

Notice of Meeting
Polk City | Planning and Zoning Commission (P&Z)

April 17, 2023 | 6:00 pm
City Hall | Council Chambers

**Public Meeting participation in person or via phone
Call in #515-726-3598 Participant Code 535355**

**Public Members can provide comments directly to support@polkcityia.gov
*any comments received before the time of the meeting will be made a part of the minutes**

IF YOU WISH TO ADDRESS THE COMMISSION DURING THE MEETING please contact the City Clerk by 6pm on the date of the meeting by email at jcoffin@polkcityia.gov with your name and address for the record. You will be recognized for five minutes of comment.

**Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

Tentative Meeting Agenda

Deanna Triplett | Chair

Justin Vogel | Vice Chair

P&Z Commission Members: Ron Hankins | Krista Bowersox | Doug Sires | Doug Ohlfest | Amber Pringnitz

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Public Comments
5. Approval of P&Z Commission Meeting minutes for March 20, 2023
6. Recommend Council approve the Site Plan for On With Life
7. Recommend Council approve consolidation of the current U-1 to GF zoning districts into a new GF-1 zoning district
8. Reports & Particulars
Council Liaison, City Manager, Staff, and Commission
9. Adjourn until May 15, 2023

MEETING MINUTES
The City of Polk City
Planning and Zoning Commission
6:00 p.m., Monday, March 20, 2023

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on March 20, 2023, in City Hall Council Chambers.

The agenda was posted at the City Hall office as required by law.

These tentative minutes reflect all action taken at the meeting.

1. **Call to Order** | Triplett called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Bowersox, Vogel, Triplett, Ohlfest, Pringnitz (via Zoom), Sires (via Zoom)| In attendance
3. **Approval of Agenda**
MOTION: A motion was made by Hankins and seconded by Ohlfest to approve the agenda.
MOTION CARRIED UNANIMOUSLY
4. **Public Comments** | None
5. **Approval of Meeting Minutes**
MOTION: A motion was made by Hankins and seconded by Bowersox to approve P&Z Commission Meeting Minutes for February 20, 2023.
MOTION CARRIED UNANIMOUSLY
6. **MOTION:** A motion was made by Hankins and seconded by Vogel to recommend Council approve the Preliminary Plat for Lakeside Commercial Plat 1 subject to Engineering and Staff comments dated March 16, 2023.
MOTION CARRIED UNANIMOUSLY
7. **MOTION:** A motion was made by Hankins and seconded by Bowersox to recommend Council approve the Preliminary Plat/Stie Plan for Leonard Senior Living Plat 1 subject to Engineering and Staff comments dated March 16, 2023
MOTION CARRIED UNANIMOUSLY
8. **Reports & Particulars**
 - Council Member Sarchet gave an update on the budget Council has been reviewing and he confirmed that council approved the City Hall/Community Room rezoning and Site Plan
9. **Adjournment**
MOTION: A motion was made by Bowersox and seconded by Ohlfest to adjourn at 6:23 p.m.
MOTION CARRIED UNANIMOUSLY
Next Meeting Date – Monday April 17, 2023

Attest:

Jenny Coffin - City Clerk

SITE PLAN REVIEW

Date: April 13, 2023

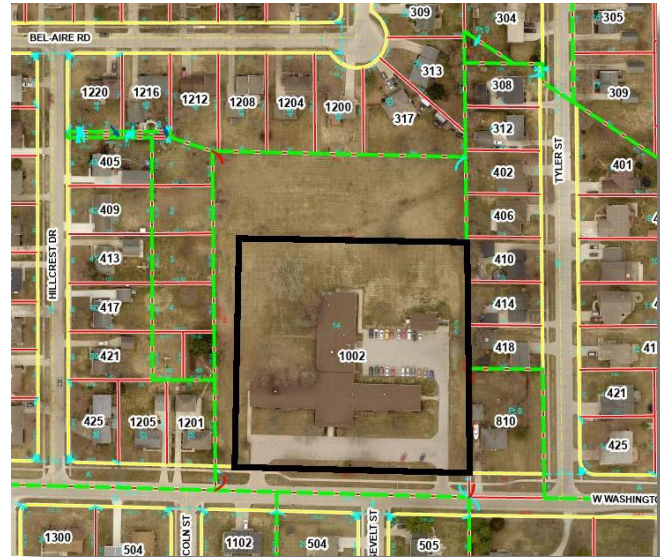
Prepared by: Kathleen Connor
Travis Thornburgh, P.E.

Project: On With Life

Project No.: 123.0424.01

GENERAL INFORMATION:

Owner/ Applicant:	On With Life, Inc.
Requested Action:	Approval of Site Plan
Location	1002 W. Washington St.
Size:	3.40 acres
Zoning:	R-2 Single Family Detached Residential
Existing Use:	Nursing and Rehabilitation Center
Proposed Use:	In-patient skilled Nursing Facility



BACKGROUND:

The Polk City Nursing Home and Rehabilitation Center, outlined in black above, is located on a 3.4 acre parcel on W. Washington Street. The building was constructed in 1976 to serve approximately 66 residents.

The property is zoned C-1 Single-family Detached Residential, and the facility will continue to operate as an existing non-conforming use. The facility was purchased by One with Life, Inc. in October of 2022 for the purpose of renovating this facility for in-patient care. The applicant understands the property will need to be rezoned prior to increasing the size of the building.

Improvements to the exterior of the building include painting the mottled pink brick with two shades of tan. The white lap siding in the gables will be updated with green and brown cement board panels. The existing front door and all windows will be replaced with architectural windows. The columns on the front “porch” will be clad to provide an updated appearance. The storage building will be re-sided with cement board panels to coordinate with the main building.

Improvements also include renovation of the interior to include 20 single-occupancy rooms and 10 double-occupancy rooms, each room with a private bath and closet, for a total of occupancy of 40 residents. The facility includes a large dining/activity room, nursing stations, exam room, whirlpool room, offices, conference room, staff break room, kitchen, laundry rooms, storage, and mechanical rooms.

Site improvements include planting of additional buffer trees, installation of a larger fenced-in area with circular walking path on the northwest corner of the building, widening the driveway to the north parking area to allow two-way traffic to these parking stalls, addition of integral curb along the south perimeter of the existing parking lot, and installation of a grease interceptor and two new fire hydrants.

REVIEW COMMENTS: Pursuant to staff's review of Submittal #2, we have the following comments to offer:

1. Provide additional details to demonstrate the maximum height of the building, including roof peaks. Revise fire hydrants to be located distance equal to a minimum of 1.5 times the maximum height of the building.
2. Revise easement document and legal description as required by the City prior to Council Action.

RECOMMENDATION:

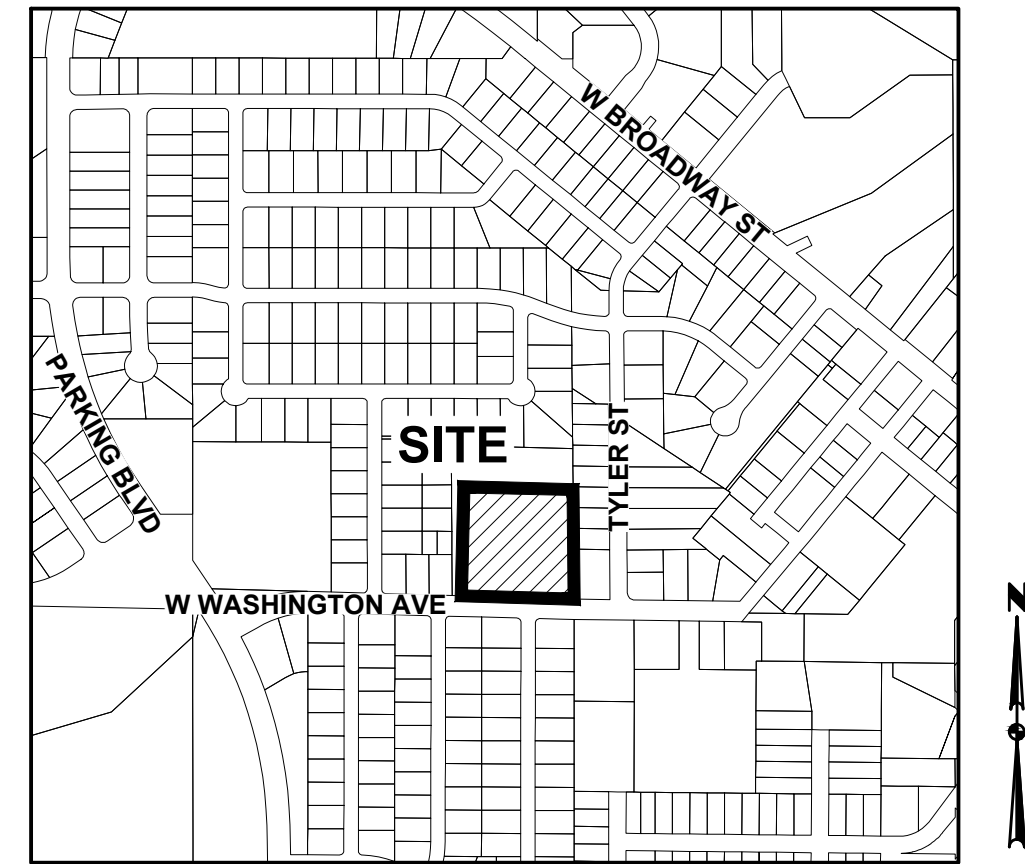
Based on the satisfactory resolution of each of the foregoing review comments, we recommend P&Z approval of the Site Plan for On With Life, subject to the following:

1. Council approval of the Buffer Easement in conjunction with Site Plan.
2. The developer shall record the Buffer Easement and provide a recorded copy to the City Clerk prior to issuance of a Building Permit for On With Life.
3. Payment in full of all fees and professional billings.

SITE PLAN FOR: ON WITH LIFE

POLK CITY, IOWA

VICINITY MAP NOT TO SCALE



POLK CITY, IOWA

OWNER/APPLICANT

ON WITH LIFE
715 SW ANKENY ROAD
ANKENY, IA 50023-9798
CONTACT: JEAN SHELTON
EMAIL: JEAN.SHELTON@ONWITHLIFE.ORG
PH: (515) 289-9613

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: NIKKI NEAL
EMAIL: NICOLEN@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIE@CDA-ENG.COM
PH: (515) 369-4400

ARCHITECT

SVA ARCHITECTS INC.
1466 28TH STREET
WEST DES MOINES, IA 50266
CONTACT: VITUS BERING
EMAIL: V-BERING@SVPA-ARCHITECTS.COM
PH: (515) 280-2403

SUBMITTAL DATES

FIRST SUBMITTAL: 03/20/2023
SECOND SUBMITTAL: 04/12/2023

LEGAL DESCRIPTION

THAT PART OF THE EAST 419 FEET OF LOT 14 IN THE OFFICIAL PLAT OF THE NORTH 1/2 OF SECTION 2, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M. CITY OF POLK COUNTY, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 14, THAT IS 30.0 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, SAID POINT ALSO BEING ON THE NORTH RIGHT-OF-WAY LINE OF NORTHWEST 114TH AVENUE, AS IT NOW EXISTS; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST (ASSUMED FOR THE PURPOSES OF THE DESCRIPTION ONLY) ALONG SAID NORTH RIGHT-OF-WAY LINE, 389.11 FEET; THENCE NORTH 00 DEGREES, 19 MINUTES WEST 387.00 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 20 SECONDS EAST 376.88 FEET TO A POINT ON SAID EAST LINE OF LOT 14; THENCE SOUTH 02 DEGREES 07 MINUTES 13 SECONDS EAST, ALONG SAID EAST LINE, 388.43 FEET TO THE POINT OF BEGINNING, POLK COUNTY, IOWA.

ZONING

R-1 SINGLE FAMILY DETACHED RESIDENTIAL DISTRICT

PROJECT SITE ADDRESS

1002 W. WASHINGTON AVENUE

EXISTING/ PROPOSED USE

EXISTING: NURSING AND REHABILITATION CENTER
PROPOSED: INPATIENT SKILLED NURSING FACILITY

DEVELOPMENT SUMMARY

AREA: 3.40 ACRES (148,104 SF)

ZONING: R-1 (SINGLE FAMILY DETACHED RESIDENTIAL DISTRICT)

SETBACKS

FRONT: 35'
SIDE: 20'
REAR: 45'
PARKING: 10'

OPEN SPACE CALCULATION

IN ADDITION, THE MINIMUM TOTAL LAND AREA DEVOTED TO OPEN SPACE IN THE R-2A, R-3, R-4, C-1, C-2, C-3, C-4, M-1, AND M-2 ZONING DISTRICTS ONLY SHALL NOT BE LESS THAN 15 PERCENT OF THE GROSS LAND AREA INCLUDED IN THE BUILDING LOT.

REQUIRED (148,104 X 15%): 22,216 SF
PROVIDED: 93,711 SF (63%)

IMPERVIOUS AREA

EXISTING BUILDING 21,231 SF
EXISTING PAVING 17,992 SF
EXISTING SIDEWALK 2,146 SF
PROPOSED STANDARD 9,254 SF
PROPOSED HEAVY 408 SF
PROPOSED SIDEWALK 3,387 SF
TOTAL IMPERVIOUS 54,418 SF

PARKING

REQUIRED - NURSING CARE INSTITUTIONS, INTERMEDIATE CARE INSTITUTIONS, TRANSITIONAL FACILITIES FOR INFIRM PERSONS, OR FACILITIES FOR PERSON WITH DISABILITIES (1 SPACE PER EMPLOYEE ON MAX SHIFT, PLUS 1 VISITOR PER 10 BEDS)

EMPLOYEE: 35 SPACES
VISITOR: 4 SPACES
TOTAL: 39 SPACES

PROVIDED

STANDARD: 42 SPACES
ACCESSIBLE: 2 SPACES
TOTAL: 44 SPACES

DATE OF SURVEY

01/17/2023

BENCHMARKS

BM #1: TWN ON HYDRANT AT SE CORNER OF SITE.
ELEV=963.87

BM #2: BURY BOLT ON HYDRANT AT NW CORNER OF PARKER BLVD AND WASHINGTON AVE.
ELEV=955.64

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
C5.1-C5.2	DETAILS
L1.1	LANDSCAPE PLAN
L2.1	LANDSCAPE DETAILS

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PH: (515) 369-4400
PROJECT NO. 2301.028

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

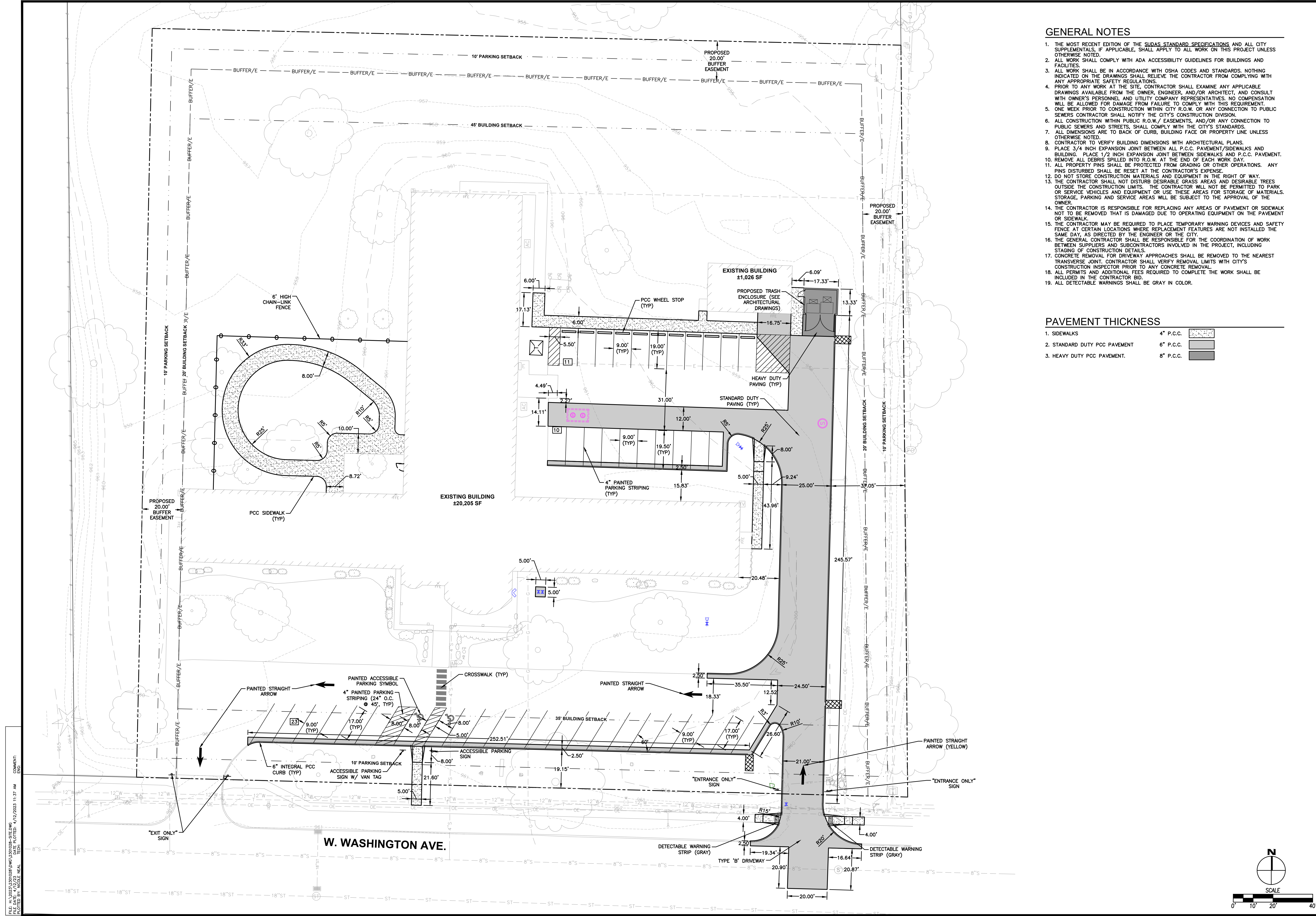
JOHN STEVEN BEVER, P.E.
LICENSE NUMBER 25523
DATE

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS C0.0, C1.1, C2.1, C3.1, C4.1,
AND C5.1-C5.2

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

KEITH W. REES, A.S.L.
LICENSE NUMBER 00442
DATE

MY LICENSE RENEWAL DATE IS JUNE 30, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEET L1.1 AND L2.1



GENERAL NOTES

1. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. ALL DETECTABLE WARNINGS SHALL BE GRAY IN COLOR.

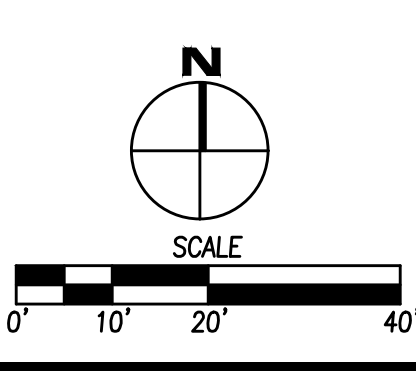
PAVEMENT THICKNESS

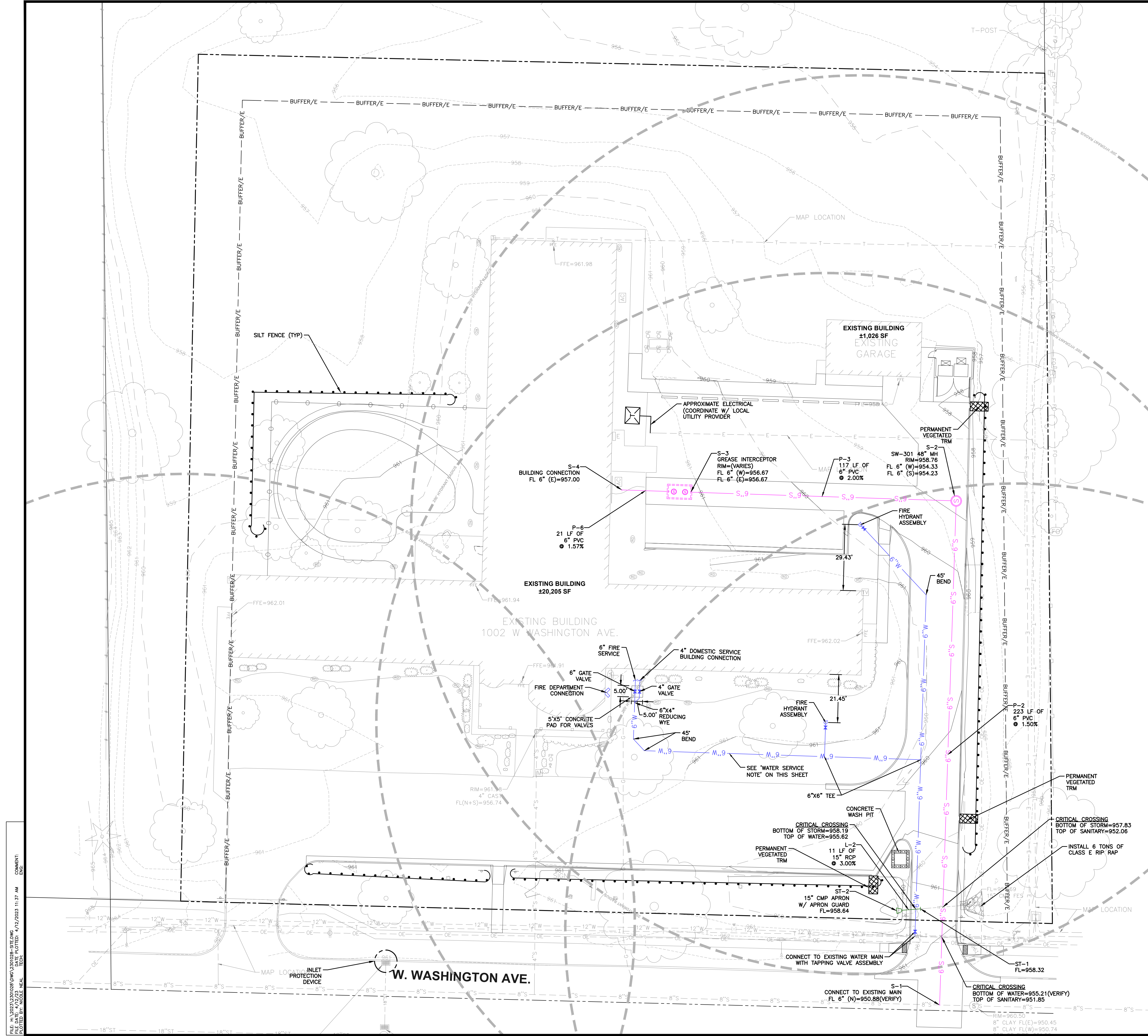
- | | |
|-------------------------------|-----------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. STANDARD DUTY PCC PAVEMENT | 6" P.C.C. |
| 3. HEAVY DUTY PCC PAVEMENT. | 8" P.C.C. |

FILE: N:\WORK\2023\04\12\23\041223\041223.DWG
 FILE DATE: 4/12/23
 PLOTTED BY: NICKLE
 COMMENT: ENG

DATE: _____
 REVISIONS: _____
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 DRAFTED: _____
 ENGINEER: _____
 CIVIL DESIGN ADVANTAGE

 ON WITH LIFE
 POLK COUNTY, IOWA
 1002 W. WASHINGTON AVE.
 DATE: 04/12/2023
 SHEET NUMBER: C2.1
 2301.028





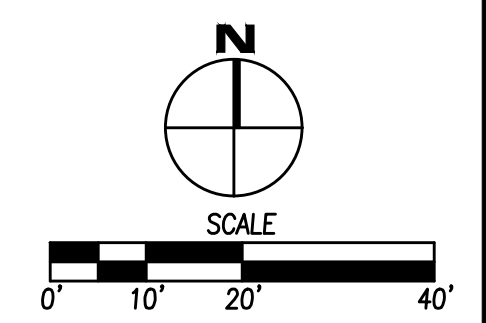
UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- THE BUILDING SHALL BE SPRINKLED.
- OWNER IS RESPONSIBLE FOR OBTAINING A PERMIT FROM WRA FOR THE GREASE INTERCEPTOR IN CONJUNCTION WITH THE BUILDING PERMIT.

