

Notice of Meeting
Polk City | Planning and Zoning Commission (P&Z)

June 19, 2023 | 6:00 pm
City Hall | Council Chambers

Public Meeting participation in person or via phone
Call in #515-726-3598 Participant Code 535355

Public Members can provide comments directly to support@polkcityia.gov

**any comments received before the time of the meeting will be made a part of the minutes*

Broadcast live and playback will be available at <https://www.youtube.com/c/polkcityiagovchannel>

Tentative Meeting Agenda

Deanna Triplett | Chair

Justin Vogel | Vice Chair

P&Z Commission Members: Ron Hankins | Krista Bowersox | Doug Ohlfest | Amber Pringnitz | Doug Sires

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of P&Z Commission Meeting minutes for May 15, 2023
5. Jester Park Business Group
 - a) Developer Report
 - b) City Engineer Report
 - c) Public Comment
6. Reports & Particulars
Council Liaison, City Manager, Staff, and Commission
7. Adjourn until July 17, 2023

SITE PLAN AMENDMENT REVIEW

Date: June 15, 2023
 Project: Jester Business Group

Prepared by: Kathleen Connor, Planner
 Travis Thornburgh, P.E.
 Project No.: 123.0550.01

GENERAL INFORMATION:

Owner:	Jester Business Group, LLC
Applicant:	Jester Business Group, LLC
Requested Action:	Approval of Amended Site Plan
Location	700 N. 3 rd Street
Size:	3.00 acres
Zoning:	M-1 Light Industrial
Proposed Use:	Office / Warehouse



DESCRIPTION:

On behalf of Jester Business Group, Pelds Design Services has provided a Site Plan Amendment to address current non-compliant conditions for the Site as compared to the current, approved site plan. This Site Plan is intended to address the recent unauthorized removal of trees in a designated buffer as shown on the approved site plan.

The current non-compliance has been referred to the City Attorney for a Municipal Infraction Action.

BACKGROUND:

- The original 4,752 sq. ft. Building #1 was constructed in 1990 as Ellsbury Company’s Bed Shed for assembly of pickup toppers. Jester Business Group acquire this property in 2011.
- Variance #1 was granted by the Board of Adjustment on March 14, 2013 reducing the 50’ Buffer and 30’ side yard setback to a 25’ Buffer with a Type B semi-opaque screen and a 25’ side yard setback, further stipulating no doorways or windows will be allowed on the north side of any structures placed on the north portion of the property and a maximum height of any structure on the north side of the property shall not exceed 40’ in height.
- Variance #2 was granted by the Board of Adjustment on March 14, 2013 to allow a 0’ rear yard setback on this property. No variance was granted for the required 50’ buffer on the west side of the site.

- The current Site Plan was approved by City Council on September 23, 2013 for the 5,200 SF Building #2, with the intent for a future 960 SF addition on the east side of this building and a 2,000 SF addition on the west side of this building. The Site Plan included associated paving and utility improvements, along with Phase 1 buffer plantings.
- A Development Agreement, approved September 23, 2013, covering the deferral of Phase 2 buffer plantings on the north side of the property for five years or until such time as the property is further developed, whichever comes first. The Agreement also allowed 15 of the then-required shrubs to be deferred until the next addition to the property. Both deferrals have expired.

REVIEW COMMENTS: Pursuant to our review of Submittal #3 of Site Plan Amendment for conformance to the PUD Ordinance and applicable city code, we offer the following comments:

1. Provide survey benchmark information for which the surveyed elevations are based on.
2. We question if any hazardous materials will be stored on this site. These materials should be identified for review by the Fire Chief. A note should be added stating it shall be the property owner's responsibility to obtain any necessary permits for said materials.
3. A note on Sheet C-107 indicates that there is a proposed 3' landscaping berm in the NW corner of the property, but the grading plan does not show grading in this area. Revise note to call for protection of existing berm or revise grading plan to show construction of proposed berm.
4. The proposed 25' Type 'B' Buffer must include shrubs to be constructed on this parcel. In accordance with Chapter 165, a Type 'B' buffer shall be "opaque from the ground to a height of three feet, with intermittent visual obstructions from the ground to a height of at least 20 feet." These shrubs cannot count toward required Open Space or Parking Area plantings.
5. Add a note stating "All trash shall be stored inside the building(s). No dumpsters or garbage cans shall be stored outside, except on trash collection days, unless a Site Plan Amendment for a trash enclosure has been approved by the City of Polk City".
6. Prior to this item moving forward to City Council for approval, provide an Easement Plat for the 25' Buffer Easement.
7. Prior to this item moving forward to City Council for approval, provide a Buffer Easement document, based on the City's standard form, that requires the property owner to perpetually maintain the easement area including replacement of plant materials, as necessary. The property owner will need to sign this document prior to this Site Plan Amendment being placed on the Council agenda. The property owner will also be responsible for paying all recording fees associated with this easement.
8. Sheet C-107: Add a note stating the orange construction fencing shall be installed and approved by the City of Polk City prior to issuance of a Building or Grading Permit.

RECOMMENDATION:

Based on the satisfactory resolution of each of the above Review Comments, staff recommends approval of the Site Plan Amendment for Jester Business Group, subject to:

1. Planning & Zoning Commission recommendations, if any, shall be addressed prior to this Site Plan moving forward to City Council.
2. Planning & Zoning Commission's recommendation regarding developer requested waiver of the western buffer requirements.
3. Completion of the described Site Plan improvements no later than October 1, 2023.
4. Council approval of the Buffer Easement which shall be recorded by the City Clerk. The fees for said recording shall be paid by the property owner.
5. Payment in full of all fees to the City of Polk City.

SITE ADDRESS
700 N 3RD ST
POLK CITY, IOWA 50226

SITE AREA
3.04 ACRES (132,796 SQ.FT.)

SITE USE
OFFICE & WAREHOUSE BUILDINGS

ZONING
EXISTING: M-1
PROPOSED: M-1
ADJACENT ZONING:
NORTH: PUD
EAST: R-1
SOUTH: PUD
WEST: PUD

SETBACKS
FRONT: 30'
SIDE: 0'
REAR: 0'

BUILDINGS
EXISTING: 2

BUILDING USES
INDUSTRIAL OFFICES AND WAREHOUSES

BUILDING HEIGHT
MAX BUILDING HEIGHT: 75'
BUILDING #1 HEIGHT: 1 STORY
BUILDING #2 HEIGHT: 1 STORY

SITE PLAN AMENDMENT

FOR

JESTER BUSINESS GROUP

700 N 3RD ST

POLK CITY, IOWA

LEGAL DESCRIPTION:
A PARCEL OF LAND IN SECTION 36, TOWNSHIP 81 NORTH, RANGE 25 WEST OF THE 5TH P.M., POLK COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SW 1/4 OF SAID SECTION 36, SAID POINT BEING 763.15 FEET WEST OF THE SOUTHEAST CORNER OF SAID NORTH HALF AND ON THE CENTER LINE OF SHELDAHL ROAD; THENCE N 89°33'13" W, 366.81 FEET ALONG THE SOUTH LINE OF THE NORTH HALF TO A POINT, THENCE N 41°11'38" W, 412.49 FEET TO A POINT; THENCE S 89°33'13" E, 394.58 FEET TO A POINT ON THE CENTER LINE OF SHELDAHL ROAD; THENCE SOUTHERLY ALONG SAID CENTER LINE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.00 FEET, AN ARC LENGTH OF 104.44 FEET, AND A CHORD BEARING OF S 9°21'11" E, TO A POINT OF TANGENCY; THENCE S 10°20'30" E, 208.96 FEET ALONG SAID CENTER LINE TO THE POINT OF BEGINNING AND CONTAINING 3.360 ACRES MORE OR LESS INCLUDING 0.360 ACRES OF STREET EASEMENTS

PAVING
APPROACHES: 8" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE
PARKING LOT: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE
CURB: 6" TALL STANDARD CURB

OPEN SPACE
EXISTING: 78.7% (104,478 SQ.FT.)
PROPOSED: 76.5% (101,637 SQ.FT.)
REQUIRED: 15% (19,919 SQ. FT.)

IMPERVIOUS SPACE
EXISTING: 21.3% (28,318 SQ.FT.)
PROPOSED: 23.5% (31,159 SQ.FT.)

PARKING

EXISTING BUILDING #1:	800 SQ.FT. OFFICE	1 SPACE/400 SQ.FT.	2 PARKING SPACES
EXISTING BUILDING #2:	4000 SQ.FT. WAREHOUSE	1 SPACE/5000 SQ.FT.	1 PARKING SPACES
	7750 SQ.FT. WAREHOUSE	1 SPACE/5000 SQ.FT.	2 PARKING SPACES

1 ADA PARKING SPACE REQUIRED
REQUIRED: 6 PARKING STALLS
PROPOSED: 17 PARKING STALLS AND 1 ADA SPACE
PER CITY CODE NO PARKING SHALL TAKE PLACE ON NON-PAVED SURFACES

NO OUTDOOR STORAGE PERMITTED ON SITE

DISTURBED AREAS
ESTIMATED: 25,000 SQ.FT.
ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED.
THE DISTURBED AREA FOR THIS SITE IS LESSER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS NOT REQUIRED.

