

June 19, 2023 | 6:00 pm City Hall | Council Chambers

Public Meeting participation in person or via phone Call in #515-726-3598 Participant Code 535355

Public Members can provide comments directly to support@polkcityia.gov

*any comments received before the time of the meeting will be made a part of the minutes

Broadcast live and playback will be available at https://www.youtube.com/c/polkcityiagovchannel

Tentative Meeting Agenda

Deanna Triplett | Chair Justin Vogel | Vice Chair

P&Z Commission Members: Ron Hankins | Krista Bowersox | Doug Ohlfest | Amber Pringnitz | Doug Sires

- 1. Call to Order
- 2. Roll Call
- 3. Approval of Agenda
- 4. Approval of P&Z Commission Meeting minutes for May 15, 2023
- 5. Jester Park Business Group
 - a) Developer Report
 - b) City Engineer Report
 - c) Public Comment
- 6. Reports & Particulars

Council Liaison, City Manager, Staff, and Commission

7. Adjourn until July 17, 2023



SITE PLAN AMENDMENT REVIEW

Date: June 15, 2023 Prepared by: Kathleen Connor, Planner

Travis Thornburgh, P.E.

Project: Jester Business Group Project No.: 123.0550.01

GENERAL INFORMATION:

Owner:	Jester Business Group, LLC
Applicant:	Jester Business Group, LLC
Requested Action:	Approval of Amended Site Plan
Location	700 N. 3 rd Street
Size:	3.00 acres
Zoning:	M-1 Light Industrial
Proposed Use:	Office / Warehouse



DESCRIPTION:

On behalf of Jester Business Group, Pelds Design Services has provided a Site Plan Amendment to address current non-compliant conditions for the Site as compared to the current, approved site plan. This Site Plan is intended to address the recent unauthorized removal of trees in a designated buffer as shown on the approved site plan.

The current non-compliance has been referred to the City Attorney for a Municipal Infraction Action.

BACKGROUND:

- The original 4,752 sq. ft. Building #1 was constructed in 1990 as Ellsbury Company's Bed Shed for assembly of pickup toppers. Jester Business Group acquire this property in 2011.
- Variance #1 was granted by the Board of Adjustment on March 14, 2013 reducing the 50' Buffer and 30' side yard setback to a 25' Buffer with a Type B semi-opaque screen and a 25' side yard setback, further stipulating no doorways or windows will be allowed on the north side of any structures placed on the north portion of the property and a maximum height of any structure on the north side of the property shall not exceed 40' in height.
- Variance #2 was granted by the Board of Adjustment on March 14, 2013 to allow a 0' rear yard setback on this property. No variance was granted for the required 50' buffer on the west side of the site.

- The current Site Plan was approved by City Council on September 23, 2013 for the 5,200 SF Building #2, with the intent for a future 960 SF addition on the east side of this building and a 2,000 SF addition on the west side of this building. The Site Plan included associated paving and utility improvements, along with Phase 1 buffer plantings.
- A Development Agreement, approved September 23, 2013, covering the deferral of Phase 2 buffer plantings on the north side of the property for five years or until such time as the property is further developed, whichever comes first. The Agreement also allowed 15 of the then-required shrubs to be deferred until the next addition to the property. Both deferrals have expired.

REVIEW COMMENTS: Pursuant to our review of Submittal #3 of Site Plan Amendment for conformance to the PUD Ordinance and applicable city code, we offer the following comments:

- 1. Provide survey benchmark information for which the surveyed elevations are based on.
- 2. We question if any hazardous materials will be stored on this site. These materials should be identified for review by the Fire Chief. A note should be added stating it shall be the property owner's responsibility to obtain any necessary permits for said materials.
- 3. A note on Sheet C-107 indicates that there is a proposed 3' landscaping berm in the NW corner of the property, but the grading plan does not show grading in this area. Revise note to call for protection of existing berm or revise grading plan to show construction of proposed berm.
- 4. The proposed 25' Type 'B' Buffer must include shrubs to be constructed on this parcel. In accordance with Chapter 165, a Type 'B' buffer shall be "opaque from the ground to a height of three feet, with intermittent visual obstructions from the ground to a height of at least 20 feet." These shrubs cannot count toward required Open Space or Parking Area plantings.
- 5. Add a note stating "All trash shall be stored inside the building(s). No dumpsters or garbage cans shall be stored outside, except on trash collection days, unless a Site Plan Amendment for a trash enclosure has been approved by the City of Polk City".
- 6. Prior to this item moving forward to City Council for approval, provide an Easement Plat for the 25' Buffer Easement.
- 7. Prior to this item moving forward to City Council for approval, provide a Buffer Easement document, based on the City's standard form, that requires the property owner to perpetually maintain the easement area including replacement of plant materials, as necessary. The property owner will need to sign this document prior to this Site Plan Amendment being placed on the Council agenda. The property owner will also be responsible for paying all recording fees associated with this easement.
- 8. Sheet C-107: Add a note stating the orange construction fencing shall be installed and approved by the City of Polk City prior to issuance of a Building or Grading Permit.

RECOMMENDATION:

Based on the satisfactory resolution of each of the above Review Comments, staff recommends approval of the Site Plan Amendment for Jester Business Group, subject to:

- 1. Planning & Zoning Commission recommendations, if any, shall be addressed prior to this Site Plan moving forward to City Council.
- 2. Planning & Zoning Commission's recommendation regarding developer requested waiver of the western buffer requirements.
- 3. Completion of the described Site Plan improvements no later than October 1, 2023.
- 4. Council approval of the Buffer Easement which shall be recorded by the City Clerk. The fees for said recording shall be paid by the property owner.
- 5. Payment in full of all fees to the City of Polk City.

SITE ADDRESS 700 N 3RD ST POLK CITY, IOWA 50226 SITE AREA 3.04 ACRES (132,796 SQ.FT.) OFFICE & WAREHOUSE BUILDINGS

EXISTING: M-1 PROPOSED: M-1 ADJACENT ZONING: NORTH: PUD EAST: R-1

SOUTH: PUD WEST: PUD

SETBACKS FRONT: 30 SIDE: 0' REAR: 0'

BUILDINGS EXISTING:

BUILDING USES INDUSTRIAL OFFICES AND WAREHOUSES

BUILDING HEIGHT

MAX BUILDING HEIGHT: 75' BUILDING #1 HEIGHT: 1 STORY BUILDING #2 HEIGHT: 1 STORY

PAVING

APPROACHES: 8" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE PARKING LOT: CURB: 6" TALL STANDARD CURB

OPEN SPACE

EXISTING: 78.7% (104,478 SQ.FT.) PROPOSED: 76.5% (101,637 SQ.FT.) REQUIRED: 15% (19,919 SQ. FT.)