WATER SERVICE NOTE

- CONTRACTOR TO DETERMINE WATER SERVICE SIZE, IF SERVICE IS DEEMED ADEQUATE BY A PROFESSIONAL ENGINEER AND APPROVED BY THE PUBLIC WORKS DIRECTOR, DEMOLITION OF THE EXISTING WATER SERVICE LINE MAY NOT BE REQUIRED. HOWEVER, A SEPARATE SHUT-OFF VALVE SHALL BE PROVIDED ON THE DOMESTIC WATER LINE OUTSIDE THE BUILDING SO SERVICE CAN BE SHUT OFF WITHOUT IMPACTING THE SPRINKLER SYSTEM. SHUT OFF VALVE(S) SHALL BE SET IN A CONCRETE PAD.

DATE: 04/12/2023 11:37 AM
 FILE: 1002 W WASHINGTON AVE UTILITY PLAN
 PLOTTED BY: NICKLE, KEAL
 COMMENT: ENG.



DATE: 04/12/2023
 SHEET NUMBER: C4.1
 2301.028

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ON WITH LIFE
 CIVIL DESIGN ADVANTAGE

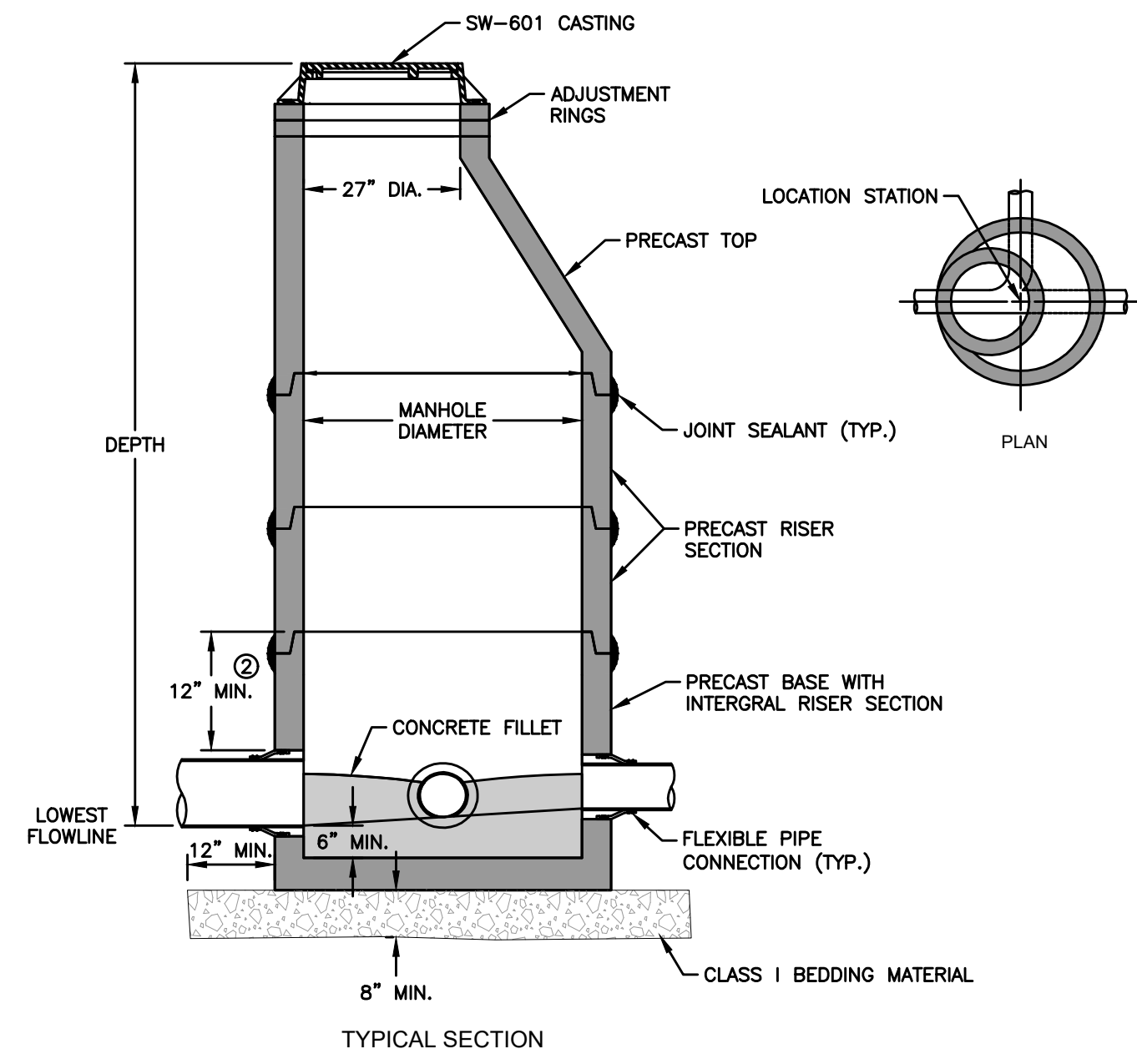
UTILITY PLAN
 1002 W. WASHINGTON AVE.
 POLK COUNTY, IOWA

ENGINEER: DRAFTED:

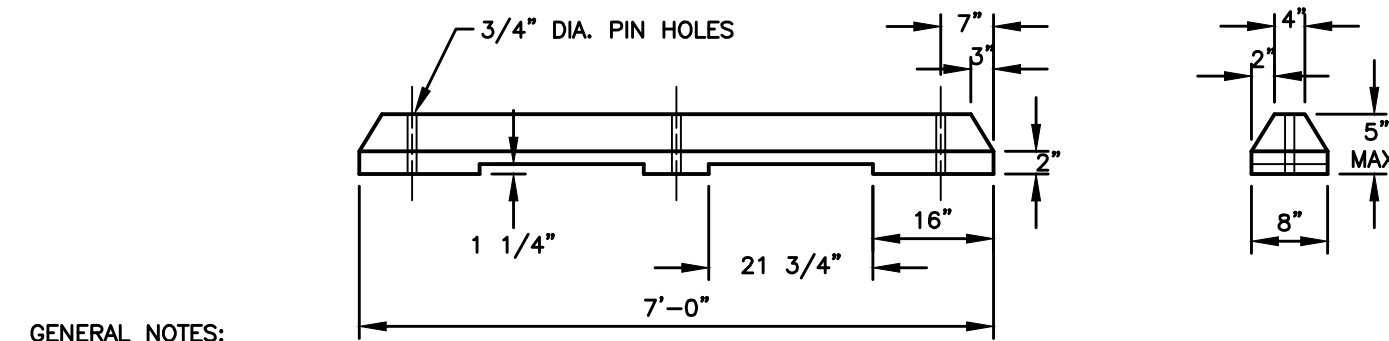
IF MANHOLE DEPTH EXCEEDS 20 FEET, INSTALL STEPS.
INSTALL INFILTRATION BARRIER.

- FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
- 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPE OPENINGS.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 18" Separation	At 30" Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42



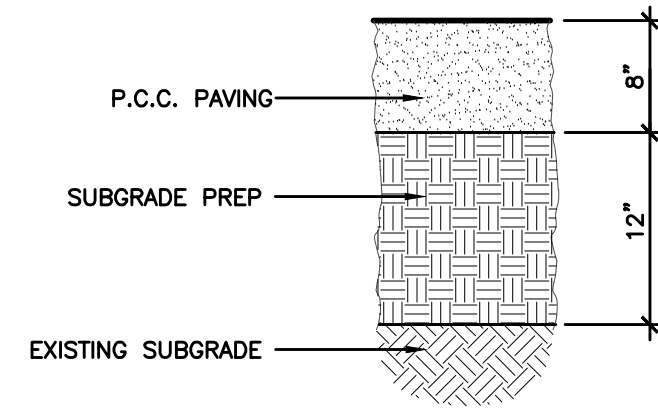
11 SW-301 CIRCULAR SANITARY SEWER MANHOLE
NOT TO SCALE



GENERAL NOTES:

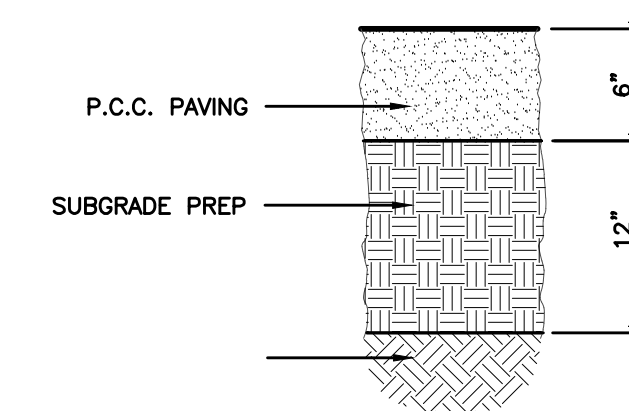
- DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
- ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
- ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
- REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
- MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH SPACE.

8 P.C.C. WHEELSTOP
NOT TO SCALE



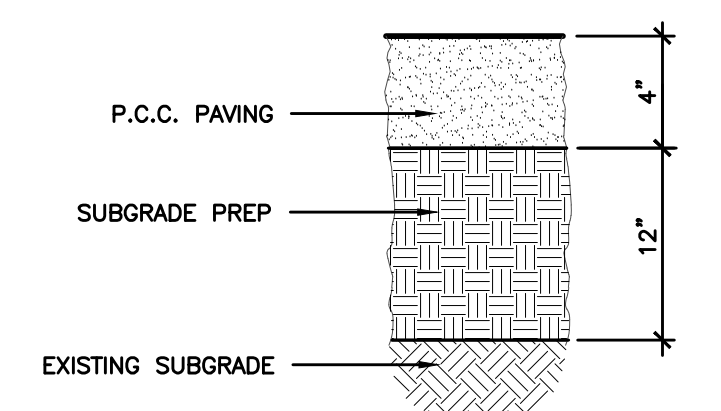
- NOTE:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
 - SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

5 HEAVY DUTY PCC PAVING
NOT TO SCALE



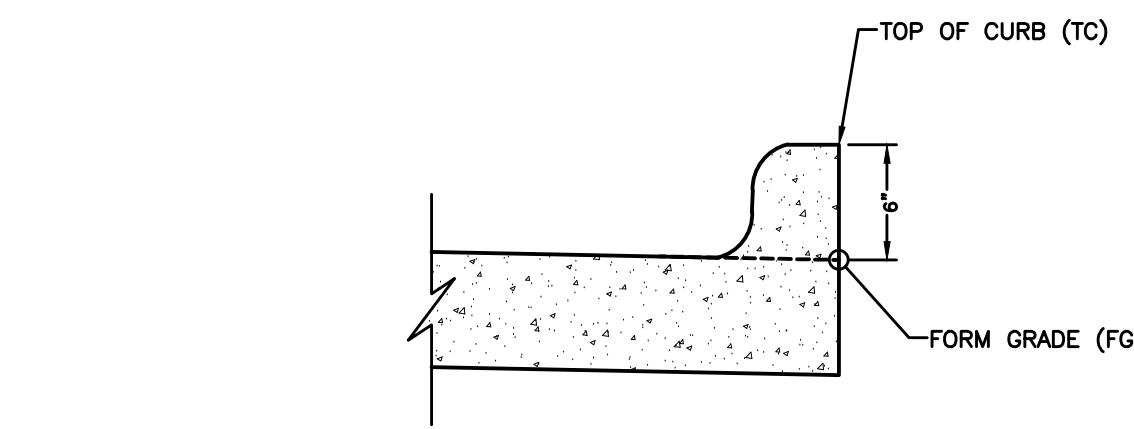
- NOTE:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
 - SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

4 STANDARD DUTY PCC PAVING
NOT TO SCALE

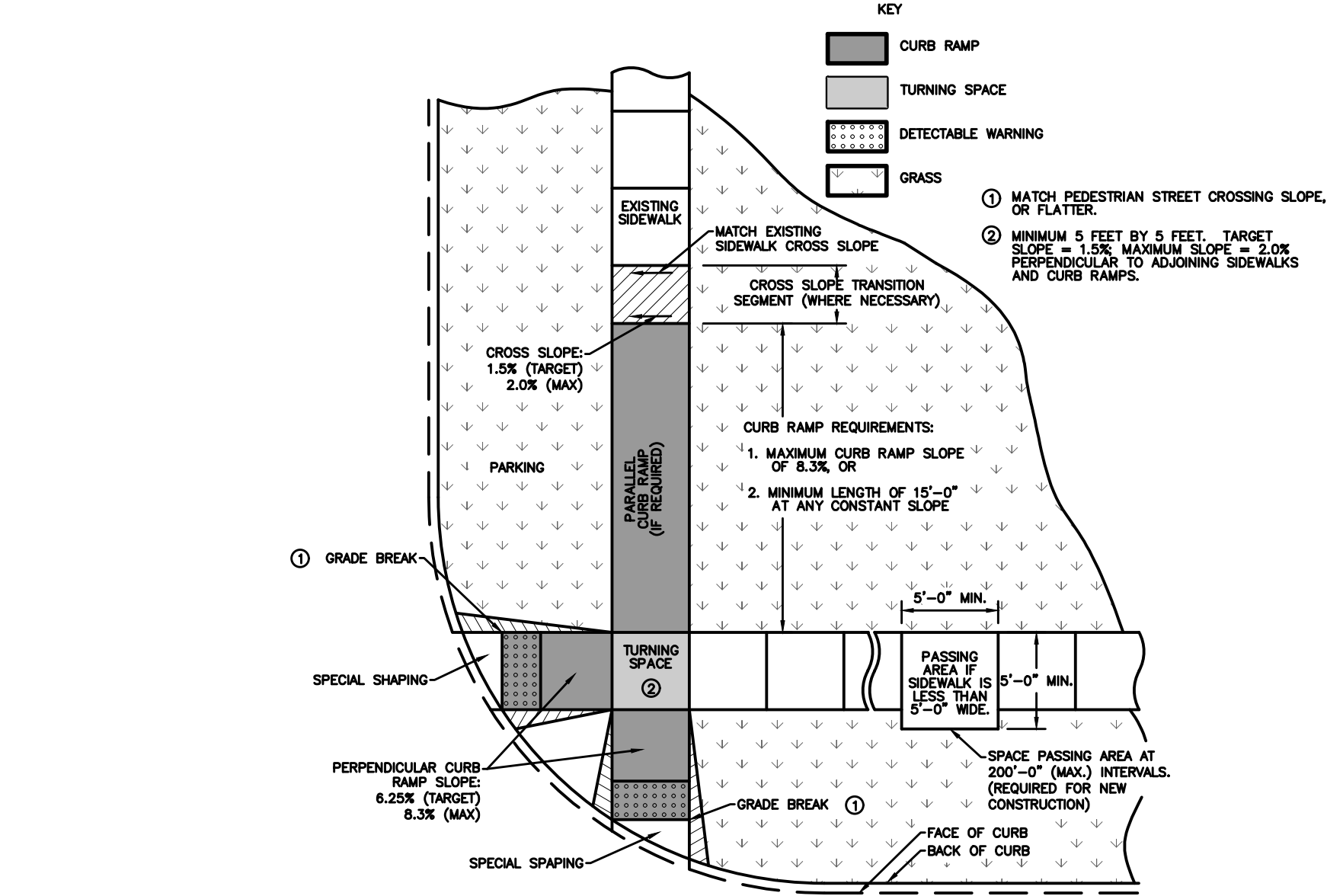


- NOTE:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
 - SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