PER THE 2013 DEVELOPMENT AGREEMENT, THE PROPERTY OWNER SHALL BE RECOMMENDED TO PROVIDE BANK STABILIZATION AND EROSION PROTECTION WITHIN THE OVERLAND FLOWAGE EASEMENT AREA

FLOODPLAIN
PER FEMA MAP #19153C0040F, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD

FAA
PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

ANTICIPATED CONSTRUCTION SCHEDULE
ANTICIPATED CONSTRUCTION SCHEDULE WILL START IN JUNE 2023 - END DECEMBER 2023

VICINITY MAP



IOWA ONECALL CONTACT LIST:

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- (UPN) UNITE PRIVATE NETWORKS, LLC
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Contact Phone: 8164253556
Contact Email: upngis@upnfiber.com

PROPERTY OWNER/DEVELOPER
JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA 50226
PROJECT CONTACT: BRUCE BEGHUN
PHONE: (515) 402-7763
EMAIL: ADMIN@JESTERBUSINESSGROUP.COM

ENGINEER/ LAND SURVEYOR
PELDS DESIGN SERVICES
2323 DIXON ST
DES MOINES, IOWA 50316
PROJECT CONTACT: ELARA JONDLE
PHONE: (515) 265-8196
EMAIL: ELARA@PELDS.COM

SHEET INDEX

- C-001 - COVER SHEET
- C-002 - NOTE SHEET
- C-003 - TOPO SHEET
- C-100 - DEMO SHEET
- C-102 - LAYOUT SHEET
- C-103 - SITE SHEET
- C-104 - GRADING SHEET
- C-105 - UTILITY SHEET
- C-107 - LANDSCAPING SHEET

REVISIONS:

F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.45G	GUTTER ELEVATION
123.45C	TOP OF CURB ELEVATION
123.45/123.45	EXISTING/ PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
EM	CALCULATED CORNER
EB	FOUND CORNER

LEGEND:

▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	—	CATV	CABLE TELEVISION
△	FOUND SECTION CORNER	⊖	ELEC. VAULT	—	FO	FIBER OPTIC
□	PARKING SPACE	⊗	GUY ANCHOR	—	G	GAS LINE
⊕	SIGN	⊘	UTILITY PEDESTAL	—	OHE	OVERHEAD ELEC.
⊙	STREET LIGHT	⊙	CABLE TV JUNCTION BOX	—	OHT	OVERHEAD TEL.
⊙	POWER POLE	⊙	GAS VALVE	—	SAN	SANITARY SEWER
⊙	LIGHT POLE	⊙	GAS METER	—	ST	STORM SEWER
⊙	AREA LIGHT	⊙	SANITARY SEWER MANHOLE	—	UGE	UNDERGROUND ELEC.
⊙	ELEC. TRANSFORMER	⊙	STORM SEWER MANHOLE	—	UGT	UNDERGROUND TEL.
⊙	ELEC. METER	⊙	CLEANOUT	—	W	WATER
⊙	ELEC. BOX	⊙	DOWNSPOUT	—	—	FENCE LINE
⊙		⊙		— P XX		PROPOSED UTILITY LINE
⊙		⊙		— E XX		EXISTING UTILITY LINE

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Voldemars Pelds June 9, 2023
VOLDEMARS L. PELDS, P.E. IA LIC. NO. 18842 DATE
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): C-001 - C-107

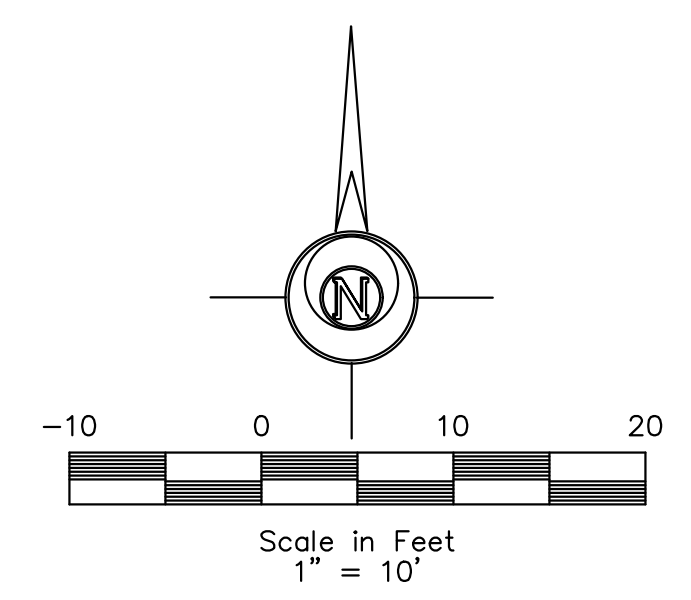
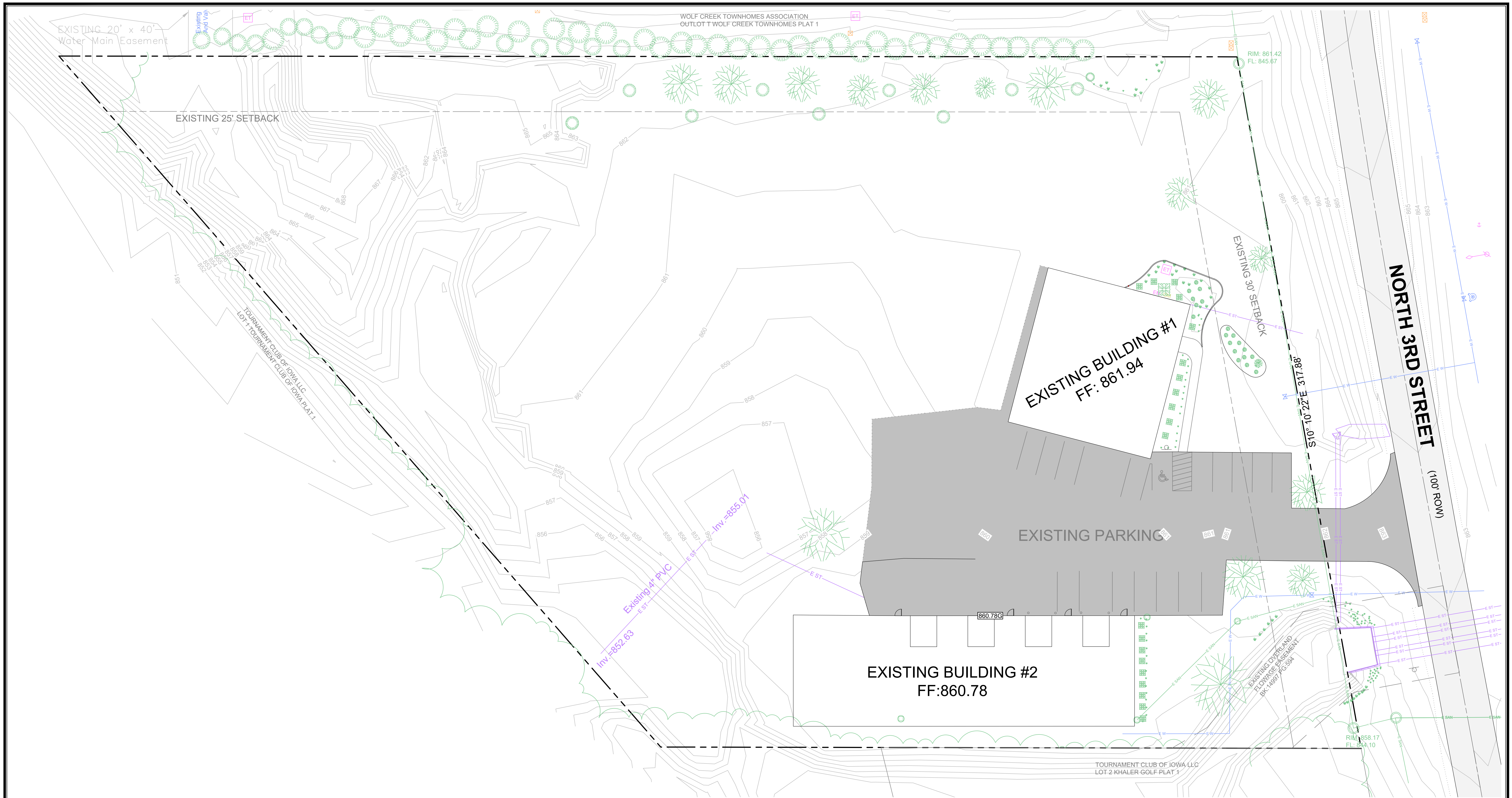
PELDS DESIGN SERVICES
Architecture | Engineering | Surveying
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA

PRELIMINARY


COPYRIGHT DATE: 2023	DRAWN BY: A.PELDS	SCALE: AS SHOWN	LATEST REVISION: 0000	DRAWING NO: 22-005
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C-001 - COVER SHEET



LEGEND:

+/-	MORE OR LESS	○	SIGN	○	THROAT INTAKE	— ST —	STORM SEWER
123.45 / (123.45)	EXISTING/ PROPOSED ELEVATION	○	STREET LIGHT	○	GAS VALVE	— UGE —	UNDERGROUND ELEC.
FL	FLOWLINE ELEVATION	○	POWER POLE	○	FIRE HYDRANT	— UGT —	UNDERGROUND TEL.
○	CONTROL POINT	○	LIGHT POLE	○	WATER VALVE	— W —	WATER
○	CALCULATED CORNER	○	AREA LIGHT	○	— P XX —	—	FENCE LINE
○	FOUND CORNER	○	GUY ANCHOR	○	— E XX —	—	
○	SANITARY SEWER MANHOLE	○	UTILITY PEDESTAL	○	FO	FIBER OPTIC	
○	STORM SEWER MANHOLE	○	ELEC. TRANSFORMER	○	GAS	GAS LINE	
○	PARKING SPACE	○	SINGLE INTAKE	○	OHE	OVERHEAD ELEC.	
		○		○	OHT	OVERHEAD TEL.	
		○		○	SS	SANITARY SEWER	

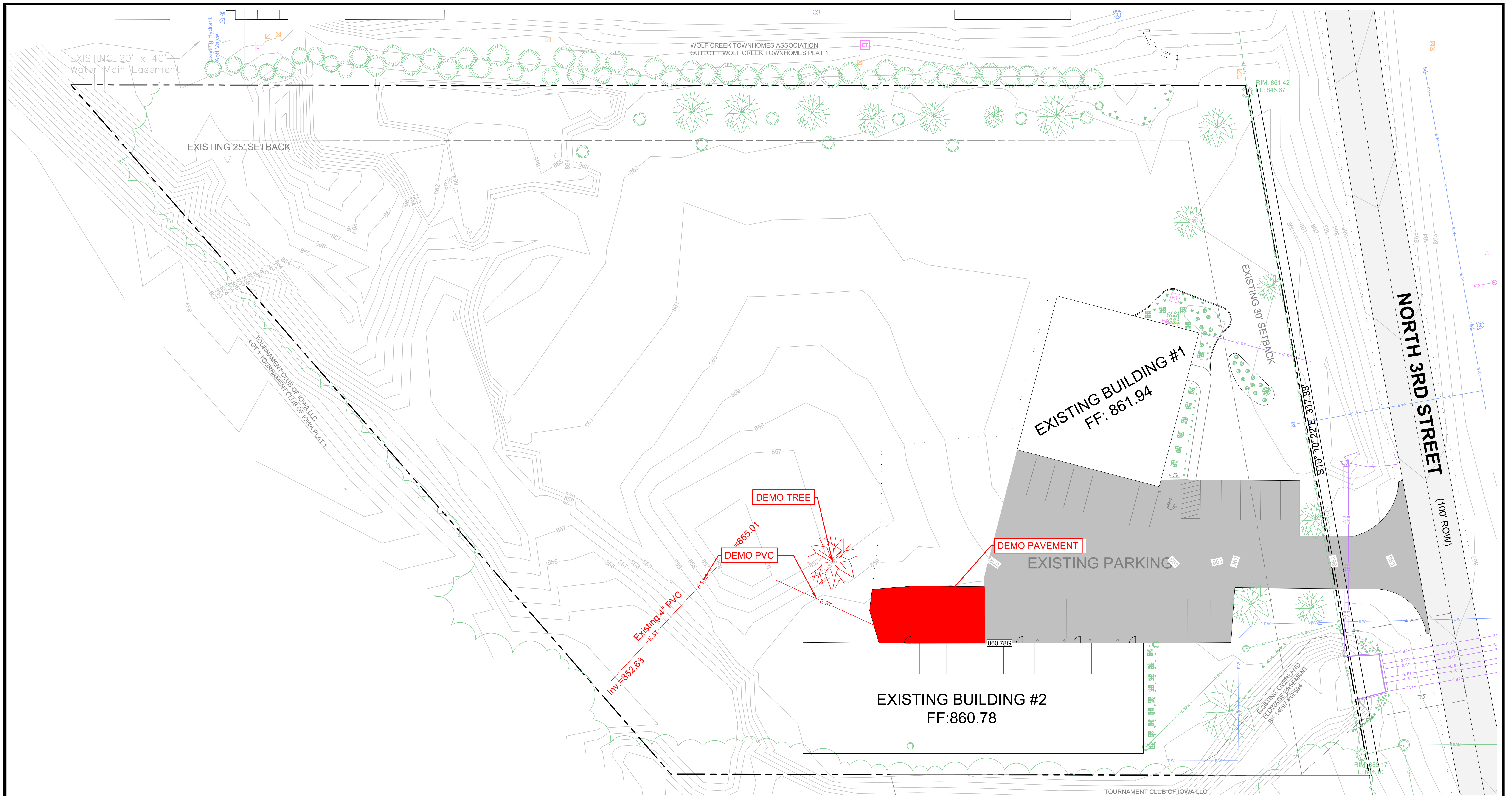


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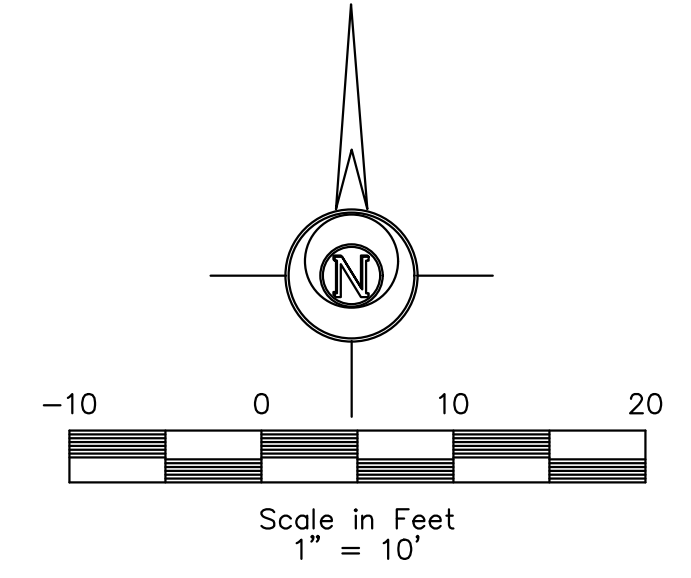
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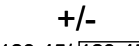
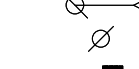
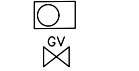
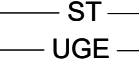

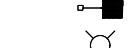



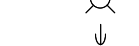

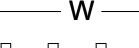

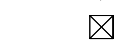
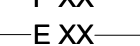



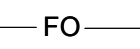



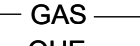


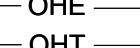
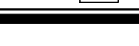
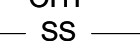




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TREE PROTECTION


 ROADWAY
P.C.C DEMO

 EXISTING ROAD



LEGEND:

 +/- 123.45 / (123.45)	MORE OR LESS EXISTING/PROPOSED ELEVATION		SIGN STREET LIGHT POWER POLE		THROAT INTAKE	 - - -	ST - STORM SEWER
 FL	FLOWLINE ELEVATION		CONTROL POINT		GAS VALVE FIRE HYDRANT	 - - - - -	UGE - UNDERGROUND ELEC.
	CALCULATED CORNER		AREA LIGHT		WATER VALVE	 - - - - -	UGT - UNDERGROUND TEL.
	FOUND CORNER		GUY ANCHOR	 - P XX - - -	PROPOSED UTILITY LINE	 - - - - -	W - WATER
	SANITARY SEWER MANHOLE		UTILITY PEDESTAL	 - E XX - - -	EXISTING UTILITY LINE	 - - - - -	FENCE LINE
	STORM SEWER MANHOLE		ELEC. TRANSFORMER		FIBER OPTIC		
	PARKING SPACE		DOWNSPOUT		GAS LINE		
			AREA INTAKE		OVERHEAD ELEC.		
			SINGLE INTAKE		OVERHEAD TEL.		
			SANITARY SEWER		OVERHEAD TEL.		



