

Agenda

Notice of Meeting

Polk City | City Council

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TUESDAY May 26, 2020 | 6:00 pm

City Hall | Council Chambers

**Due to Covid-19 Mayor and Council will meet via ZOOM**

**Public Meeting participation is via phone only**

**Call in local 515-329-8019**

**Toll-Free 833-329-8019**

**Participant Code 593054**

**Public can also provide comments directly to [support@polkcityia.gov](mailto:support@polkcityia.gov)**

**\*any comments received before the time of the meeting will be made a part of the public hearing**

**Broadcast playback will be available at <https://polkcityia.gov/page/LiveStream>**

\*\*\*\*\*

Jason Morse | Mayor

David Dvorak | Pro Tem

City Council Members: Jeff Walters | Mandy Vogel | Ron Anderson | Rob Sarchet

**1. Call to Order**

**2. Roll Call**

**3. Approval of Agenda**

**4. Public Hearing**

- a. Kwik Trip
  - i. Public Hearing on Proposed Development Agreement with Kwik Trip, Inc.
  - ii. Resolution 2020-55 Approving Development Agreement with Kwik Trip, Inc., Authorizing Annual Appropriation Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement
- b. Wastewater Reclamation Authority (WRA)
  - i. Public Hearing
  - ii. Resolution 2020-56 authorizing assignment and conveyance of improvements, property, and permanent easements to the Des Moines Metropolitan Wastewater Reclamation Authority
- c. FY 19/20 Budget Amendment
  - i. Public Hearing
  - ii. Resolution 2020-57 approving Budget Amendment No. 2 for FY 19/20

**5. Consent Items**

- a. City Council Meeting Minutes for May 11, 2020
- b. City Council Work Session Meeting Minutes for May 11, 2020
- c. Receive and file the May 18, 2020 P&Z Meeting Minutes
- d. Claims listing May 26, 2020
- e. April 2020 Finance Report
- f. Update City Clerk job description
- g. Resolution 2020-58 setting a public hearing on the vacation of a 50' Buffer Easement and a 20' Surface Water Flowage Easement in Big Creek Technology Campus Plat 3
- h. Receive and file the April 2020 Police Department Report
- i. Approve PA-31 Records Retention Policy

- j. Receive and file the May 2020 Parks & Recreation Department Updates
- k. Receive and file the April 2020 Fire Department Report

**6. Business Items**

- a. Zunkel Estates Plat 1
  - i. Resolution 2020-60 approving Preliminary Plat
  - ii. Resolution 2020-61 approving Final Plat
- b. Resolution 2020-62 approving the Site Plan for P&M Apparel
- c. Second Reading of Ordinance 2020-600 Vacation of a portion of the Overland Flowage Easement in White Tail Ridge Plat 2
  - i. (optional) Waive the Third Reading of Ordinance 2020-600
- d. Resolution 2020-59 accepting a new Public Storm Sewer Easement on Lots 4 and 5 of Whitetail Ridge Plat 2
- e. Review RFP results and approve 3-year Audit Agreement
- f. Second Reading of Ordinance 2020-500 amending Chapter 106 concerning collection of solid waste
- g. Second Reading of Ordinance 2020-700 amending Water Rates
- h. Second Reading of Ordinance 2020-800 amending the provisions regarding Fireworks
- i. Snetselaar & Lillskau Petitions to Rezone
  - i. Second Reading of Ordinance 2020-900 rezoning 82.82 acres to R1
  - ii. Second Reading of Ordinance 2020-1000 rezoning 31.86 acres to R2

**7. Reports & Particulars**

Mayor, Council, City Manager, Staff, Boards, and/or Commissions

**8. Adjournment**

*--next meeting date June 8, 2020*



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager

**Subject:** Public Hearing and entering into Development Agreement with KwikTrip Inc.

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**BACKGROUND:** On Tuesday evening, the Council will have a public hearing in relation to entering into a development agreement with KwikTrip for traffic signal improvements for the KwikStar project, not to exceed \$125,000. The Council will then consider entering into a development agreement for the traffic signal improvements.

We have asked KwikTrip to install a traffic signal at the intersection of Parker Blvd. and Bridge Rd. due to the increased traffic from their project. KwikTrip will be designing and constructing the traffic signal and we have proposed the City to pay for 50% of the traffic signal. Total cost of the project is \$250,000.

**ALTERNATIVES:** Do not approve the agreement

**FINANCIAL CONSIDERATIONS:** The financial considerations are \$125,000 over 3 years utilizing Tax Increment Financing.

**RECOMMENDATION:** It is my recommendation that the Council approve the development agreement with KwikTrip in an amount not to exceed \$125,000.

HOLD HEARING ON AND APPROVE  
DEVELOPMENT AGREEMENT AND  
TAX INCREMENT PAYMENTS

(Kwik Trip, Inc.)

511493-3

Polk City, Iowa

May 26, 2020

A meeting of the City Council of the City of Polk City, Iowa, was held at 6:00 o'clock p.m., on May 26, 2020, pursuant to the rules of the Council.

The City Council met electronically via Zoom, which was accessible at the following:

**Public Participation at 515-329-8019 code 593054**

The City Council is conducting this meeting electronically due to federal and state government recommendations in response to COVID-19 pandemic conditions. Electronic access information was included in the posted agenda of this public meeting.

The Mayor presided and the roll was called, showing members present and absent as follows:

Present: \_\_\_\_\_

Absent: \_\_\_\_\_.

The City Council investigated and found that notice of the intention of the Council to conduct a public hearing on a Development Agreement between the City and Kwik Trip, Inc. had been published according to law and as directed by the City Council and that this is the time and place at which the Council shall receive oral or written objections from any resident or property owner of the City. All written objections, statements, and evidence heretofore filed were reported to the Council, and all oral objections, statements, and all other exhibits presented were considered.

The following named persons presented oral objections, statements, or evidence as summarized below; filed written objections or statements, copies of which are attached hereto; or presented other exhibits, copies of which are attached hereto:

**(Here list all persons presenting written or oral statements or evidence and summarize each presentation.)**

There being no further objections or comments, the Mayor announced that the hearing was closed.



Council Member \_\_\_\_\_ introduced the resolution next hereinafter set out and moved its adoption, seconded by Council Member \_\_\_\_\_; and after due consideration thereof by the City Council, the Mayor put the question upon the adoption of said resolution, and the roll being called, the following named Council Members voted:

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_.

Whereupon, the Mayor declared said resolution duly adopted, as follows:

RESOLUTION NO. 2020-55

Resolution Approving Development Agreement with Kwik Trip, Inc.,  
Authorizing Annual Appropriation Tax Increment Payment and Pledging Certain  
Tax Increment Revenues to the Payment of the Agreement

WHEREAS, the City of Polk City, Iowa (the “City”), pursuant to and in strict compliance with all laws applicable to the City, and in particular the provisions of Chapter 403 of the Code of Iowa, has adopted an Urban Renewal Plan for the Polk City Area II Urban Renewal Area (the “Urban Renewal Area”); and

WHEREAS, this City Council has adopted an ordinance providing for the division of taxes levied on taxable property in the Urban Renewal Area pursuant to Section 403.19 of the Code of Iowa and establishing the fund referred to in Subsection 2 of Section 403.19 of the Code of Iowa (the “Urban Renewal Tax Revenue Fund”), which fund and the portion of taxes referred to in that subsection may be irrevocably pledged by the City for the payment of the principal of and interest on indebtedness incurred under the authority of Section 403.9 of the Code of Iowa to finance or refinance in whole or in part projects in the Urban Renewal Area; and

WHEREAS, a certain development agreement (the “Agreement”) between the City and Kwik Trip, Inc. has been prepared in connection with the installation of certain traffic signals (the “Project”) at the intersection of Bridge Road and Parker Boulevard necessary for the development of a Kwik Star convenience store in the Urban Renewal Area; and

WHEREAS, under the Agreement, the City would provide annual appropriation tax increment payments to Kwik Trip, Inc. in a total amount not exceeding \$125,000; and

WHEREAS, this City Council, pursuant to Section 403.9 of the Code of Iowa, has published notice, has held a public hearing on the Agreement on May 26, 2020, and has otherwise complied with statutory requirements for the approval of the Agreement; and

WHEREAS, Chapter 15A of the Code of Iowa (“Chapter 15A”) declares that economic development is a public purpose for which a City may provide grants, loans, tax incentives, guarantees and other financial assistance to or for the benefit of private persons; and

WHEREAS, Chapter 15A requires that before public funds are used for grants, loans, tax incentives or other financial assistance, a City Council must determine that a public purpose will reasonably be accomplished by the spending or use of those funds; and

WHEREAS, Chapter 15A requires that in determining whether funds should be spent, a City Council must consider any or all of a series of factors;

NOW, THEREFORE, It Is Resolved by the City Council of the City of Polk City, Iowa, as follows:

Section 1. Pursuant to the factors listed in Chapter 15A, the City Council hereby finds that:

(a) The Project will add diversity and generate new opportunities for the Polk City and Iowa economies;

(b) The Project will generate public gains and benefits, particularly in the creation of new jobs, which are warranted in comparison to the amount of the proposed property tax incentives.

Section 2. The City Council further finds that a public purpose will reasonably be accomplished by entering into the Agreement and providing the incremental property tax payments to Kwik Trip, Inc.

Section 3. The Agreement is hereby approved and the Mayor and City Clerk are hereby authorized and directed to execute and deliver the Agreement on behalf of the City, in substantially the form and content in which the Agreement has been presented to this City Council, and such officers are also authorized to make such changes, modifications, additions or deletions as they, with the advice of bond counsel, may believe to be necessary, and to take such actions as may be necessary to carry out the provisions of the Agreement.

Section 4. All payments by the City under the Agreement shall be subject to annual appropriation by the City Council, in the manner set out in the Agreement. As provided and required by Chapter 403 of the Code of Iowa, the City's obligations under the Agreement shall be payable solely from a subfund (the "Kwik Star Subfund") which is hereby established, into which shall be paid that portion of the income and proceeds of the Urban Renewal Tax Revenue Fund attributable to property taxes derived from the property as described as follows:

Certain real property situated in the City of Polk City, Polk County, State of Iowa bearing Polk County Property Tax Parcel Identification Number 261/00305-243-004.