IMPERVIOUS SPACE

EXISTING: 21.3% (28,318 SQ.FT.) PROPOSED: 23.5% (31,159 SQ.FT.)

PARKING

EXISTING BUILDING #1: 1 SPACE/400 SQ.FT. 2 PARKING SPACES 4000 SQ.FT. WAREHOUSE 1 SPACE/5000 SQ.FT. 1 PARKING SPACES **EXISTING BUILDING #2:** 7750 SQ.FT. WAREHOUSE 1 SPACE/5000 SQ.FT. 2 PARKING SPACES

1 ADA PARKING SPACE REQUIRED REQUIRED: 6 PARKING STALLS PROPOSED: 17 PARKING STALLS AND 1 ADA SPACE PER CITY CODE NO PARKING SHALL TAKE PLACE ON NON-PAVED SURFACES

DISTURBED AREAS ESTIMATED: 25.000 SQ.FT.

ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED.

NO OUTDOOR STORAGE PERMITTED ON SITE

THE DISTURBED AREA FOR THIS SITE IS LESSER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS NOT REQUIRED.

PER THE 2013 DEVELOPMENT AGREEMENT, THE PROPERTY OWNER SHALL BE RECOMMENDED TO PROVIDE BANK STABILIZATION AND EROSION PROTECTION WITHIN THE OVERLAND FLOWAGE EASEMENT AREA

FLOODPLAIN

PER FEMA MAP #19153C0040F, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD

REVISIONS:

PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

ANTICIPATED CONSTRUCTION SCHEDULE ANTICIPATED CONSTRUCTION SCHEDULE WILL START IN JUNE 2023 - END DECEMBER 2023

SITE PLAN AMENDMENT JESTER BUSINESS GROUP 700 N 3RD ST POLK CITY, IOWA

VICINITY MAP



SHEET INDEX

C-001 - COVER SHEET C-002 - NOTE SHEET C-003 - TOPO SHEET C-100 - DEMO SHEET C-102 - LAYOUT SHEET C-103 - SITE SHEET

C-104 - GRADING SHEET C-105 - UTILITY SHEET C-107 - LANDSCAPING SHEET IOWA ONECALL CONTACT LIST:

(M52G) MIDAMER-GAS Contact Name: Jaime Neer Contact Phone: 5152526972 Contact Email: MECDSMDesignLocates@midamerican.com

(CTLIA01) CENTURYLINK Contact Name: SADIE HULL Contact Phone: 9185470147 Contact Email: sadie.hull@lumen.com

(INS) AUREON NETWORK SERVICES Contact Name: Jeff Klocko Contact Phone: 5158300445 Contact Email: jeff.klocko@aureon.com

(M52E) MIDAMER-ELEC Contact Name: Jaime Neer Contact Phone: 5152526972 Contact Email: MECDSMDesignLocates@midamerican.com

(MIFI) MI-FIBER Contact Name : JUSTIN MILLER Contact Phone: 5158978802 Contact Email: jmiller@mi-fiber.net

(MPC) MIDLAND POWER COOPERATIVE Contact Name : Bruce Keeney Contact Phone: 5153864111 Contact Email: bkmpcrec@netins.net

(PCC) POLK CITY, CITY OF Contact Name: Nick Furness Contact Phone: 5154324976 Contact Email: nfurness@polkcityia.gov

(POLKIA1) MEDIACOM Contact Name: KEVIN COLLINS Contact Phone: 5152466668 Contact Email: KCOLLINS1@MEDIACOMCC.COM

(UPN) UNITE PRIVATE NETWORKS, LLC Contact Name : Joe Kilzer Contact Phone: 8164253556 Contact Email: upngis@upnfiber.com

PROPERTY OWNER/DEVELOPER

LEGAL DESCRIPTION:

A PARCEL OF LAND IN SECTION 36, TOWNSHIP 81 NORTH, RANGE 25 WEST OF THE STH P.M., POLK

BEGINNING AT A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SW 1/4 OF SAID SECTION

36, SAID POINT BEING 763.15 FEET WEST OF THE SOUTHEAST CORNER OF SAID NORTH HALF AND

THENCE S 89°33'13" E, 584.58 FEET TO A POINT ON THE CENTER LINE OF SHELDAHL ROAD; THENCE

ON THE CENTER LINE OF SHELDAHL ROAD; THENCE N 89°33°13" W, 366.81 FECT ALONG THE SOUTH LINE OF THE NORTH HALF TO A POINT, THENCE N 41°11'38" W, 412.49 FEET TO A POINT;

SOUTHERLY ALONG SAID CENTER LINE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 2292.00 FEET, AN ARC LENGTH OF 104.44 FEET, AND A CHORD BEARING OF S 9°211" E, TO A POINT

OF TANGENCY; THENCE S 10°20°30" E, 208.96 FEET ALONG SAID CENTER LINE TO THE POINT OF

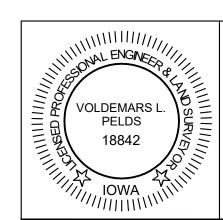
BEGINNING AND CONTAINING 3.360 ACRES MORE OR LESS INCLUDING 0.360 ACRES OF STREET

COUNTY, IOWA THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS

JESTER BUSINESS GROUP 700 N 3RD ST POLK CITY, IOWA 50226 PROJECT CONTACT: BRUCE BEGHUN PHONE: (515) 402-7763

ENGINEER/ LAND SURVEYOR

PELDS DESIGN SERVICES 2323 DIXON ST DES MOINES, IOWA 50316 PROJECT CONTACT: ELARA JONDLE PHONE: (515) 265-8196 EMAIL: ADMIN@JESTERBUSINESSGROUP.COM EMAIL: ELARA@PELDS.COM