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JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA

DRAWING NO: 22-005

PRELIMINARY

PROJECT: SE PROPERTY COR OF SITE
IRON ROD W/ YELLOW CAP, ELY 857.80

DATE: 11/2022

SCALE: 1"=20'

DRAWING NO: 22-005

FILE PATH: J:\2022 Projects\22-005 700 N 3rd Street Polk city IA\Engineering\Sheet Set

C-100 - DEMO SHEET

EXISTING 20' x 40' Water Main Easement

WOLF CREEK TOWNHOMES ASSOCIATION
OUTLOT T WOLF CREEK TOWNHOMES PLAT 1

EXISTING 25' SETBACK

TOURNAMENT CLUB OF IOWA LLC
LOT 1, TOURNAMENT CLUB OF IOWA PLAT 1

4' SIDEWALK ALONG N 3RD ST HAS BEEN DEFERRED IN ACCORDANCE WITH THE PETITION AND WAIVER, RECORDED ON BOOK 14997, PAGE 599

EXISTING 30' SETBACK

EXISTING BUILDING #1
FF: 861.94

6" PCC

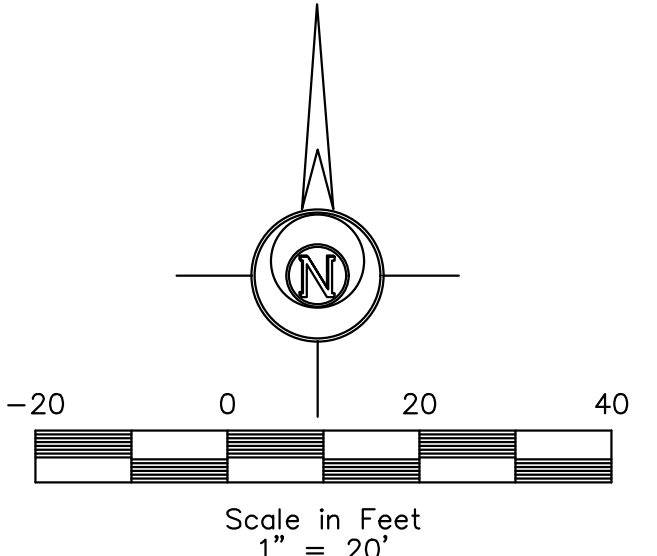
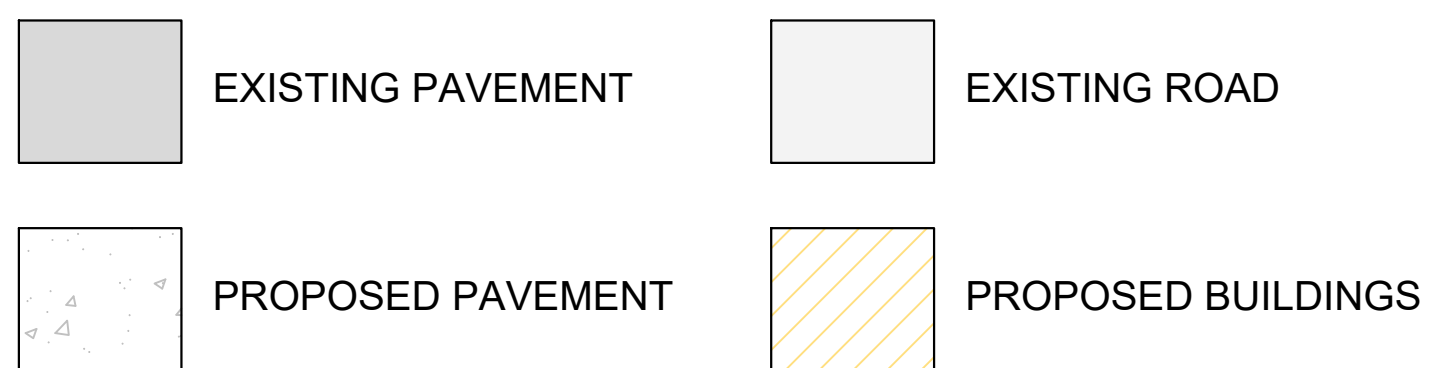
EXISTING BUILDING #2
FF: 860.78

NORTH 3RD STREET (100' ROW)

TOURNAMENT CLUB OF IOWA LLC
LOT 2 KHALER GOLF PLAT 1

NOTES:

NO MONUMENT SIGN WILL BE ALLOWED ON THE SITE WITHOUT APPROVAL OF A MINOR SITEPLAN AMENDMENT



LEGEND:

+/-	MORE OR LESS	ST	STORM SEWER
123.45/123.45	EXISTING/ PROPOSED ELEVATION	UG	UNDERGROUND ELEC.
FL	FLOWLINE ELEVATION	UGT	UNDERGROUND TEL.
○	CONTROL POINT	W	WATER
●	CALCULATED CORNER	-○-○-○-	FENCE LINE
⊙	FOUND CORNER		
⊙	SANITARY SEWER MANHOLE		
⊙	STORM SEWER MANHOLE		
▷	PARKING SPACE		
⊙	SIGN		
⊙	STREET LIGHT		
⊙	POWER POLE		
⊙	LIGHT POLE		
⊙	AREA LIGHT		
⊙	GUY ANCHOR		
⊙	UTILITY PEDESTAL		
⊙	ELEC. TRANSFORMER		
⊙	DOWNSPOUT		
⊙	AREA INTAKE		
⊙	SINGLE INTAKE		
⊙	THROAT INTAKE		
⊙	GAS VALVE		
⊙	FIRE HYDRANT		
⊙	WATER VALVE		
-P XX	PROPOSED UTILITY LINE		
-E XX	EXISTING UTILITY LINE		
-FO	FIBER OPTIC		
-GAS	GAS LINE		
-OHE	OVERHEAD ELEC.		
-OHT	OVERHEAD TEL.		
-SS	SANITARY SEWER		

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JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA

SE PROPERTY COR OF SITE
IRON ROD W/ YELLOW CAP - ELY: 857.80

DATE: 22-05
SCALE: 1"=20'
DRAWING NO: 22-005

PRELIMINARY

C-102 - LAYOUT SHEET

EXISTING 20' x 40'
Water Main Easement

EXISTING 25' SETBACK

TOURNAMENT CLUB OF IOWA LLC
LOT 1, TOURNAMENT CLUB OF IOWA PLAT 1

EXISTING 30' SETBACK

S10° 10' 22" E 317.88'

NORTH 3RD STREET
(100' ROW)