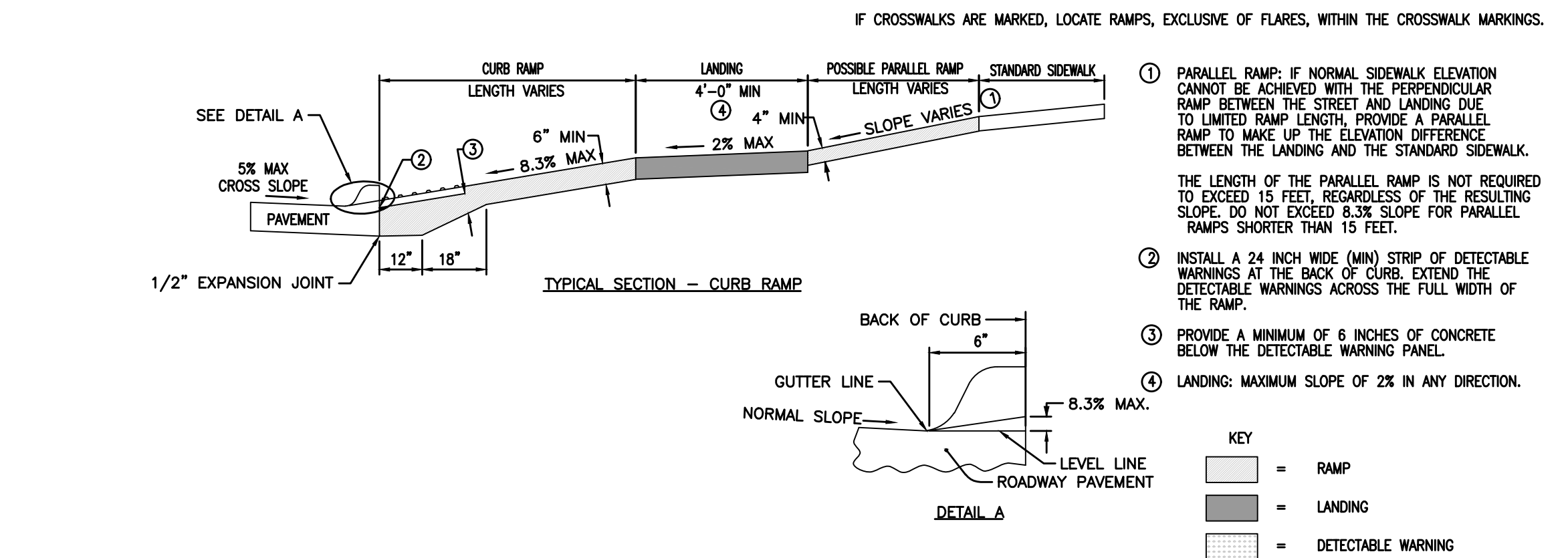
3 PCC SIDEWALK
NOT TO SCALE



10 INTEGRAL 6" STANDARD CURB
NOT TO SCALE



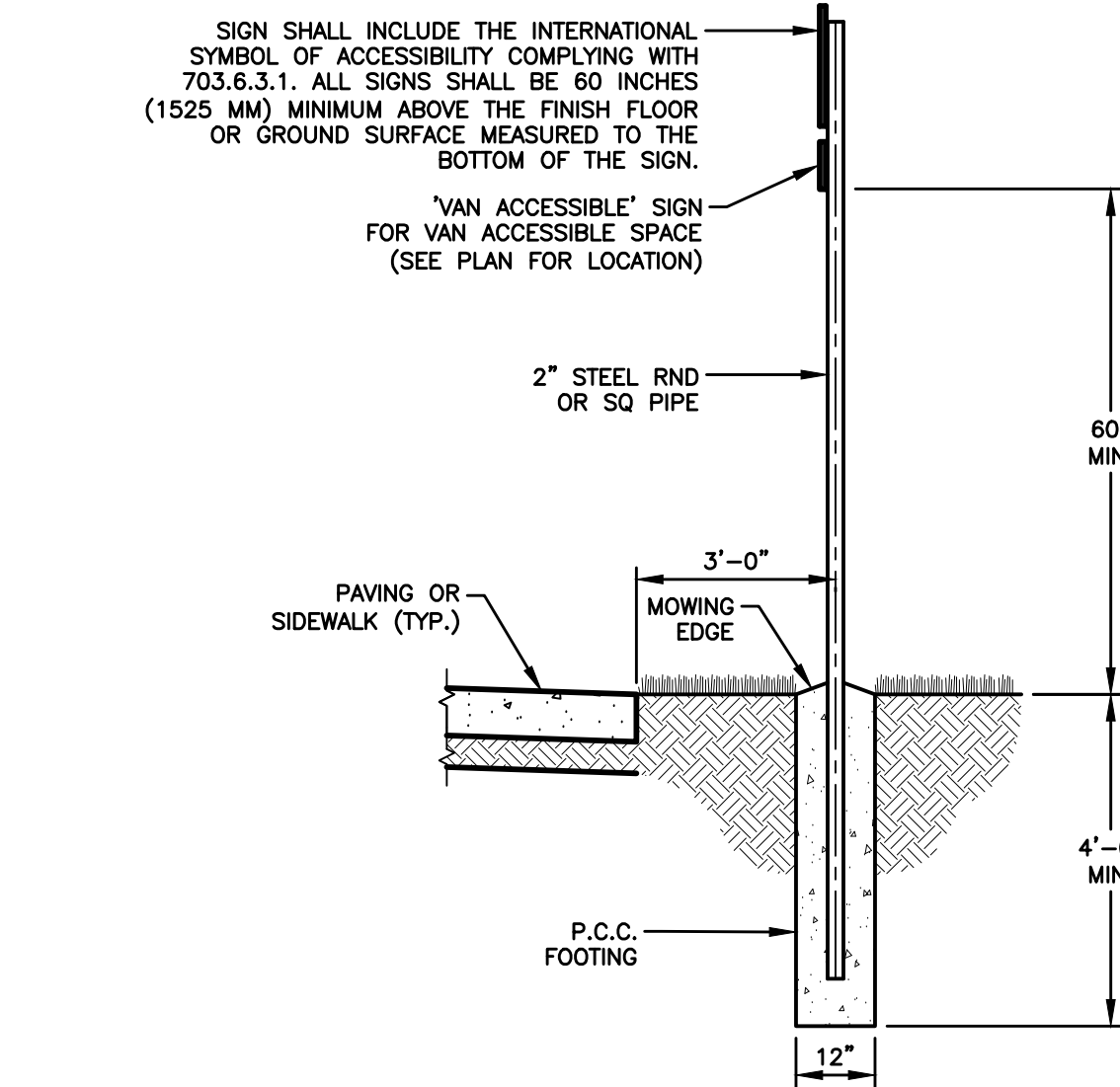
7 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
NOT TO SCALE



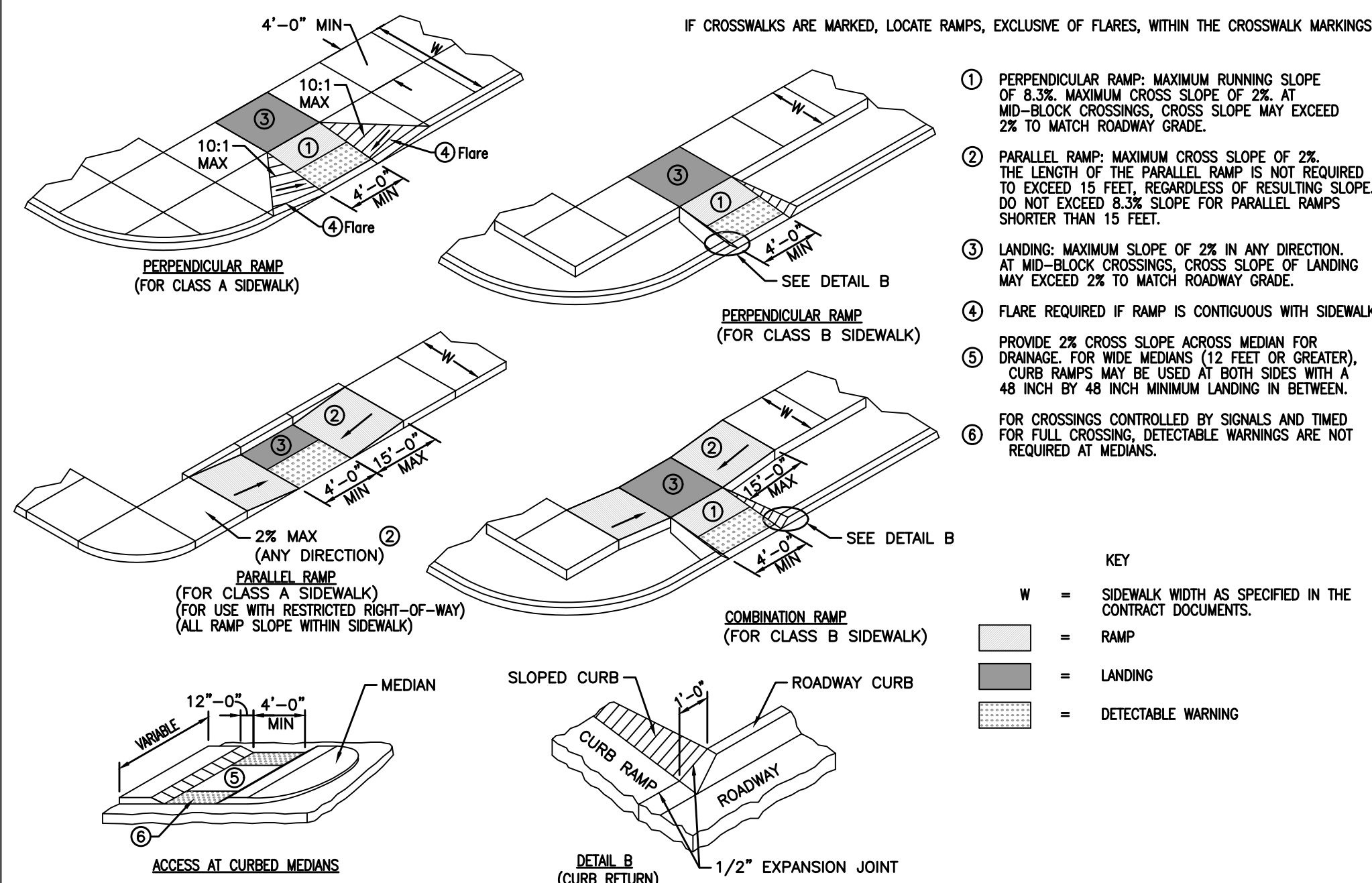
2 CURB RAMPS GENERAL SECTION
NOT TO SCALE

- DRIVEWAY RADIUS (R). RESIDENTIAL: 10 FOOT MINIMUM, 15 FOOT MAXIMUM. COMMERCIAL AND INDUSTRIAL: AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB CROSS SIDEWALK.
- PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- IF LONGITUDINAL JOINT IS LOCATED 48 INCHES OR LESS FROM THE BACK OF CURB, EXTEND BOXOUT TO JOINT LINE. FULL DEPTH SAW CUT IS STILL REQUIRED.
- FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD THE CENTER OF THE ALLEY.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF THE ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.

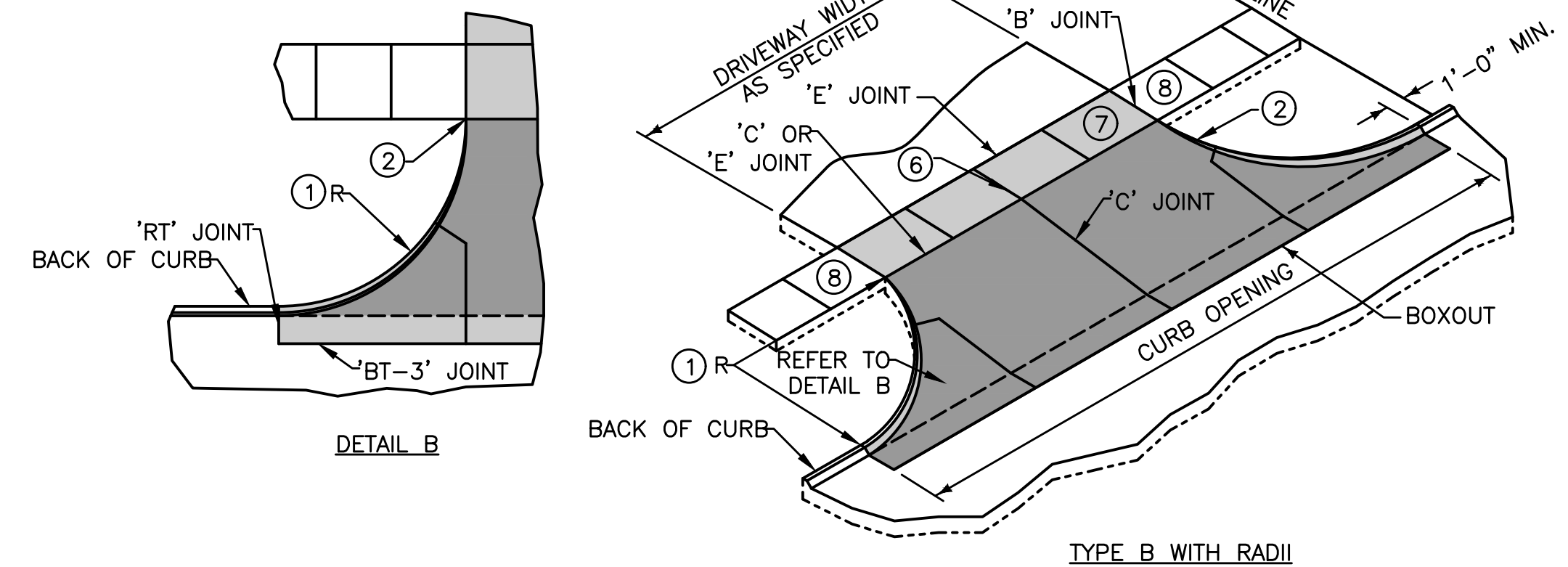
1 CONCRETE DRIVEWAY TYPE B
NOT TO SCALE

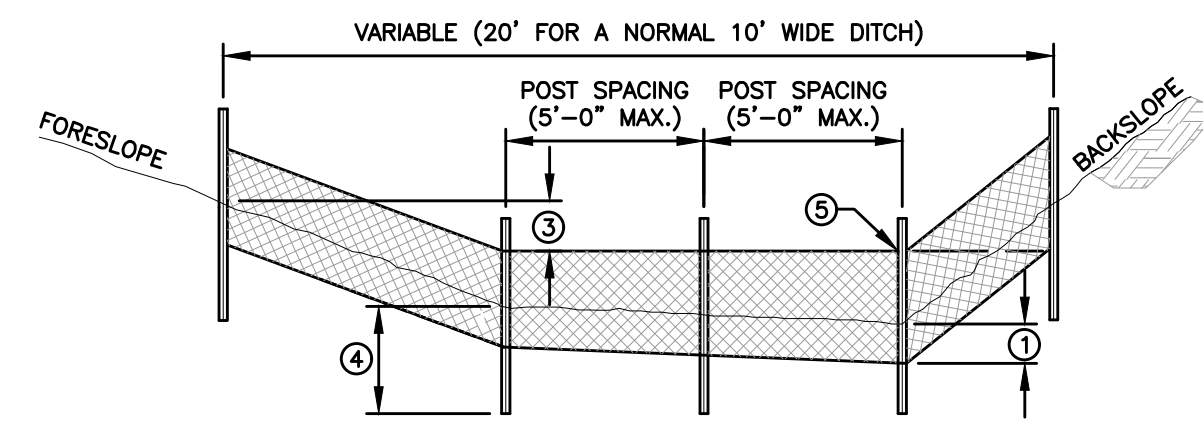


9 ACCESSIBLE PARKING SIGN
NOT TO SCALE

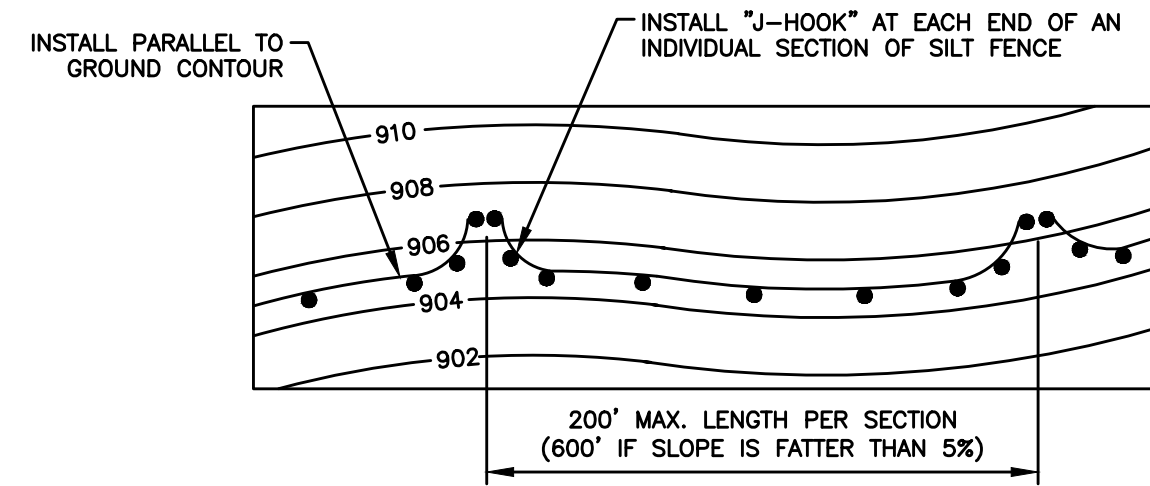


6 CURB RAMPS OUTSIDE OF INTERSECTION RADIUS
NOT TO SCALE

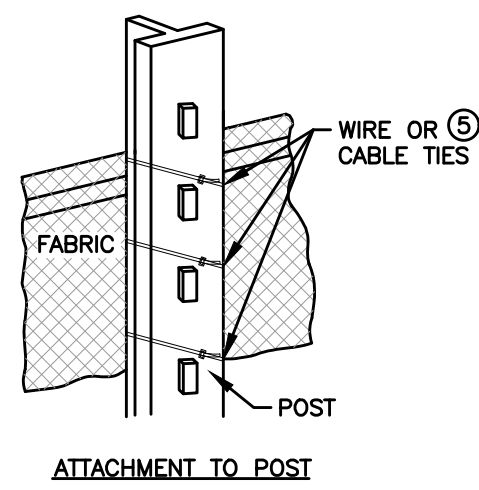




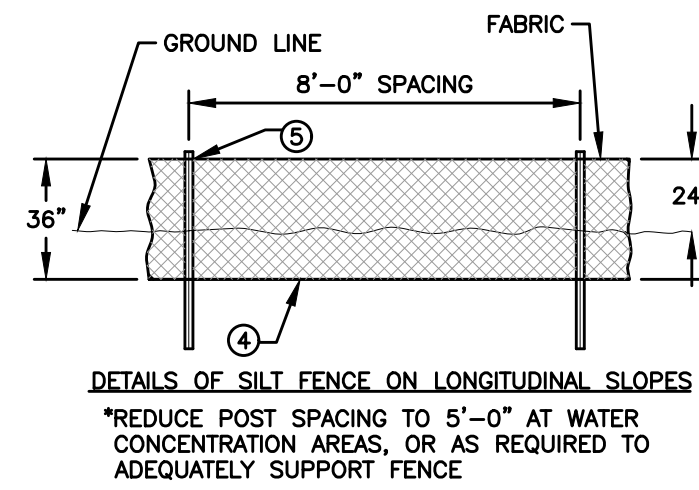
TYPICAL SILT FENCE DITCH CHECK



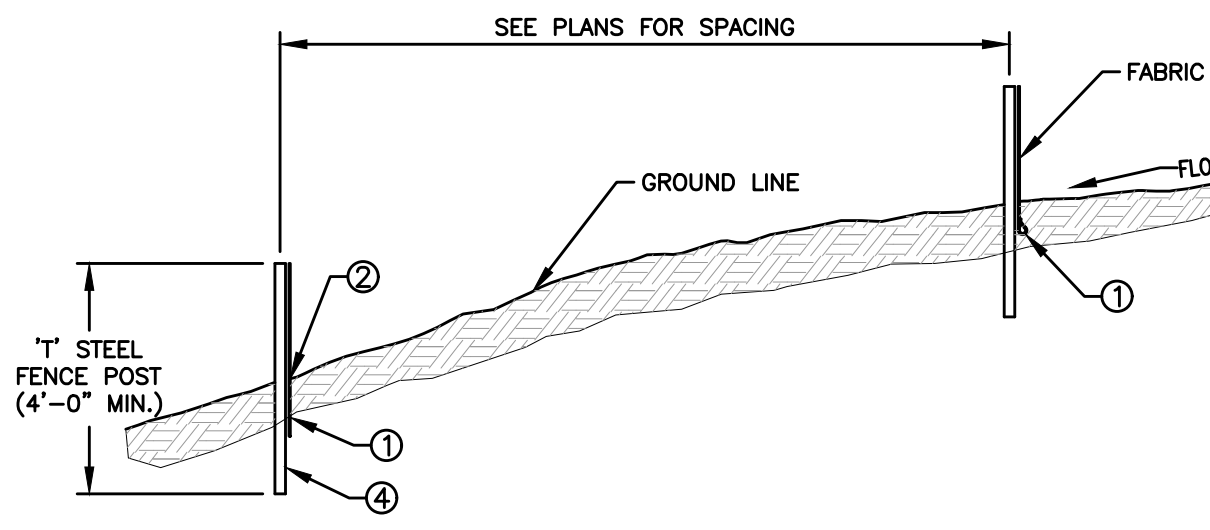
TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (PLAN VIEW)



ATTACHMENT TO POST



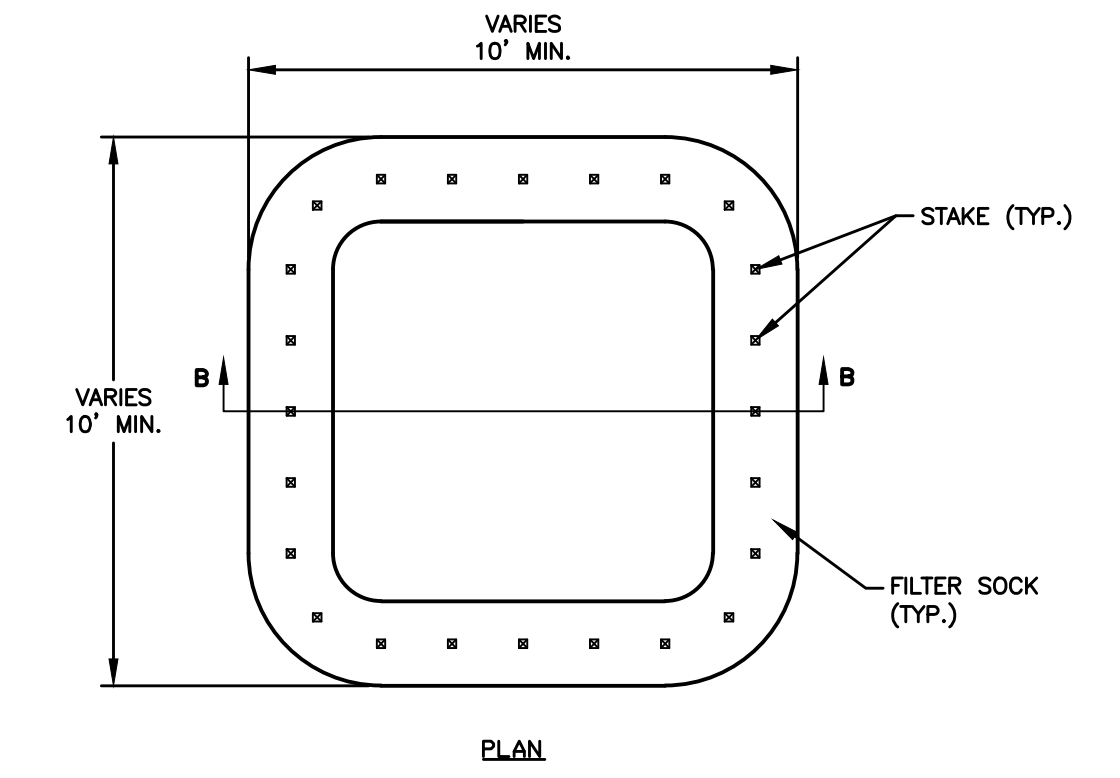
DETAILS OF SILT FENCE ON LONGITUDINAL SLOPES
*REDUCE POST SPACING TO 5'-0" AT WATER CONCENTRATION AREAS, OR AS REQUIRED TO ADEQUATELY SUPPORT FENCE.