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Voldemars Pelds June 9, 2023 VOLDEMARS L. PELDS, P.E. IA. LIC. NO. 18842 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): C-001 - C-107



Architecture | Engineering | Surveying 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

> **JESTER BUSINESS GROUP** 700 N 3RD ST

POLK CITY, IOWA PRELIMINAR 22-005 A.PELDS C-001 - COVER SHEET 2022 Projects\22-005 700 N 3rd Street Polk city IA\Engineering\Sheet Set

LEGEND:

FINISHED FLOOR MORE OR LESS 123.45G GUTTER ELEVATION 123.45TC TOP OF CURB ELEVATION 123.45/ 123.45 EXISTING/ PROPOSED ELEVATION FLOWLINE ELEVATION CONTROL POINT

CALCULATED SECTION CORNER FOUND SECTION CORNER PARKING SPACE STREET LIGHT POWER POLE -LIGHT POLE AREA LIGHT ELEC. TRANSFORMER

ELEC. METER

ELEC. BOX

ELEC. MANHOLE ELEC. VAULT **GUY ANCHOR** UTILITY PEDESTAL CABLE TV JUNCTION BOX GAS VALVE **GAS METER** STORM SEWER MANHOLE CLEANOUT

SANITARY SEWER MANHOLE

SINGLE INTAKE AREA INTAKE THROAT INTAKE VALVE FIRE HYDRANT WATER METER WATER VALVE WATER TEE

FLARED END SECTION

—— FO—— FIBER OPTIC

—— G —— GAS LINE — OHE — OVERHEAD ELEC. — OHT — OVERHEAD TEL. —— SAN —— SANITARY SEWER ----- ST---- STORM SEWER — UGE — UNDERGROUND ELEC.

— CATV — CABLE TELEVISION

—— W —— WATER

DOWNSPOUT

——P XX—— PROPOSED UTILITY LINE ——E XX— EXISTING UTILITY LINE

— UGT — UNDERGROUND TEL.

CALCULATED CORNER FOUND CORNER

GENERAL NOTES

- 1. THE CITY OF POLK CITY MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- 2. ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE CITY OF POLK CITY AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- 4. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- 5. PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- 6. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- 7. IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
- 8. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC
- 9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- 10. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF POLK CITY.
- 11. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- 13. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- 14. ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF POLK CITY.
- 15. THE CONTRACTOR SHALL CONTACT THE CITY OF POLK CITY TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY
- CONSTRUCTION WITHIN PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS 16. IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL
- SUPERCEDE ALL OTHERS 17. IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE, AND THE ELECTRONIC SURFACE, THE DESIGN
- 18. THE CITY OF POLK CITY HAS NO SPECIFIC REQUIREMENTS FOR TANK BALLAST WATER

SURVEY NOTES

1. SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN JANUARY 2022. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

STAKING NOTES

- 1. IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- 2. IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

DEMO NOTES

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.

ENGINEER SHALL BE CONTACTED FOR CLARIFICATION

- 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
- 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
- PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
- 5. COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
- 6. COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES: AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
- 7. PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
- 8. PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE
- 9. COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
- 10. MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL
- 11. IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
- 12. COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
- 13. TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
- 14. REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES
- 15. REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA, INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY, REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
- 16. SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
- 17. WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

WETLAND NOTES

1. PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

DISCLAIMER

- 1. THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
- 2. P.D.S DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE.

CIVIL ENGINEERING NOTES **JESTER BUSINESS GROUP 700 N 3RD ST POLK CITY, IOWA**

UTILITY NOTES

- 1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- 2. PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- 4. THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
- 5. THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
- 6. THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.

7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR

- DISCONNECTION OF A SERVICE LINE.
- 8. CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
- 9. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- 10. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- 11. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- 12. ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
- 13. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- 14. ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID

ELECTRICAL SERVICE NOTES

- 15. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
- 16. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

SANITARY SERVICE NOTES

17. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2% FOR A 4" PIPE AND 1% FOR A 6" PIPE. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.

STORM WATER SERVICE NOTES

- 18. ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
- 19. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- 20. ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE

WATER SERVICE NOTES

- 21. WATER SERVICE SHALL BE TYPE K COPPER, DIP OR HDPE, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
- 22. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- 23. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. 24. ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO
- WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS. 25. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE

EXISTING UTILITIES NOTE

1. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION: IOWA ONE-CALL (1-800-292-8989).

UTILITY CONFLICT NOTES

- 1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- 2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE

REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.

4. FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

SPECIFICATIONS NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF POLK CITY SUPPLEMENTAL SPECIFICATIONS.
- 2. IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF POLK CITY REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF POLK CITY STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

REQUIRED AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
- 2. CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
- 3. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

PAVING NOTES

- 1. THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF POLK CITY SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- 3. DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY
- 4. SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE
- 5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

PAVEMENT SAWCUT NOTES

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- 2. PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- 3. LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

SOIL NOTES

- 1. STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR
- 2. SOD REQUIREMENT PER SUDAS: IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, A SODBED SHOULD BE CONSTRUCTED BY SPREADING A MINIMUM OF 6 INCHES OF TOPSOIL PRIOR TO SODDING. DEEPER TOPSOIL DEPTHS (8 TO12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- PERMANENT SEED REQUIREMENT PER SUDAS: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 8 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING. DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- 4. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- 5. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING. NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- 7. REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

GRADING NOTES

- 1. AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- 2. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
- 3. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- 5. FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FT, AND PAVED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN
- 6. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
- 7. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
- 8. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
- 9. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