EXISTING BUILDING #1
FF: 861.94

6" PCC

18

17

16

15

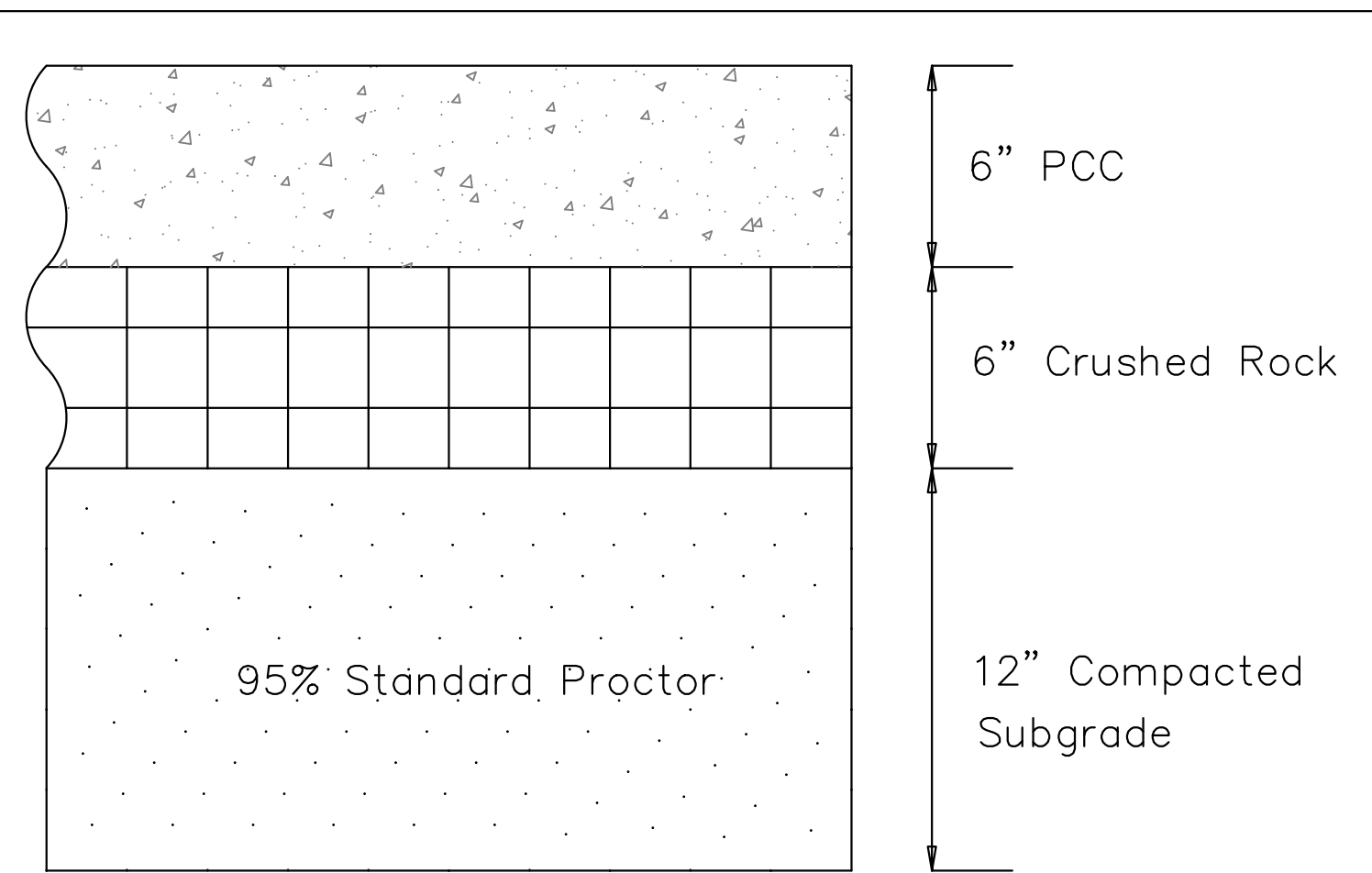
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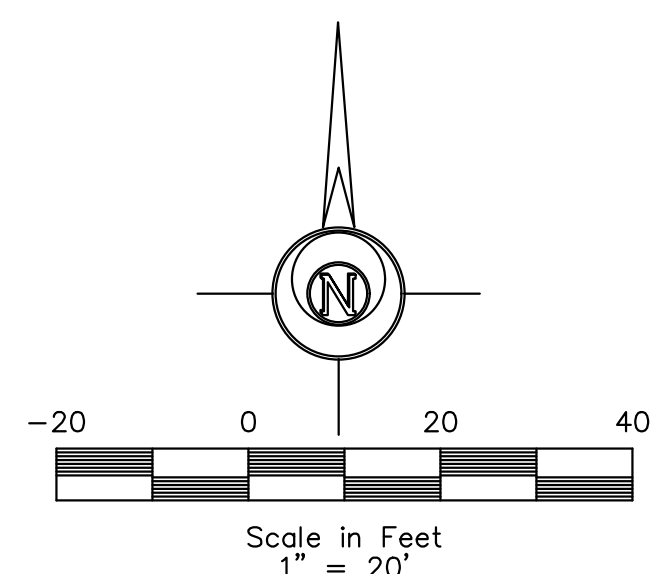
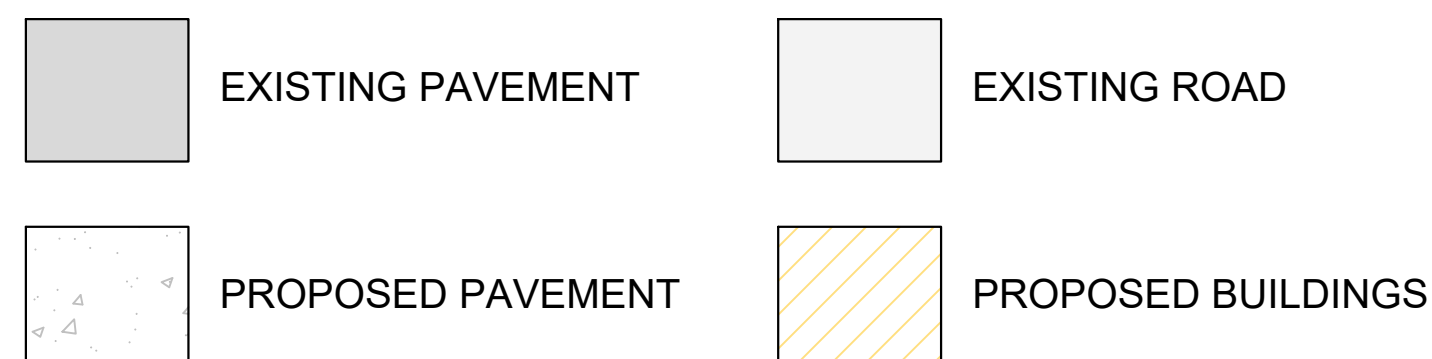
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EXISTING BUILDING #2
FF: 860.78

TOURNAMENT CLUB OF IOWA LLC
LOT 2 KHALER GOLF PLAT 1




PROPOSED P.C.C. PAVEMENT



LEGEND:

+/-	MORE OR LESS	⊕	SIGN	⊗	THROAT INTAKE	— ST —	STORM SEWER	
123.45/123.45	EXISTING/ PROPOSED ELEVATION	⊙	STREET LIGHT	⊗	GAS VALVE	— UGE —	UNDERGROUND ELEC.	
FL	FLOWLINE ELEVATION	⊙	POWER POLE	⊗	FIRE HYDRANT	— UGT —	UNDERGROUND TEL.	
⊙	CONTROL POINT	⊙	LIGHT POLE	⊗	WATER VALVE	— W —	WATER	
⊙	CALCULATED CORNER	⊙	AREA LIGHT	⊗	— P XX —	PROPOSED UTILITY LINE	— ○—○—○—	FENCE LINE
⊙	FOUND CORNER	⊙	GUY ANCHOR	⊗	— E XX —	EXISTING UTILITY LINE		
⊙	SANITARY SEWER MANHOLE	⊙	UTILITY PEDESTAL	⊗	— FO —	FIBER OPTIC		
⊙	STORM SEWER MANHOLE	⊙	ELEC. TRANSFORMER	⊗	— GAS —	GAS LINE		
⊙	PARKING SPACE	⊙	DOWNSPOUT	⊗	— OHE —	OVERHEAD ELEC.		
		⊙	AREA INTAKE	⊗	— OHT —	OVERHEAD TEL.		
		⊙	SINGLE INTAKE	⊗	— SS —	SANITARY SEWER		



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JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA

REVISION: SE PROPERTY COR OF SITE
IRON ROD W/ YELLOW CAP - ELY: 857.80

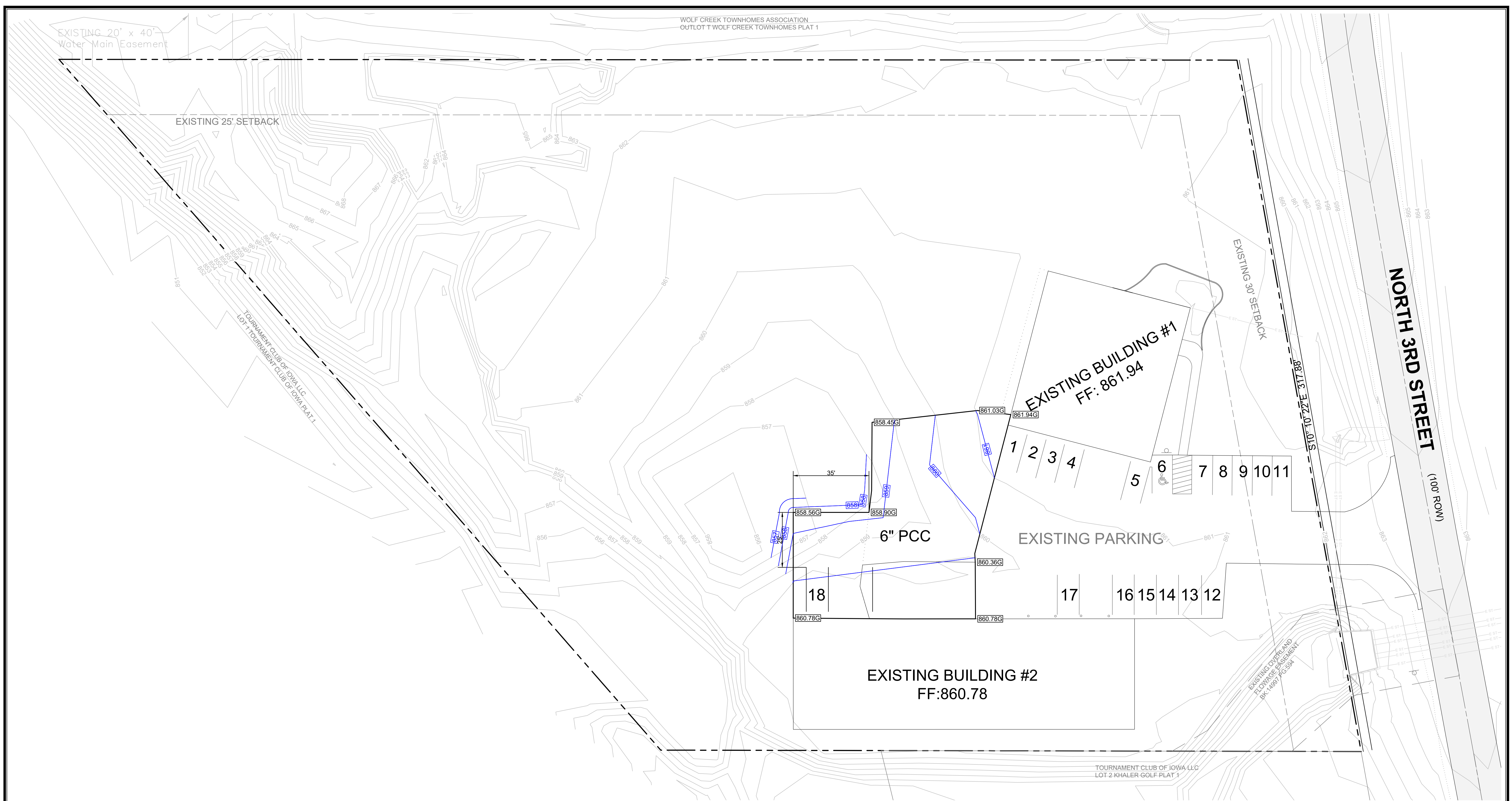
DATE: 11/15/22

SCALE: 1"=20'

