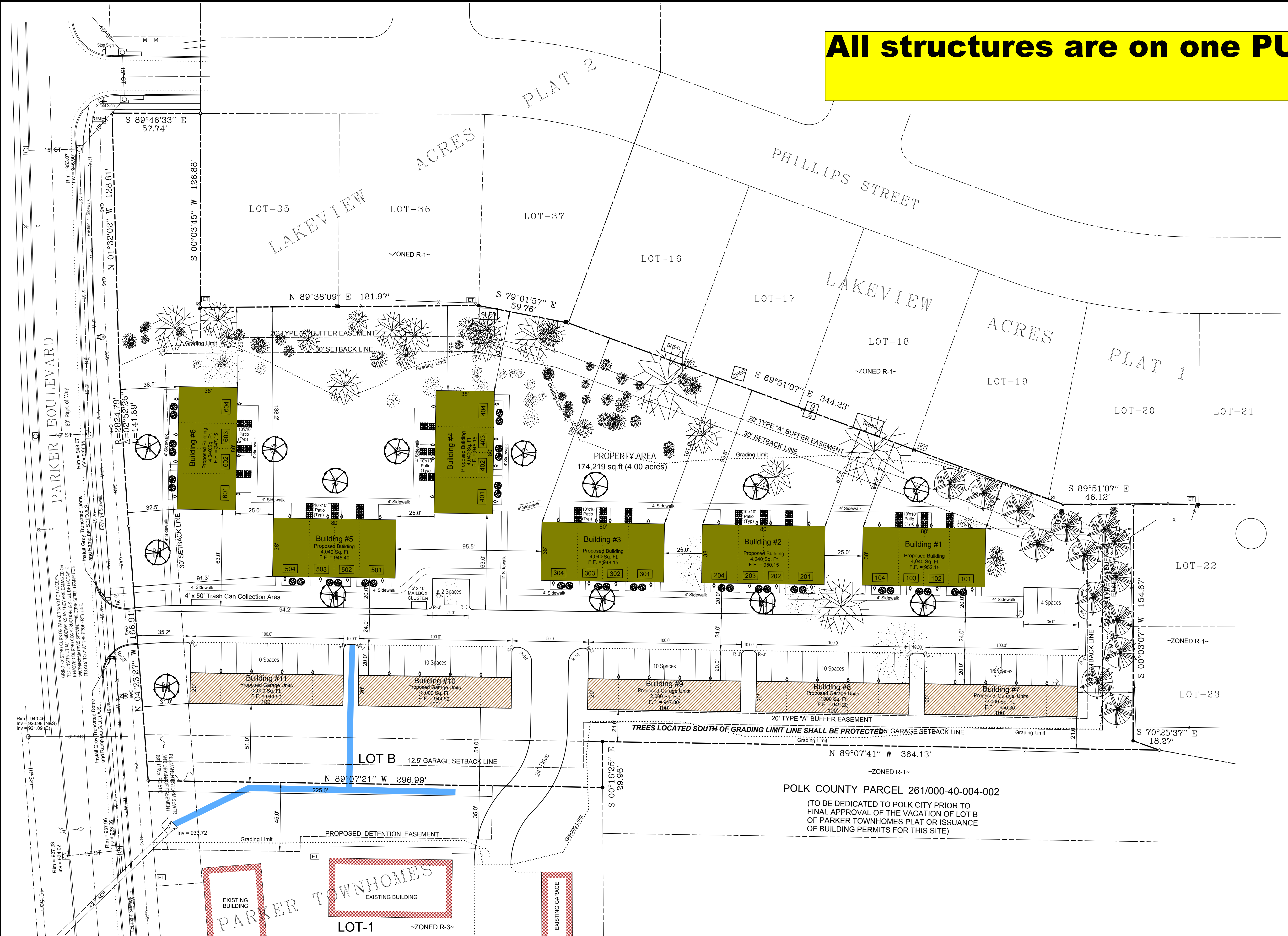
PROPOSED SHRUBS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	36	EMERALD GREEN ARBORVITAE (Thuja occidentalis 'Smaragd')	5 Gallon Container
	36	LITTLE GEM ARBORVITAE (Thuja occidentalis 'Little Gem')	5 Gallon Container
TOTAL=> 72			

BUFFER PLANTINGS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	7	WHITE SPRUCE (Picea glauca var.)	6' TALL B&B
	7	COLORADO SPRUCE (Picea pungens var.)	6' TALL B&B
TOTAL ==> 14			

- NOTES:**
- 1.) All disturbed areas will be seeded with lawn mixture.
 - 2.) The maximum spacing for trees, along the buffer areas is 30'. Once grading is complete, some additional trees may be required to meet this requirement.



POLK COUNTY PARCEL 261/000-40-004-002
 (TO BE DEDICATED TO POLK CITY PRIOR TO FINAL APPROVAL OF THE VACATION OF LOT B OF PARKER TOWNHOMES PLAT OR ISSUANCE OF BUILDING PERMITS FOR THIS SITE)

A. LEO PELDS ENGINEERING COMPANY
 Engineering | Planning | Surveying
 2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-8999).

DISCLAIMER:
 THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO PELDS ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALL P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND:

STANDARD SYMBOLS:

	MATCH EXISTING ELEVATION		+/-		PROPOSED UTILITY LINE
	GAS MARKER POST				UTILITY LINE OR PIPE
	UTILITY PEDESTAL		W		WATER
	LIGHT		○		SANITARY SEWER
	POWER POLE		○		STORM SEWER
	ELECTRIC TRANSFORMER		125.3		
	FINISHED FLOOR		N.T.S.		
			○		