LANDSCAPING NOTES

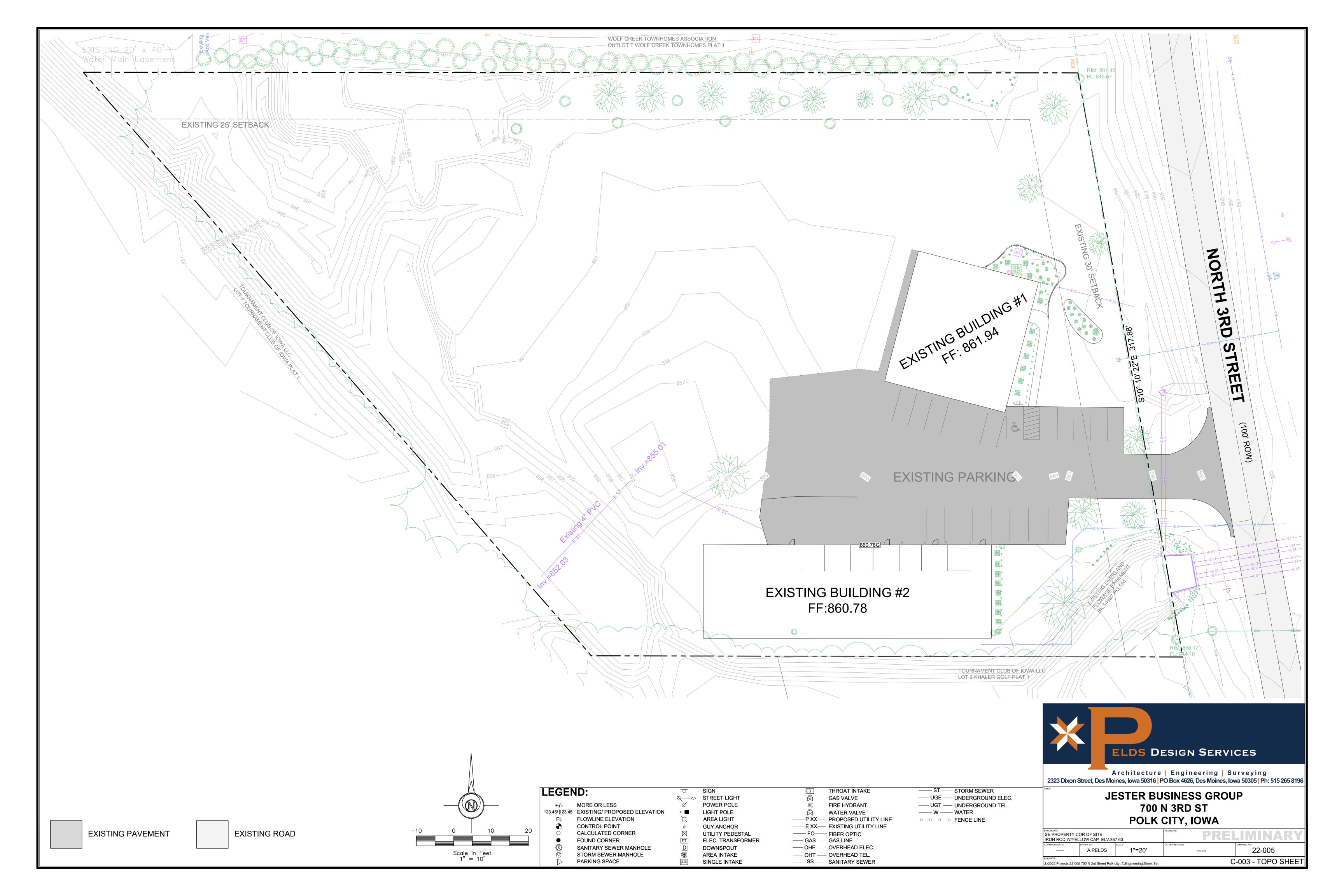
- 1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- 2. SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR
- REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES. SEED ALL DISTURBED AREAS OFF-SITE 3. STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
- 4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- 5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- 6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. 7. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND
- COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED. 8. PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
- 9. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- 10. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- 11. CONTRACTOR SHALL DESIGN AND PROVIDE IRRIGATION SYSTEM. COORDINATION WITH ARCHITECT REQUIRED. 12. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