Section 5. The City hereby pledges to the payment of the Agreement the Kwik Star Subfund and the taxes referred to in Subsection 2 of Section 403.19 of the Code of Iowa to be paid into such Subfund, provided, however, that no payment will be made under the Agreement unless and until monies from the Kwik Star Subfund are appropriated for such purpose by the City Council.

Section 6. After the certification of indebtedness to the County Auditor of Polk County, Iowa and the continuing pledging of the Kwik Star Subfund and the portion of taxes to be paid into such Subfund and, pursuant to the direction of Section 403.19 of the Code of Iowa, the County Auditor shall allocate the taxes in accordance therewith and in accordance with the tax allocation ordinance referred to in the preamble hereof.

Section 7. All resolutions or parts thereof in conflict herewith are hereby repealed.  
Passed and approved May 26, 2020.

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Mayor

Attest:

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City Clerk

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On motion and vote the meeting adjourned.

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Mayor

Attest:

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City Clerk

STATE OF IOWA  
COUNTY OF POLK  
CITY OF POLK CITY

SS:

I, the undersigned, Clerk of the City of Polk City, hereby certify that the foregoing is a true and correct copy of the minutes of the Council of the City relating to holding a public hearing and adopting a resolution to approve a Development Agreement with Kwik Trip, Inc.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
City Clerk



May 21, 2020

**VIA EMAIL**

Chelsea Huisman  
City Manager/City Hall  
Polk City, IA

Re: Kwik Trip, Inc. Development Agreement  
File No. 511493-3

Dear Chelsea:

Attached please find the proceedings covering the City Council's public hearing on the proposed Development Agreement with Kwik Trip, Inc., followed by a resolution approving the Agreement and pledging certain incremental property tax revenues to the payment of the Agreement.

We would appreciate receiving one fully executed copy of these proceedings and of the executed Development Agreement as soon as they are available.

Please call John Danos or me with questions.

Kind regards,

Amy Bjork

Attachments

cc: Jenny Gibbons  
Lindsey Huber

## DEVELOPMENT AGREEMENT

This Development Agreement is entered into between the City of Polk City, Iowa (the “City”) and Kwik Trip, Inc. (the “Company”) as of \_\_\_\_\_, 2020 (the “Commencement Date”).

WHEREAS, the City has established the Polk City Area II Urban Renewal Area (the “Urban Renewal Area”), and has adopted a tax increment ordinance for the Urban Renewal Area; and

WHEREAS, the Company has proposed to acquire certain real property which is situated in the City, lies within the Urban Renewal Area and is more specifically described on Exhibit A hereto (the “Property”), and the Company will undertake the construction of a new convenience store on the Property (the “Development Project”); and

WHEREAS, in order to support the Development Project, the Company will undertake the installation of certain traffic signals (the “Traffic Signals Project”) at the intersection of Bridge Road and Parker Boulevard in the Urban Renewal Area; and

WHEREAS, the Company has requested that the City provide financial assistance in the form of incremental property tax payments to be used by the Company in paying the costs of constructing the Traffic Signals Project, and the City is willing to provide such financial assistance; and

WHEREAS, the base valuation of the Property for purposes of calculating Incremental Property Tax Revenues (as herein defined) under this Agreement and Section 403.19 of the Code of Iowa is \$\_\_\_\_\_ (the “Base Valuation”); and

WHEREAS, Chapter 15A of the Code of Iowa authorizes cities to provide grants, loans, guarantees, tax incentives and other financial assistance to or for the benefit of private persons;

NOW THEREFORE, the parties hereto agree as follows:

**A. Company’s Covenants**

**1. Development Project.** The Company agrees to acquire the Property, to construct the Development Project on the Property and to maintain and use the completed Development Project as part of its business operations throughout the Term, as hereinafter defined. The Company will maintain compliance with all local zoning, land use, building and safety codes and regulations in the undertaking of the Development Project. The Company agrees to complete the Project by December 31, 2021.

The Company hereby acknowledges that if it does not acquire the Property and undertake the Development Project thereon it will not be required to undertake the Traffic Signals Project, provided, however, that the Company further acknowledges that if it fails to undertake the Development Project and the Traffic Signals Project, the City will be under no obligation to make

any Payments as defined in Section B.2 of this Agreement or to otherwise reimburse the Company for any costs by incurred by the Company in planning and designing the Traffic Signals Project.

**2. Traffic Signals Project.** The Company agrees to cause the installation of the Traffic Signals Project in accordance with the timeline and specifications set forth on Exhibit B hereto. Prior to installing the Traffic Signals Project, the Company will submit copies of all engineering documents related to the proposed Traffic Signals Project to the City for review. The City may request reasonable changes in such documents, to ensure compliance with any applicable ordinances or regulations.

The City shall retain all rights to inspect the completed Traffic Signals Project for quality of work and full compliance with City Code. Nothing in this subsection shall be interpreted as limiting the City's rights to not accept the work if the Traffic Signals Project is not completed to the satisfaction of the City.

Upon completion of the Traffic Signals Project, provided that (i) such improvements are of the type ordinarily dedicated to the City; (ii) the City confirms to the Company in writing that such completed improvements meet City requirements; and (iii) the City accepts such Traffic Signals Project in accordance with State law, the Company will provide the City with either a deed or permanent easement to the improvements and related right-of-way comprising the Traffic Signals Project, which shall thereafter be maintained by the City.

**3. Traffic Signals Project Costs Documentation.** Upon completion of the Traffic Signals Project, the Company agrees to provide documentation (the "Traffic Signals Project Costs Documentation") to the City detailing the costs (the "Traffic Signals Project Costs") incurred in the completion thereof, including invoices and such other documentation as is reasonably requested by the City, confirming that such Traffic Signals Project Costs detailed in such Traffic Signals Project Costs Documentation were in fact incurred in the installation of the Traffic Signals Project and that such Traffic Signals Project Costs are of an amount reasonably to have been expected with respect to such installation. The Company will include a cover page in the form attached hereto as Exhibit C with its submittal of the Traffic Signals Project Costs Documentation.

The Traffic Signals Project Costs may include costs relating to designing and installing the Traffic Signals Project, interest expense and other costs of financing, and other reasonably related costs of carrying out the Traffic Signals Project.

**4. Property Taxes.** The Company agrees to make or ensure timely payment of all property taxes for which the Company is responsible under the laws of the State of Iowa as they come due with respect to the Property throughout the Term, as hereinafter defined, and upon request, to submit to the City a receipt or cancelled check in evidence of each such payment.

**5. Property Tax Payment Certification.** Furthermore, the Company agrees to certify to the City by no later than October 15 of each year during the Term, as hereinafter defined, commencing October 15, 2022, an amount (the "Company's Estimate") equal to the estimated Incremental Property Tax Revenues (as hereinafter defined) anticipated to be paid in the fiscal year immediately following such certification with respect to the taxable valuation of the Property. In submitting each such Company's estimate, the Company will complete and submit the



worksheet attached hereto as Exhibit D. The City reserves the right to review and request revisions to each such Company's Estimate to ensure the accuracy of the figures submitted.

For purposes of this Agreement, Incremental Property Tax Revenues are calculated by: (1) determining the consolidated property tax levy (city, county, school, etc.) then in effect with respect to taxation of the Property; (2) subtracting (a) the debt service levies of all taxing jurisdictions, (b) the school district instructional support and physical plant and equipment levies and (c) any other levies which may be exempted from such calculation by action of the Iowa General Assembly; (3) multiplying the resulting modified consolidated levy rate times any incremental growth in the taxable valuation of the Property, as shown on the property tax rolls of Polk County, above and beyond the Base Valuation; and (4) deducting any property tax credits which shall be available with respect to the Property.

Upon request, the City staff shall provide reasonable assistance to the Company in completing the worksheet required under this Section A.5.

## **6. Default Provisions.**

**A. Events of Default.** The following shall be "Events of Default" under this Agreement, and the term "Event of Default" shall mean, whenever it is used in this Agreement (unless otherwise provided), any one or more of the following events:

- (1) Failure by the Company to undertake the Development Project pursuant to the terms and conditions of this Agreement.
- (2) Failure by the Company to complete installation of the Traffic Signals Project pursuant to the terms and conditions of this Agreement.
- (3) Failure by the Company to fully and timely remit payment of property taxes when due and owing.
- (4) Failure by the Company to observe or perform any material covenant on its part, to be observed or performed hereunder.

**B. Notice and Remedies.** Whenever any Event of Default described in this Agreement occurs, the City shall provide written notice to the Company describing the cause of the default and the steps that must be taken by the Company in order to cure the default. The Company shall have thirty (30) days after receipt of the notice to cure the default or to provide assurances satisfactory to City that the default will be cured as soon as reasonably possible. If the Company fails to cure the default or provide assurances, City shall then have the right to:

- (1) Pursue any action available to it, at law or in equity, in order to enforce the terms of this Agreement;
- (2) Withhold the Payments under Section B.2 of this Agreement.

## **B. City's Obligations**

**1. Review of Traffic Signals Project Costs Documentation.** The City public works and engineering personnel will review the Traffic Signals Project Costs Documentation upon receipt from the Company. If the City determines the costs set forth in the Traffic Signals Project Costs Documentation are costs reasonably incurred in the construction of the Traffic Signals Project, the City shall record a summary of the date, amount and nature of the costs on the Summary of Accepted Traffic Signals Project Costs attached hereto as Exhibit E, and such summary shall be the official record of the Traffic Signals Project Costs for purposes of tallying the Maximum Payment Total, as defined in Section B.2 of this Agreement.

If the City determines the Traffic Signals Project Costs set forth in the Traffic Signals Project Costs Documentation are not costs reasonably incurred in the construction of the Traffic Signals Project, the City shall notify the Company of such determination within fifteen (15) days of such determination in order to allow an opportunity for the Company to cure the noted deficiencies.

**2. Payments.** In recognition of the Company's obligations set out above, the City agrees to make three (3) economic development tax increment payments (the "Payments" and individually, each a "Payment") to the Company, pursuant to Chapters 15A and 403 of the Code of Iowa, provided however that the aggregate amount of the Payments (the "Maximum Payment Total") shall not exceed the lesser of (i) the Accepted Traffic Signals Project Costs, or (ii) \$125,000. The Payments shall be subject to annual appropriation by the City Council, as provided hereunder.

The Payments shall not constitute general obligations of the City, but shall be made solely and only from Incremental Property Tax Revenues received by the City from the Polk County Treasurer attributable to the taxable valuation of the Property.

Each Payment shall not exceed an amount which represents the Incremental Property Tax Revenues available to the City with respect to the Property during the twelve (12) months immediately preceding each Payment date.