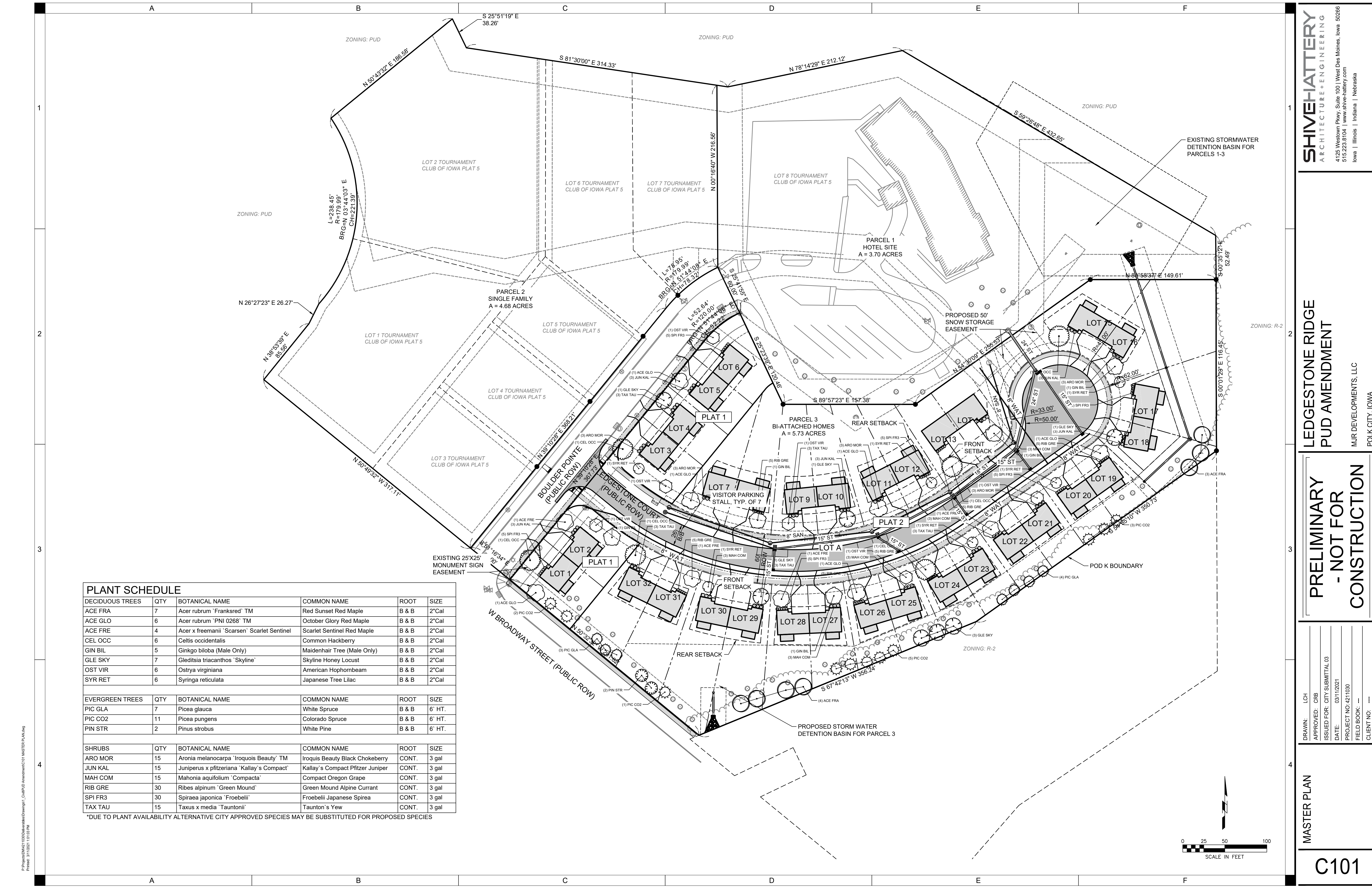
MORE OR LESS:
 FENCE LINE
 FIRE HYDRANT
 SANITARY SEWER MANHOLE
 STORM SEWER MANHOLE
 VALVE
 SPOT ELEVATION
 NOT TO SCALE
 CLEANOUT

Parker Townhomes II
Amended PUD Master Plan/Site Plan
Polk City, Iowa

03-02-2015	E. Pelds	1" = 30'	04-22-2015	15-017
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3-11-2015 Revised per Snyder Comments dated Mar. 9, 2015
 3-18-2015 Revised per Snyder Comments
 3-26-2015 Revised per Snyder Comments
 4-14-2015 Revised per Snyder Comments

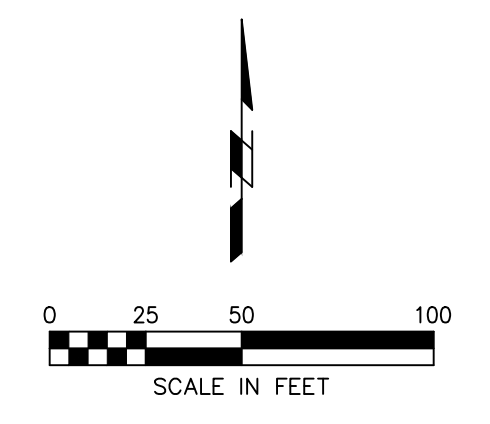
Dimension, Paving, Landscape Plan



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ACE FRA	7	Acer rubrum 'Franksred' TM	Red Sunset Red Maple	B & B	2"Cal
ACE GLO	6	Acer rubrum 'PNI 0268' TM	October Glory Red Maple	B & B	2"Cal
ACE FRE	4	Acer x freemanii 'Scarsen' Scarlet Sentinel	Scarlet Sentinel Red Maple	B & B	2"Cal
CEL OCC	6	Celtis occidentalis	Common Hackberry	B & B	2"Cal
GIN BIL	5	Ginkgo biloba (Male Only)	Maidenhair Tree (Male Only)	B & B	2"Cal
GLE SKY	7	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	B & B	2"Cal
OST VIR	6	Ostrya virginiana	American Hophornbeam	B & B	2"Cal
SYR RET	6	Syringa reticulata	Japanese Tree Lilac	B & B	2"Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PIC GLA	7	Picea glauca	White Spruce	B & B	6' HT.
PIC CO2	11	Picea pungens	Colorado Spruce	B & B	6' HT.
PIN STR	2	Pinus strobus	White Pine	B & B	6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ARO MOR	15	Aronia melanocarpa 'Iroquois Beauty' TM	Iroquois Beauty Black Chokeberry	CONT.	3 gal
JUN KAL	15	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	CONT.	3 gal
MAH COM	15	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	CONT.	3 gal
RIB GRE	30	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	CONT.	3 gal
SPI FR3	30	Spiraea japonica 'Froebelli'	Froebelli Japanese Spirea	CONT.	3 gal
TAX TAU	15	Taxus x media 'Tauntonii'	Taunton's Yew	CONT.	3 gal