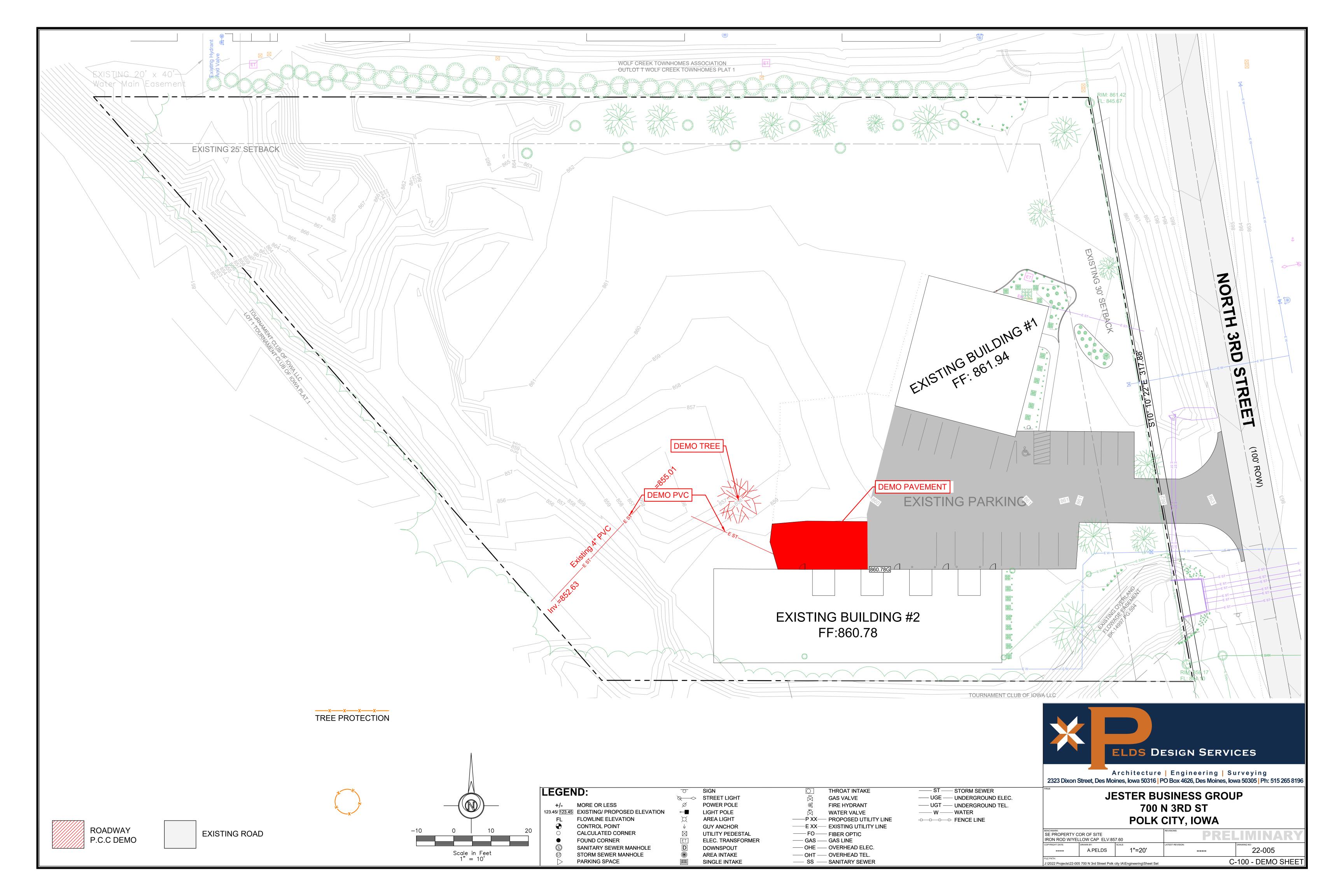


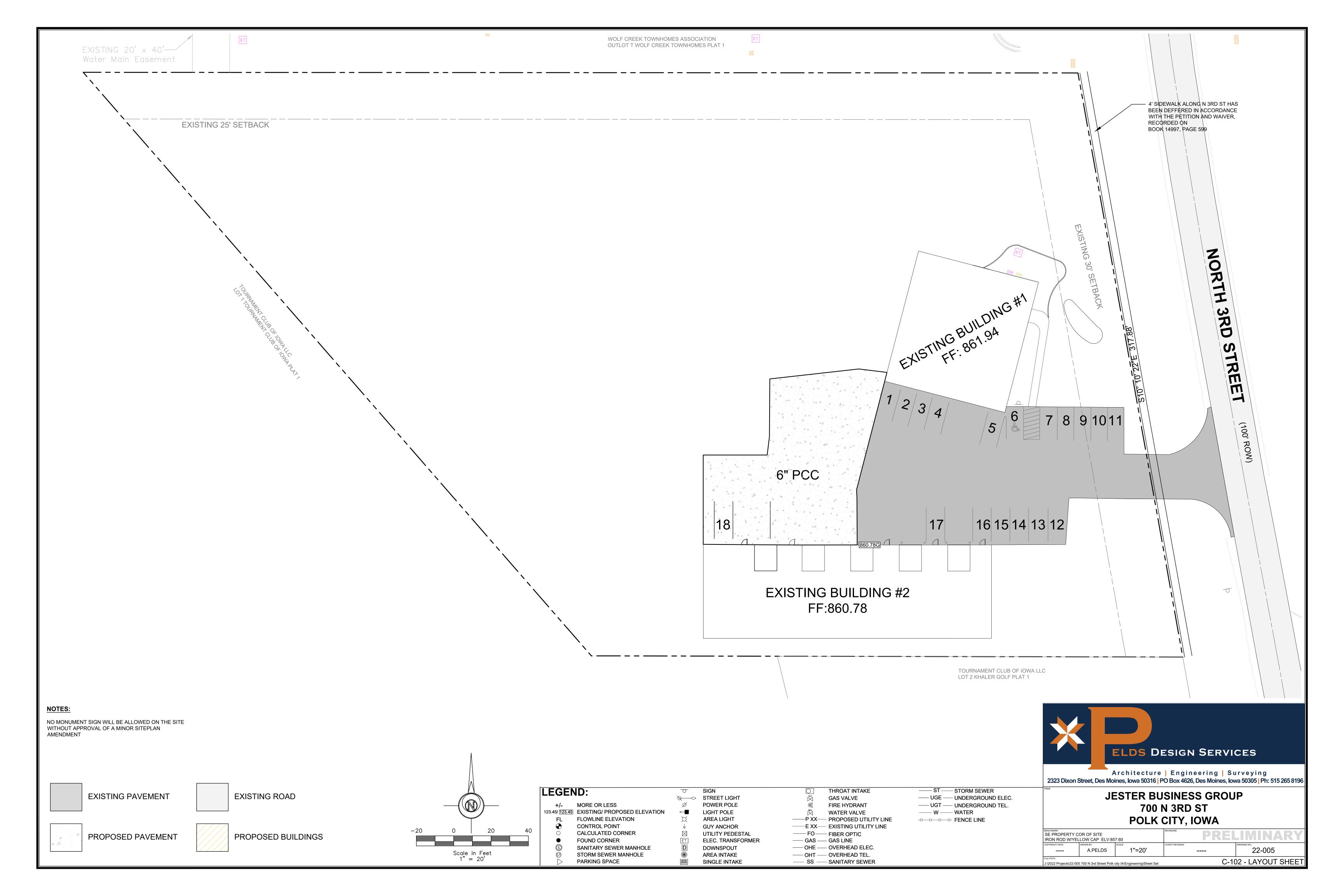
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