Prior to funding any Payments under this Agreement, the City will first withhold from the Incremental Property Tax Revenues an amount equal to the Admin Withholding Amount. Once an amount equal to the Admin Withholding Amount has been withheld by the City, the Payments shall be made as hereinafter set forth.

This Agreement assumes that the taxable value of the Project will go on the property tax rolls as of January 1, 2022. Accordingly, Payments will be made on June 1 of each fiscal year, beginning June 1, 2024, and continuing through and including June 1, 2026, or until such earlier date upon which total Payments equal to the Maximum Payment Total have been made.

**2. Annual Appropriation.** Each Payment shall be subject to annual appropriation by the City Council. Prior to December 1 of each year during the Term, as hereinafter defined, of this Agreement, beginning in the 2022 calendar year, the City Council of the City shall consider the question of obligating for appropriation to the funding of the Payment due in the following fiscal year, an amount (the "Appropriated Amount") of Incremental Property

Tax Revenues to be collected in the following fiscal year equal to or less than the most recently submitted Company's Estimate.

In any given fiscal year, if the City Council determines to not obligate the then-considered Appropriated Amount, then the City will be under no obligation to fund the Payment scheduled to become due in the following fiscal year, and the Company will have no rights whatsoever to compel the City to make such Payment or to seek damages relative thereto or to compel the funding of such Payments in future fiscal years. A determination by the City Council to not obligate funds for any particular fiscal year's Payment shall not render this Agreement null and void, and the Company shall make the next succeeding submission of the Company's Estimate as called for in Section A.5 above, provided however that no Payment shall be made after June 1, 2026.

**4. Payment Amount.** Each Payment shall be in an amount equal to the corresponding Appropriated Amount (for example, for the Payment due on June 1, 2024, the amount of such Payment would be determined by the Appropriated Amount determined for certification by December 1, 2022), provided, however, that each Payment shall not exceed the amount of Incremental Property Tax Revenues (excluding allocations of "back-fill" or "make-up" payments from the State of Iowa for property tax credits or roll-back) received by the City from the Polk County Treasurer attributable to the taxable valuation of the Property.

**5. Certification of Payment Obligation.** In any given fiscal year, if the City Council determines to obligate the then-considered Appropriated Amount, as set forth in Section B.3 above, then the City Clerk will certify by December 1 of each such year to the Polk County Auditor an amount equal to the most recently obligated Appropriated Amount.

**C. Administrative Provisions**

**1. Amendment and Assignment.** Neither party may cause this Agreement to be amended, assigned, assumed, sold or otherwise transferred without the prior written consent of the other party. However, the City hereby gives its permission that the Company's rights to receive the Payments hereunder may be assigned by the Company to a private lender, as security on a credit facility taken with respect to the Development Project and/or the Traffic Signals Project, without further action on the part of the City.

**2. Successors.** This Agreement shall inure to the benefit of and be binding upon the successors and assigns of the parties.

**3. Term.** The term (the "Term") of this Agreement shall commence on the Commencement Date and end on June 1, 2026.

**4. Choice of Law.** This Agreement shall be deemed to be a contract made under the laws of the State of Iowa and for all purposes shall be governed by and construed in accordance with laws of the State of Iowa.

The City and the Company have caused this Agreement to be signed, in their names and on their behalf by their duly authorized officers, all as of the day and date written above.

CITY OF POLK CITY, IOWA

By: \_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

KWIK TRIP, INC.

By: \_\_\_\_\_  
Title: \_\_\_\_\_

**EXHIBIT A**  
**LEGAL DESCRIPTION OF THE PROPERTY**

Certain real property situated in the City of Polk City, Polk County, State of Iowa bearing Polk County Property Tax Parcel Identification Number 261/00305-243-004.

**EXHIBIT B**  
**TIMELINE AND SPECIFICATIONS OF TRAFFIC SIGNALS PROJECT**

**EXHIBIT C**  
**FORM OF COVER PAGE FOR TRAFFIC SIGNALS PROJECT COSTS  
DOCUMENTATION**

Date submitted: \_\_\_\_\_

Submitted by: \_\_\_\_\_

Contact information: \_\_\_\_\_

Index of Invoices/Statements Attached to substantive request:

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I, the undersigned hereby certify that the costs shown on the documents referred in the index above are legitimate costs reasonably incurred in the undertaking of the Traffic Signals Project.

KWIK TRIP, INC.

By: \_\_\_\_\_

Title: \_\_\_\_\_

Reviewed and accepted by the City of Polk City, Iowa this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By: \_\_\_\_\_  
City Manager

**EXHIBIT D**  
**COMPANY'S ESTIMATE WORKSHEET**

- (1) Date of Preparation: October \_\_\_\_\_, 20\_\_\_\_.
- (2) Assessed Valuation of Property as of January 1, 20\_\_\_\_:  
\$\_\_\_\_\_.
- (3) Base Taxable Valuation of Property:  
\$\_\_\_\_\_.
- (4) Incremental Taxable Valuation of Property (2 minus 3):  
\$\_\_\_\_\_ (the "TIF Value").
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):  
\$\_\_\_\_\_ per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).  
\$\_\_\_\_\_ x \$\_\_\_\_\_/1000 = \$\_\_\_\_\_ (the "Company's Estimate")







## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager

**Subject:** Public hearing regarding the Rock Creek Sanitary Sewer project

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**BACKGROUND:** On Tuesday, the City Council will have a public hearing for the WRA agreement between the City of Polk City, Polk County, and the City of Ankeny regarding the Rock Creek Interceptor sewer line. This agreement is a result of the 2007 sanitary sewer connection project, and the City needs to finalize ownership proceedings with the WRA. The WRA is requesting to take ownership through quit claim deed, which will need to be approved by resolution after the public hearing.

**ALTERNATIVES:** Do not approve the agreement.

**FINANCIAL CONSIDERATIONS:** There are no financial considerations if the Council approves the agreement, however, if the Council does not approve the agreement we could have some liability regarding ownership of the sewer line.

**RECOMMENDATION:** It is my recommendation that the Council approve the agreement.

**RESOLUTION 2020-56**  
**RESOLUTION AUTHORIZING ASSIGNMENT AND CONVEYANCE OF**  
**IMPROVMENTS, PROPERTY AND PERMANENT EASEMENTS**  
**TO THE DES MOINES METROPOLITAN**  
**WASTEWATER RECLAMATION AUTHORITY**

**WHEREAS**, Polk County, Polk City and Ankeny entered into a Joint Public Service Agreement pursuant to the provisions of Chapter 28E of the Iowa Code which was recorded with the Secretary of State on May 24, 2007 and in the Office of the Polk County Recorder on May 16, 2007 in Book 12195, Pages 695-717 (hereinafter the "Joint Service Agreement"); and

**WHEREAS**, that agreement between Polk County, Polk City and Ankeny was to establish the terms and conditions between the County and the Cities for a joint project to finance, design, acquire land, and construct a sewer to serve areas in Polk County, Polk City and Ankeny, which for purposes of WRA nomenclature, is referred to as the Rock Creek Interceptor Sewer, Phase 26, Segment 1-5; and

**WHEREAS**, the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 was not included in the program of capital improvements in the WRA Agreement and was not contemplated by the WRA Communities or the WRA Agreement as an improvement for which the WRA would be responsible for; and

**WHEREAS**, Polk County, Polk City and Ankeny have requested that the WRA take ownership of the Rock Creek Interceptor Sewer and in return the WRA has requested compensation for taking over the Rock Creek Interceptor Sewer; and

**WHEREAS**, the financial considerations for the WRA to accept the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 is set forth in the Second Amended and Restated Agreement for the Des Moines Metropolitan Wastewater Reclamation Authority; and

**WHEREAS**, Polk City and the WRA entered into a 28E Agreement for the Conveyance of Property Interests and Improvements and for the Grant of a Permanent Easement for the Operational Control and Maintenance of Equalization Basins, Pump Station, and Control Facilities filed on February 19, 2015, in the Office of the Iowa Secretary of State; and

**WHEREAS**, Polk City is now required to undertake the statutory process for assignment and conveyance of the Project Improvements and of the Project Properties to the WRA; and

**WHEREAS**, on \_\_\_\_\_, by Resolution No. \_\_\_\_\_, it was duly resolved by this City Council that the proposed conveyance to the WRA by quit claim deed and assignment of easement of all of the City of Polk City' right, title and interest, including the Project Improvements, in and to:

A part of Lot 9 of the Official Plat of the South *Yi* of the Southeast Y4 except 7 Acres in the Northeast comer of the same, and the Southeast Y4 of the Southwest Y4 of Section 6; Township 80 North, Range 24 West, also the West *Yz* of the Northeast

Y4, and the North fractional Yz of the Northwest Y4 of Section 7, Township 80 North, Range 24 West of the 5th P.M., in the City of Polk City, Polk County, Iowa and described as follows:

Commencing at the Northwest corner of Lot "A", Red Cedar Prairie, being an Official Plat; thence South 89°45'14" West along the South Right-of-way line of NW 110<sup>l</sup> Avenue, 58.18 feet; thence North 87°50'07" West continuing along said South Right-of-way line, 165.13 feet to the point of beginning; thence South 2°33'36" West, 239.77 feet; thence North 71°46'13" West, 107.92 feet to the East Right-of-way line of NW 55th Street; thence North 21°51'12" West along said East Right-of-way line, 229.80 feet to said South Right-of-way line of NW 110th Avenue; thence South 87°50'07" East along said South Right-of-way line, 198.89 feet to the point of beginning and containing 0.77 acres (33,331 S.F.).

Polk City reserves an easement for sanitary sewer legal described as follows:

A PART OF THE ACQUISITION PLAT AS RECORDED IN BOOK 14259, PAGE 411 OF THE POLK COUNTY RECORDER'S OFFICE, AND BEING A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 80 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE NORTHEAST 1/4, AND THE NORTH FRACTIONAL 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RED CEDAR PRAIRIE PLAT 1, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE, 58.18 FEET; THENCE NORTH 87°50'07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, 165.13 FEET TO THE NORTHEAST CORNER OF SAID ACQUISITION PLAT AND TO THE POINT OF BEGINNING; THENCE SOUTH 02°33'36" WEST ALONG THE EAST LINE OF SAID ACQUISITION PLAT, 30.00 FEET; THENCE NORTH 87°50'07" WEST, 163.37 FEET; THENCE SOUTH 21°55'16" EAST, 205.10 FEET TO THE SOUTH LINE OF SAID ACQUISITION PLAT; THENCE NORTH 71°46'13" WEST ALONG SAID SOUTH LINE, 26.52 FEET TO THE SOUTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE NORTH 21°51'12" WEST ALONG THE WEST LINE OF SAID ACQUISITION PLAT, 229.80 FEET TO THE NORTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°50'07" EAST ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 198.89 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.23 ACRES (9,816 S.F.).