*DUE TO PLANT AVAILABILITY ALTERNATIVE CITY APPROVED SPECIES MAY BE SUBSTITUTED FOR PROPOSED SPECIES



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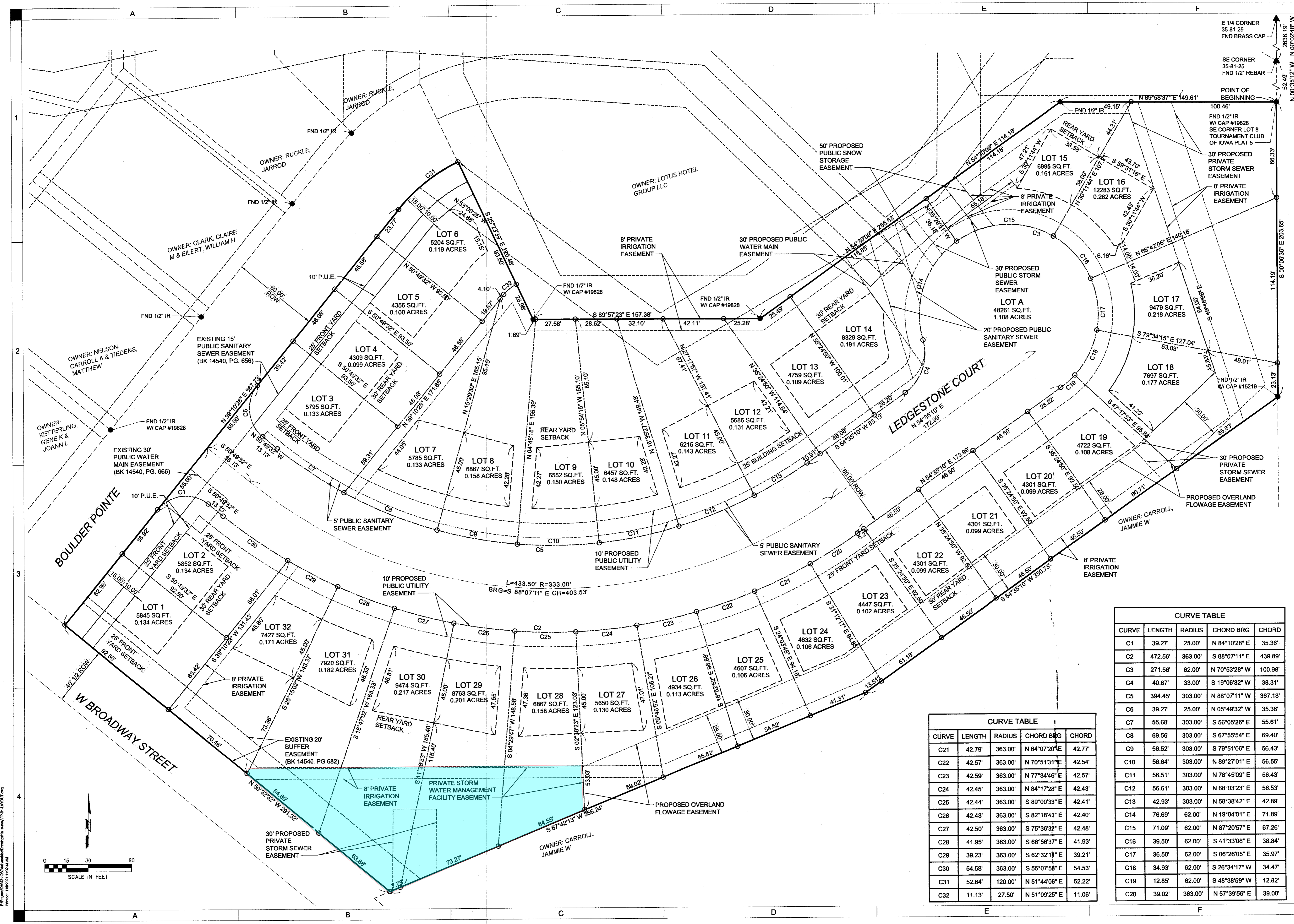
**FINAL PLAT OF
LEDGESTONE RIDGE**

POLK CITY, IOWA

DRAWN: CMH
APPROVED: MBH
ISSUED FOR: FINAL PLAT
DATE: 11/09/2021
PROJECT NO: 247103-0
FIELD BOOK: -
CLIENT NO: -

LAYOUT

B101

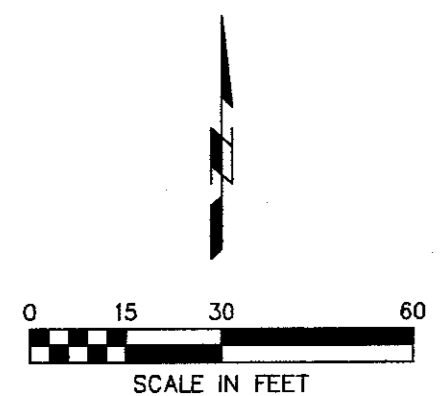


CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C1	39.27'	25.00'	N 84°10'28" E	35.36'
C2	472.56'	363.00'	S 88°07'11" E	439.89'
C3	271.56'	62.00'	N 70°53'28" W	100.98'
C4	40.87'	33.00'	S 19°06'32" W	38.31'
C5	394.45'	303.00'	N 88°07'11" W	367.18'
C6	39.27'	25.00'	N 05°49'32" W	35.36'
C7	55.68'	303.00'	S 56°05'26" E	55.61'
C8	69.56'	303.00'	S 67°55'54" E	69.40'
C9	56.52'	303.00'	S 79°51'06" E	56.43'
C10	56.64'	303.00'	N 89°27'01" E	56.55'
C11	56.51'	303.00'	N 78°45'09" E	56.43'
C12	56.61'	303.00'	N 68°03'23" E	56.53'
C13	42.93'	303.00'	N 58°38'42" E	42.89'
C14	76.69'	62.00'	N 19°04'01" E	71.89'
C15	71.09'	62.00'	N 87°20'57" E	67.26'
C16	39.50'	62.00'	S 41°33'06" E	38.84'
C17	36.50'	62.00'	S 06°26'05" E	35.97'
C18	34.93'	62.00'	S 26°34'17" W	34.47'
C19	12.85'	62.00'	S 48°38'59" W	12.82'
C20	39.02'	363.00'	N 57°39'56" E	39.00'

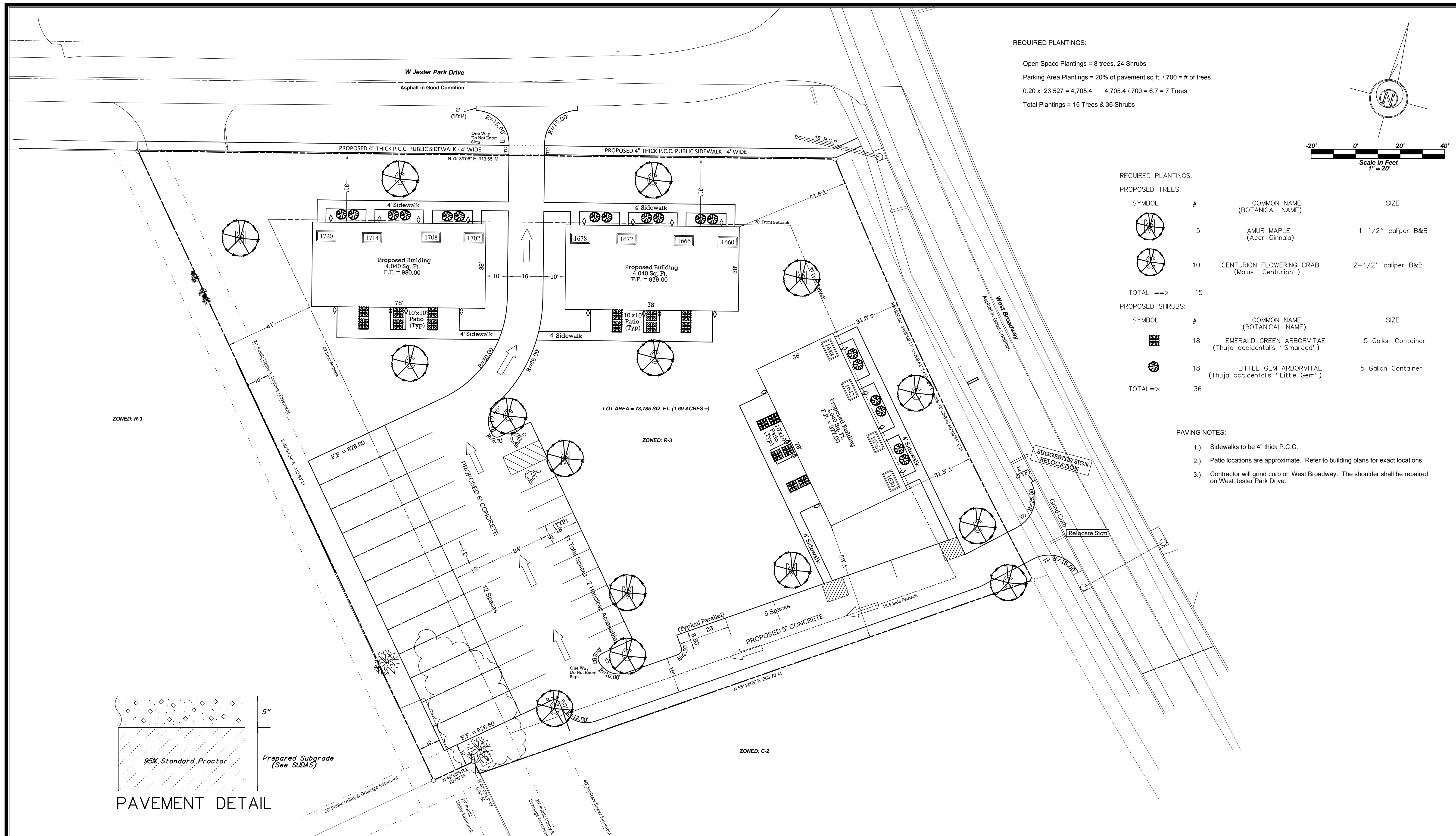
CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C21	42.79'	363.00'	N 64°07'20" E	42.77'
C22	42.57'	363.00'	N 70°51'31" E	42.54'
C23	42.59'	363.00'	N 77°34'46" E	42.57'
C24	42.45'	363.00'	N 84°17'28" E	42.43'
C25	42.44'	363.00'	S 89°00'33" E	42.41'
C26	42.43'	363.00'	S 82°18'41" E	42.40'
C27	42.50'	363.00'	S 75°36'32" E	42.48'
C28	41.95'	363.00'	S 68°56'37" E	41.93'
C29	39.23'	363.00'	S 62°32'11" E	39.21'
C30	54.58'	363.00'	S 55°07'58" E	54.53'
C31	52.64'	120.00'	N 51°44'06" E	52.22'
C32	11.13'	27.50'	N 51°09'25" E	11.06'