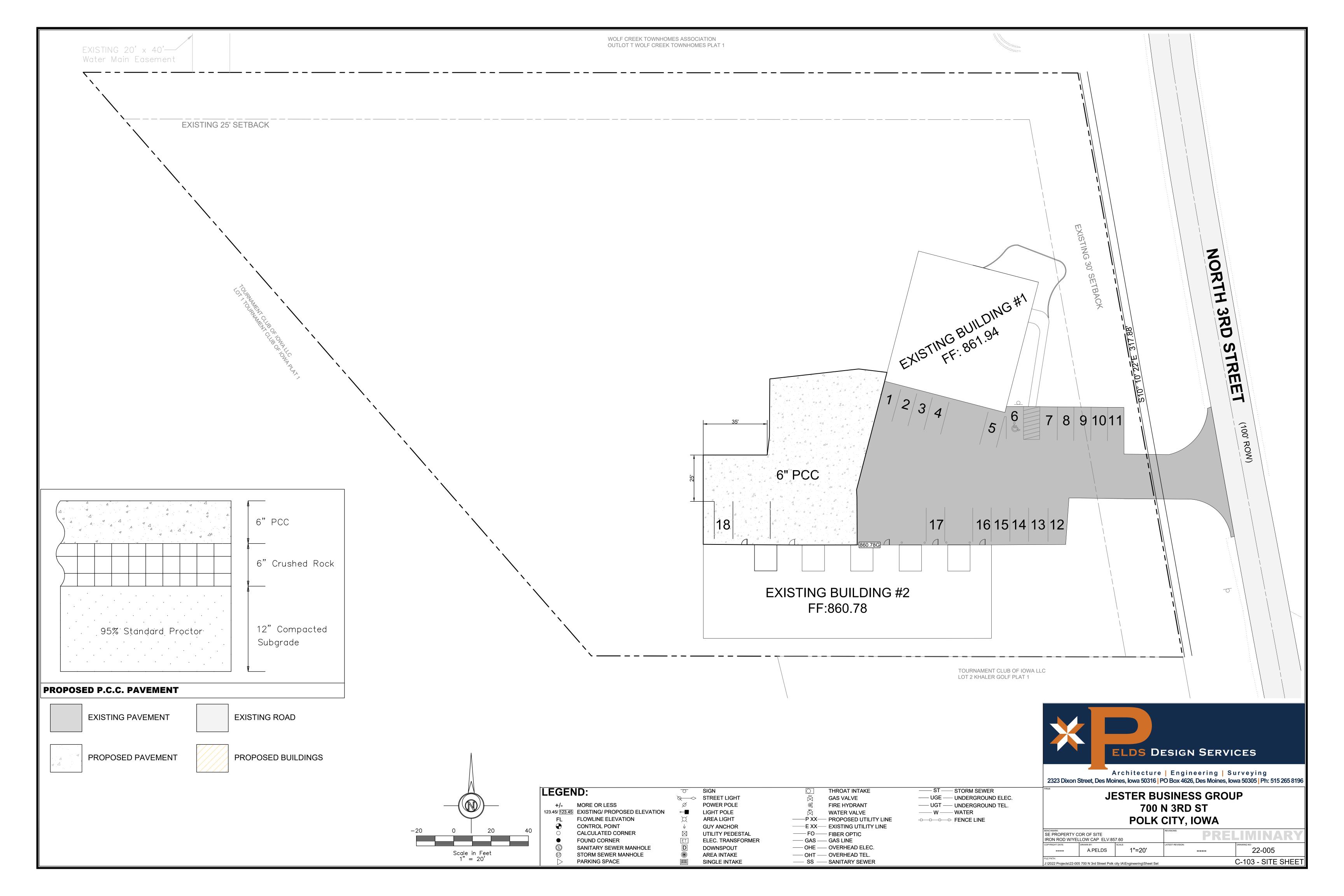
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