Polk City reserves an easement for street right-of-way legally described as follows:

A PART OF THE ACQUISITION PLAT AS RECORDED IN BOOK 14259, PAGE 411 OF THE POLK COUNTY RECORDER'S OFFICE, AND BEING A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 80 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE NORTHEAST 1/4, AND THE NORTH FRACTIONAL 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RED CEDAR PRAIRIE PLAT 1, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE, 58.18 FEET; THENCE NORTH 87°50'07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 334.02 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 35°09'20" WEST, 32.67 FEET TO THE WEST LINE OF SAID ACQUISITION PLAT; THENCE NORTH 21°51'12" WEST ALONG SAID WEST LINE, 30.00 FEET TO THE NORTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°50'07" EAST. ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 30.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.01 ACRES (411 S.F.).

That the proposed conveyance of all right, title and interest to the Permanent Slope Easement acquired by Polk County as part of the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 and recorded in Book 13829, Pages 965-969 of the Polk County Recorder's Office and conveyed to Polk City by Polk County as recorded in Book 14880, Pages 869-870 of the Polk County Recorder's Office and attached hereto as Exhibit 2.

That the proposed conveyance to the WRA by Permanent Easement for Operational Control and Maintenance Responsibilities of Equalization Basins, Pump Station and Control Facilities on property legally described as follows:

Commencing at a point on the West line of the SE *Y4* of Section I-Township 80-Range 25, West of the 5th P.M., at the Southerly Right-of-way line of Iowa Highway #415; thence South to the Northwest corner of the SW *Y4* of the SE *Y4* of said Section 1, thence East 134 feet, thence S 44 1/2°, East 309 feet, thence S 79°, East 360 feet, thence N 4°, East 969 feet to the Southerly right-of-way line of said Highway #415, thence Northwesterly along the said Southerly right-of-way line to the point of beginning, containing 19.67 acres more or less.

AND

A PART OF THE NORTH 1/2 OF SECTION 7, TOWNSHIP 80 NORTH, RANCE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAD SECTION 7; THENCE SOUTH 00°07'24" WEST ALONG THE EAST LINE OF SAID SECTION 7, A DISTANCE OF 16.58 FEET; THENCE SOUTH 88°17'02" WEST, 524.61 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 1085.00 FEET, WHOSE ARC LENGTH IS 451.15 FEET AND WHOSE CHORD BEARS SOUTH 76°22'19" WEST, 447.91 FEET; THENCE SOUTH 64°27'35" WEST, 245.65 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 1015.00 FEET, WHOSE ARC LENGTH IS 426.30 FEET AND WHOSE CHORD BEARS SOUTH 76°29'31" WEST, 423.17 FEET; THENCE SOUTH 88°31'26" WEST, 964.31 FEET; THENCE SOUTH 89°31'44" WEST, 594.32 FEET; THENCE SOUTH 88°38'53" WEST, 532.99 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2015.00 FEET, WHOSE ARC LENGTH 270.46 FEET AND WHOSE CHORD BEARS NORTH 87°30'24" WEST, 270.26 FEET; THENCE NORTH 83°51'31" WEST, 228.03 FEET; THENCE SOUTH 49°20'21" WEST, 16.99 FEET; THENCE SOUTH 02°20'21" WEST, 20.87 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE; THENCE NORTH 87°50'07" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 30.00 FEET; THENCE NORTH 02°20'21" EAST, 34.01 FEET; THENCE NORTH 49°20'21" EAST, 23.83 FEET TO THE CENTERLINE OF NW 110TH AVENUE; THENCE SOUTH 83°37'25" EAST ALONG SAID CENTERLINE, 252.88 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2000.00 FEET, WHOSE ARC LENGTH IS 268.74 FEET AND WHOSE CHORD BEARS SOUTH 87°28'22" EAST, 268.53 FEET; THENCE NORTH 88°40'40" EAST CONTINUING ALONG SAID CENTERLINE, 535.67 FEET; THENCE NORTH 89°27'28" EAST CONTINUING ALONG SAID CENTERLINE, 571.72 FEET; THENCE NORTH 88°34'30" EAST CONTINUING ALONG SAID CENTERLINE, 983.90 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1000.00 FEET, WHOSE ARC LENGTH IS 418.54 FEET AND WHOSE CHORD BEARS NORTH 76°35'05" EAST, 415.49 FEET; THENCE NORTH 64°35'40" EAST CONTINUING ALONG SAID CENTERLINE, 251.03 FEET; THENCE NORTHEASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1100.00 FEET, WHOSE ARC LENGTH IS 450.62 FEET AND WHOSE CHORD BEARS NORTH 76°19'49" EAST, 447.48 FEET; THENCE NORTH 88°03'58" EAST CONTINUING ALONG SAID CENTERLINE, 529.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.51 ACRES (65,621 S.F.).

AND

A part of the North  $Yz$  of Section 7, Township 80 North, Range 24 West of the 5th P.M., now included in and forming a part of Polk City, Polk County, Iowa and described as follows:

Commencing at the Southwest corner of an Acquisition Plat recorded in Book 14259, Page **411** of the office of the Polk County Recorder; thence North  $21^{\circ}5'12''$  West along the East Right-of-Way line of NW 55th Street, 22.44 feet to the point of beginning; thence South  $68^{\circ}07'54''$  West, 47.66 feet; thence North  $89^{\circ}22'06''$  West, 46.55 feet to the West Right-of-Way line of NW 55th Street, thence Northwesterly along said West Right-of-Way line and along a curve concave Southwesterly whose radius is 410.51 feet whose arc length is 33.70 feet and whose chord bears North  $26^{\circ}26'42''$  West, 33.69 feet; thence South  $89^{\circ}22'06''$  East, 55.92 feet; thence North  $68^{\circ}07'54''$  East, 41.70 feet to the East Right-of-Way line of NW 55th Street; thence South  $21^{\circ}51'12''$  East along said East Right-of-Way line, 30.00 feet to the point of beginning.

including the equipment described as:

- A. Pump Station
- B. Generator
- C. Electrical Control Building
- D. Force mains and lines to Equalization Basin
- E. Equalization Basins, intake structures and manholes
- F. Outlet Lines from Equalization Basins
- G. Flow Meter Manholes
- H. Electrical lines and control lines necessary for operation of pump station, equalization basins, flow meters, generator and intake structures
- I. All appurtenances necessary and directly related to items (A) through (H) and the use of the above equipment as a conveyance, holding and diversion of wastewater.

That the proposed conveyance to the WRA by permanent easement for existing sanitary sewer facilities and quit claim of interest in existing sanitary sewer facilities of all right, title and interest or to:

existing sanitary sewer and related facilities constructed within the public right-of-way of NW 110th Avenue or South 14th Street for the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 described in Exhibit PE-3

be set down for hearing on at 6 p.m., via ZOOM at the City Council Chambers, City Hall, 112 3rd Street, Polk City, Iowa, Public Meeting participation is via phone only, Call in local 515-329-8019 Participant Code 593054; and

**WHEREAS**, due notice of said proposal to convey said facilities and property interests was given as provided by law, setting forth the time and place for hearing on said proposal; and

**WHEREAS**, in accordance with City Council direction, those interested in this proposed conveyance, both for and against, have been given an opportunity to be heard with respect thereto and have presented their views to the City Council.

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Polk City, Iowa:

1. Upon due consideration of the facts and the statements of interested persons, if any, all objections to the proposed conveyance of said property interests are hereby overruled and the hearing is closed.
2. That the assignment conveyance to the WRA by quit claim deed and assignment of easement of all of Polk City' right, title and interest in and to:

A part of Lot 9 of the Official Plat of the South *Yz* of the Southeast *Yi* except 7 Acres in the Northeast comer of the same, and the Southeast *Yi* of the Southwest *Yi* of Section 6, Township 80 North, Range 24 West, also the West *Yz* of the Northeast *Yi*, and the North fractional *Yz* of the Northwest *Yi* of Section 7, Township 80 North, Range 24 West of the 5th P.M., in the City of Polk City, Polk County, Iowa and described as follows:

Commencing at the Northwest comer of Lot "A", Red Cedar Prairie, being an Official Plat; thence South 89°45'14" West along the South Right-of-way line of NW 110th Avenue, 58.18 feet; thence North 87°50'07" West continuing along said South Right-of-way line, 165.13 feet to the point of beginning; thence South 2°33'36" West, 239.77 feet; thence North 71°46'13" West, 107.92 feet to the East Right-of-way line of NW 55th Street; thence North 21°51'12" West along said East Right-of-way line, 229.80 feet to said South Right-of-way line of NW 110th Avenue; thence South 87°50'07" East along said South Right-of-way line, 198.89 feet to the point of beginning and containing 0.77 acres (33,331 S.F.).

Subject to Polk City's reservation of an easement for sanitary sewer legally described as follows:

A PART OF THE ACQUISITION PLAT AS RECORDED IN BOOK 14259, PAGE 411 OF THE POLK COUNTY RECORDER'S OFFICE, AND BEING A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 80 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE NORTHEAST 1/4, AND THE NORTH FRACTIONAL 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RED CEDAR PRAIRIE PLAT 1, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE, 58.18 FEET; THENCE NORTH 87°50'07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, 165.13 FEET TO THE NORTHEAST CORNER OF SAID ACQUISITION PLAT AND TO THE POINT OF



BEGINNING; THENCE SOUTH 02°33'36" WEST ALONG THE EAST LINE OF SAID ACQUISITION PLAT, 30.00 FEET; THENCE NORTH 87°50'07" WEST, 163.37 FEET; THENCE SOUTH 21°55'16" EAST, 205.10 FEET TO THE SOUTH LINE OF SAID ACQUISITION PLAT; THENCE NORTH 71°46'13" WEST ALONG SAID SOUTH LINE, 26.52 FEET TO THE SOUTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE NORTH 21°51'12" WEST ALONG THE WEST LINE OF SAID ACQUISITION PLAT, 229.80 FEET TO THE NORTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°50'07" EAST ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 198.89 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.23 ACRES (9,816 S.F.).