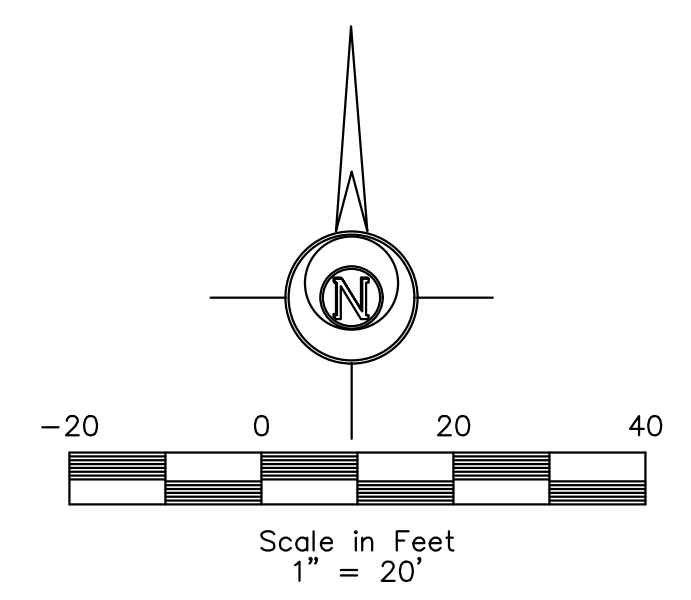
DRAWING NO: 22-005

PRELIMINARY

C-103 - SITE SHEET




EXISTING ROAD



LEGEND:

+/-	MORE OR LESS	○	SIGN	○	THROAT INTAKE	— ST —	STORM SEWER	
123.45/123.45	EXISTING/PROPOSED ELEVATION	○	STREET LIGHT	○	GAS VALVE	— UGE —	UNDERGROUND ELEC.	
FL	FLOWLINE ELEVATION	○	POWER POLE	○	FIRE HYDRANT	— UGT —	UNDERGROUND TEL.	
○	CONTROL POINT	○	LIGHT POLE	○	WATER VALVE	— W —	WATER	
○	CALCULATED CORNER	○	AREA LIGHT	○	— P XX —	PROPOSED UTILITY LINE	— ○—○—○—	FENCE LINE
○	FOUND CORNER	○	GUY ANCHOR	○	— E XX —	EXISTING UTILITY LINE		
○	SANITARY SEWER MANHOLE	○	UTILITY PEDESTAL	○	FO	FIBER OPTIC		
○	STORM SEWER MANHOLE	○	ELEC. TRANSFORMER	○	GAS	GAS LINE		
○	PARKING SPACE	○	DOWNSPOUT	○	OHE	OVERHEAD ELEC.		
		○	AREA INTAKE	○	OHT	OVERHEAD TEL.		
		○	SINGLE INTAKE	○	SS	SANITARY SEWER		

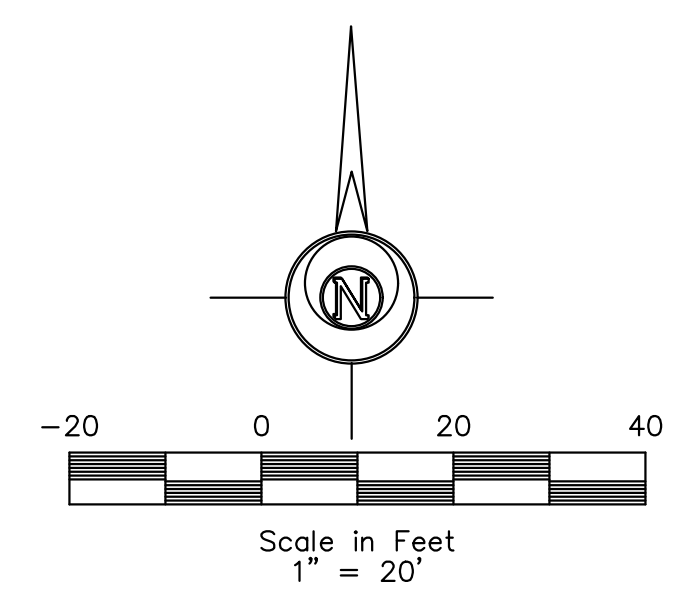
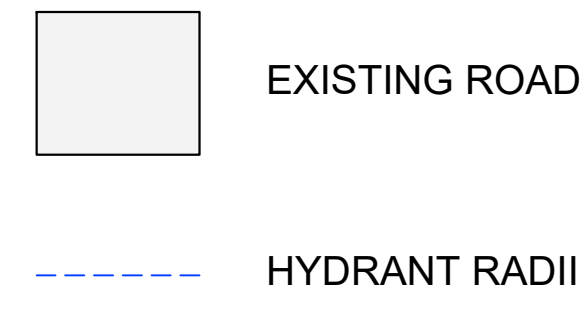
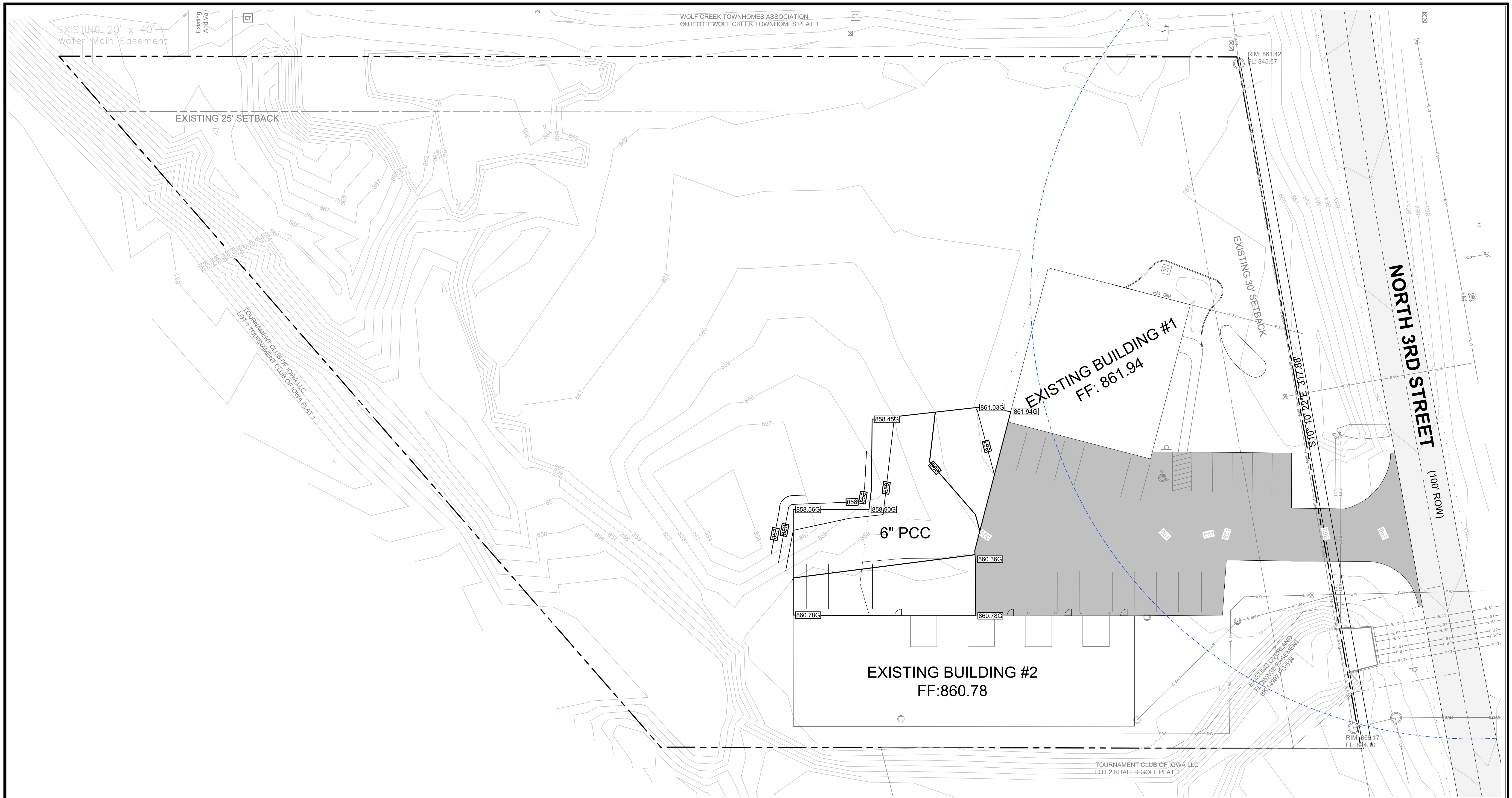