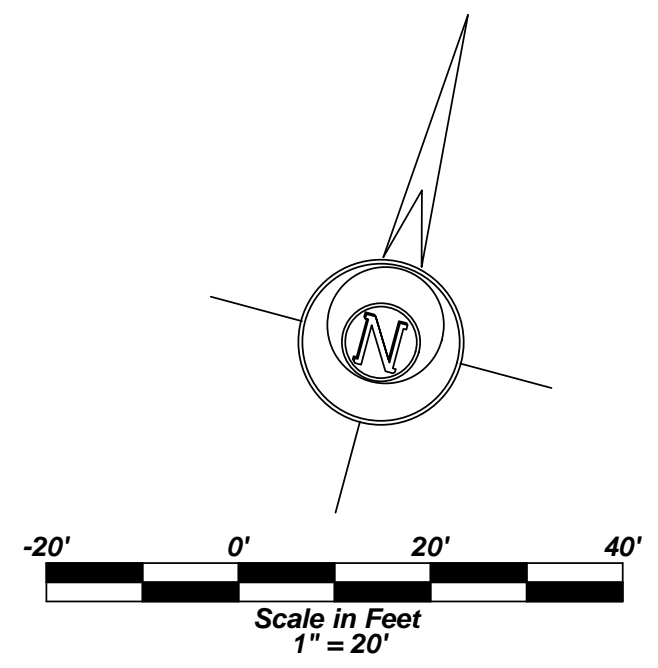
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All structures are on one R-3 lot.



REQUIRED PLANTINGS:

Open Space Plantings = 8 trees, 24 Shrubs
 Parking Area Plantings = 20% of pavement sq ft. / 700 = # of trees
 0.20 x 23,527 = 4,705.4 4,705.4 / 700 = 6.7 = 7 Trees
 Total Plantings = 15 Trees & 36 Shrubs



REQUIRED PLANTINGS:

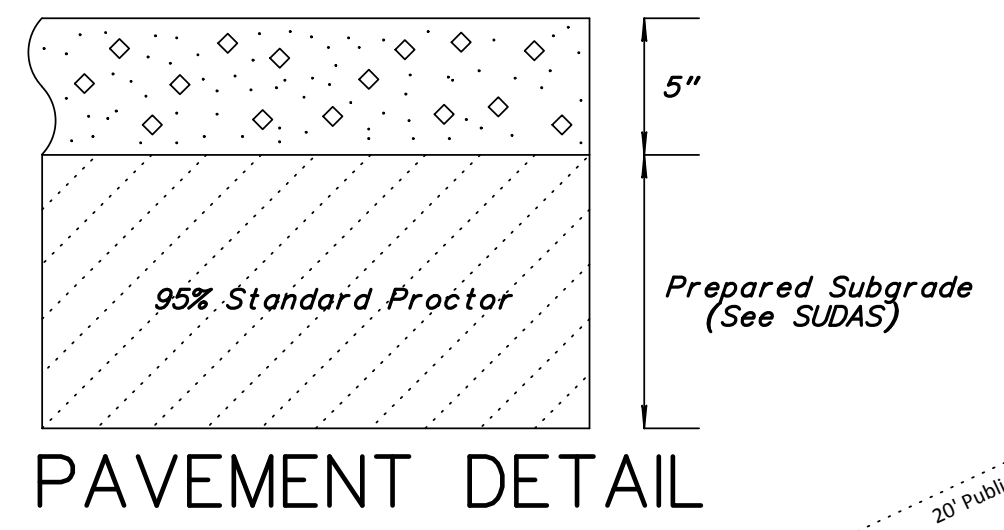
PROPOSED TREES:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	5	AMUR MAPLE (Acer Ginnala)	1-1/2" caliper B&B
	10	CENTURION FLOWERING CRAB (Malus 'Centurion')	2-1/2" caliper B&B
TOTAL ==>	15		

PROPOSED SHRUBS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	18	EMERALD GREEN ARBORVITAE (Thuja occidentalis 'Smaragd')	5 Gallon Container
	18	LITTLE GEM ARBORVITAE (Thuja occidentalis 'Little Gem')	5 Gallon Container
TOTAL =>	36		

- PAVING NOTES:**
- 1.) Sidewalks to be 4" thick P.C.C.
 - 2.) Patio locations are approximate. Refer to building plans for exact locations.
 - 3.) Contractor will grind curb on West Broadway. The shoulder shall be repaired on West Jester Park Drive.