Subject to Polk City's reservation of an easement for street right-of-way legally described as follows:

A PART OF THE ACQUISITION PLAT AS RECORDED IN BOOK 14259, PAGE 411 OF THE POLK COUNTY RECORDER'S OFFICE, AND BEING A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 80 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE NORTHEAST 1/4, AND THE NORTH FRACTIONAL 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RED CEDAR PRAIRIE PLAT 1, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE, 58.18 FEET; THENCE NORTH 87°50'07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 334.02 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 35°09'20" WEST, 32.67 FEET TO THE WEST LINE OF SAID ACQUISITION PLAT; THENCE NORTH 21°51'12" WEST ALONG SAID WEST LINE, 30.00 FEET TO THE NORTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°50'07" EAST ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 30.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.01 ACRES (411 S.F.).

And the assignment to the WRA of all right, title and interest to the Permanent Slope Easement acquired by Polk County as part of the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 and recorded in Book 13829, Pages 965-969 of the Polk County Recorder's Office and conveyed to Polk City by Polk County as recorded in Book 14880, Pages 869-870 of the Polk County Recorder's Office

**be and is hereby approved.**

3. That the conveyance to the WRA by Permanent Easement for Equalization Basins, Pump Station and Control Facilities on property legally described as follows:

Commencing at a point on the West line of the SE *Y*4 of Section I-Township 80-Range 25, West of the 5th P.M., at the Southerly Right-of-way line of Iowa Highway #415; thence South to the Northwest corner of the SW *Y*4 of the SE *Y*4 of said Section 1, thence East 134 feet, thence S 44 1/2°, East 309 feet, thence S 79°, East 360 feet, thence N 4°, East 969 feet to the Southerly right-of-way line of said Highway #415, thence Northwesterly along the said Southerly right-of-way line to the point of beginning, containing 19.67 acres more or less.

AND

A PART OF THE NORTH 1/2 OF SECTION 7, TOWNSHIP 80 NORTH, RANCE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAD SECTION 7; THENCE SOUTH 00°07'24" WEST ALONG THE EAST LINE OF SAID SECTION 7, A DISTANCE OF 16.58 FEET; THENCE SOUTH 88°17'02" WEST, 524.61 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 1085.00 FEET, WHOSE ARC LENGTH IS 451.15 FEET AND WHOSE CHORD BEARS SOUTH 76°22'19" WEST, 447.91 FEET; THENCE SOUTH 64°27'35" WEST, 245.65 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 1015.00 FEET, WHOSE ARC LENGTH IS 426.30 FEET AND WHOSE CHORD BEARS SOUTH 76°29'3 1" WEST, 423.17 FEET; THENCE SOUTH 88°31'26" WEST, 964.31 FEET; THENCE SOUTH 89°31'44" WEST, 594.32 FEET; THENCE SOUTH 88°38'53" WEST, 532.99 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2015.00 FEET, WHOSE ARC LENGTH 270.46 FEET AND WHOSE CHORD BEARS NORTH 87°30'24" WEST, 270.26 FEET; THENCE NORTH 83°51'31" WEST, 228.03 FEET; THENCE SOUTH 49°20'21" WEST, 16.99 FEET; THENCE SOUTH 02°20'21" WEST, 20.87 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE; THENCE NORTH 87°50'07" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 30.00 FEET; THENCE NORTH 02°20'21" EAST, 34.01 FEET; THENCE NORTH 49°20'21" EAST, 23.83 FEET TO THE CENTERLINE OF NW 110TH AVENUE; THENCE SOUTH 83°37'25" EAST ALONG SAID CENTERLINE, 252.88 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2000.00 FEET, WHOSE ARC LENGTH IS 268.74 FEET AND WHOSE CHORD BEARS SOUTH 87°28'22" EAST, 268.53 FEET; THENCE NORTH 88°40'40" EAST CONTINUING ALONG SAID CENTERLINE, 535.67 FEET; THENCE NORTH 89°27'28" EAST CONTINUING ALONG SAID CENTERLINE, 571.72 FEET; THENCE NORTH 88°34'30" EAST CONTINUINC ALONG SAID CENTERLINE, 983.90 FEET; THENCE EASTERLY CONTINUINC ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1000.00 FEET, WHOSE

ARC LENGTH IS 418.54 FEET AND WHOSE CHORD BEARS NORTH 76°35'05" EAST, 415.49 FEET; THENCE NORTH 64°35'40" EAST CONTINUING ALONG SAID CENTERLINE, 251.03 FEET; THENCE NORTHEASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1100.00 FEET, WHOSE ARC LENGTH IS 450.62 FEET AND WHOSE CHORD BEARS NORTH 76°19'49" EAST, 447.48 FEET; THENCE NORTH 88°03'58" EAST CONTINUING ALONG SAID CENTERLINE, 529.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.51 ACRES (65,621 S.F.).

AND

A part of the North  $\frac{1}{2}$  of Section 7, Township 80 North, Range 24 West of the 5th P.M., now included in and forming a part of Polk City, Polk County, Iowa and described as follows:

Commencing at the Southwest corner of an Acquisition Plat recorded in Book 14259, Page 411 of the office of the Polk County Recorder; thence North 21°51'12" West along the East Right-of-Way line of NW 55th Street, 22.44 feet to the point of beginning; thence South 68°07'54" West, 47.66 feet; thence North 89°22'06" West, 46.55 feet to the West Right-of-Way line of NW 55th Street, thence Northwesterly along said West Right-of-Way line and along a curve concave Southwesterly whose radius is 410.51 feet whose arc length is 33.70 feet and whose chord bears North 26°26'42" West, 33.69 feet; thence South 89°22'06" East, 55.92 feet; thence North 68°07'54" East, 41.70 feet to the East Right-of-Way line of NW 55th Street; thence South 21°51'12" East along said East Right-of-Way line, 30.00 feet to the point of beginning.

and the equipment described as:

- A. Pump Station
- B. Generator
- C. Electrical Control Building
- D. Force mains and lines to Equalization Basin
- E. Equalization Basins, intake structures and manholes
- F. Outlet Lines from Equalization Basins
- G. Flow Meter Manholes
- H. Electrical lines and control lines necessary for operation of pump station, equalization basins, flow meters, generator and intake structures
- I. All appurtenances necessary and directly related to items (A) through (H) and the use of the above equipment as a conveyance, holding and diversion of wastewater.

**be and is hereby approved.**

4. That the conveyance to the WRA by permanent easement for existing sanitary sewer facilities and quit claim of interest in existing sanitary sewer facilities of all of Polk City's right, title and interest in and to:

- (a) existing sanitary sewer and related facilities constructed within the public right-of-way of NW 110th Avenue and south 14th Street for the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 Project

be and is hereby approved.

5. The Mayor and City Clerk are hereby authorized and directed to execute and attest, respectively, the quit claim deeds, assignments, and permanent easements for the conveyances identified above.

6. The City Clerk is authorized and directed to forward the original of said quit claim deeds, assignments, and permanent easements, together with a certified copy of this resolution and of the affidavit of publication of the notice of this hearing, to the WRA Director for the purpose of recording said documents when the WRA is ready to accept the property interests and improvements.

Moved by \_\_\_\_\_ to adopt.

Prepared by: Kathleen Vanderpool, City Legal Department, 400 Robert D. Ray Drive, Des Moines, IA (515) 283-4945

Return to: Kathleen Vanderpool, City of Des Moines, 400 Robert D. Ray Drive, Des Moines, IA 50309-1891

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Project: Rock Creek Interceptor Sewer, Phase 26, Segments 1-5

## **PERMANENT EASEMENT**

The City of Polk City, Iowa a municipal corporation, (hereinafter referred to as the "Grantor" or "City"), in consideration of \$1.00 and other good and valuable consideration in hand paid by the Des Moines Wastewater Reclamation Authority (hereinafter referred to as the "WRA") and in accordance with the Chapter 28E Agreement between Polk City, Iowa and the Des Moines Metropolitan Wastewater Reclamation Authority for the Conveyance of Property Interests and Improvements and for the Grant of Permanent Easement for Operational Control and Maintenance Responsibilities of the Equalization Basins, Pump Station and Control Facilities in Polk City does hereby convey unto the Des Moines Metropolitan Wastewater Reclamation Authority, a political subdivision organized and existing under Chapters 28E and 28F of the Iowa Code, a Permanent Easement under, over, through and across property described as:

Commencing at a point on the West line of the SE  $Y_4$  of Section I-Township 80-Range 25, West of the 5th P.M., at the Southerly Right-of-way line of Iowa Highway #415; thence South to the Northwest corner of the SW  $V_i$  of the SE  $V_i$  of said Section 1, thence East 134 feet, thence S  $44\ 1/2^\circ$ , East 309 feet, thence S  $79^\circ$ , East 360 feet, thence N  $4^\circ$ , East 969 feet to the Southerly right-of-way line of said Highway #415, thence Northwesterly along the said Southerly right-of-way line to the point of beginning, containing 19.67 acres more or less

AND

A PART OF THE NORTH  $1/2$  OF SECTION 7, TOWNSHIP 80 NORTH, RANCE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAD SECTION 7; THENCE SOUTH  $00^\circ 07' 24''$  WEST ALONG THE EAST LINE OF SAID SECTION 7, A DISTANCE OF 16.58 FEET; THENCE SOUTH  $88^\circ 17' 02''$  WEST, 524.61 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS **IS** 1085.00 FEET, WHOSE ARC LENGTH **IS** 451.15 FEET AND WHOSE CHORD BEARS SOUTH  $76^\circ 22' 19''$  WEST, 447.91 FEET; THENCE SOUTH  $64^\circ 27' 35''$  WEST, 245.65 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS **IS** 1015.00 FEET, WHOSE ARC LENGTH **IS** 426.30 FEET AND WHOSE CHORD BEARS SOUTH  $76^\circ 29' 31''$  WEST, 423.17 FEET; THENCE SOUTH  $88^\circ 31' 26''$  WEST, 964.31 FEET; THENCE