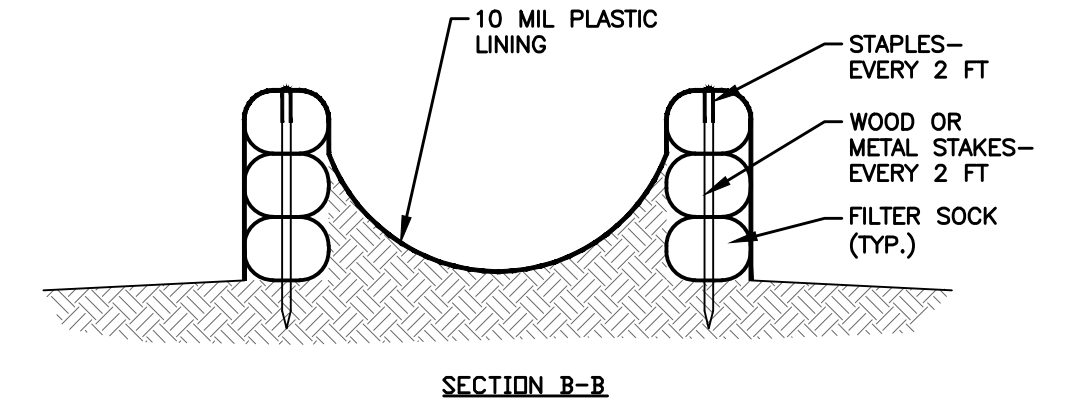
TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (PROFILE VIEW)

GENERAL NOTES:
INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.

- ① INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
- ② COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
- ③ IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
- ④ STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
- ⑤ SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."



PLAN

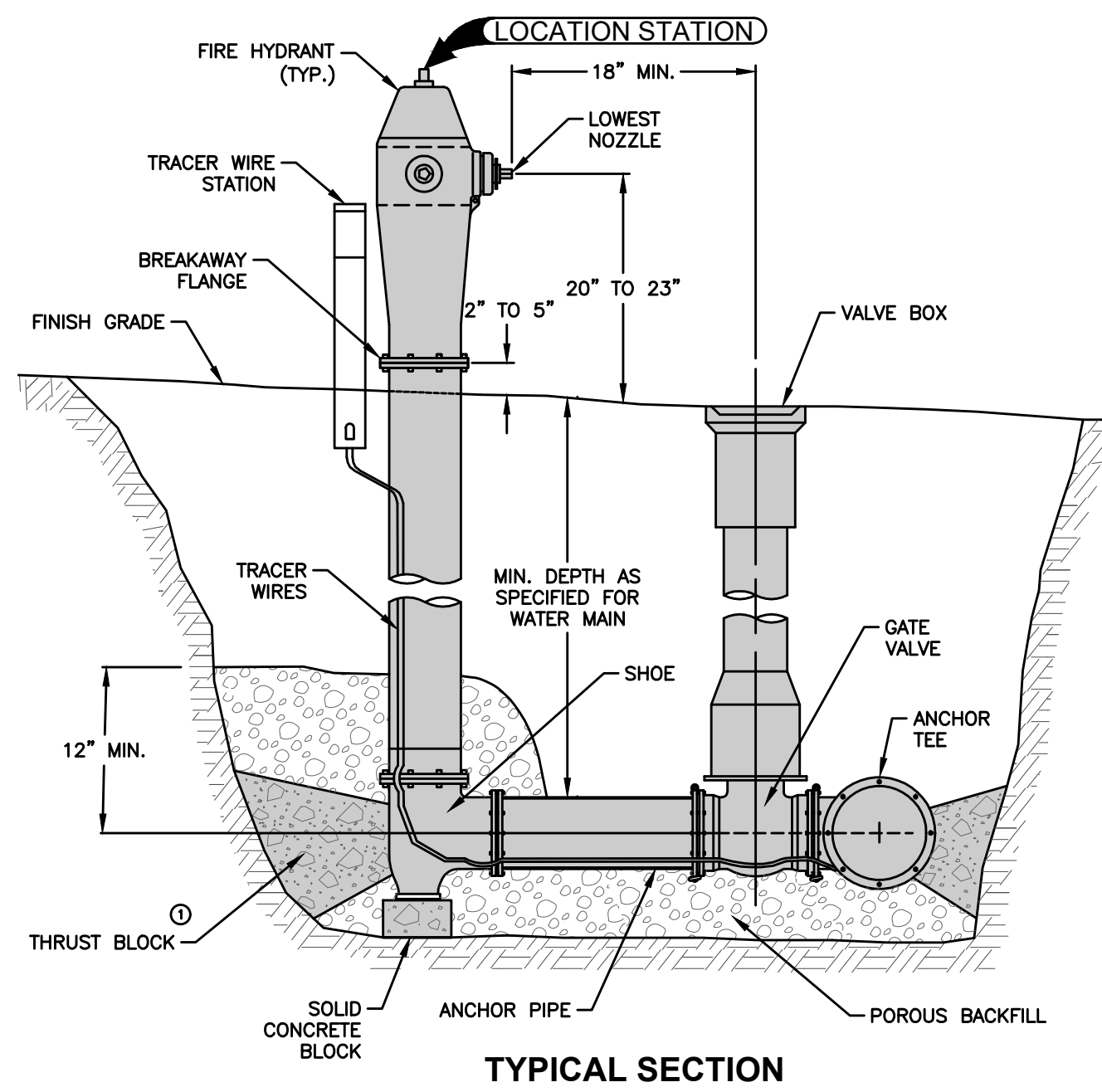


SECTION B-B

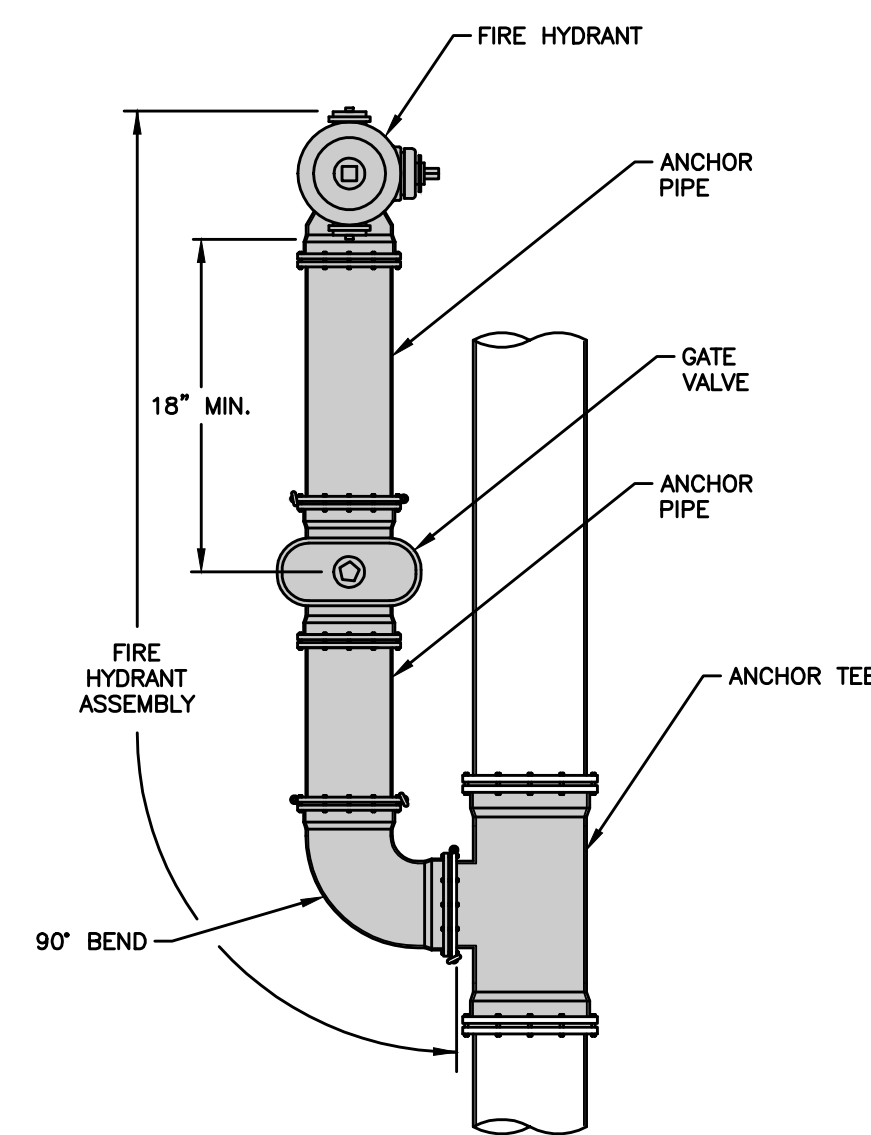
- NOTES:
1. ACTUAL LAYOUT AND LOCATION TO BE DETERMINED IN FIELD BY THE CONTRACTOR.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
 4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 75% FULL.

5 SILT FENCE
NOT TO SCALE

2 CONCRETE WASHOUT
NOT TO SCALE

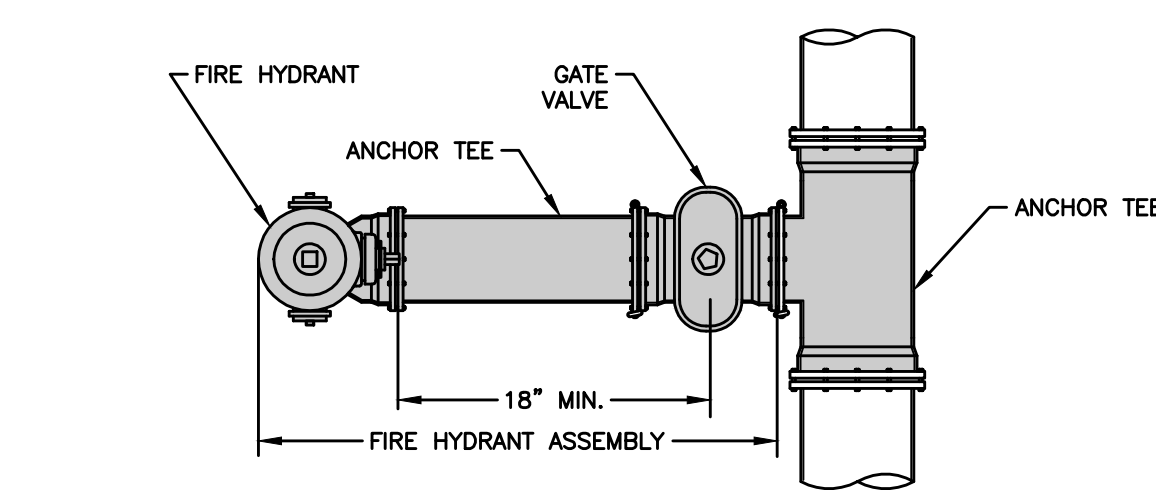


TYPICAL SECTION



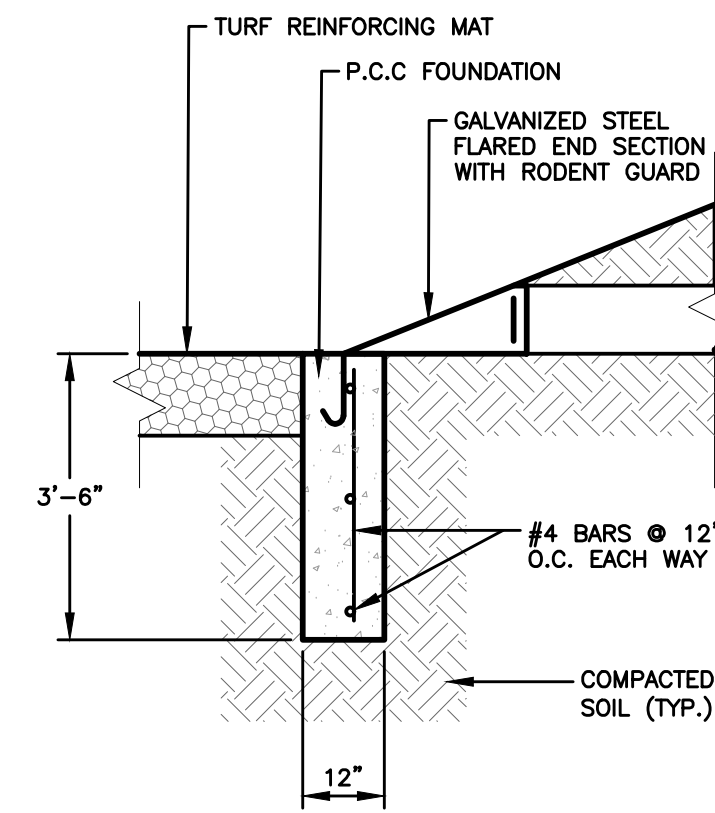
ALTERNATE PLAN

USE DUCTILE IRON PIPE WITH RESTRAINED MECHANICAL JOINTS FOR FIRE HYDRANT ASSEMBLY AND ANCHOR TEE.
① DO NOT COVER DRAIN HOLES OR TRACER WIRE.

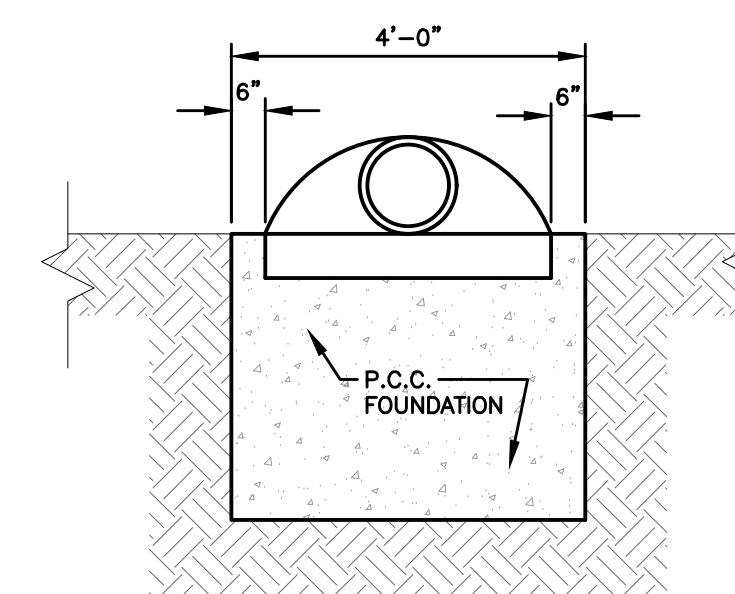


TYPICAL PLAN

4 WM-201 FIRE HYDRANT ASSEMBLY
NOT TO SCALE

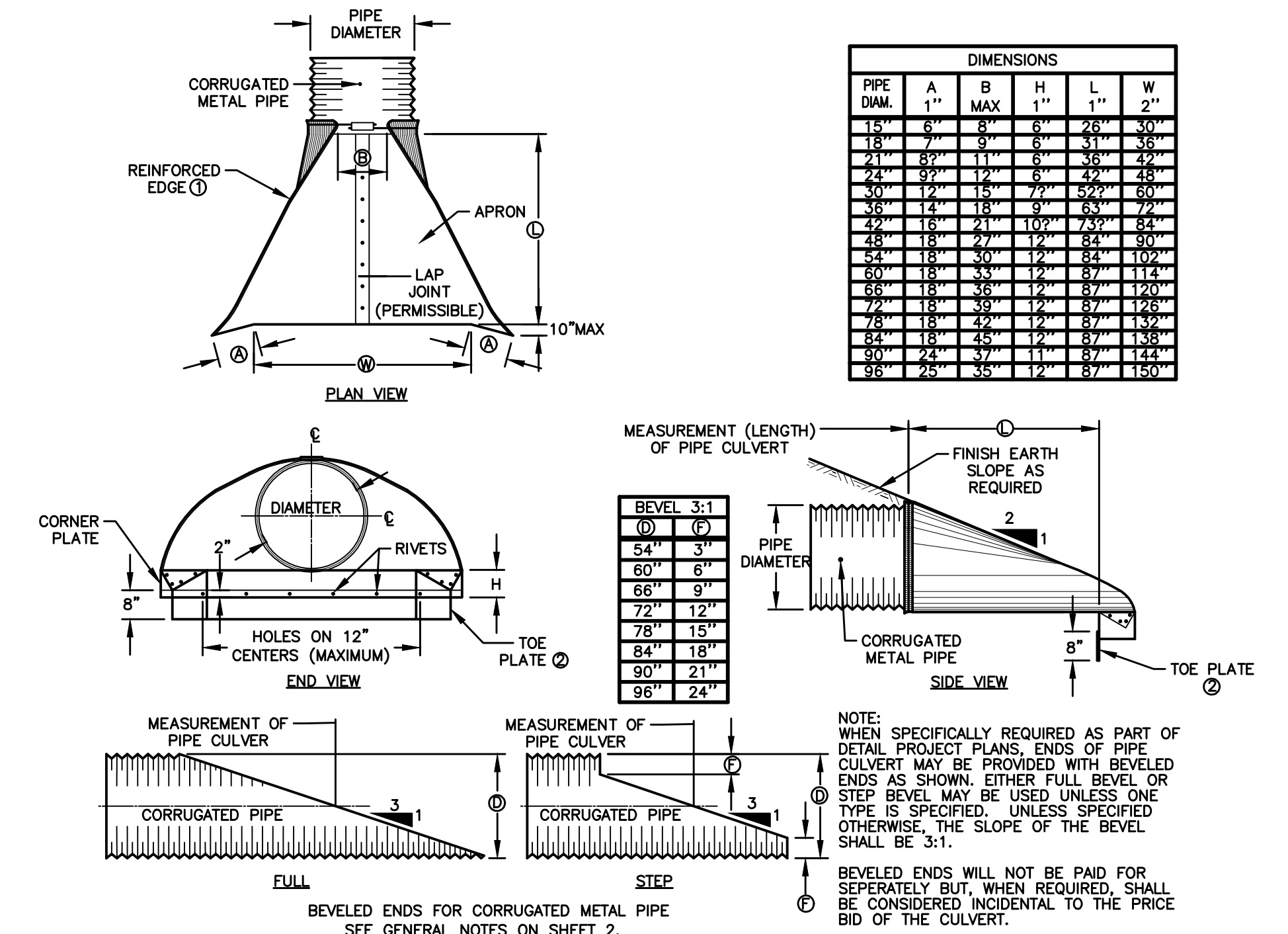


CROSS SECTION THROUGH P.C.C. FOUNDATION



CROSS SECTION THROUGH P.C.C. FOUNDATION

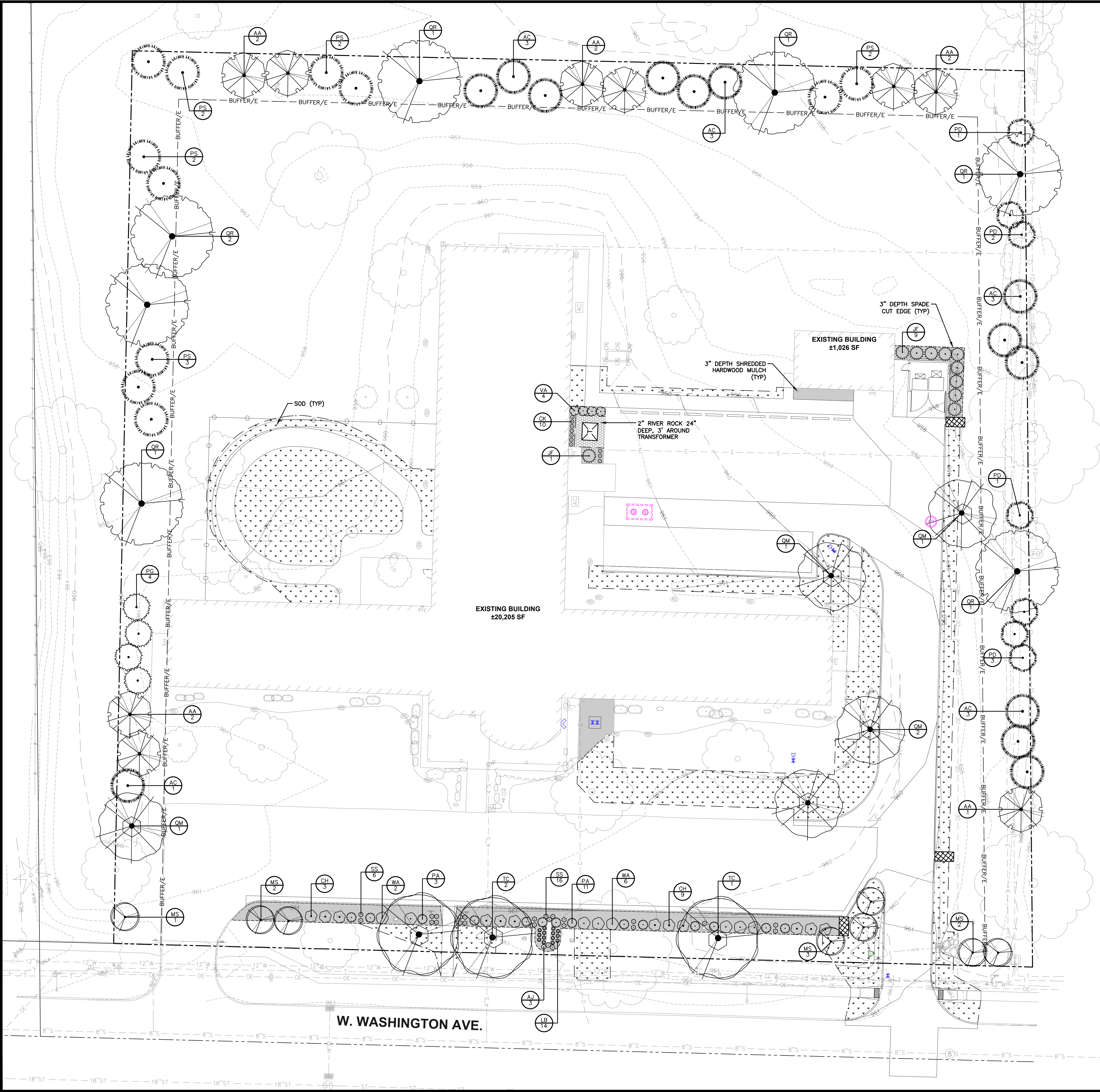
3 METAL FLARED END SECTION AND FOOTING
NOT TO SCALE



1 CORRUGATED METAL PIPE APRON
NOT TO SCALE

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 PLOTTED BY: NICKOLAI, MICAL
 COMMENT:

DATE: _____
 REVISIONS: _____
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 DRAFTED: _____
 ENGINEER: _____
ON WITH LIFE
 CIVIL DESIGN ADVANTAGE
 POLK COUNTY, IOWA
 1002 W. WASHINGTON AVE.
 DATE: 04/12/2023
 SHEET NUMBER: **C5.2**
 2301.028



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND 260.1 SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

LANDSCAPE REQUIREMENTS

SITE AREA = 148,104 S.F. (3.40 AC.)
 OPEN SPACE REQUIRED: (15%) = 22,216 S.F.
 OPEN SPACE PROVIDED: (60%) = 82,862 S.F.