A. LEO PELDS ENGINEERING COMPANY
 Engineering | Planning | Surveying
 2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

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LEGEND:

STANDARD SYMBOLS:			
●	IRON ROD OR PIPE FOUND	+/-	MORE OR LESS
○	CALCULATED CORNER	-x-x-	FENCE LINE
▲	SECT. COR. MONUMENT FOUND	○	FIRE HYDRANT
△	SECT. COR. MONUMENT CALC.	○	SANITARY SEWER MANHOLE
□	POWER POLE	○	SANITARY SEWER CLEANOUT
⊕	LIGHT POLE	⊕	STORM SEWER MANHOLE
F.F.	FINISHED FLOOR	125, 3	VALVE
		N.T.S.	STOPBOX
		H.M.A.	SPOT ELEVATION (@ x)
			NOT TO SCALE
			HOT MIX ASPHALT
			TRUNCATED DOMES (GRAY)
			P.C.C.
			PORTLAND CEMENT CONCRETE
			UTILITY LINE OR PIPE
			WATER
			GAS
			SANITARY SEWER
			STORM SEWER
			UNDERGROUND ELEC. / TEL.
			OVERHEAD ELEC. / TEL.
			CABLE TELEVISION
			COACH LIGHT

JESTER AND BROADWAY TOWNHOMES
SITE PLAN
POLK CITY, IOWA

Scale: Scaled from USGS 24k Topo Map	7-12-2012 COMMENTS FROM SNYDER - BJM
06-25-2010 J. MINGST 1" = 20'	7-16-2012 COMMENTS FROM SNYDER - EBU
07-16-2012	12-021

DIMENSION & PAVING

**4 units
on each
lot. No
Site Plan
was
required.**

I hereby certify that I have prepared this plat from notes of a field survey and that the same is correct to the best of my knowledge.
Signed

GEROLD F. TIGGES, P.E., L.S.

Date: _____ Reg. No. _____

FINAL PLAT

ARROW RIDGE POINT PLAT NO. 2

Being an Official Plat of part of Lots 34 and 35 of the Official Plat of Section 35, Township 81 North, Range 25 West of the 5th P.M. Park City, Iowa, and described as commencing at the S1/4 corner of Section 35, Township 81 North, Range 25 West of the 5th P.M.; thence S89°51'32"W, 635.64 feet along the South line of said Section 35 to the point of beginning, said point being the SW corner of Arrow Ridge Point Plat No. 1; thence continuing along the South line of Section 35, S89°51'32"W, 1063.3 feet to the Southeast corner of the First Plat of Chandler Heights; thence N0°02'30"W, 334.3 feet along the East line of said Chandler Heights; thence N83°37'E, 808.5 feet; thence N40°07'W, 399.0 feet; thence S75°41'30"W, 30.4 feet; thence N14°18'30"W, 320.0 feet to the South right-of-way line of West Jester Park Drive; thence continuing N14°18'30"W, 33.0 feet to the centerline of said West Jester Park Drive; thence N75°41'30"W, 840.0 feet to the intersection of West Jester Park Drive and West Broadway; thence Southwesterly along the centerline of West Broadway, on a 3.00' curve to the left 369.8 feet, said curve having a central angle of 11°05' and a chord distance of 369.0 feet with a chord bearing of S42°00'T to the P.C. of a 9.00' curve to the left having a radius of 636.67 feet; thence Southwesterly along said curve to the left 97.0 feet, said curve having a central angle of 8°43' and a chord distance of 96.9 feet with a chord bearing of S52°01'E to a point on the centerline of West Broadway; thence S42°58'W (Recorded as S42°42'55"W), 33.2 feet to the Northwest corner of Arrow Ridge Point Plat No. 1; thence continuing S42°58'W (Recorded as S42°42'55"W), 304.5 feet along the Northwesterly line of Lots 12 and 13, Arrow Ridge Point Plat No. 1; thence S0°10'55"W, 153.5 feet along the West line of said Lot 12; thence S88°41'E (Recorded as S88°51'05"E), 150.0 feet along the Southwesterly line of said Lot 12; thence S21°19'W (Recorded as S21°08'55"W), 329.2 feet along the West line of Arrow Ridge Point Plat No. 1; thence S5°35'W, 108.4 feet (Recorded as S5°26'W, 108.7 feet) along the West line of Lot 10, of said Arrow Ridge Point Plat No. 1, to the point of beginning, except 33 feet for present existing right-of-way along West Broadway and along West Jester Park Drive, and containing 19.90 acres.

OWNER / DEVELOPER

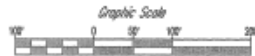
Lint Development & Builders Corporation
206 Second Street
Polk City, IA 50226
PH: (515) 984-6276

ENGINEER / SURVEYOR

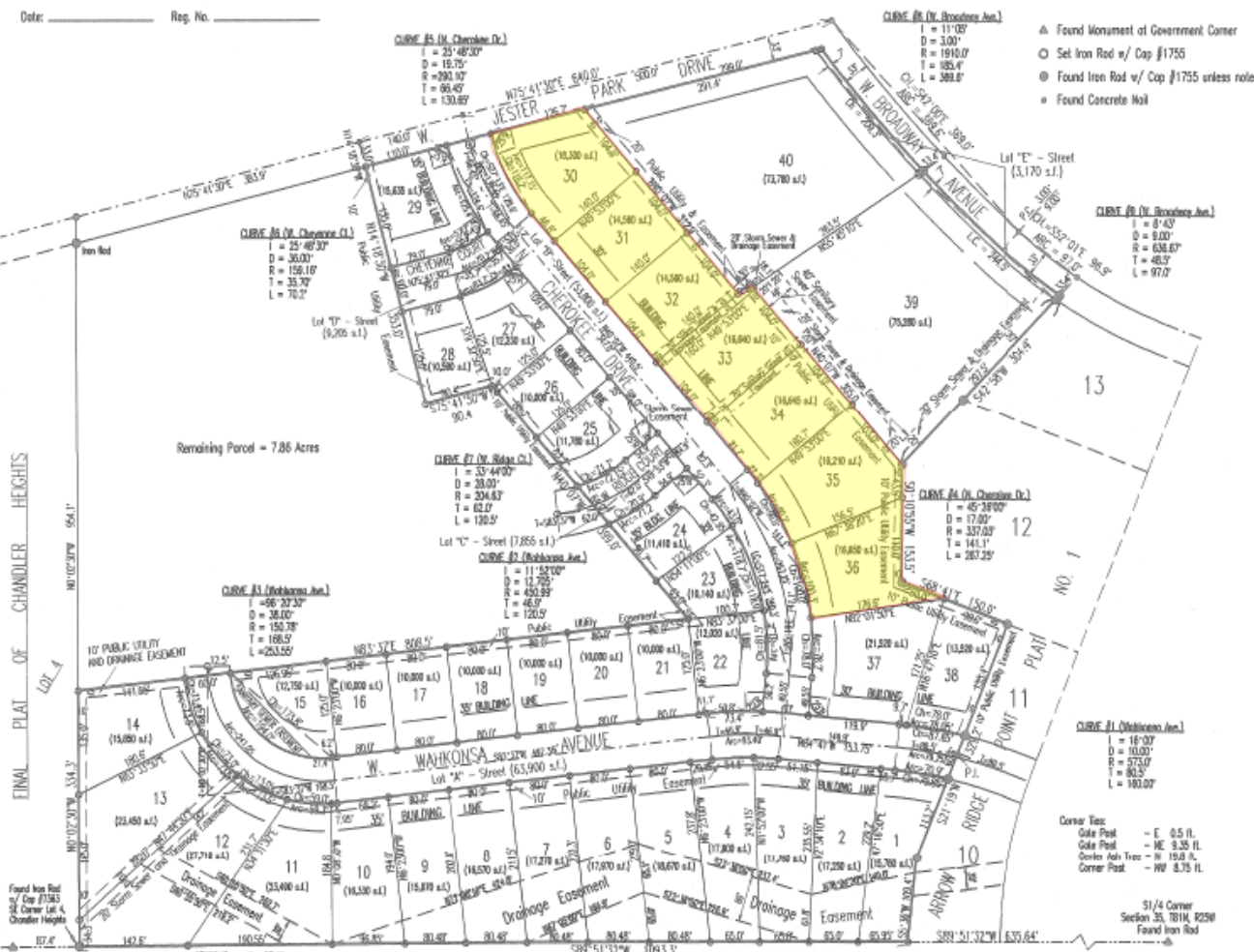
Tigges Engineering, Inc.
4910 Urbandale Ave. - Suite 303
Des Moines, IA 50310
PH: (515) 274-3932