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JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA


PRELIMINARY

SHEET NO: SE PROPERTY COR OF SITE IRON ROD W/ YELLOW CAP ELEV: 857.80 CORNER DATE: _____ DRAWN BY: A.PELDS SCALE: 1"=20' FILE PATH: J:\2022 Projects\22-005 700 N 3rd Street Polk city IA\Engineering\Sheet Set	REVISION: _____ LATEST REVISION: _____ DRAWING NO: 22-005 C-104 - GRADING SHEET
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LEGEND:

+/-	MORE OR LESS EXISTING/PROPOSED ELEVATION	ST	STORM SEWER
FL	FLOWLINE ELEVATION	UG	UNDERGROUND ELEC.
○	CONTROL POINT	UGT	UNDERGROUND TEL.
○	CALCULATED CORNER	W	WATER
○	FOUND CORNER	—○—○—○	FENCE LINE
○	SANITARY SEWER MANHOLE		
○	STORM SEWER MANHOLE		
○	PARKING SPACE		
○	SIGN		
○	STREET LIGHT		
○	POWER POLE		
○	LIGHT POLE		
○	AREA LIGHT		
○	GUY ANCHOR		
○	UTILITY PEDESTAL		
○	ELEC. TRANSFORMER		
○	SINGLE INTAKE		
○	THROAT INTAKE		
○	GAS VALVE		
○	FIRE HYDRANT		
○	WATER VALVE		
○	P XX		PROPOSED UTILITY LINE
○	E XX		EXISTING UTILITY LINE
○	FO		FIBER OPTIC
○	GAS		GAS LINE
○	OHE		OVERHEAD ELEC.
○	OHT		OVERHEAD TEL.
○	SS		SANITARY SEWER



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JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA

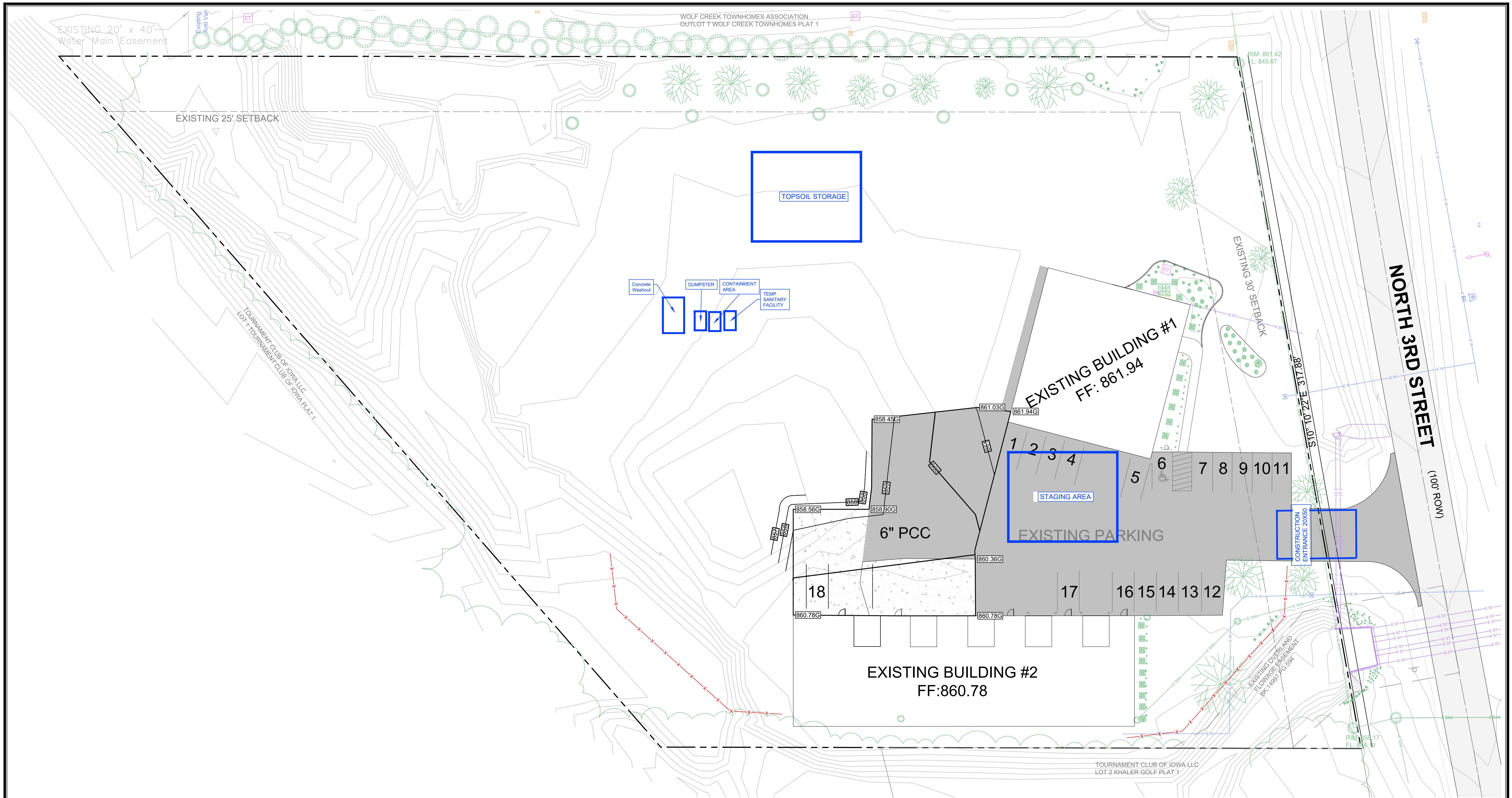
PRELIMINARY

DATE: 22-005

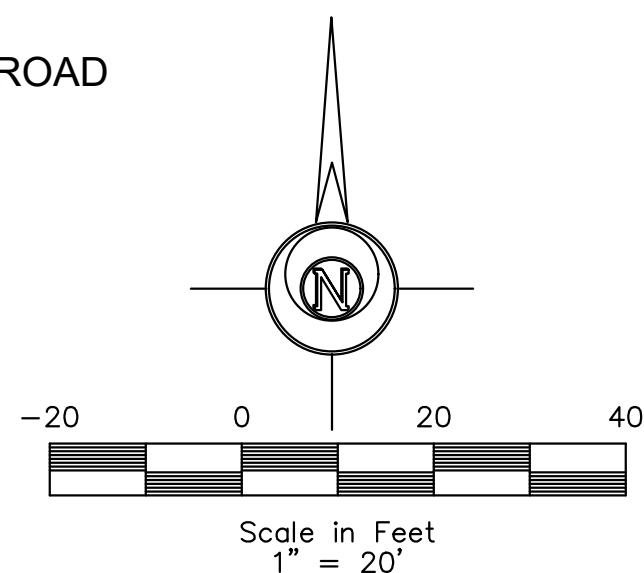
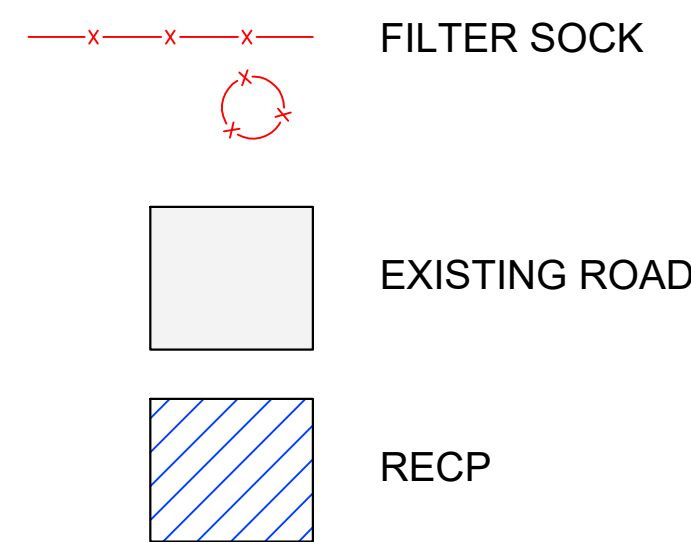
SCALE: 1"=20'