OPENSAPCE PLANTING REQUIREMENT:
 2 TREES AND 6 SHRUBS PER 3,000 S.F. OF REQUIRED OPEN SPACE.

TREES REQUIRED: 15
 EXISTING TREES: 18
 PROPOSED TREES: 48 (INCLUDES BUFFER AND STREET TREES)
 TOTAL PROVIDED: 66

SHRUBS REQUIRED: 45
 EXISTING SHRUBS: 36
 PROPOSED SHRUBS: 28
 TOTAL PROVIDED: 62

PAVEMENT SHADING REQUIREMENTS:
 DRIVEWAYS = 12,687 SF
 PRIVATE STREETS = 12,639 SF
 50,367 SF x 20% = 5,065 SF
 REQUIRED: 5,065/700 = 8 TREES
 PROVIDED: 8 TREES

LEGEND

1. SOD
2. 3" SHREDDED HARDWOOD MULCH
3. SPADE CUT EDGE
4. 2" RIVER ROCK
5. SOD LIMITS
6. TREES COUNTED TOWARD PAVEMENT SHADING REQUIREMENTS

PLANT SCHEDULE

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AC	13	White Fir	Abies concolor	B&B, 6" HEIGHT
PD	7	Black Hills Spruce	Picea glauca 'Densata'	B&B, 6" HEIGHT
PG	4	Blue Colorado Spruce	Picea pungens 'Glaucou'	B&B, 6" HEIGHT
PS	11	White Pine	Pinus strobus	B&B, 6" HEIGHT
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
MS	8	Spring Snow Crabapple	Malus x 'Spring Snow'	B&B, 1.5" CALIPER
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AA	9	Autumn Flame Red Maple	Acer rubrum 'Autumn Flame'	B&B, 1.5" CALIPER
QM	5	Burr Oak	Quercus macrocarpa	B&B, 1.5" CALIPER
OR	7	Red Oak	Quercus rubra	B&B, 1.5" CALIPER
TC	3	Corinthian Littleleaf Linden	Tilia cordata 'Corzam' TM	B&B, 1.5" CALIPER
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CH	12	Ivory Halo Dogwood	Cornus alba 'Balthala' TM	CONT, 3 GAL
JF	10	Sea Green Juniper	Juniperus chinensis 'Sea Green'	CONT, 3 GAL
VA	4	Blue Muffin Arrowwood Viburnum	Viburnum dentatum 'Christam' TM	CONT, 3 GAL
WA	8	Wine & Roses Weigela	Weigela florida 'Alexandra' TM	CONT, 3 GAL
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OK	10	Feather Reed Grass	Calamagrostis x acutiflora 'Kari Foerster'	CONT, 1 GAL
LB	14	Little Bunny Fountain Grass	Pennisetum alopecuroides 'Little Bunny'	CONT, 1 GAL
SS	22	Standing Ovation Little Bluestem Grass	Schizachyrium scoparium 'Standing Ovation'	CONT, 1 GAL
ANNUALS/PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AJ	3	Autumn Joy Stonecrop	Sedum spectabile 'Autumn Joy'	CONT, 1 GAL
PA	14	Russian Sage	Perovskia atriplicifolia	CONT, 1 GAL

DATE: _____

REVISIONS: _____

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DRAFTED: _____

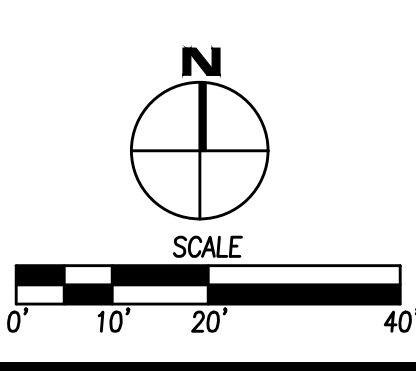
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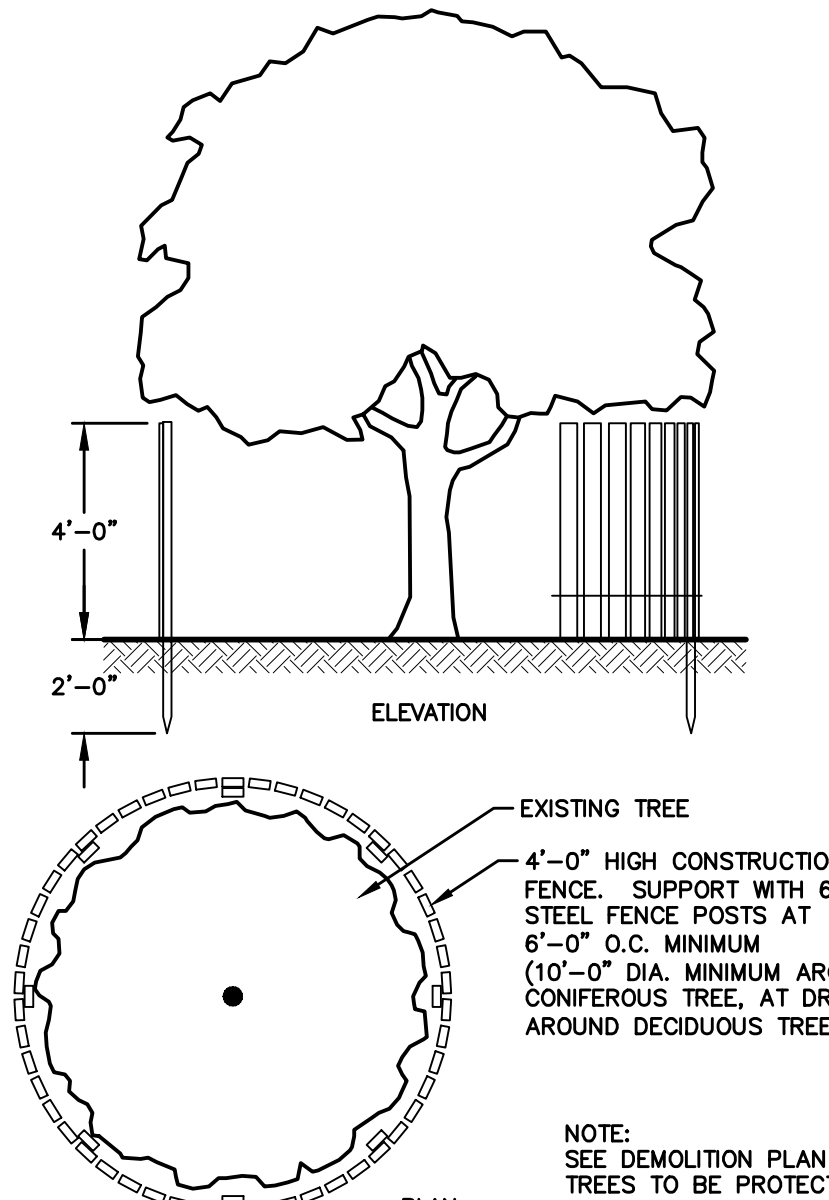
CIVIL DESIGN ADVANTAGE

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 POLK COUNTY, IOWA

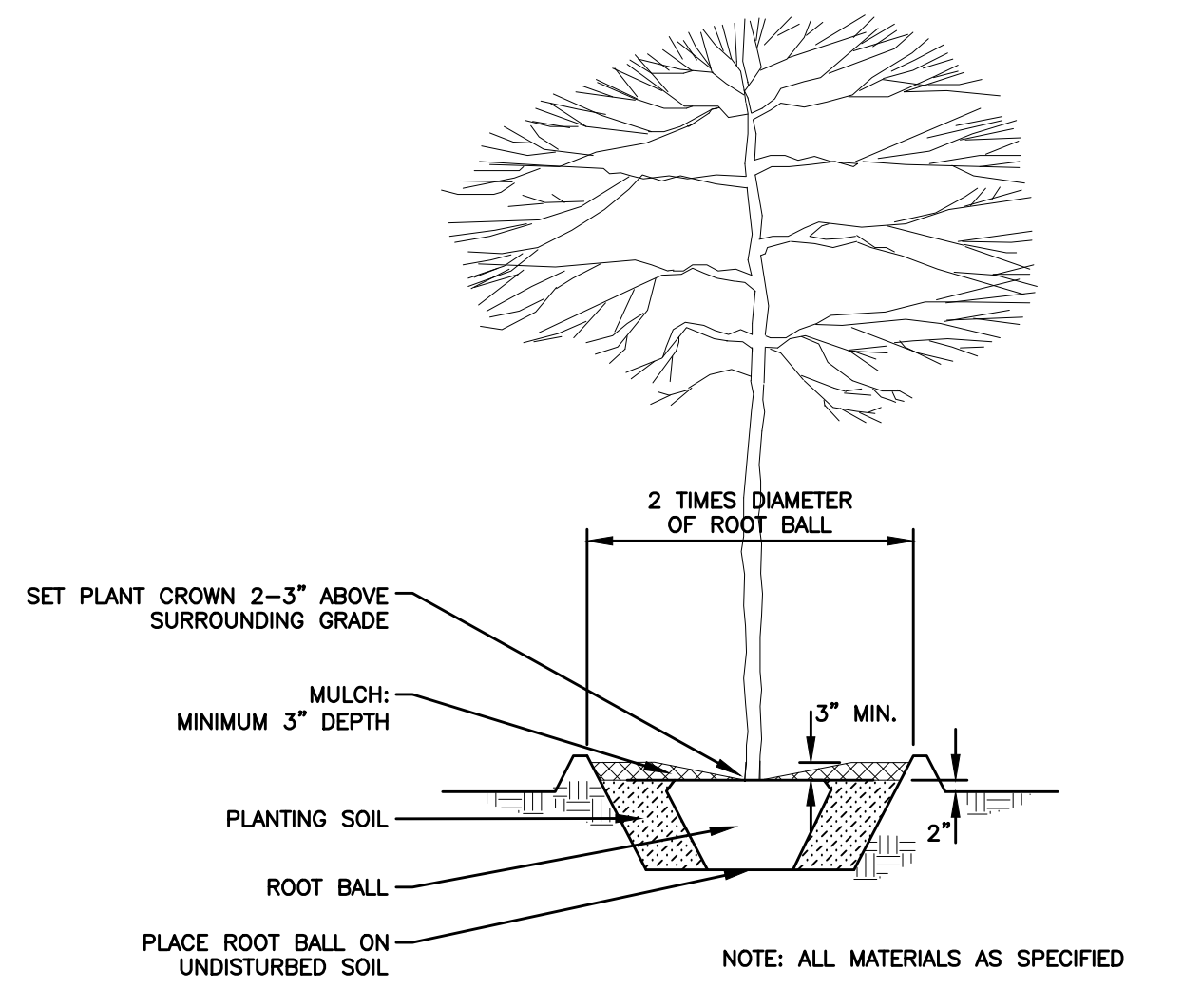
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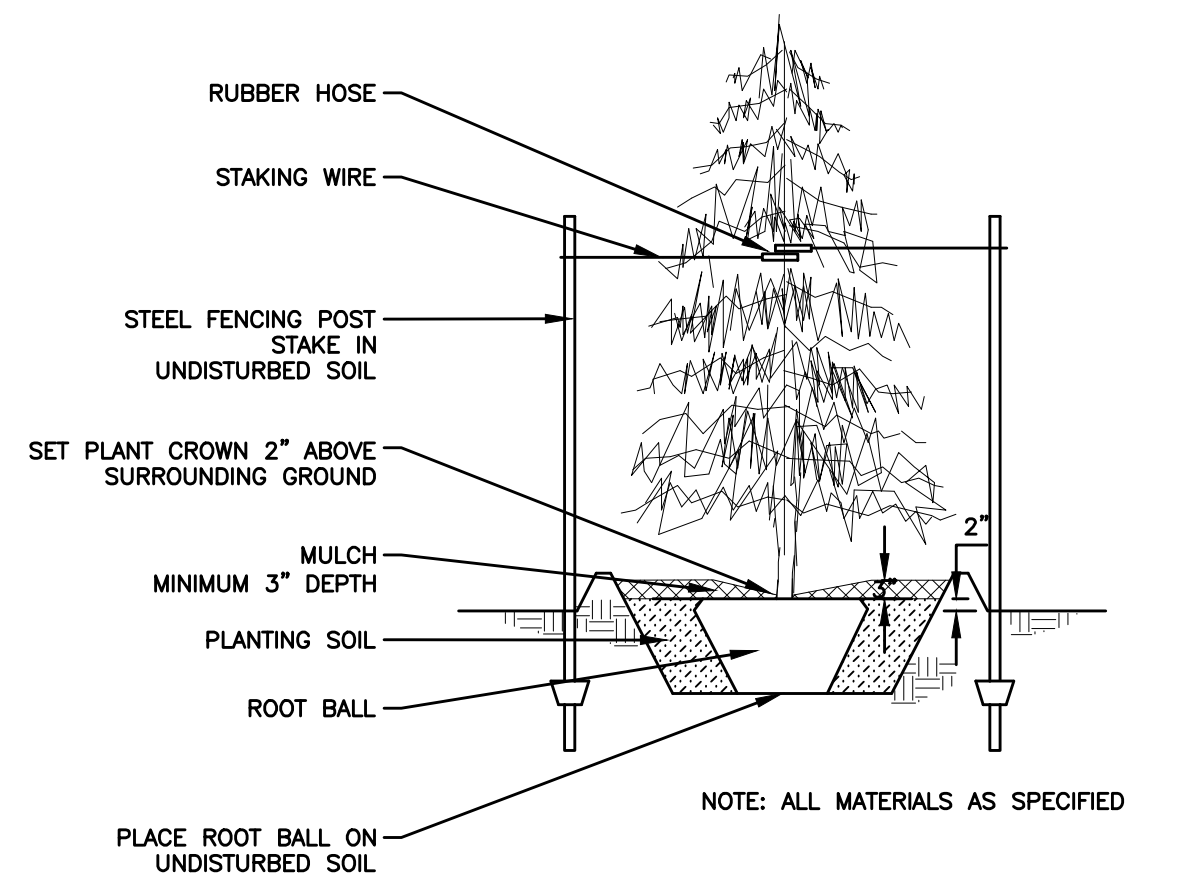