SCALE 1" = 100'



AUGUST - 1995
#FP9502R

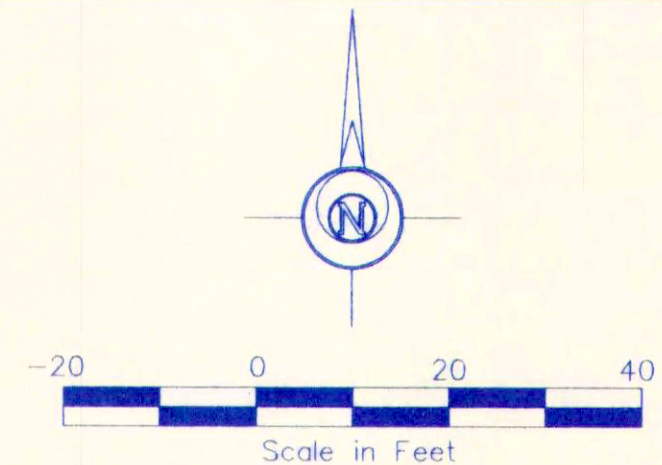


FINAL PLAT OF CHANDLER HEIGHTS

Found Iron Rod w/ Cap #1745
Found Concrete Monument, Army Corps - #333.2
Found Concrete Monument (#333.2) - W 87.4'
Corner Nails in base of line - SW 3.8'
Iron Rod w/ Cap #6195 - N 171.0'

Corner Ties:
Gate Post - E 0.5 ft.
Gate Post - NE 9.35 ft.
Corner Nail Tree - W 15.0 ft.
Corner Post - NW 8.35 ft.

S1/4 Corner Section 35, T81N, R25W
Found Iron Rod



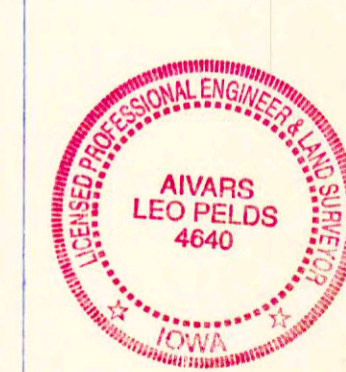
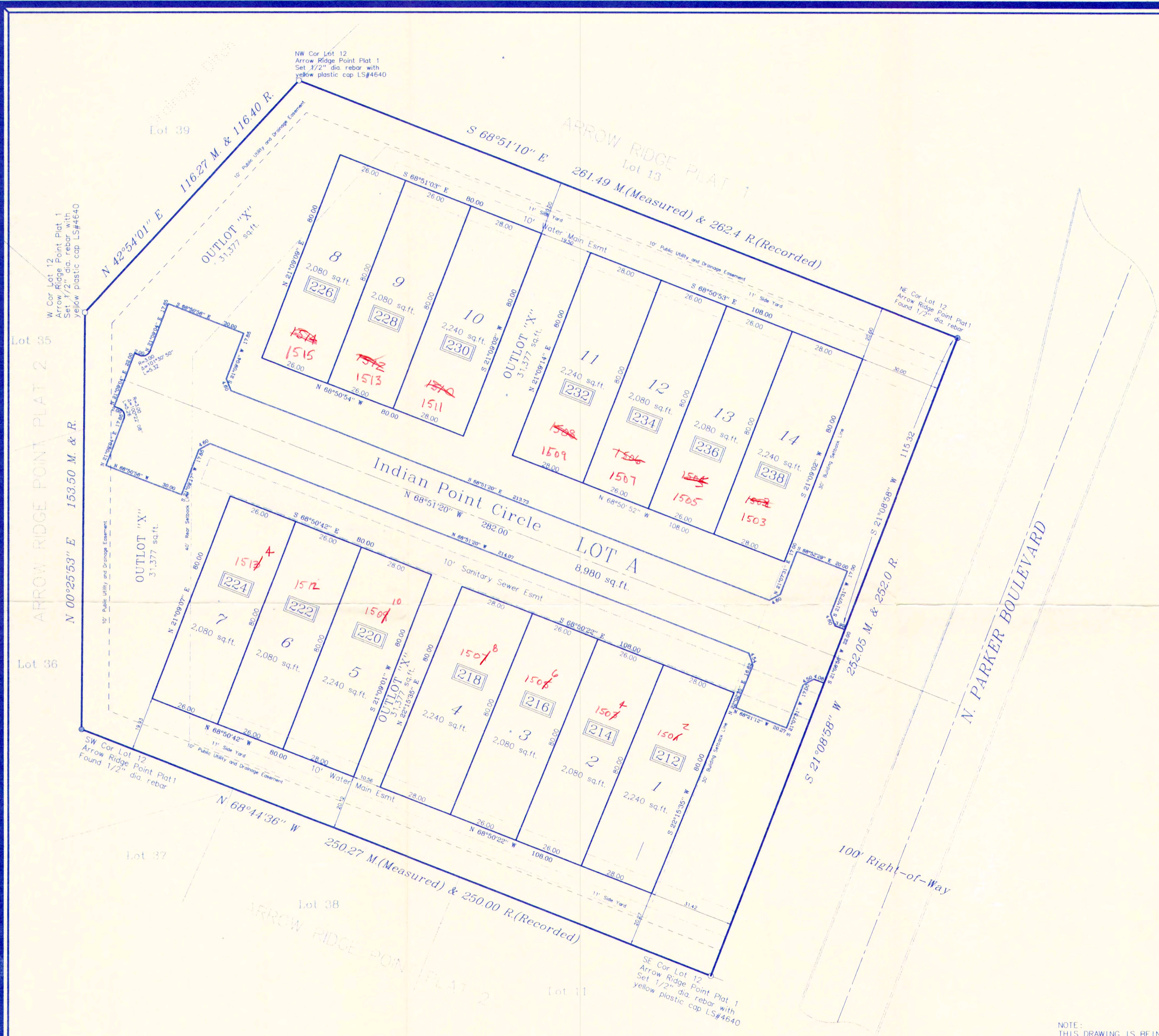
INDIAN POINT FINAL PLAT

Legal Description:

A Replat of Lot 12 of Arrow Ridge Point Plat 1, an Official Plat, all being in and forming a part of Polk City, Polk County, Iowa, containing 1.617 acres, more or less.