SOUTH 89°31'44" WEST, 594.32 FEET; THENCE SOUTH 88°38'53" WEST, 532.99 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2015.00 FEET, WHOSE ARC LENGTH 270.46 FEET AND WHOSE CHORD BEARS NORTH 87°30'24" WEST, 270.26 FEET; THENCE NORTH 83°51'31" WEST, 228.03 FEET; THENCE SOUTH 49°20'21" WEST, 16.99 FEET; THENCE SOUTH 02°20'21" WEST, 20.87 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE; THENCE NORTH 87°50'07" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 30.00 FEET; THENCE NORTH 02°20'21" EAST, 34.01 FEET; THENCE NORTH 49°20'21" EAST, 23.83 FEET TO THE CENTERLINE OF NW 110TH AVENUE; THENCE SOUTH 83°37'25" EAST ALONG SAID CENTERLINE, 252.88 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2000.00 FEET, WHOSE ARC LENGTH IS 268.74 FEET AND WHOSE CHORD BEARS SOUTH 87°28'22" EAST, 268.53 FEET; THENCE NORTH 88°40'40" EAST CONTINUING ALONG SAID CENTERLINE, 535.67 FEET; THENCE NORTH 89°27'28" EAST CONTINUING ALONG SAID CENTERLINE, 571.72 FEET; THENCE NORTH 88°34'30" EAST CONTINUING ALONG SAID CENTERLINE, 983.90 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1000.00 FEET, WHOSE ARC LENGTH IS 418.54 FEET AND WHOSE CHORD BEARS NORTH 76°35'05" EAST, 415.49 FEET; THENCE NORTH 64°35'40" EAST CONTINUING ALONG SAID CENTERLINE, 251.03 FEET; THENCE NORTHEASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1100.00 FEET, WHOSE ARC LENGTH IS 450.62 FEET AND WHOSE CHORD BEARS NORTH 76°19'49" EAST, 447.48 FEET; THENCE NORTH 88°03'58" EAST CONTINUING ALONG SAID CENTERLINE, 529.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.51 ACRES (65,621 S.F.).

AND

Apart of the North  $\frac{1}{2}$  of Section 7, Township 80North, Range 24 West of the 5th P.M., now included in and forming a part of Polk City, Polk County, Iowa and described as follows:

Commencing at the Southwest corner of an Acquisition Plat recorded in Book 14259, Page 411 of the office of the Polk County Recorder; thence North 21°51'12" West along the East Right-of-Way line of NW 55th Street, 22.44 feet to the point of beginning; thence South 68°07'54" West, 47.66 feet; thence North 89°22'06" West, 46.55 feet to the West Right-of-Way line of NW 55th Street, thence Northwesterly along said West Right-of-Way line and along a curve concave Southwesterly whose radius is 410.51 feet whose arc length is 33.70 feet and whose chord bears North 26°26'42" West, 33.69 feet; thence South 89°22'06" East, 55.92 feet; thence North 68°07'54" East, 41.70 feet to the East Right-of-Way line of NW 55th Street; thence South 21°51'12" East along said East Right-of-Way line, 30.00 feet to the point of beginning.

for the purpose of the construction, reconstruction, repair, maintenance and operation of equalization basins, pump station and related equipment, the conveyance, holding and diversion of wastewater and the right to access to operate, maintain, repair, construct, reconstruct and enlarge the structures, facilities and related appurtenances listed as:

- A. Pump Station
- B. Generator
- C. Electrical Control Building
- D. Force mains and lines to Equalization Basin
- E. Equalization Basins, intake structures and manholes
- F. Outlet Lines from Equalization Basins
- G. Flow Meter Manholes
- H. Electrical lines and control lines necessary for operation of pump station, equalization basins, flow meters, generator and intake structures
- I. All appurtenances necessary and directly related to items (A) through (H) and the use of the above equipment as a conveyance, holding and diversion of wastewater.

all as further identified on Exhibit "PE-1"

This Easement shall be subject to the following terms and conditions:

1. **ERECTION OF STRUCTURES PROHIBITED.** Grantor shall not erect any structure over or within the Easement Area without obtaining the prior written approval of the WRA.
2. **OBSTRUCTIONS PROHIBITED.** Grantor shall not erect or cause to be placed on the Easement Area any structure, plantings, material, device, thing or matter which could possibly obstruct or impede the access to or through the Easement Area.
3. **CHANGE OF GRADE PROHIBITED.** Grantor shall not change the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of the WRA.
4. **RIGHT OF ACCESS.** The WRA, its agents, contractors, employees and assigns shall have the right of access to the Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the Easement Area as herein described, including, but not limited to, the right to remove any unauthorized plantings or structures placed or erected on the Easement Area. This right of access shall begin on the date that City executes this document.
5. **BLOWER BUILDING AND MANHOLES.** The Blower Building designated as C on Exhibit PE-1 shall remain under the responsibility and control of Grantor. The manholes designated as 1-4 on Exhibit PE-1 contain access to Polk City sanitary sewers and the Rock Creek Interceptor Sewer. The parties agree to equally share the expense of replacing or repairing said manholes when determined necessary. Grantor agrees to use the traveled access drive of the Permanent Easement to access the Blower Building and manholes which are shown on Exhibit PE-1.
6. **EASEMENT RUNS WITH LAND.** This Easement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's successors and assigns.

7. **ABANDONMENT OF FACILITIES; TERMINATION OF EASEMENT INTEREST.** In the event the WRA shall declare by resolution of the WRA, an abandonment of any portion of the facilities covered by this Easement, or shall discontinue use and maintenance thereof for a period in excess of two years, such facilities shall be deemed abandoned and this Easement shall terminate as to such facilities and as to the property upon which same are located. Such facilities may be abandoned in place with the mutual consent of the Grantor and WRA or the WRA shall take such actions with respect to such facilities as Grantor and the WRA mutually agree to at the WRA's expense.

Grantor does hereby covenant with the WRA that Grantor holds said real estate described in this Easement by Title in Fee Simple; that Grantor has good and lawful authority to convey the same; and said Grantor covenants to warrant and defend the said premises against the lawful claims of all persons whomsoever.

Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share, if any, in and to the interests conveyed by this Easement.

Words and phrases herein including acknowledgment hereof shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

Signed this 26<sup>th</sup> day of May 2020.

CITY OF POLK CITY, IOWA  
GRANTOR

(SEAL)

\_\_\_\_\_  
By: Mayor

ATTEST:

\_\_\_\_\_  
By: City Clerk

STATE OF IOWA    )  
                          )SS  
COUNTY OF POLK )

On this 26 day of May, 2020 before a Notary Public in and for the City, personally appeared Jason Morse and Jenny Gibbons, to me personally known, who being duly sworn, did say that they are the Mayor and City Clerk, respectively of the City of Polk City, Iowa, a Municipality, created and existing under the laws of the State of Iowa, and that the seal affixed to the foregoing instrument is the seal of said Municipality, and that said instrument was signed and sealed on behalf of said Municipality by authority and resolution of its City Council and said Mayor and City Clerk acknowledged said instrument to be the free act and deed of said Municipality by it voluntarily executed



\_\_\_\_\_  
Notary Public in and for the State of Iowa

I, Sara Kurovski, Secretary of the Board of the Des Moines Metropolitan Wastewater Reclamation Authority, do hereby certify that the within and foregoing Easement was duly approved and accepted by the WRA Board by Resolution No. \_\_\_\_\_, passed on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and this certificate is made pursuant to authority contained in said Resolution.

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Sara Kurovski, WRA Board Secretary

# EXHIBIT PE-1

or

Figure 1

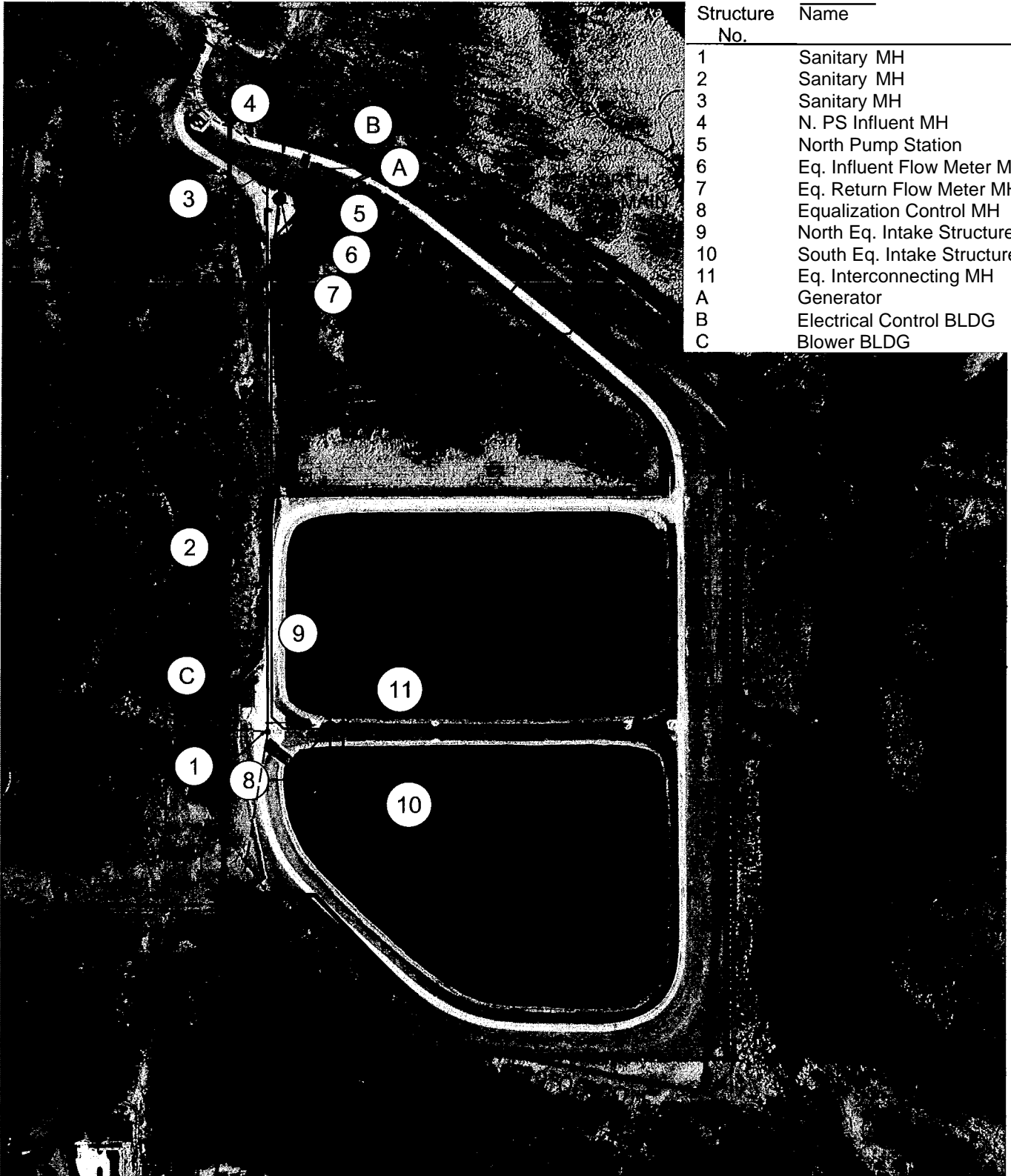
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D:\070088.01E\Division\_1\Rock\_Creek\_5\cadd\Exhibits\070088\_01E\_N\_PS\_Easement\_Exhibit.dwg