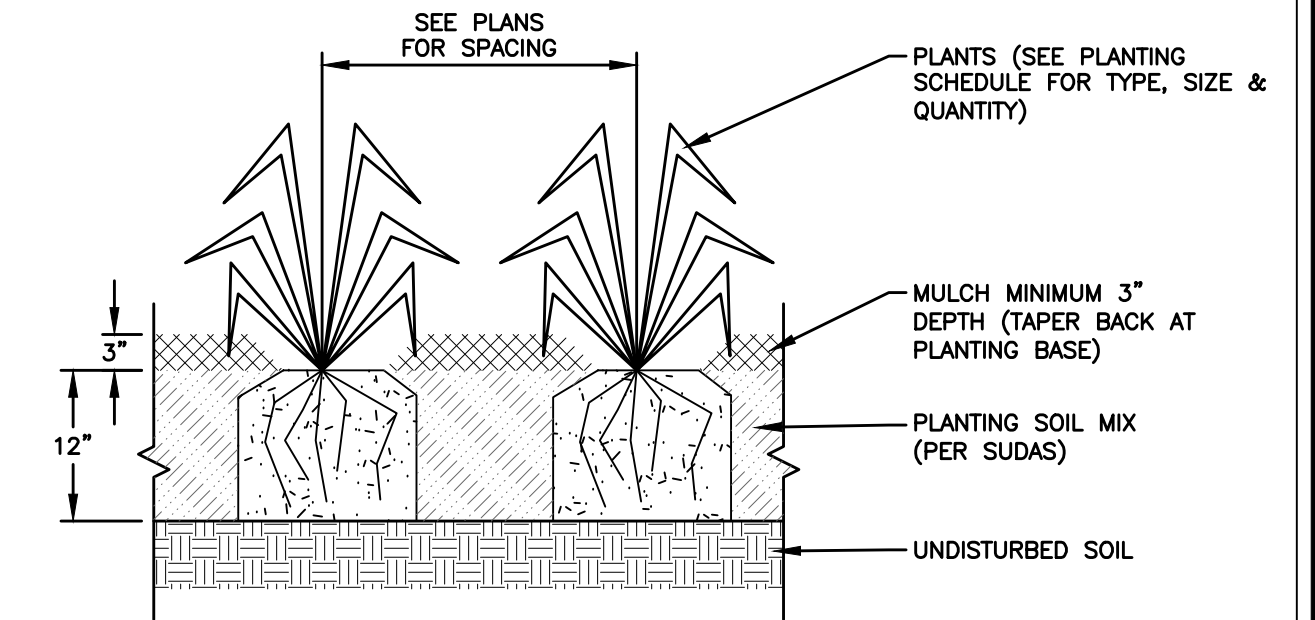
4 TREE PROTECTION
NOT TO SCALE



3 DECIDUOUS TREE PLANTING
NOT TO SCALE



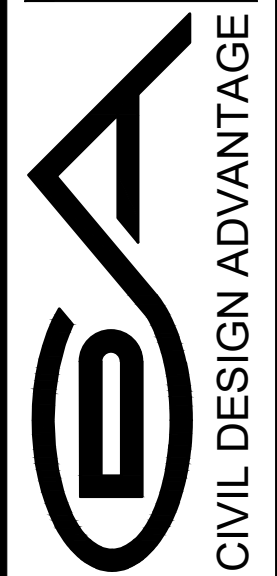
2 CONIFEROUS TREE PLANTING
NOT TO SCALE



1 SHRUB PLANTING
NOT TO SCALE

REVISIONS	DATE

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URBANDALE, IA 50322
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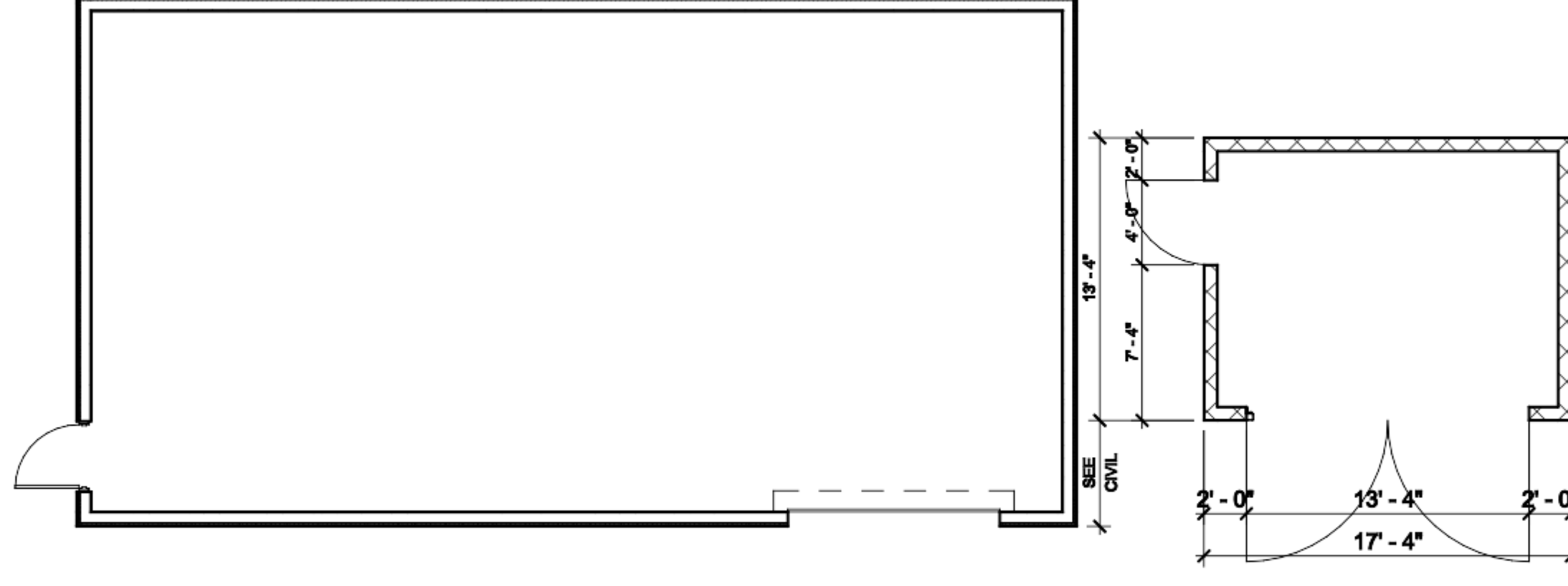
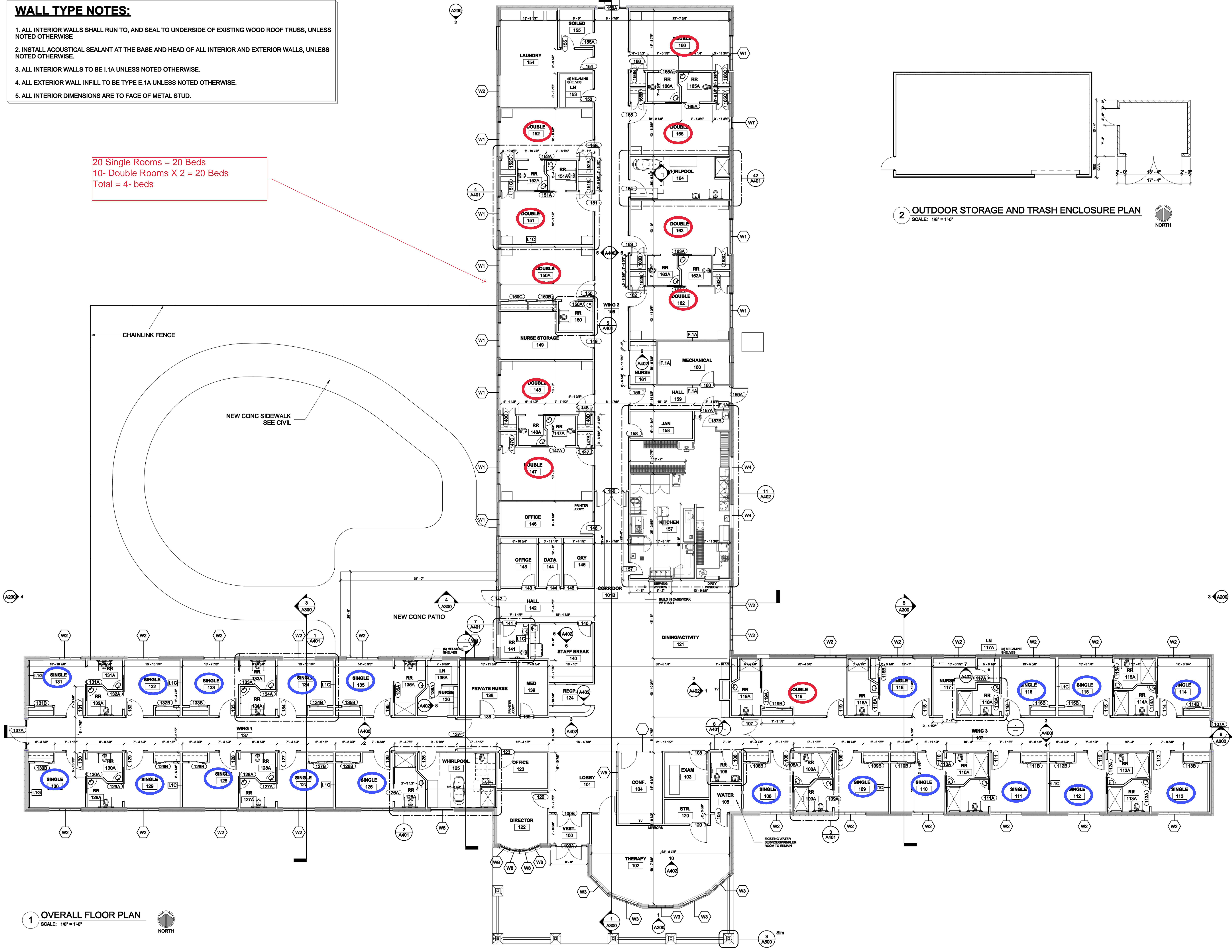
POLK CITY, IOWA

ON WITH LIFE
LANDSCAPE DETAILS

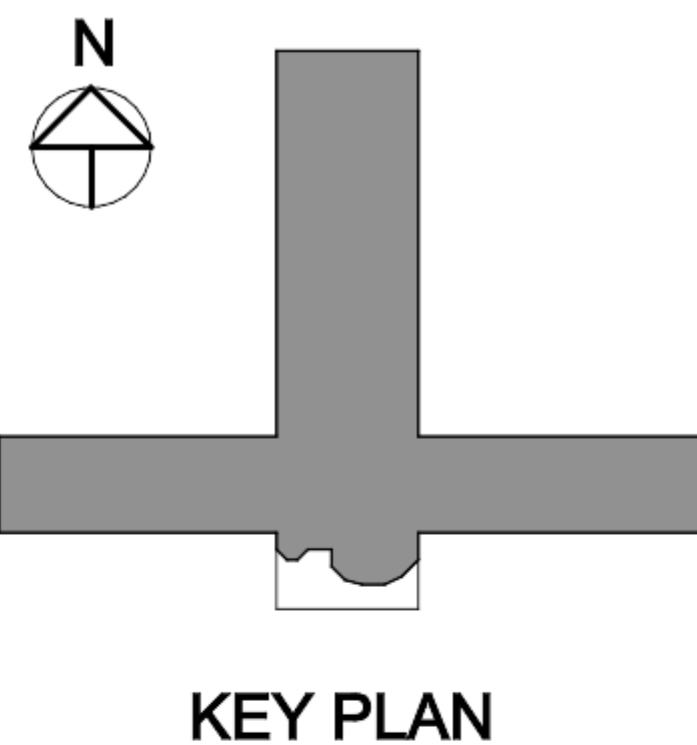
WALL TYPE NOTES:

1. ALL INTERIOR WALLS SHALL RUN TO, AND SEAL TO UNDERSIDE OF EXISTING WOOD ROOF TRUSS, UNLESS NOTED OTHERWISE.
2. INSTALL ACOUSTICAL SEALANT AT THE BASE AND HEAD OF ALL INTERIOR AND EXTERIOR WALLS, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR WALLS TO BE I.1A UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR WALL INFILL TO BE TYPE E.1A UNLESS NOTED OTHERWISE.
5. ALL INTERIOR DIMENSIONS ARE TO FACE OF METAL STUD.

20 Single Rooms = 20 Beds
 10- Double Rooms X 2 = 20 Beds
 Total = 40 beds



2 OUTDOOR STORAGE AND TRASH ENCLOSURE PLAN
 SCALE: 1/8" = 1'-0"



KEY PLAN

1 OVERALL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



**NOT FOR
 INSTRUCTION**

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE ABOVE REFERENCED PROJECTS. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE EXPRESS WRITTEN APPROVAL AND PARTNERSHIP OF SVP ARCHITECTS INC. REPRODUCTION IS PROHIBITED.

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 PROJECT NUMBER
22064

MAIN FLOOR PLAN
A100

EXTERIOR MATERIAL LEGEND

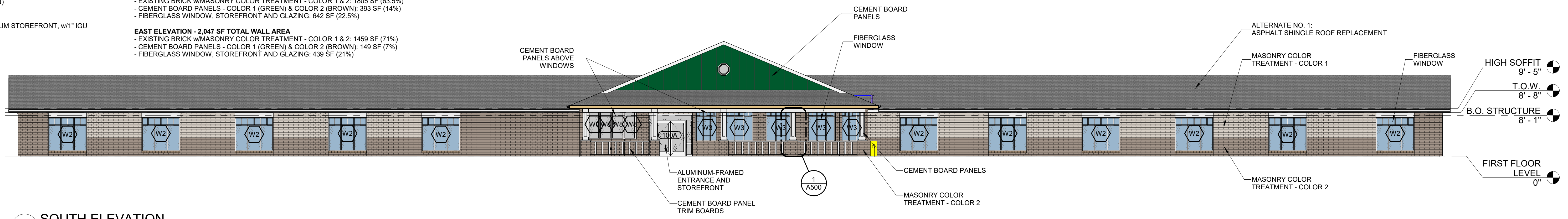
- EXISTING BRICK w/MASONRY COLOR TREATMENT - COLOR 1
- EXISTING BRICK w/MASONRY COLOR TREATMENT - COLOR 2
- CEMENT BOARD PANELS - COLOR 1 (GREEN)
- CEMENT BOARD PANELS - COLOR 2 (BROWN)
- FIBERGLASS WINDOW w/1" IGU AND ALUMINUM STOREFRONT, w/1" IGU

EXTERIOR MATERIAL AREAS (MAIN BUILDING)

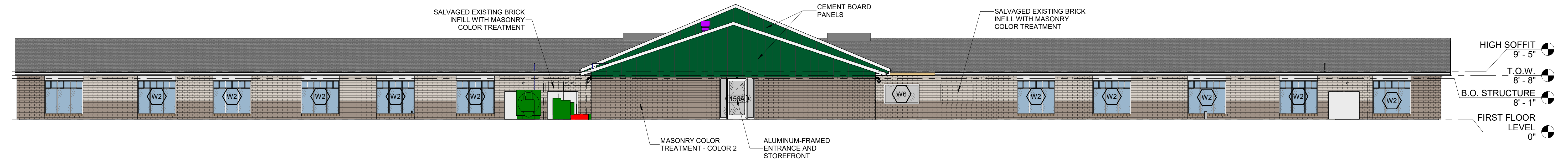
- SOUTH ELEVATION - 2,663 SF TOTAL WALL AREA**
 - EXISTING BRICK w/MASONRY COLOR TREATMENT - COLOR 1 & 2: 1636 SF (61.5%)
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 193 SF (7.5%)
 - FIBERGLASS WINDOW, STOREFRONT AND GLAZING: 834 SF (31%)
- WEST ELEVATION - 2,030 SF TOTAL WALL AREA**
 - EXISTING BRICK w/MASONRY COLOR TREATMENT - COLOR 1 & 2: 1302 SF (64.5%)
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 149 SF (7%)
 - FIBERGLASS WINDOW, STOREFRONT AND GLAZING: 579 SF (28.5%)
- NORTH ELEVATION - 2,840 SF TOTAL WALL AREA**
 - EXISTING BRICK w/MASONRY COLOR TREATMENT - COLOR 1 & 2: 1805 SF (63.5%)
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 393 SF (14%)
 - FIBERGLASS WINDOW, STOREFRONT AND GLAZING: 642 SF (22.5%)
- EAST ELEVATION - 2,047 SF TOTAL WALL AREA**
 - EXISTING BRICK w/MASONRY COLOR TREATMENT - COLOR 1 & 2: 1459 SF (71%)
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 149 SF (7%)
 - FIBERGLASS WINDOW, STOREFRONT AND GLAZING: 439 SF (21%)

EXTERIOR MATERIAL AREAS (STORAGE BUILDING)

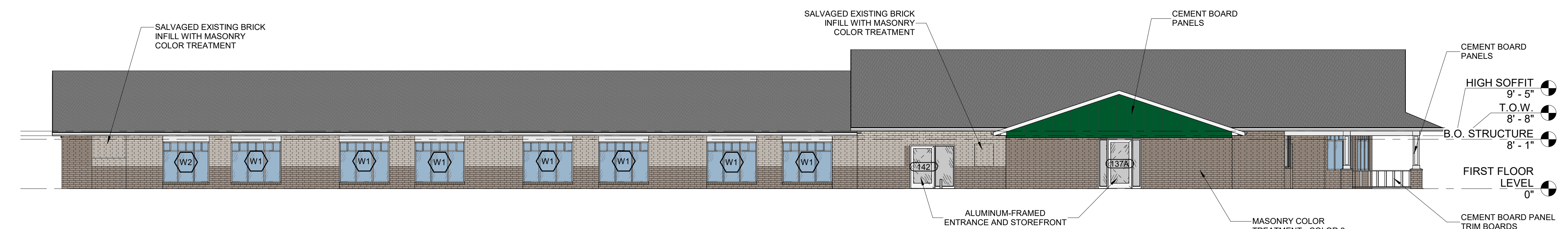
- SOUTH ELEVATION - 471 SF TOTAL WALL AREA**
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 381 SF (81%)
 - HOLLOW METAL DOOR & OVERHEAD DOOR: 90 SF (19%)
- NORTH ELEVATION - 471 SF TOTAL WALL AREA**
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 471 SF (100%)
- EAST ELEVATION - 317 SF TOTAL WALL AREA**
 - CEMENT BOARD PANELS - COLOR 1 (GREEN) & COLOR 2 (BROWN): 317 SF (100%)



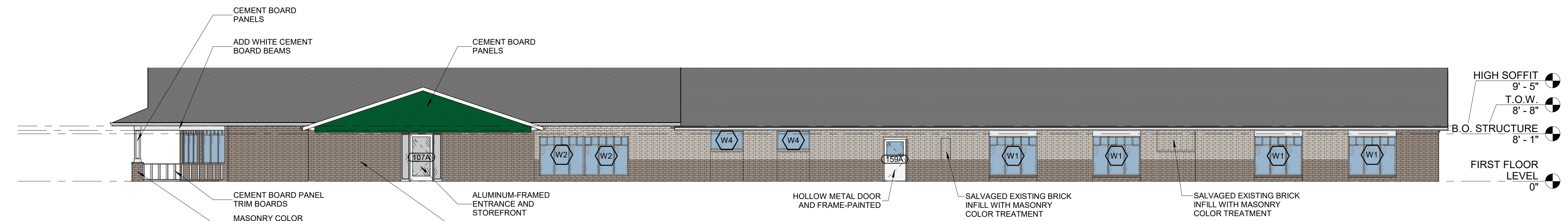
1 SOUTH ELEVATION
SCALE: 1" = 10'-0"



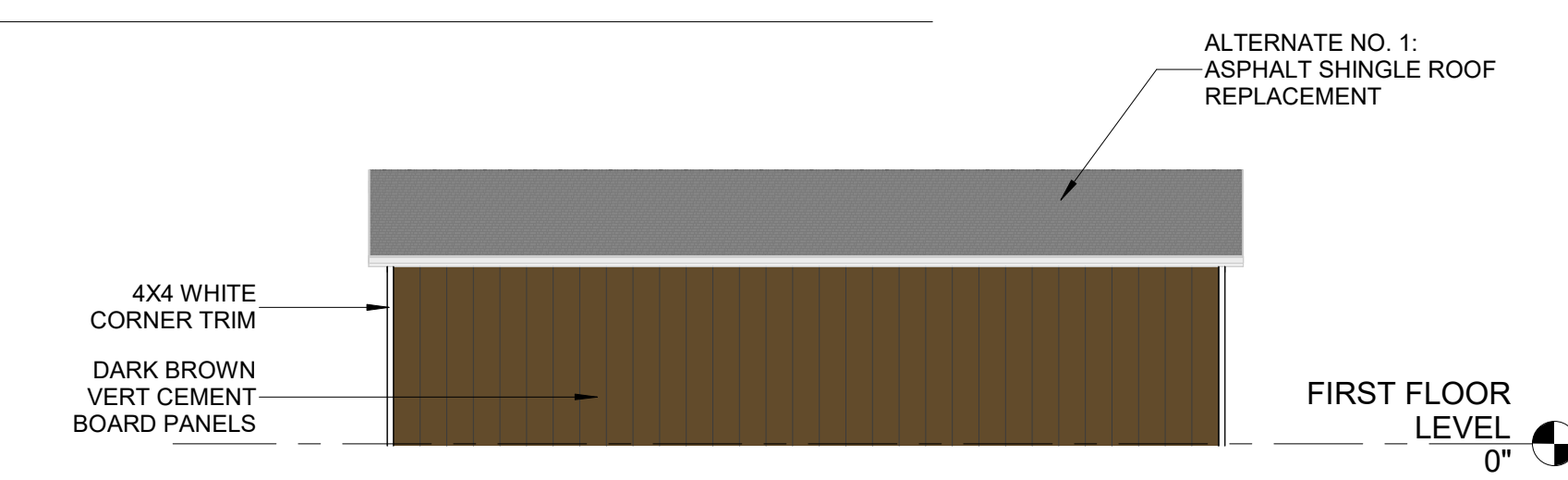
2 NORTH ELEVATION
SCALE: 1" = 10'-0"



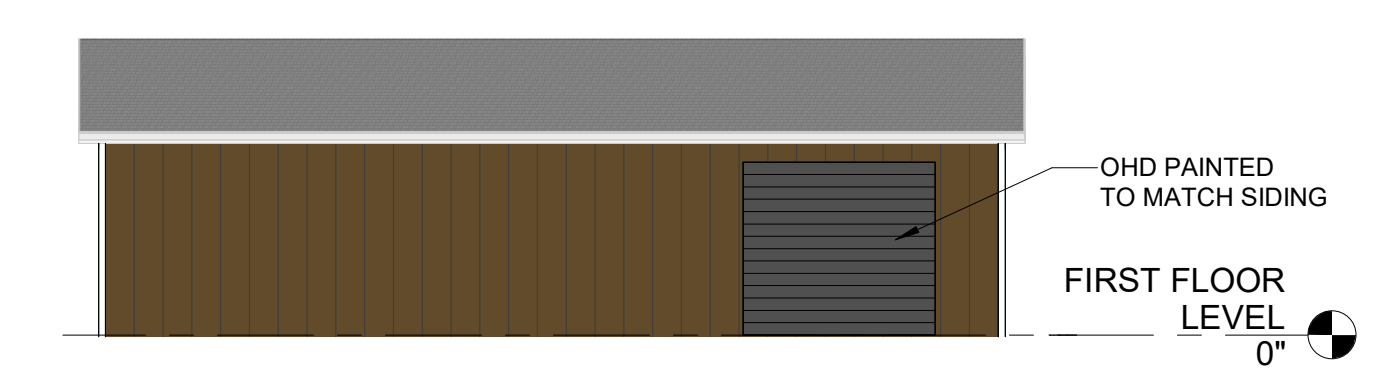
4 WEST ELEVATION
SCALE: 1" = 10'-0"



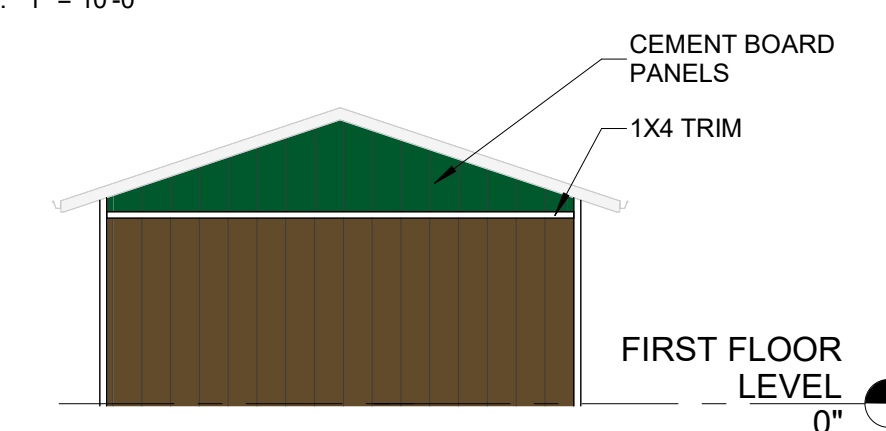
3 EAST ELEVATION
SCALE: 1" = 10'-0"



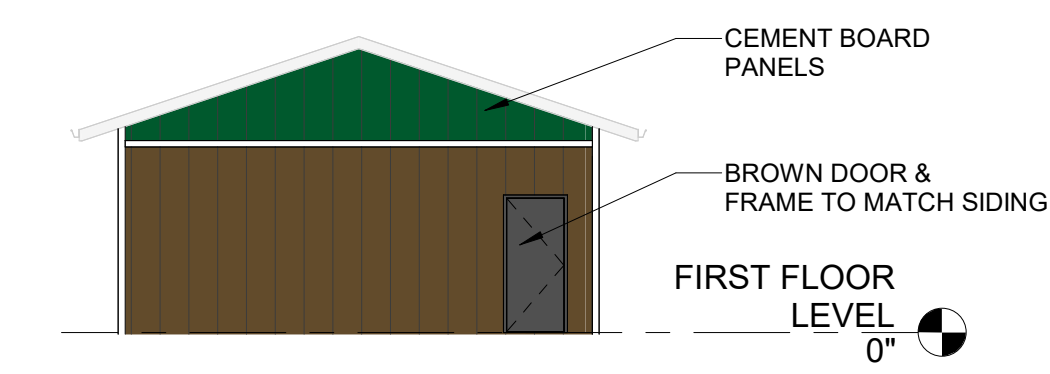
6 STORAGE BUILDING NORTH ELEVATION
SCALE: 1" = 10'-0"