NOTE:

All corners will be set by November 30th 2000



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Aivars Leo Pelds 9-25-2000
 AIVARS LEO PELDS, IOWA LIC. NO. 4640 DATE
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 1999
 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE).

NOTE: THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO PELDS ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

EXISTING UTILITIES NOTE: THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.

engineers **A. LEO PELDS ENGINEERING COMPANY** **surveyors**

1372 E. 12th ST. DES MOINES, IOWA 50306 PH. (515)265-8196

INDIAN POINT - FINAL PLAT

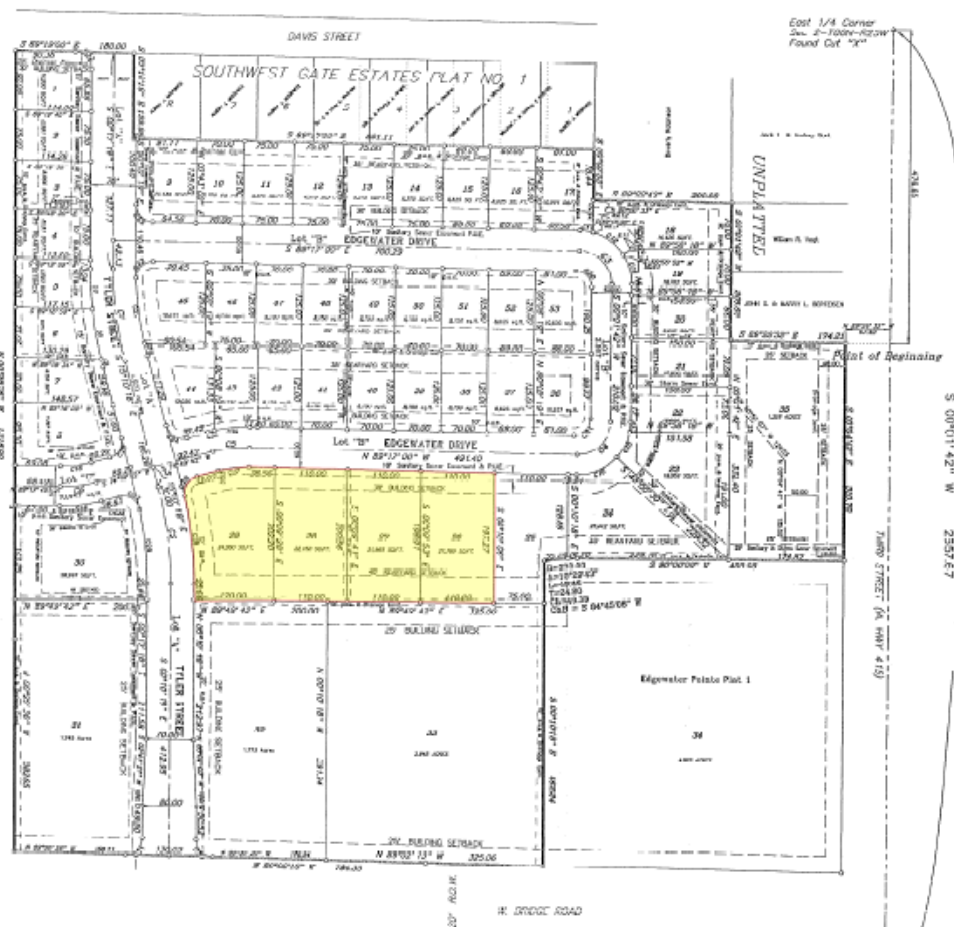
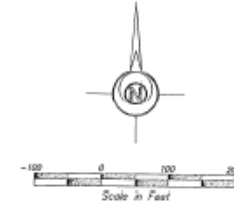
REVISIONS:	BENCHMARK:
SCALE: 1" = 20'	COPYRIGHT DATE: 05-08-99
DRAWN BY: VLP	DWG. NO: 10445

Submitted 9/25/00
Council Approval

EDGEWATER POINTE PLAT 2

FINAL PLAT

FILED FOR RECORD
 REC'D - SURVEY
 DEC 17 A 7:44.3
 TERRY J. JENSEN
 RECORDER
 INST # 042245
 RECORDING FEE 91.00
 AUDITOR FEE
 8658 606-618



Legal Description:

THE NORTHEAST QUARTER (1/4) OF THE SOUTHWEST QUARTER (1/4) OF SECTION 2, TOWNSHIP 20 NORTH, RANGE 10 WEST, OF THE 5TH PRINCIPAL MERIDIAN, NOW PARTIALLY IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA, EXCEPT THE SOUTH 1/2 OF THE NORTH 1/2 OF THE WEST 200.0 FEET OF THE EAST 241.6 FEET OF THE EAST 420.0 FEET OF THE WEST 200.0 OF THE EAST 241.6 FEET THEREOF, AND EXCEPT BEGINNING 80.0 FEET SOUTH AND 400.0 FEET WEST OF THE EAST QUARTER (1/4) CORNER OF SAID SECTION 2; THENCE WEST ALONG THE SOUTH LINE OF DAVIS STREET AS NOW ESTABLISHED, 80.0 FEET SOUTH 130.0 FEET WEST, THENCE EAST, PARALLEL TO WEST 4 FEET; THENCE SOUTH 130.0 FEET, THENCE EAST, PARALLEL TO WEST 4 FEET, TO THE POINT OF BEGINNING; AND EXCEPT LEGALLY ESTABLISHED HIGHWAYS AND RIVERS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER (1/4) CORNER OF SAID SECTION 2; THENCE SOUTH 00°01'52" West along the East line of the Southeast Quarter (1/4) of said Section 2, a distance of 476.00 feet; THENCE North 82°20'32" West, a distance of 67.40 feet to the POINT OF BEGINNING, said point being on the West Right-of-Way line of Iowa Highway 110;

THENCE South 00°04'42" East along the West Right-of-Way line of Iowa Highway 435, a distance of 330.70 feet;

THENCE South 00°00'00" West, a distance of 403.00 feet to the point of curvatures, a distance of 403.00 feet to the left having a radius of 270.00 feet, a delta of 107°24'30" and an arc length of 44.90 feet and a chord which bears South 84°42'00" West a distance of 49.99 feet to a point;

THENCE South 00°01'00" West, a distance of 402.24 feet to a point on the West Right-of-Way line of West Bridge Road;

THENCE North 89°02'18" West along North Right-of-Way line of Davis Street, a distance of 121.11 feet;

West Bridge Road, a distance of 402.24 feet;

THENCE North 00°22'20" West, a distance of 1,215.00 feet to a point on the South Right-of-Way line of Davis Street;

THENCE South 89°19'00" East along the South Right-of-Way line of Davis Street, a distance of 180.00 feet to the Northwest corner of lot 8 of Southwest Gate Estates Plat No. 1;

THENCE South 00°10'19" East, a distance of 129.98 feet to the Southwest corner of said lot 8;

THENCE South 82°17'00" East, a distance of 691.11 feet to the Southwest corner of lot 1 of said Plat 1;

THENCE South 00°00'33" East, a distance of 70.44 feet;

THENCE South 89°25'42" East, a distance of 206.00 feet;

THENCE South 00°01'42" West, a distance of 206.00 feet;

THENCE South 89°00'10" East, a distance of 174.21 feet to the POINT OF BEGINNING, containing 25.364 acres, more or less.