11



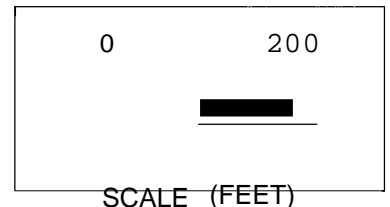
Structure No.	LEGEND Name
1	Sanitary MH
2	Sanitary MH
3	Sanitary MH
4	N. PS Influent MH
5	North Pump Station
6	Eq. Influent Flow Meter MH
7	Eq. Return Flow Meter MH
8	Equalization Control MH
9	North Eq. Intake Structure
10	South Eq. Intake Structure
11	Eq. Interconnecting MH
A	Generator
B	Electrical Control BLDG
C	Blower BLDG

0

## WRA EASEMENTS NORTH PUMP STATION & EQUALIZATION BASIN

ROCK CREEK TRUNK SEWER

SEGMENT 5



PREPARED BY: ERIN GRIFFIN, SNYDER & ASSOCIATES, INC., 2n7 SW SNYDER BLVD, ANKENY, IA 50023 (515)964-2020

RETURN TO: ERIN GRIFFIN, SNYDER & ASSOCIATES, INC., 2727 SW SNYDER BLVD, ANKENY, IA 50023 (515)964-2020

## EASEMENT EXHIBIT

### SANITMY SEWER EASEMENT DESCRIPTION:

A PMT OF THE NORTH 1/2 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PMT OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 7: THENCE SOUTH 00°07'24" WEST ALONG THE EAST LINE OF SAID SECTION 7, A DISTANCE OF 16.58 FEET; THENCE SOUTH 88°17'02" WEST 524.61 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 1085.00 FEET, WHOSE MC LENGTH IS 451.15 FEET AND WHOSE CHORD BEMS SOUTH 76°22'19" WEST, 447.91 FEET; THENCE SOUTH 64°27'35" WEST 245.65 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 1015.00 FEET, WHOSE MC LENGTH IS 426.30 FEET AND WHOSE CHORD BEMS SOUTH 76°29'31" WEST, 423.17 FEET; THENCE SOUTH 88°31'26" WEST, 964.31 FEET; THENCE SOUTH 89°31'44" WEST, 594.32 FEET; THENCE SOUTH 88°38'53" WEST, 532.99 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2015.00 FEET, WHOSE MC LENGTH IS 270.46 FEET AND WHOSE CHORD BEMS NORTH 87°30'24" WEST, 270.26 FEET; THENCE NORTH 83°51'31" WEST, 228.03 FEET; THENCE SOUTH 49°20'21" WEST, 16.99 FEET; THENCE SOUTH 02°20'21" WEST, 20.87 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE; THENCE NORTH 87°50'07" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 30.00 FEET; THENCE NORTH 02°20'21" EAST, 34.01 FEET; THENCE NORTH 49°20'21" EAST, 23.83 FEET TO THE CENTERLINE OF NW 110TH AVENUE; THENCE SOUTH 83°37'25" EAST ALONG SAID CENTERLINE, 252.88 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2000.00 FEET WHOSE MC LENGTH IS 268.74 FEET AND WHOSE CHORD BEARS SOUTH 87°28'22" EAST, 268.53 FEET; THENCE NORTH 88°40'40" EAST CONTINUING ALONG SAID CENTERLINE, 535.67 FEET; THENCE NORTH 89°27'28" EAST CONTINUING ALONG SAID CENTERLINE, 571.72 FEET; THENCE NORTH 88°34'30" EAST CONTINUING ALONG SAID CENTERLINE, 983.90 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1000.00 FEET, WHOSE MC LENGTH IS 418.54 FEET AND WHOSE CHORD BEMS NORTH 76°35'05" EAST, 415.49 FEET; THENCE NORTH 64°35'40" EAST CONTINUING ALONG SAID CENTERLINE, 251.03 FEET; THENCE NORTHEASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1100.00 FEET, WHOSE MC LENGTH IS 450.62 FEET AND WHOSE CHORD BEARS NORTH 76°19'49" EAST, 447.48 FEET; THENCE NORTH 88°03'58" EAST CONTINUING ALONG SAID CENTERLINE, 529.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.51 ACRES (65,621 S.F.I.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### BASIS OF BEARING

THE NORTH LINE OF THE NE 1/4 OF SEC 7-80-24

IS ASSUMED TO BEAR N00°07'24"E.

### DATE OF SURVEY

JUNE 2008

### OWNER

CITY OF POLK CITY  
112 3RD STREET  
POLK CITY, IA 50226

### LEGEND

<u>Survey</u>	<u>Found</u>	<u>Set</u>
Section Corner	....	0
1/2" Rebar Yellow Cap *19710 (Unless Otherwise Noted)	●	0
ROW Rail	X	[ ]
ROW Marker		
Control Point	OCF	
Bench Mark	cP	
Platted Distance	P	
Measured Bearing & Distance	M	
Recorded As	R	
Deed Distance	D	
Calculated Distance	C	
Minimum Protection Elevation	MPE	
Centerline		
Section Line		
1/4 Section Line		
1/4 1/4 Section Line		
Easement Line		

I hereby certify that this land surveying document was prepared and the related survey were performed by me or under my direct

Licensed Professional Land Surveyor  
Laws of the State of Iowa

*Erin D. Griffin* 5/20/14  
Erin D. Griffin, PLS Date

License Number 19710  
My License Renewal Date is December 31, 2015

Pages a- sheets covered by this set, I

Sheets 1 and 2



### PARCEL 321 -110TH AVENUE

### POLK COUNTY - ROCK CREEK TRUNK SEWER

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.