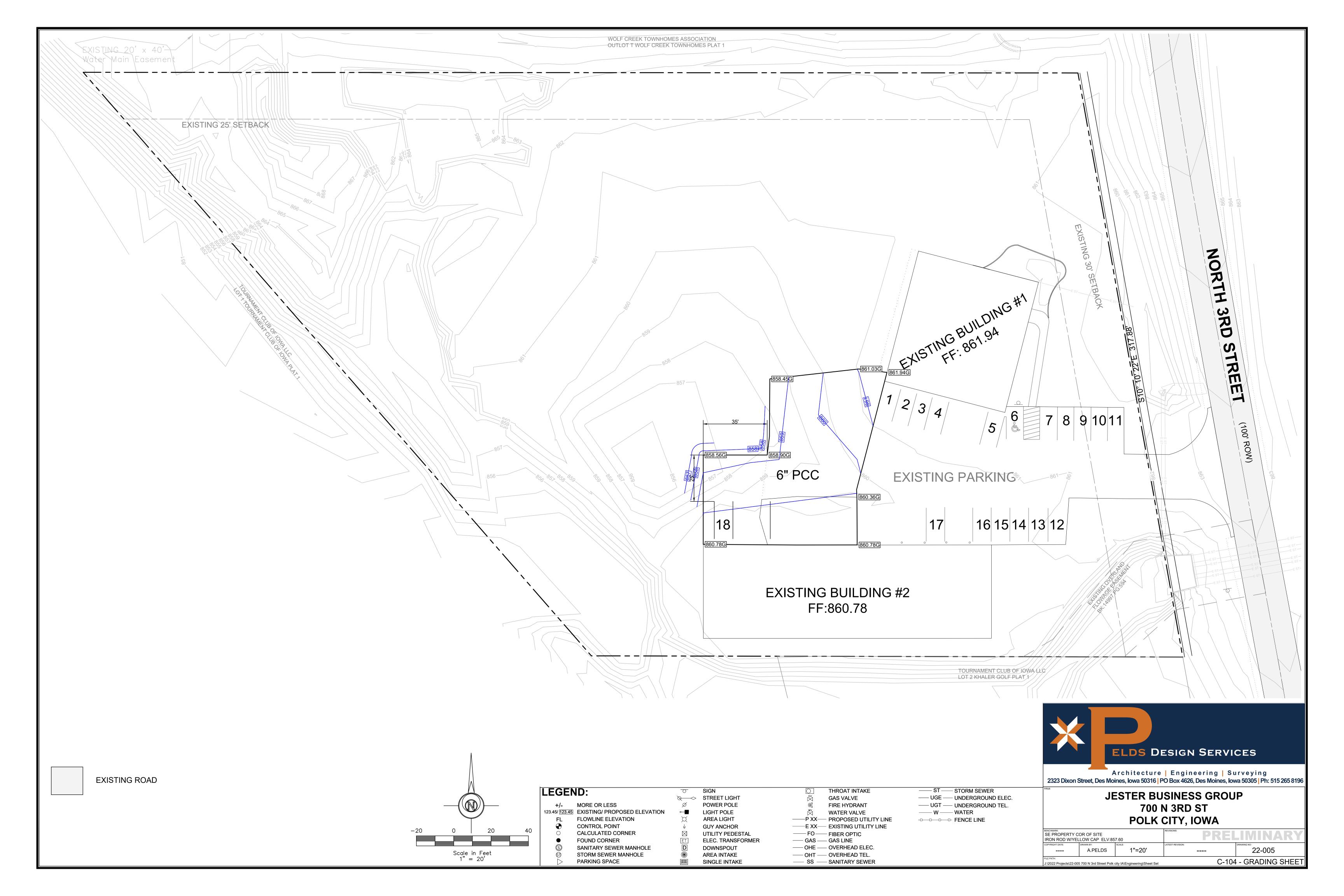
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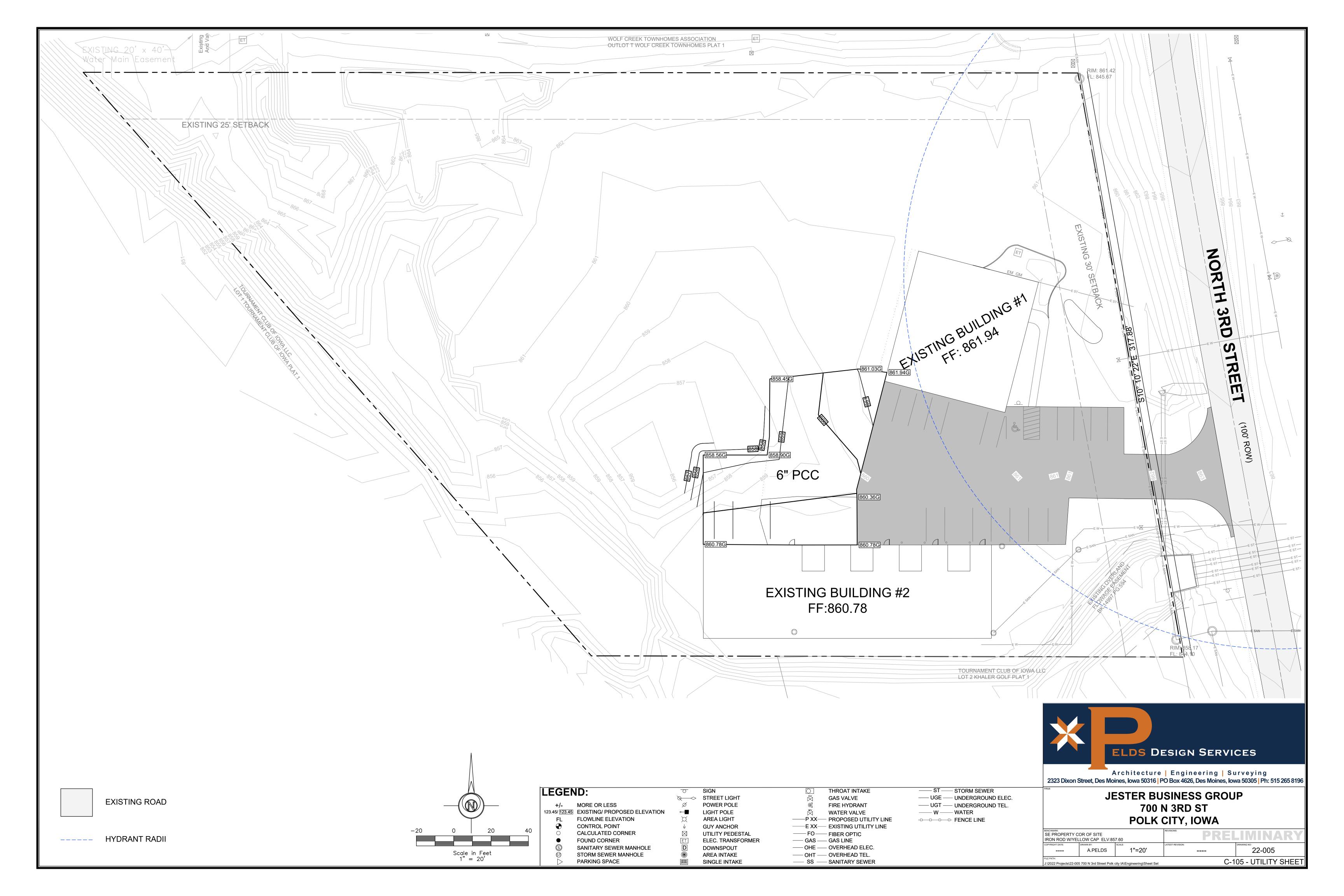