CURVE TABLE

#	Muflus	Delta	Length	Chord	Tangent	Chord Bearing
1	569.88	14°22'24"	142.91	142.54	71.83	S 07°52'56" E
2	569.88	15°00'00"	149.34	148.72	75.00	N 07°40'18" W
3	591.85	09°18'42"	177.94	170.28	49.40	N 44°33'38" W
4	60.00	00°41'18"	79.14	71.13	30.49	S 45°22'21" E
5	500.00	15°52'48"	155.46	155.46	77.73	S 82°18'21" W
6	500.00	15°52'48"	155.46	155.46	77.73	S 82°18'21" W
7	604.40	00°33'28"	62.17	62.15	31.11	S 03°40'20" E
8	504.68	01°14'14"	76.16	76.11	30.00	S 10°18'32" E
9	504.68	01°14'14"	76.16	76.11	30.00	S 10°18'32" E
10	534.50	02°02'34"	19.06	19.06	9.53	S 14°09'51" E
11	80.00	11°42'18"	20.25	20.20	10.18	S 14°13'50" E
12	80.00	40°42'34"	43.66	43.16	21.48	N 20°42'54" E
13	90.00	34°05'50"	47.61	46.91	24.53	N 17°01'13" W
14	30.00	11°24'38"	13.06	13.06	6.53	S 14°13'50" E
15	80.00	10°15'19"	15.83	15.91	7.99	N 09°44'01" E
16	90.00	48°43'30"	68.03	68.00	36.23	N 68°21'15" E
17	170.00	15°52'48"	147.14	146.99	23.72	S 82°18'21" W
18	170.00	15°52'48"	147.14	146.99	23.72	S 82°18'21" W
19	230.00	15°52'48"	63.74	63.54	10.78	N 82°46'09" E
20	25.00	89°18'42"	38.97	39.25	20.30	N 44°22'21" E
21	28.00	90°41'18"	39.37	39.35	24.70	N 44°33'38" W
22	25.00	91°37'37"	39.98	39.85	25.72	S 44°51'53" W
23	534.58	10°45'38"	100.42	100.27	50.36	S 00°10'19" E
24	23.00	90°00'00"	31.27	31.26	20.00	N 89°49'21" W
25	36.00	90°00'00"	30.22	30.36	20.00	N 89°49'21" W
26	35.00	87°43'29"	38.28	34.65	24.15	S 00°10'19" E
27	25.00	92°48'41"	40.50	38.21	26.26	N 50°49'21" W
28	404.44	12°48'20"	124.29	124.02	62.42	N 09°32'02" W
29	534.58	12°11'18"	121.11	121.74	61.53	N 08°16'52" E
30	25.00	88°50'11"	38.76	34.99	27.50	N 44°16'52" E
31	25.00	91°09'30"	39.70	30.71	29.51	N 45°24'37" E
32	25.00	88°10'11"	38.80	34.65	24.15	N 44°43'08" W
33	25.00	89°06'41"	38.88	35.08	24.82	S 44°43'08" W
34	230.00	12°27'39"	54.03	53.91	27.14	S 83°49'11" W
35	230.00	02°08'38"	5.74	5.74	4.87	S 76°02'32" W

ADDRESS ASSIGNMENTS:

LOT	ADDRESS	LOT	ADDRESS
1	900 Tyler Street	27	860 Edgewater Drive
2	870 Tyler Street	28	870 Edgewater Drive
3	920 Tyler Street	29	880 Edgewater Drive
4	930 Tyler Street	30	900 Edgewater Drive
5	940 Tyler Street	31	1010 Tyler Street
6	950 Tyler Street	32	1015 Tyler Street
7	960 Tyler Street	33	705 W. Bridge Road
8	970 Tyler Street	35	900 Thira Street
9	800 Edgewater Drive	36	831 Edgewater Drive
10	802 Edgewater Drive	37	839 Edgewater Drive
11	804 Edgewater Drive	38	847 Edgewater Drive
12	806 Edgewater Drive	39	855 Edgewater Drive
13	808 Edgewater Drive	40	863 Edgewater Drive
14	810 Edgewater Drive	41	871 Edgewater Drive
15	812 Edgewater Drive	42	879 Edgewater Drive
16	814 Edgewater Drive	43	887 Edgewater Drive
17	816 Edgewater Drive	44	895 Edgewater Drive
18	818 Edgewater Drive	45	903 Edgewater Drive
19	820 Edgewater Drive	46	911 Edgewater Drive
20	822 Edgewater Drive	47	919 Edgewater Drive
21	824 Edgewater Drive	48	927 Edgewater Drive
22	826 Edgewater Drive	49	935 Edgewater Drive
23	828 Edgewater Drive	50	943 Edgewater Drive
24	830 Edgewater Drive	51	951 Edgewater Drive
25	832 Edgewater Drive	52	959 Edgewater Drive
26	834 Edgewater Drive	53	967 Edgewater Drive

State of Iowa, Polk County as I certify that the attached plat has been entered of record in the office of the Polk County Auditor and Recorder. My commission expires 12-31-2022.
 MICHAEL A. MAHON County Auditor

**4 units on each of 4 lots.
 No site plan was required.**

NOTE: THIS DRAWING IS BEING MADE AVAILABLE BY A LEAD ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. DOES NOT ASSUME RESPONSIBILITY FOR ANY PART THEREOF EXCEPT AS ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

Southeast Corner
 Sec. 2 FROM TOWNSHIP
 Found 1/2" Diameter Rubber
 over Stone approx. 1' deep

EXISTING UTILITIES NOTE:
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN LOCATED FROM AVAILABLE SURVEY AND/OR RECORDS. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS TO DETERMINE THE EXISTING UTILITIES (SERIALS IF NOT KNOWN) ARE NOT DAMAGED DURING CONSTRUCTION.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY DATA AND INFORMATION THEREON IN ACCORDANCE WITH THE IOWA SURVEYING AND MAPPING ACT AND I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
 Leo Pelds 12-30-2020
 ATTORNEY FOR RECORD, IOWA, L.C. NO. 4548 DATE
 MY LICENSE EXPIRES DATE IS DECEMBER 31, 2028
 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (SEE BACKSHEET FOR DETAILS)

LEO PELDS ENGINEERING COMPANY
 1572 E. 12th St. DES MOINES, IOWA 50305 Ph (515)265-0189
 EDGEWATER POINTE PLAT 2 - FINAL PLAT
 Scale 1" = 100' DATE 10-11-2000 DRAWN BY E.L.P. SHEET NO. 10453