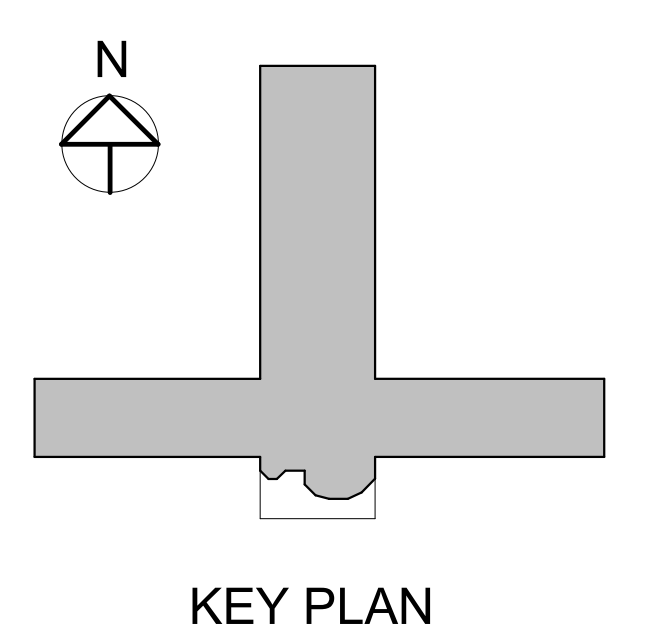
7 STORAGE BUILDING SOUTH ELEVATION
SCALE: 1" = 10'-0"



5 STORAGE BUILDING EAST ELEVATION
SCALE: 1" = 10'-0"



8 STORAGE BUILDING WEST ELEVATION
SCALE: 1" = 10'-0"



ON WITH LIFE LONG TERM SKILLED CARE
 1002 W WASHINGTON AVE
 POLK CITY, IA 50226

ISSUANCE
 DESIGN DEVELOPMENT
 05/15/2023

REVISIONS

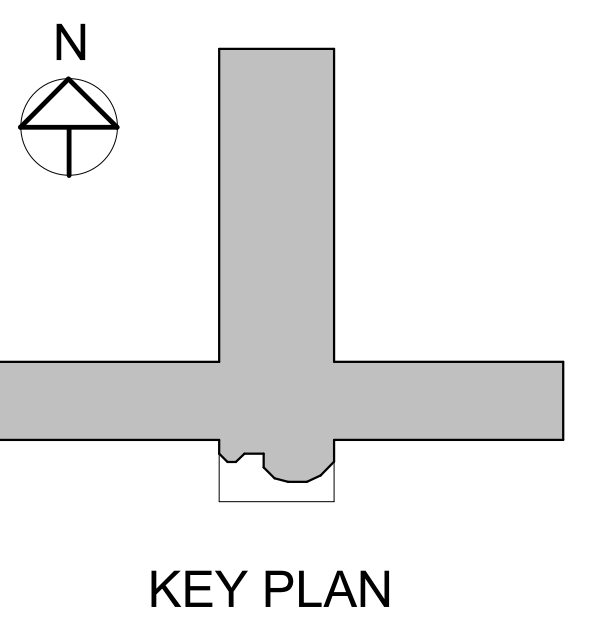
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EXTERIOR ELEVATIONS
A200

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**ON WITH LIFE
LONG TERM
SKILLED CARE**

1002 W WASHINGTON AVE
POLK CITY, IA 50226

ISSUANCE

CONSTRUCTION DOCUMENTS
05/15/2023

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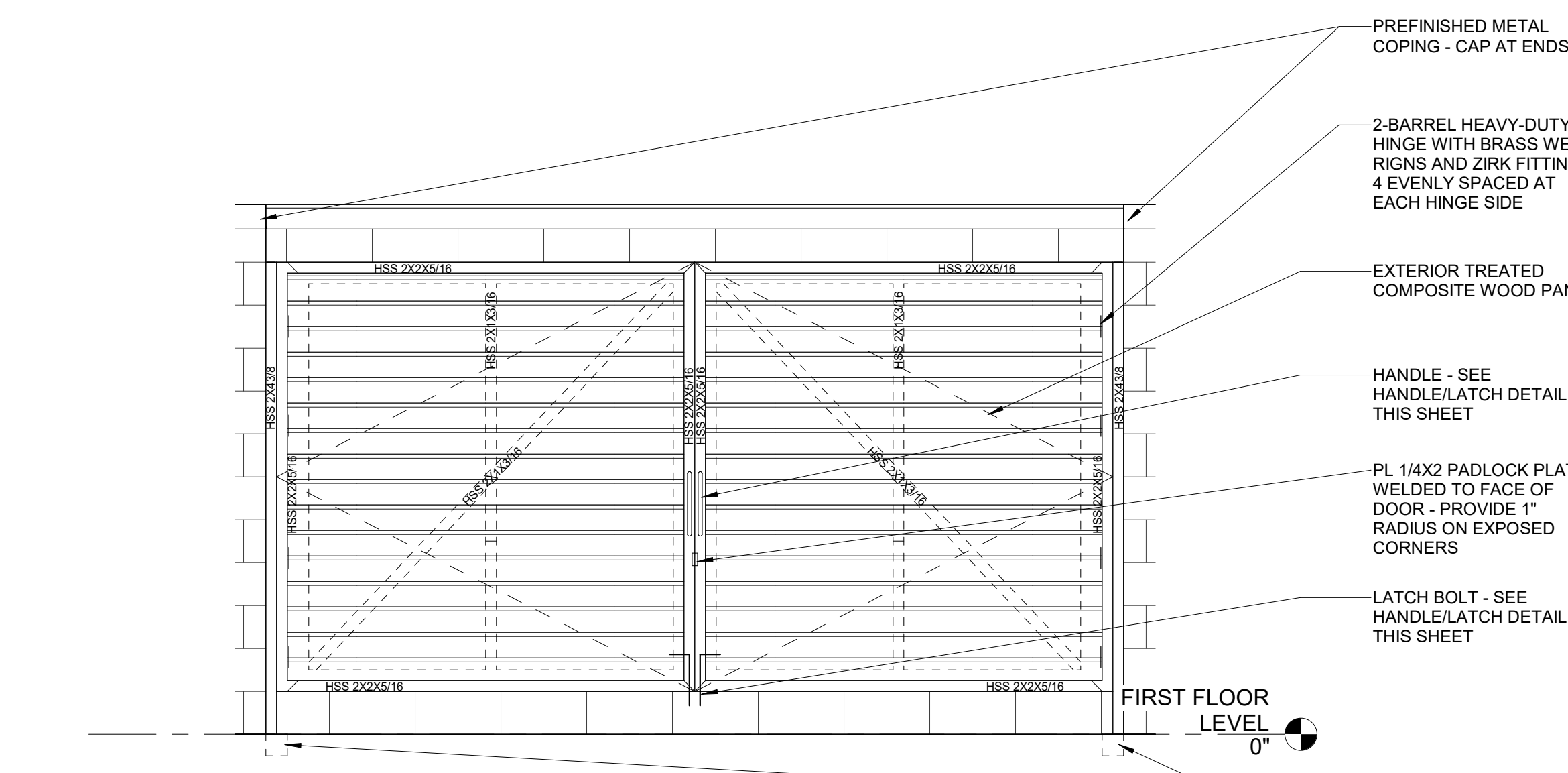
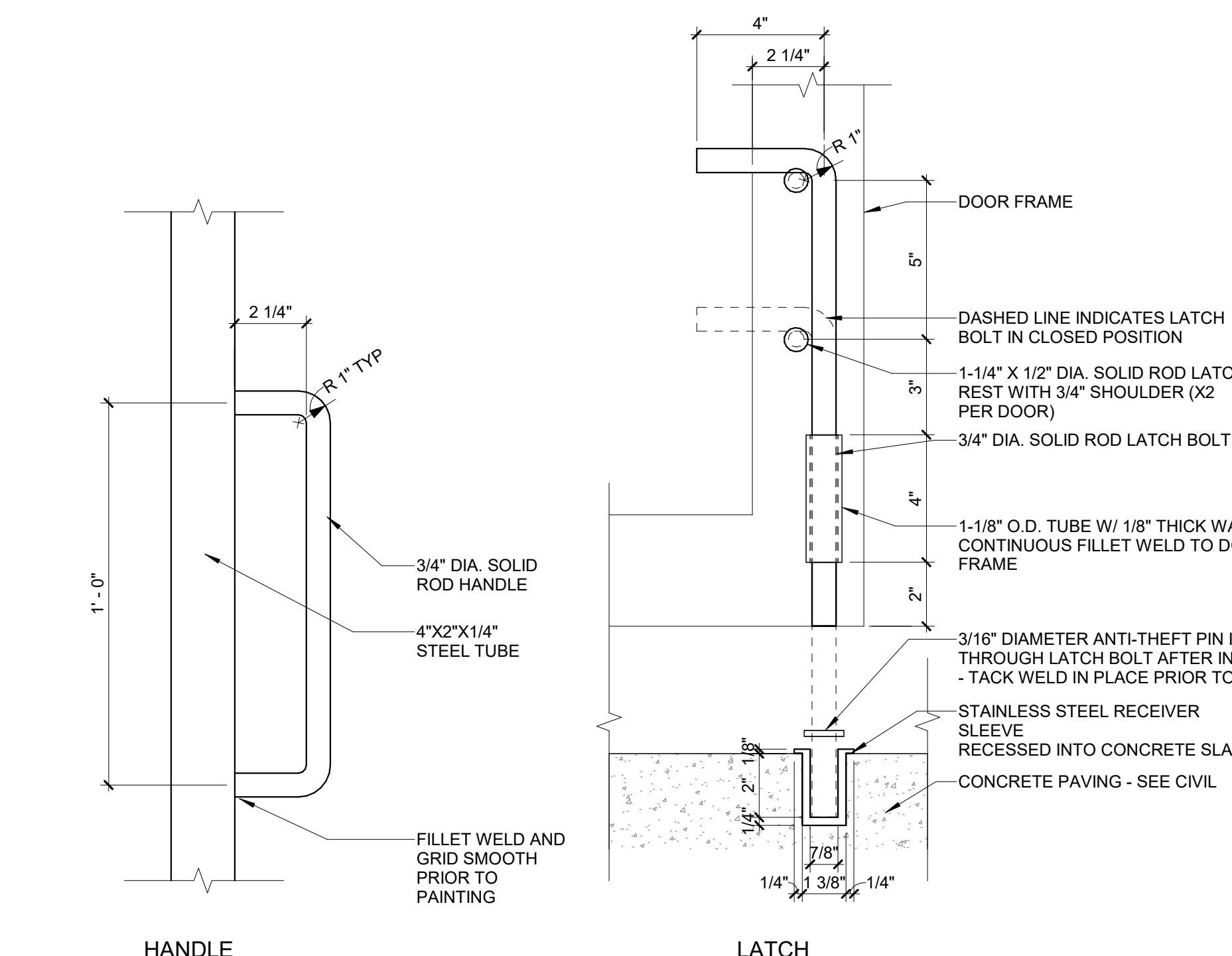
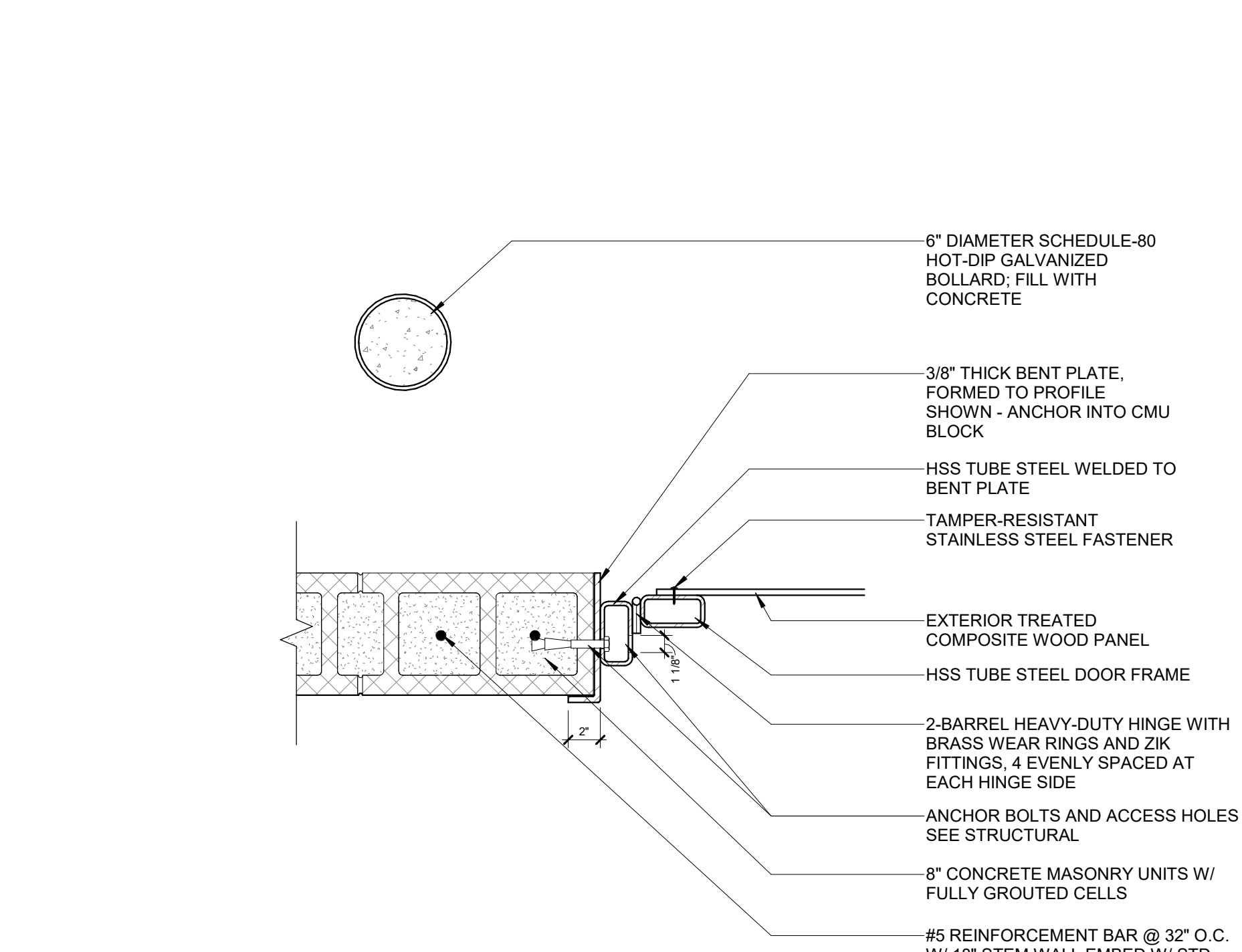
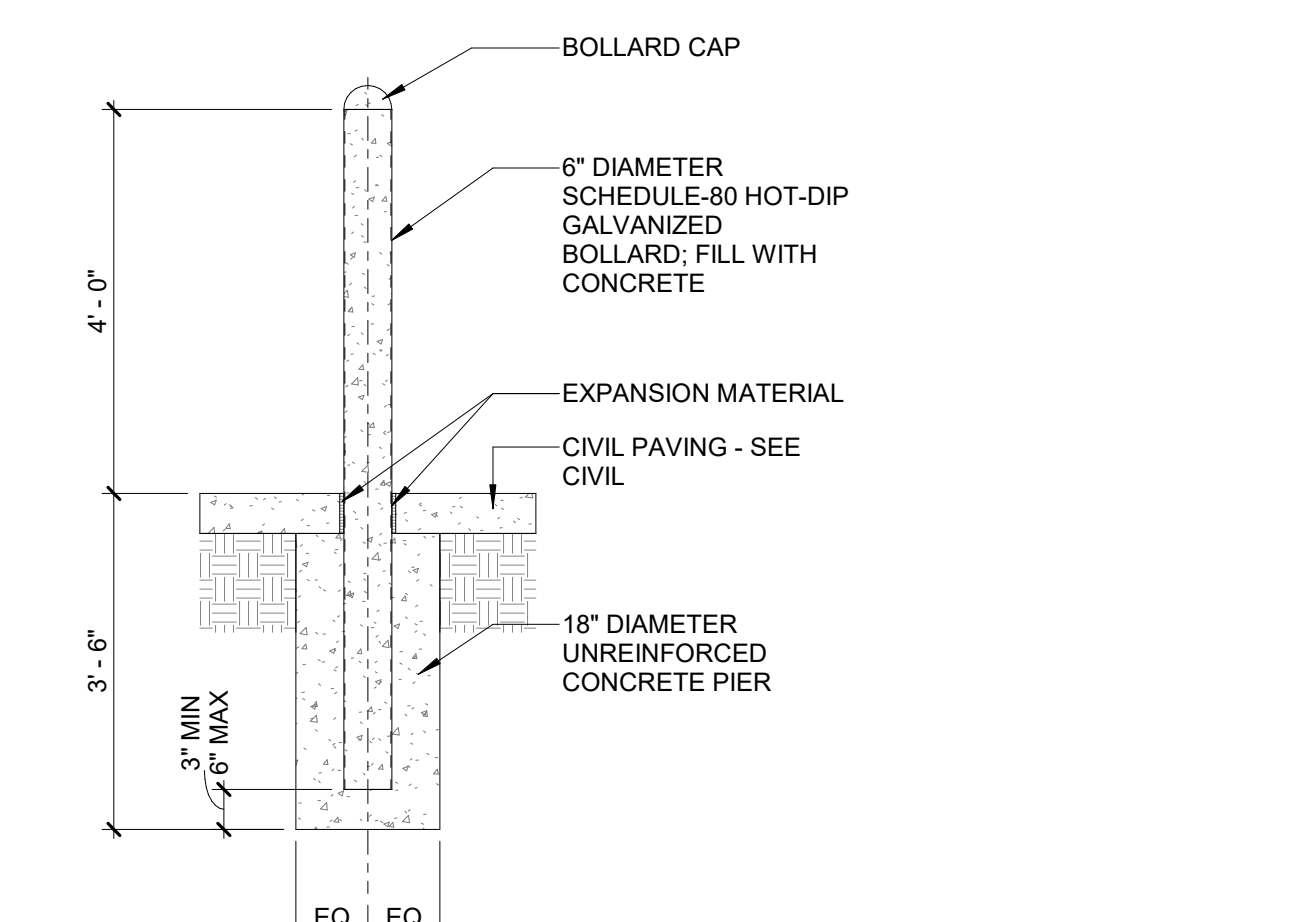
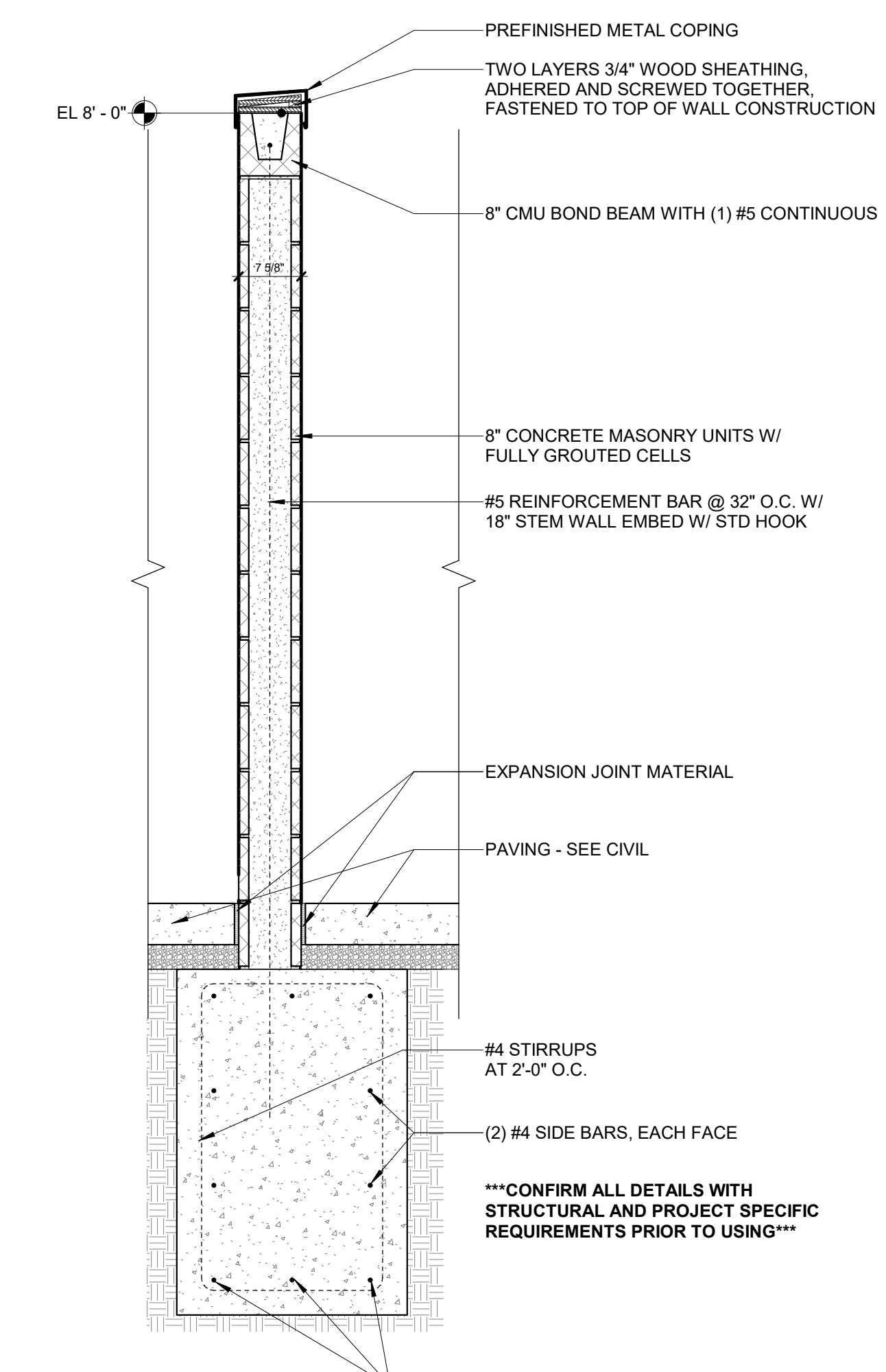
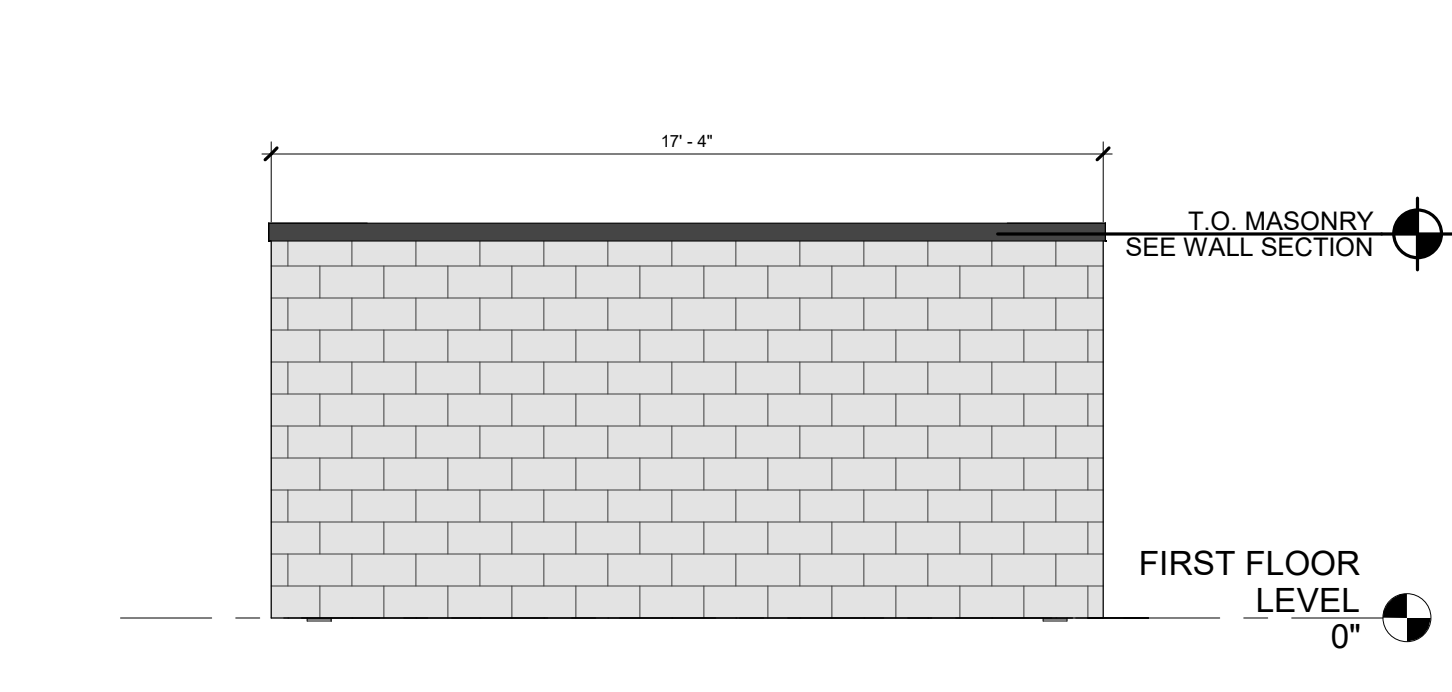
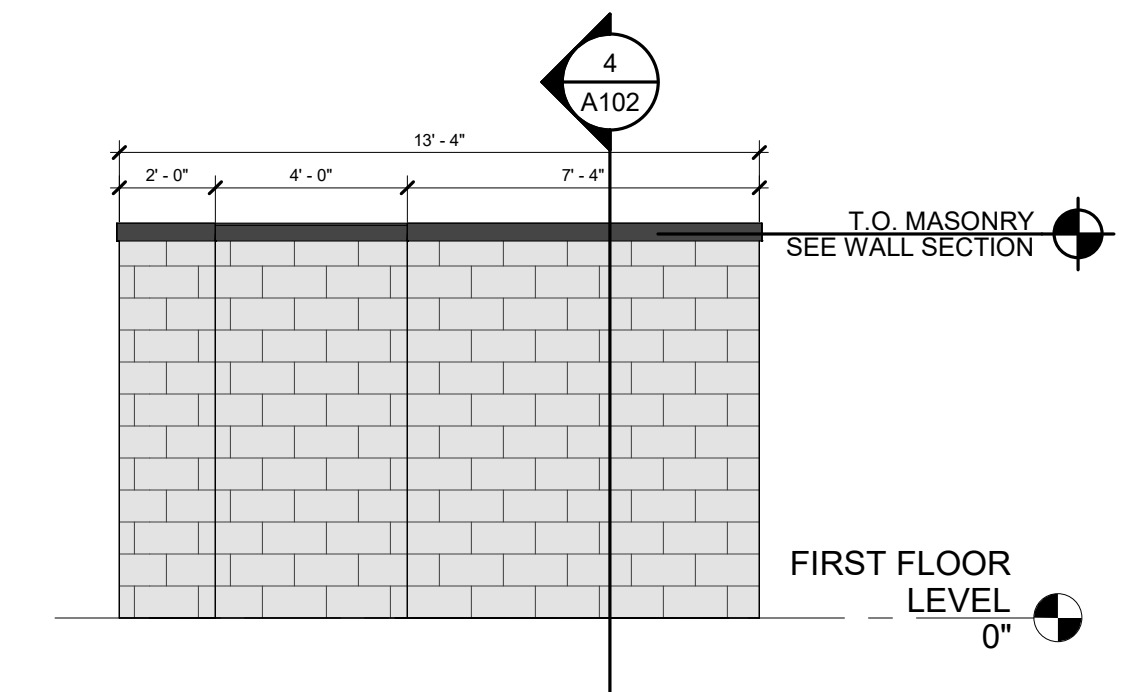
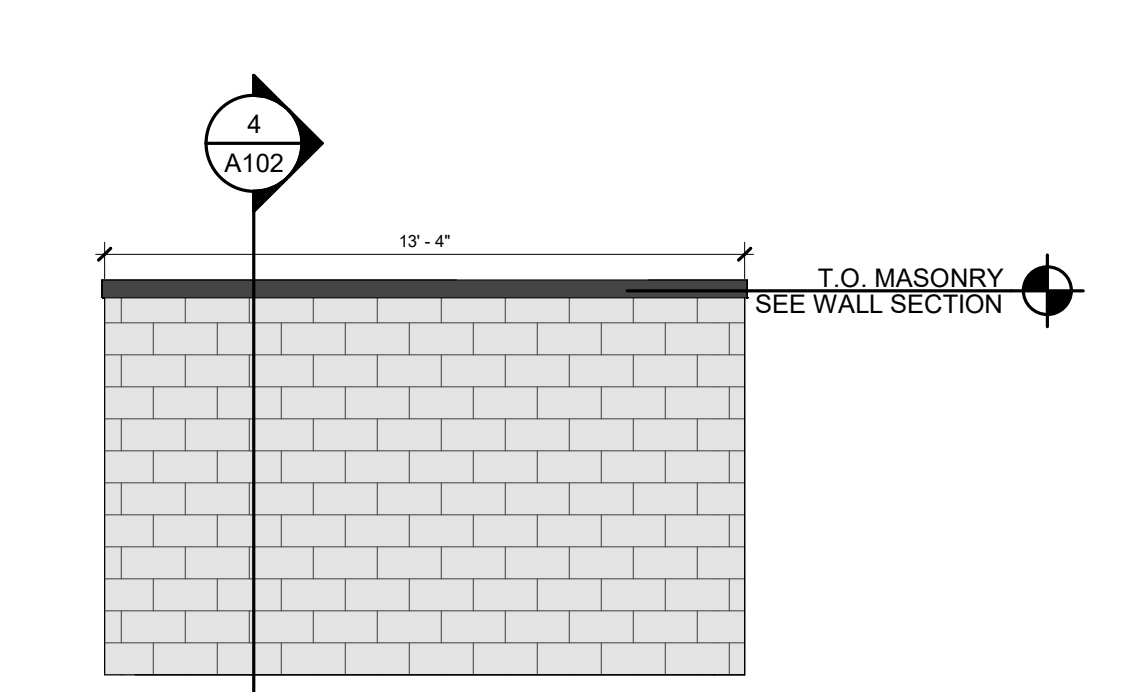
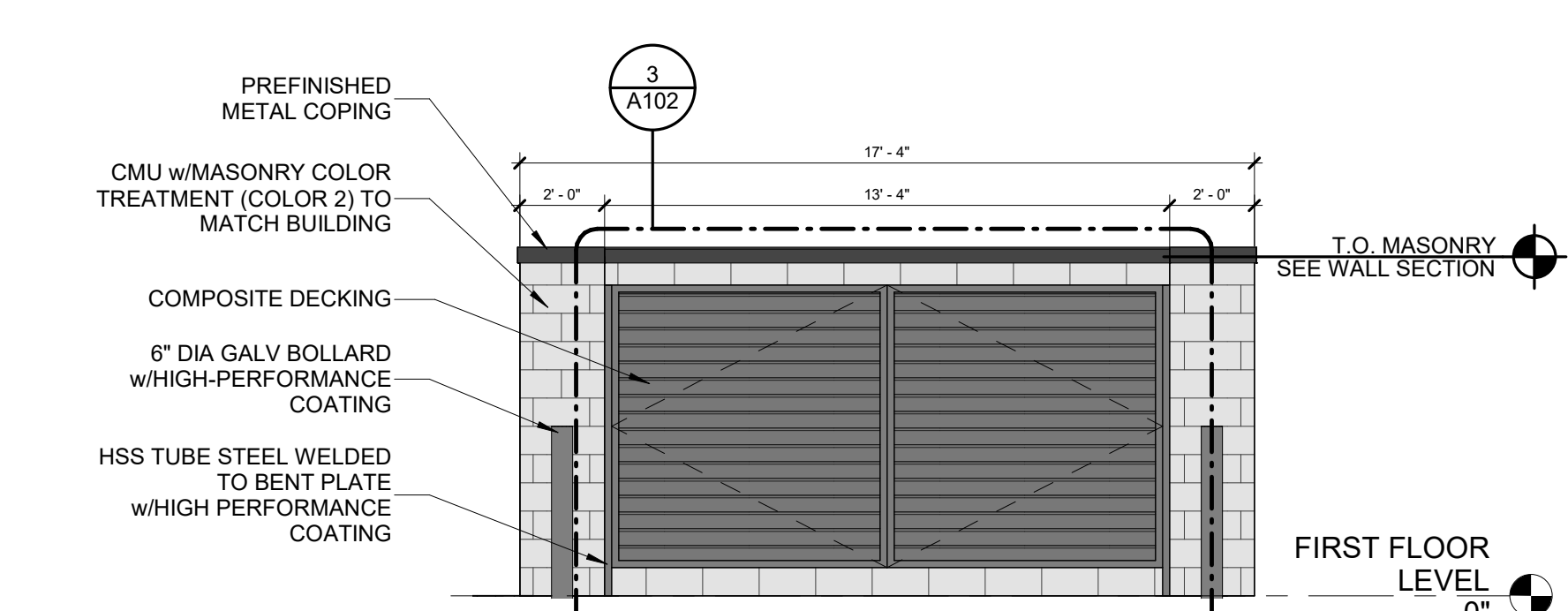
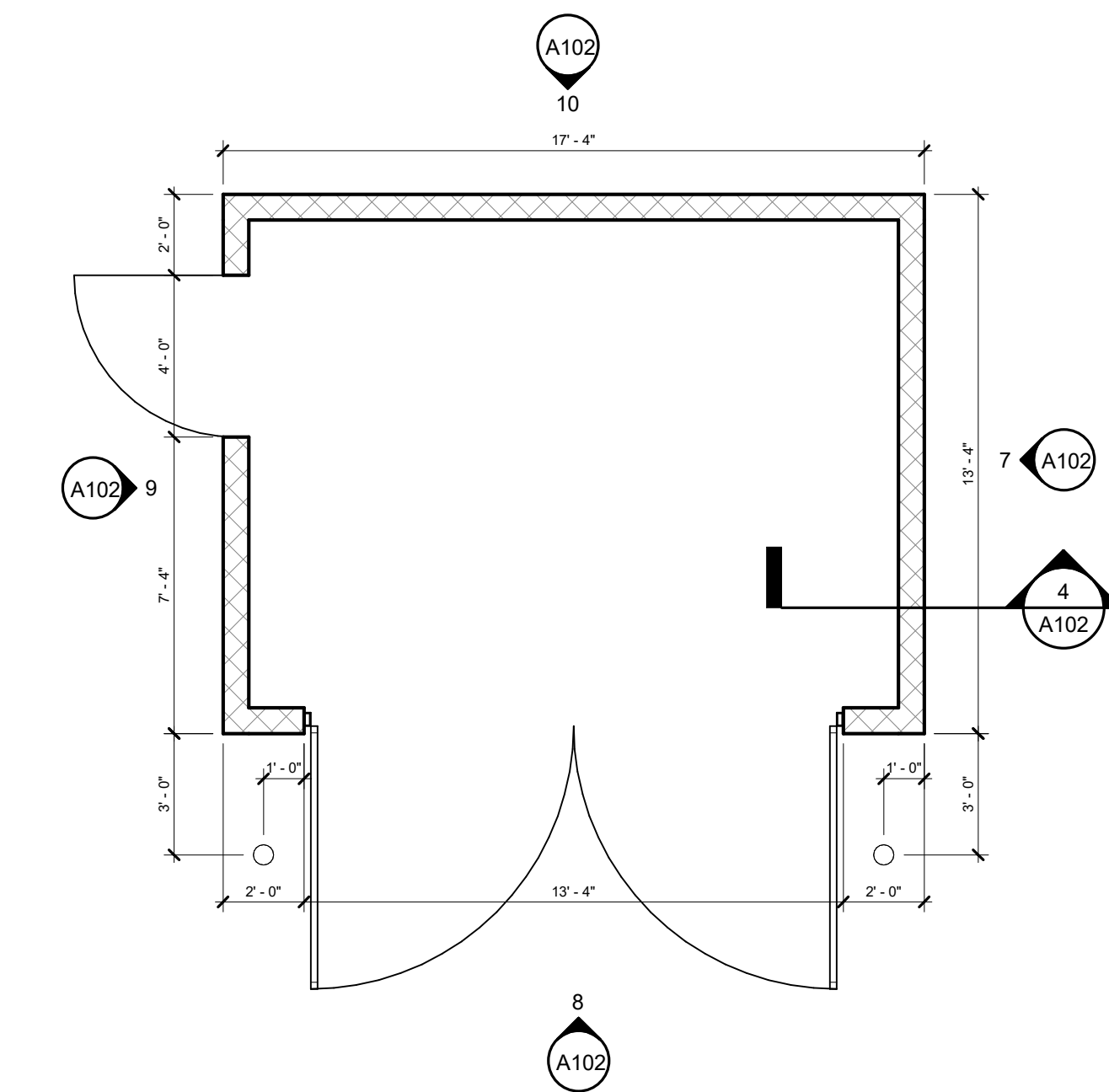
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TRASH ENCLOSURE