DRAWING NO: 22-005

C-105 - UTILITY SHEET



- SWPPP NOTES:**
1. LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE.
 2. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
 3. MULCH OR SOD ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
 4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
 5. A MINIMUM 6" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ONSITE TO SODDED PERVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION. SEEDED AREAS TO RECEIVE A MINIMUM 8" OF TOPSOIL.
 6. ALL BARE AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR MORE REQUIRE IMMEDIATE STABILIZATION MEASURES (TEMPORARY SEEDING OR MULCHING)
 7. ALL SLOPES 4:1 OR GREATER REQUIRE SEEDING AND MATTING



LEGEND:

+/-	MORE OR LESS EXISTING/ PROPOSED ELEVATION	⊕	SIGN	⊕	THROAT INTAKE	— ST —	STORM SEWER
123.45/123.45	EXISTING/ PROPOSED ELEVATION	⊖	STREET LIGHT	⊕	GAS VALVE	— UGE —	UNDERGROUND ELEC.
FL	FLOWLINE ELEVATION	⊕	POWER POLE	⊕	FIRE HYDRANT	— UGT —	UNDERGROUND TEL.
⊕	CONTROL POINT	⊕	LIGHT POLE	⊕	WATER VALVE	— W —	WATER
⊕	CALCULATED CORNER	⊕	AREA LIGHT	— P XX —	PROPOSED UTILITY LINE	— ○—○—○—	FENCE LINE
⊕	FOUND CORNER	⊕	GUY ANCHOR	— E XX —	EXISTING UTILITY LINE		
⊕	SANITARY SEWER MANHOLE	⊕	UTILITY PEDESTAL	— FO —	FIBER OPTIC		
⊕	STORM SEWER MANHOLE	⊕	ELEC. TRANSFORMER	— GAS —	GAS LINE		
⊕	PARKING SPACE	⊕	DOWNSPOUT	— OHE —	OVERHEAD ELEC.		
		⊕	AREA INTAKE	— OHT —	OVERHEAD TEL.		
		⊕	SINGLE INTAKE	— SS —	SANITARY SEWER		

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JESTER BUSINESS GROUP
 700 N 3RD ST
 POLK CITY, IOWA

PRELIMINARY

DATE: 2/20/22
 PROJECT: 22-005 700 N 3rd Street Polk city IA/Engineering/Sheet Set

SCALE: 1"=20'
 DRAWING NO: 22-005

C-106 - EROSION CONTROL SHEET

EXISTING 20' x 40' Water Main Easement

WOLF CREEK TOWNHOMES ASSOCIATION
OUTLOT T WOLF CREEK TOWNHOMES PLAT 1

RIM: 861.42
TL: 845.67

PROPOSED 3' LANDSCAPING BERM
PROPOSED 25' TYPE "B" BUFFER

AREA TO GET FINAL GRADING AND BE SEEDED

TOURNAMENT CLUB OF IOWA LLC
LOT 1, TOURNAMENT CLUB OF IOWA PLAT 1

EXISTING BUILDING #1
FF: 861.94

6" PCC

EXISTING PARKING

EXISTING BUILDING #2
FF: 860.78

TOURNAMENT CLUB OF IOWA LLC
LOT 2 KHALER GOLF PLAT 1

NORTH 3RD STREET
(100' ROW)

PROPOSED PARKING TREES:

TREE CALCULATIONS:
PAVING AREA: 18,200
PLANT AREA: 18,200 * .20 = 3640 SQ FT
PARKING TREES: 3640 / 700 = 5.2 ≈ 6

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	PLANTING SIZE	MATURE SIZE (HEIGHT & SPREAD)
	3	KENTUCKY COFFEETREE (GYMNOCLADUS DIOICA 'ESPRESSO')	2" CALIPER B&B	60'-75' & 40'-50'
	3	EXISTING DECIDUOUS TREES		

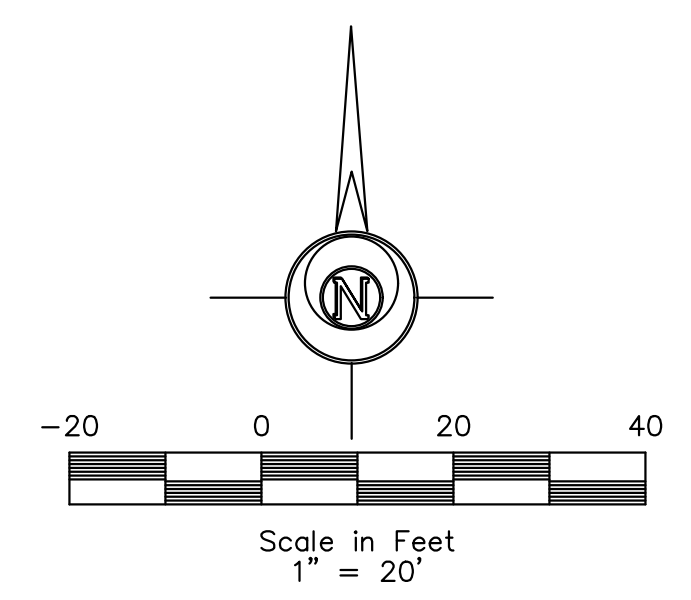
PROPOSED OPEN SPACE LANDSCAPING:

OPEN SPACE LANDSCAPING CALCULATIONS:
REQUIRED OPEN SPACE: 19,919
OPEN SPACE TREES: (19,919 / 3000) * 2 = 13.2 ≈ 14
OPEN SPACE SHRUBS: (19,919 / 3000) * 6 = 39.8 ≈ 40

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	PLANTING SIZE	MATURE SIZE (HEIGHT & SPREAD)
	10	KENTUCKY COFFEETREE (GYMNOCLADUS DIOICA 'ESPRESSO')	2" CALIPER B&B	60'-75' & 40'-50'
	4	EXISTING DECIDUOUS TREES		
	19	EXISTING SHRUBS		
	21	EXISTING SHRUBS		

PROPOSED BUFFER TREES:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	PLANTING SIZE	MATURE SIZE (HEIGHT & SPREAD)
	12	EASTERN WHITE PINE (PINUS STROBUS)	3-4' TALL	50'-80' & 20'-40' (SHOWN AT 20' IN PLAN)



LEGEND:

+/-	MORE OR LESS		SIGN		THROAT INTAKE		STORM SEWER
123.45/123.45	EXISTING/ PROPOSED ELEVATION		STREET LIGHT		GAS VALVE		UNDERGROUND ELEC.
FL	FLOWLINE ELEVATION		POWER POLE		FIRE HYDRANT		UNDERGROUND TEL.
	CONTROL POINT		LIGHT POLE		WATER VALVE		WATER
	CALCULATED CORNER		AREA LIGHT		PROPOSED UTILITY LINE		FENCE LINE
	FOUND CORNER		GUY ANCHOR		EXISTING UTILITY LINE		
	SANITARY SEWER MANHOLE		UTILITY PEDESTAL		FIBER OPTIC		
	STORM SEWER MANHOLE		ELEC. TRANSFORMER		GAS LINE		
	PARKING SPACE		DOWNSPOUT		OVERHEAD ELEC.		
			AREA INTAKE		OVERHEAD TEL.		
			SINGLE INTAKE		SANITARY SEWER		

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JESTER BUSINESS GROUP
700 N 3RD ST
POLK CITY, IOWA

PRELIMINARY

SE PROPERTY COR OF SITE
IRON ROD W/ YELLOW CAP - ELEV: 857.80

SCALE: 1"=20'

DRAWING NO: 22-005

C-107 - LANDSCAPING SHEET

Memo

Date: June 2, 2023

To: City of Polk City

From: Wally Pelds

Project: Jester Business Group, LLC

On behalf of Jester Business Group, LLC, I am writing to request a formal waiver of the western and southern buffer yard requirements. These buffers seem to place an undue burden on the existing site. Additionally, the buffer yard required to the westerly portion of the property is buffering a floodway, which seems counter to the intent of the City's ordinance. It is our understanding that the 25-foot buffer along the northern property line will remain and be reestablished with this site plan.

We have been asked to reduce the scope of our site planning services and make a site plan to obtain code compliance only. It will show additional paving in front of the existing building, site grading and required landscaping to comply with the buffer requirements.

Should you have any additional questions or comments, please do not hesitate to contact our office.

Sincerely,

PELDS DESIGN SERVICES, INC.

Sincerely,

Wally Pelds

Wally Pelds, PE & PLS
President