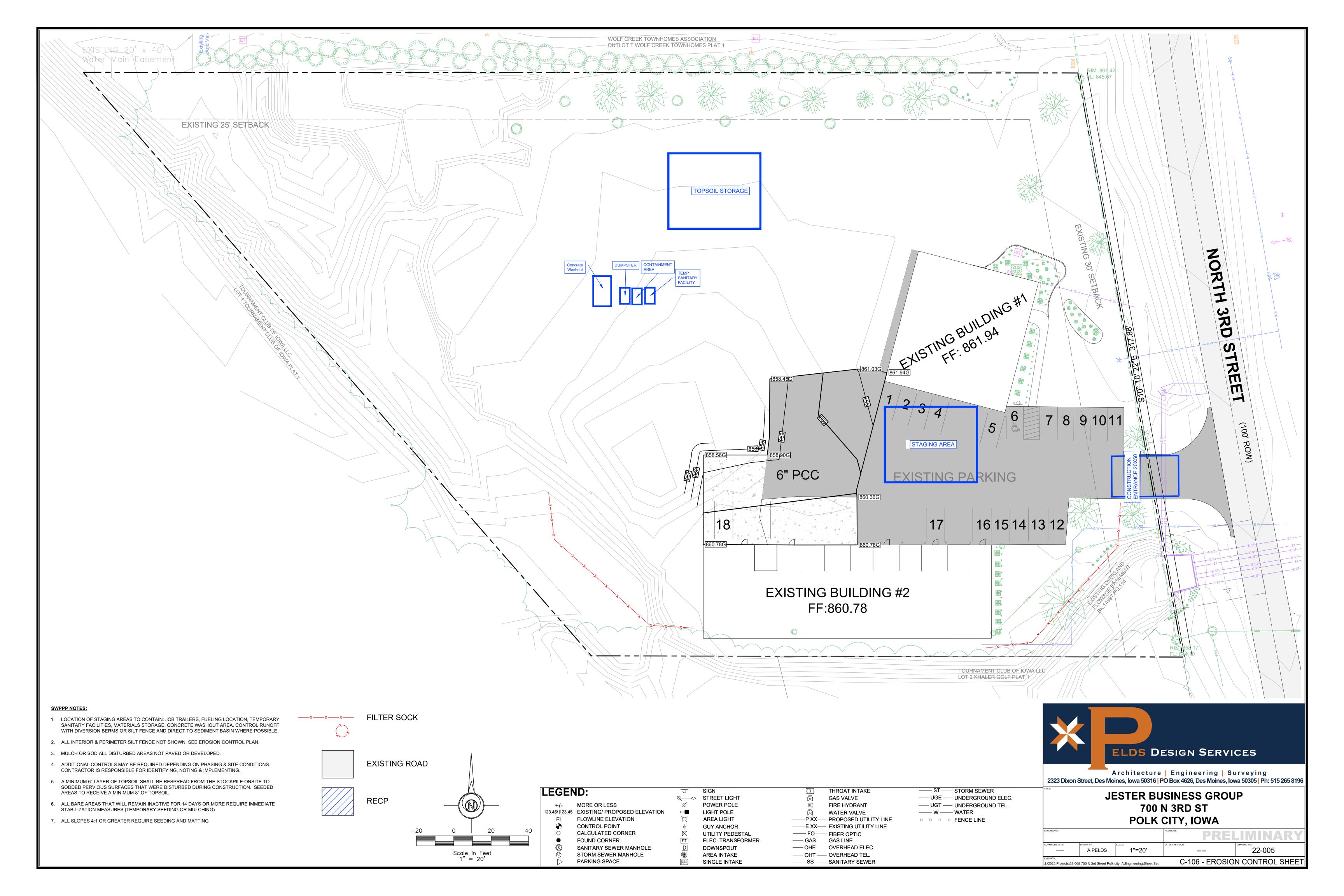


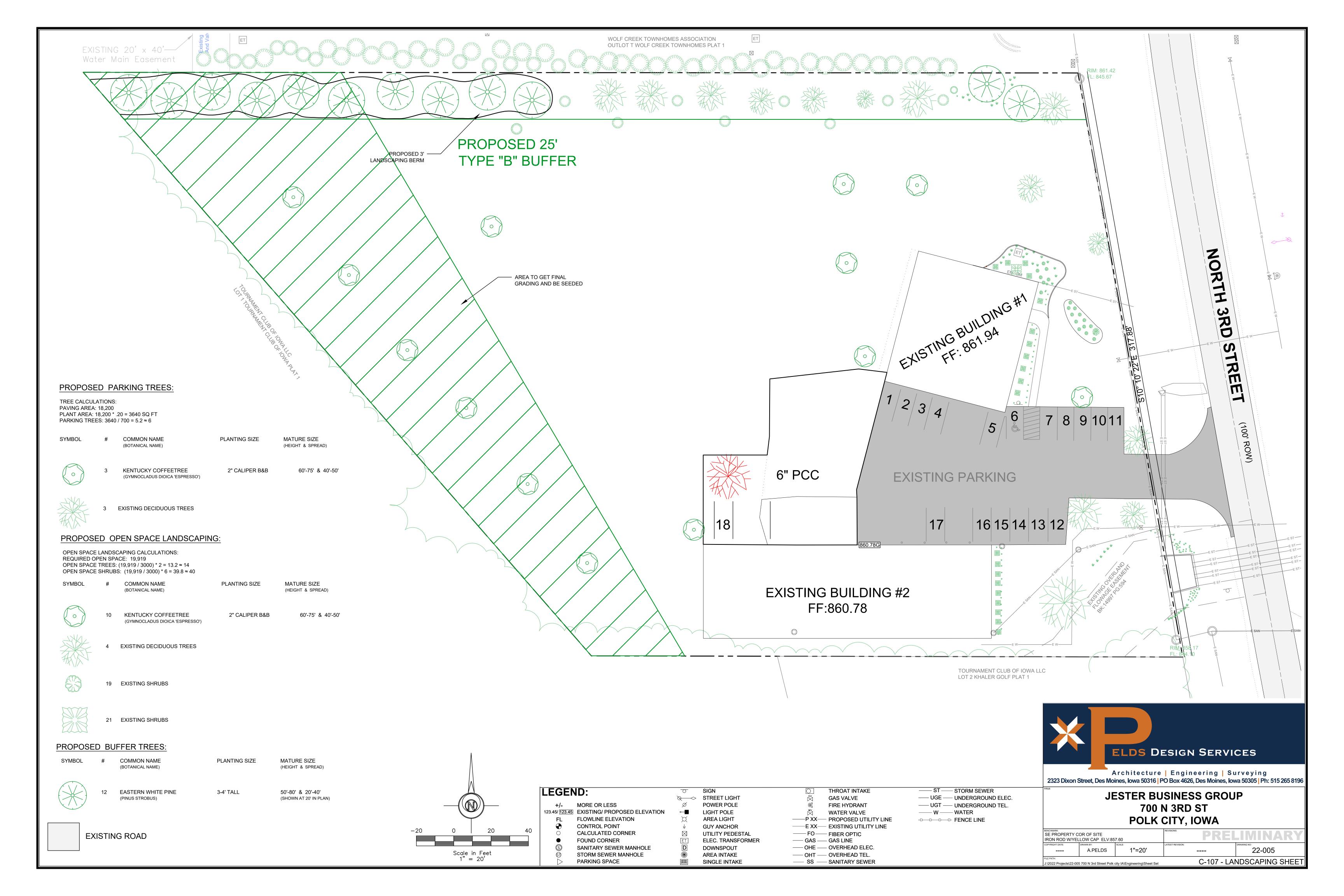














Memo

Date: June 2, 2023

To: City of Polk City

From: Wally Pelds

Project: Jester Business Group, LLC

On behalf of Jester Business Group, LLC, I am writing to request a formal waiver of the western and southern buffer yard requirements. These buffers seem to place an undue burden on the existing site. Additionally, the buffer yard required to the westerly portion of the property is buffering a floodway, which seems counter to the intent of the City's ordinance. It is our understanding that the 25-foot buffer along the northern property line will remain and be reestablished with this site plan.

We have been asked to reduce the scope of our site planning services and make a site plan to obtain code compliance only. It will show additional paving in front of the existing building, site grading and required landscaping to comply with the buffer requirements.

Should you have any additional questions or comments, please do not hesitate to contact our office.

Sincerely,

PELDS DESIGN SERIVCES, INC.

Sincerely,
Wally Pelds

Wally Pelds, PE & PLS President