A102



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ORDINANCE NO. 2023-xx

AN ORDINANCE AMENDING CHAPTER 165 ZONING REGULATIONS AS IT PERTAINS TO THE REGULATIONS FOR THE U-1 PUBLIC UTILITY DISTRICT AND GF GOVERNMENT FACILITY DISTRICT

BE IT ORDAINED by the Mayor and City Council of the City of Polk City, Iowa, the Municipal Code of the City of Polk City, Iowa, is hereby amended as follows:

Section 1. Section 165.04 of Chapter 165 Zoning Regulations is hereby amended by replacing the clause “U-1 Public Utility District” with the clause “GF-1 Government Facilities District”.

Section 2. Section 165.04 of Chapter 165 Zoning Regulations is hereby amended by deleting the clause “GF Government Facility District”.

Section 3. Section 165.12 of Chapter 165 Zoning Regulations is hereby amended by deleting the current Section 165.12 in its entirety and replacing it with the following Section 165.12:

165.12 GOVERNMENT FACILITIES DISTRICT REGULATIONS (GF-1). The government facilities district zoned districts are intended to provide for publicly-owned and maintained buildings, utilities, parks and open space and related infrastructure and the development or redevelopment of major public ~~utility~~ facilities as needed on a City, State, or national level, while promoting the quality of life, health, and general welfare desired by the citizens of the City, all consistent with the Comprehensive Plan. It is intended that these districts shall not be used indiscriminately to permit any use that could potentially be detrimental to the intent of the Zoning Ordinance.

1. Government Facilities District. The GF-1 district is intended to provide for the development and redevelopment of publicly-owned and maintained facilities for uses such as civic, educational, public and franchise utilities facilities. The GF-1 district is also intended to provide for parks and reserve open space ~~for including~~ wildlife refuges, reservoirs and stormwater management facilities, ~~and the development or redevelopment of major public utility facilities, maintenance facilities or franchise utility facilities.~~
2. Principal Permitted Uses. Principal permitted uses for public utility districts are as follows:

PUBLIC UTILITY ZONING DISTRICTS	
PRINCIPAL PERMITTED USE	GF-1
Animal Livery stable or riding academy.	P
Cemetery Services – Funeral Homes, Mortuaries.	P
Cemetery Services – Cemeteries <u>including accessory mortuaries if publicly owned.</u>	P
Civic – <u>City Hall, Police Station, Fire Station,</u> Libraries, Museums and similar institutions of an <u>a civic,</u> educational or philanthropic nature.	P
Civic - Public parks and playgrounds.	P

<u>Civic – Public open space, wildlife refuges, and stormwater management facilities.</u>	
Education - Primary and Secondary schools, public & private.	P
Public Transportation terminals, including bus stations, airports and landing fields.	PR
Public uses maintained by any agency of federal, State, or local government and or public or franchise utility structures and equipment	P
<u>Religious Institutions.</u>	<u>P</u>
Other public uses equivalent to the permitted uses listed above.	P
<u>Key:</u> P = Permitted Use PR = Permitted Use With Restrictions, provided said use is permitted as determined by P&Z and approved by City Council Blank = Use Not Permitted	

3. Restrictions for Principal Permitted Uses. The following restrictions shall apply to the appropriate Permitted Use with Restrictions:

A. Public transportation terminals are not permitted in the GF-1 District except and specifically approved by Council on a Plat of Subdivision and the necessary public improvements and easements have been provided to support such use.

4. Accessory Uses. Uses not permitted as a Principal Permitted Use for that zoning district shall not be permitted as an accessory use except as specifically permitted herein. The following accessory uses are permitted in industrial zoning districts:

A. Customary accessory uses and structures incidental to permitted principal uses.

B. Temporary buildings for uses incidental to construction work, which buildings shall be removed upon the completion or abandonment of the construction work.

5. Accessory Structures. Accessory structures may be constructed on commercial-government facilities properties as permitted in Section 165.06.

6. Site Development Regulations. Dimensional requirements for government facilities districts are as follows:

SITE DEVELOPMENT REGULATIONS FOR GOVERNMENT FACILITIES DISTRICTS	
Regulator	GF-1
Building Height Limit	2 ½ stories or 35 feet
Minimum Lot Area	None
Minimum Lot Width	None
Minimum Front Yard Depth	50 feet ¹
Minimum Side Yard Depth	50 feet ¹
Minimum Rear Yard Depth	50 feet ¹
<u>Notes:</u> 1. Building setback requirements for publicly-owned lands <u>shall correspond to the minimum required yards for the abutting properties based on zoning of the abutting property, unless such setbacks are</u> may be reduced or waived by City Council, after notice and public hearing.	

2. Utility structures that are primarily located below ground, such as sanitary sewer lift stations and valve vaults, are exempt from building setback requirements. However, the building setback requirements for associated above-grade structures shall correspond to the minimum required yards for the abutting properties based on zoning of the abutting property, unless such setbacks are reduced or waived by City Council, after notice and public hearing.

7. Off-Street Loading. Off-street loading shall be provided as required by Section 165.17 for all government facilities districts.
8. Off-Street Parking. Off-street parking shall be provided as required by Section 165.18 for all government facilities districts.
9. Site Plans. Site plans shall be required for all uses in all government facilities districts except for improvements located on federally-owned lands. See Chapter 157 for Site Plan requirements.
10. Exceptions and Modifications. See Section 165.16.

Section 4. Section 165.14 of Chapter 165 Zoning Regulations is hereby amended by deleting the current Section 165.14 in its entirety

Section 5. Section 165.19-4-C of Chapter 165 Zoning Regulations is hereby amended by replacing the clause “U-1” in the Table of Screening Requirements with the clause “GF-1” in two locations in said Table.

Section 6. All Ordinances or parts of any Ordinance in conflict with the provisions of this Ordinance are hereby repealed to the extent of the conflict.

Section 7. This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND APPROVED this _____ day of _____, 2023.

Steve Karsjen, Mayor

ATTEST:

Jenny Coffin, City Clerk

First Reading: _____
Second Reading: _____
Third Reading: _____
Date Adopted: _____
Date of Publication: _____