C.J

Engineers and Planners

ANKENY, IA 50023 (515) 964-2020

SHEET 1 OF 3

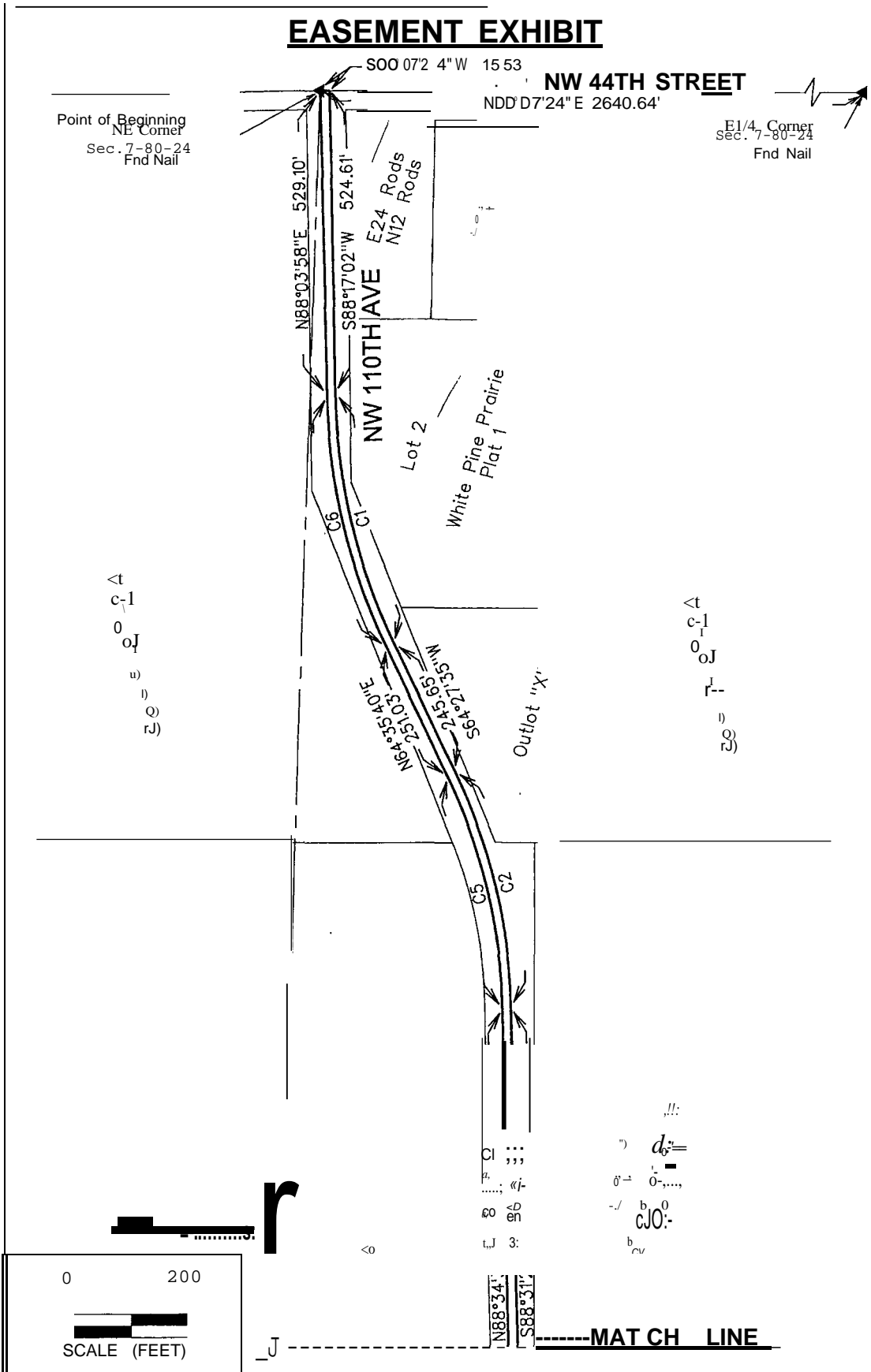
PN: 1070088C

PM: EOG

DATE: 02/03/14

TECH: SGK

# EASEMENT EXHIBIT



**PARCEL 321 -110TH AVENUE**  
**POLK COUNTY ROCK CREEK TRUNK SEWER**

SHEET 2 OF 10  
 PN: 1070088  
 PM: EOG  
 DATE: 02/10/14  
 TECH: SGK

**SNYDER & ASSOCIATES, INC.**  
 2727 S.W. SNYDER BLVD.  
 ANKENY, IA 50023 (515) 964-2020

C\_j Engineers and Planners



PREPARED BY: ERIN GRIFFIN, SNYDER & ASSOCIATES, INC., 2727 SW SNYDER BLVD, ANKENY, IA 50023 (515)964-2020

RETURN TO: ERIN GRIFFIN, SNYDER & ASSOCIATES, INC., 2727 SW SNYDER BLVD, ANKENY, IA 50023 (515)964-2020

## EASEMENT EXHIBIT

### SANITARY SEWER EASEMENT DESCRIPTION:

A PART OF THE NORTH 1/2 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF AN ACQUISITION PLAT RECORDED IN BOOK 14259, PAGE 411 OF THE OFFICE OF THE POLK COUNTY RECORDER; THENCE NORTH 21°51'12" WEST ALONG THE EAST RIGHT-OF-WAY LINE OF NW 55TH STREET, 22.44 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 68°07'54" WEST, 47.66 FEET; THENCE NORTH 89°22'06" WEST, 46.55 FEET TO THE WEST RIGHT-OF-WAY LINE OF NW 55TH STREET; THENCE NORTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE AND ALONG A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 410.51 FEET, WHOSE ARC LENGTH IS 33.70 FEET AND WHOSE CHORD BEARS NORTH 26°26'42" WEST, 33.69 FEET; THENCE SOUTH 89°22'06" EAST, 55.92 FEET; THENCE NORTH 68°07'54" EAST, 41.70 FEET TO THE EAST RIGHT-OF-WAY LINE OF NW 55TH STREET; THENCE SOUTH 21°51'12" EAST ALONG SAID EAST RIGHT-OF-WAY LINE, 30.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.07 ACRES (2,870 S.F.I.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### BASIS OF BEARING

THE WEST LINE OF ACQUISITION PLAT BOOK 14259, PAGE 411 IS ASSUMED TO BEAR N21°51'12"W.

### DATE OF SURVEY

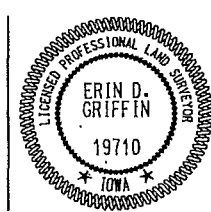
JUNE 2008

### OWNER

CITY OF POLK CITY  
112 3RD STREET  
POLK CITY, IA 50226

### LEGEND

Survey	Found	Set
Section Corner	....	.....
1/2" Rebar, Yellow Cop # 19710 (Unless Otherwise Noted)	●	0
ROW Marker	●	EI
ROW Ran	∴	
Control Point	OCF	
Bench Mark	..	
Platted Distance	p	
Measured Bearing & Distance	M	
Recorded As	R	
Deed Distance	D	
Calculated Distance	C	
Minimum Protection Elevation	MPE	
Centerline		
Section Line		
1/4 Section Line		
1/4 1/4 Section Line		
Easement Line		



I hereby certify that this is a true and correct copy of the original as shown to me by the person who presented it to me for recording. I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

*Erin D. Griffin*  
Erin D. Griffin, PLS

License Number 19710  
My License Renewal Date is December 31, 2015;

Pages covered by this seal:

Sheets 1 and 2

POLK COUNTY ROCK CREEK TRUNK SEWER

SHEET 1

of 2

C...)  
SNYDER & ASSOCIATES, INC.  
Engineers and Planners

2727 S.W. SNYDER BLVD.  
ANKENY, IA 50023 (515) 964-2020

DATE: 05/01/14  
TECH: SGKI



---

Prepared by and return to: Kathleen Vanderpool, Legal Dept., City of Des Moines, 400 Robert D. Ray Drive,  
Des Moines, IA 50309 (515) 283-4130  
Address Tax Statements to: Des Moines Metropolitan Wastewater Reclamation Authority, 3000 Vandalia Road

---

Project: Rock Creek Interceptor Sewer, Phase 26, Segments 1-5

## **QUIT CLAIM DEED AND ASSIGNMENT OF EASEMENT**

For consideration of \$1.00 and other valuable consideration in hand paid by the Des Moines Metropolitan Wastewater Reclamation Authority (WRA), receipt of which is hereby acknowledged and pursuant to the Agreement between Polk City, Iowa and the WRA for Conveyance of Property Interests and Improvements and for the Grant of Permanent Easement for Equalization Basins, Pump Facility and Control Facilities in Polk City, the City of Polk City, Iowa, a municipal corporation of the State of Iowa, and Grantor herein, does hereby Quitclaim to the WRA all its right, title and interest in and to the following real property interests, facilities and improvements, and necessary appurtenances thereto:

Fee simple interest in real property legally described as follows:

A part of Lot 9 of the Official Plat of the South 1h of the Southeast V4 except 7 Acres in the Northeast corner of the same, and the Southeast V4 of the Southwest V4 of Section 6, Township 80 North, Range 24 West, also the West 1h of the Northeast V4, and the North fractional 1h of the Northwest V4 of Section 7, Township 80 North, Range 24 West of the 5th P.M., in the City of Polk City, Polk County, Iowa and described as follows:

Commencing at the Northwest corner of Lot "A", Red Cedar Prairie, being an Official Plat; thence South 89°45'14" West along the South Right-of-way line of NW 110<sup>th</sup> Avenue, 58.18 feet; thence North 87°50'07" West continuing along said South Right-of-way line, 165.13 feet to the point of beginning; thence South 2°33'36" West, 239.77 feet; thence North 71°46'13" West, 107.92 feet to the East Right-of-way line of NW 55<sup>th</sup> Street; thence North 21°51'12" West along said East Right-of-way line, 229.80 feet to said South Right-of-way line of NW 110<sup>th</sup> Avenue; thence South 87°50'07" East along said South Right-of-way line, 198.89 feet to the point of beginning and containing 0.77 acres (33,331 S.F.).



And as shown on Exhibit FE- I and described on Exhibit 1 attached hereto and made a part hereof and as described in the Warranty Deed and plat of survey recorded in the office of the Polk County Recorder in Book 14602, Pages 411-415 and Book 14880, Pages 787-791.

Said fee title conveyance is subject to the reservation of a Sanitary Sewer Easement by Polk City allowing Polk City to maintain and repair an existing sanitary sewer on the property legally described as follows:

A PART OF THE ACQUISITION PLAT AS RECORDED IN BOOK 14259, PAGE 411 OF THE POLK COUNTY RECORDER'S OFFICE, AND BEING A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 80 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE NORTHEAST 1/4, AND THE NORTH FRACTIONAL 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RED CEDAR PRAIRIE PLAT 1, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE, 58.18 FEET; THENCE NORTH 87°50'07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, 165.13 FEET TO THE NORTHEAST CORNER OF SAID ACQUISITION PLAT AND TO THE POINT OF BEGINNING; THENCE SOUTH 02°33'36" WEST ALONG THE EAST LINE OF SAID ACQUISITION PLAT, 30.00 FEET; THENCE NORTH 87°50'07" WEST, 163.37 FEET; THENCE SOUTH 21°55'16" EAST, 205.10 FEET TO THE SOUTH LINE OF SAID ACQUISITION PLAT; THENCE NORTH 71°46'13" WEST ALONG SAID SOUTH LINE, 26.52 FEET TO THE SOUTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE NORTH 21°51'12" WEST ALONG THE WEST LINE OF SAID ACQUISITION PLAT, 229.80 FEET TO THE NORTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°50'07" EAST ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 198.89 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.23 ACRES (9,816 S.F.).

Said fee title conveyance is further subject to the reservation by Polk City of an easement for street improvements on the property legally described as follows:

A PART OF THE ACQUISITION PLAT AS RECORDED IN BOOK 14259, PAGE 411 OF THE POLK COUNTY RECORDER'S OFFICE, AND BEING A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION

6, TOWNSHIP 80 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE NORTHEAST 1/4, AND THE NORTH FRACTIONAL 1/2 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RED CEDAR PRAIRIE PLAT 1, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST ALONG THE SOUTHRIGHT-OF-WAYLINEOFNW 110TH AVENUE, 58.18 FEET; THENCE NORTH 87°50'07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 334.02 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 35°09'20" WEST, 32.67 FEET TO THE WEST LINE OF SAID ACQUISITION PLAT; THENCE NORTH 21°51'12" WEST ALONG SAID WEST LINE, 30.00 FEET TO THE NORTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°50'07" EAST ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 30.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.01 ACRES (411 S.F.).

Polk City hereby further assigns and conveys all right, title and interest to the Permanent Slope Easement acquired by Polk County as part of the Rock Creek Interceptor Sewer, Phase 26, Segments 1-5 and recorded in Book 13829, Pages 965-969 of the Polk County Recorder's Office and conveyed to Polk City by Polk County by virtue of Permanent Easement recorded in Book 14880, Pages 869-870 of the Polk County Recorder's Office and attached hereto as Exhibit 2.

Said facilities, property and Permanent Easement are being assigned and conveyed to the WRA in accordance with the Chapter 28E Agreement between Polk City, Iowa and the Des Moines Metropolitan Wastewater Reclamation Authority for the Conveyance of Property Interests and Improvements and for the Grant of a Permanent Easement for Operational Control and Maintenance of Equalization Basins, Pump Facility and Control Facilities.

Said facilities and properties are being acquired for public purposes and a Declaration of Value is not required. Iowa Code Section 428A. 1. This deed, assignment, and transfer is exempt from transfer tax as the grantor is a political subdivision of the State of Iowa. Iowa Code Section 428A.2(6).

Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, according to the context.

Signed this 26th day of May 2020

**CITY OF POLK CITY, IOWA, GRANTOR**

By: Jason Morse, Mayor

Attest:

\_\_\_\_\_  
Jenny Gibbons, City Clerk

State of Iowa            )  
                                  ) ss  
County of Polk         )

On this 26<sup>th</sup> day of May, 2020, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Jason Morse and Jenny Gibbons, to me personally known, and, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively of the City of Polk City, Iowa; that the seal affixed to the foregoing instrument is the corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by the authority of its City Council, under Roll Call No.

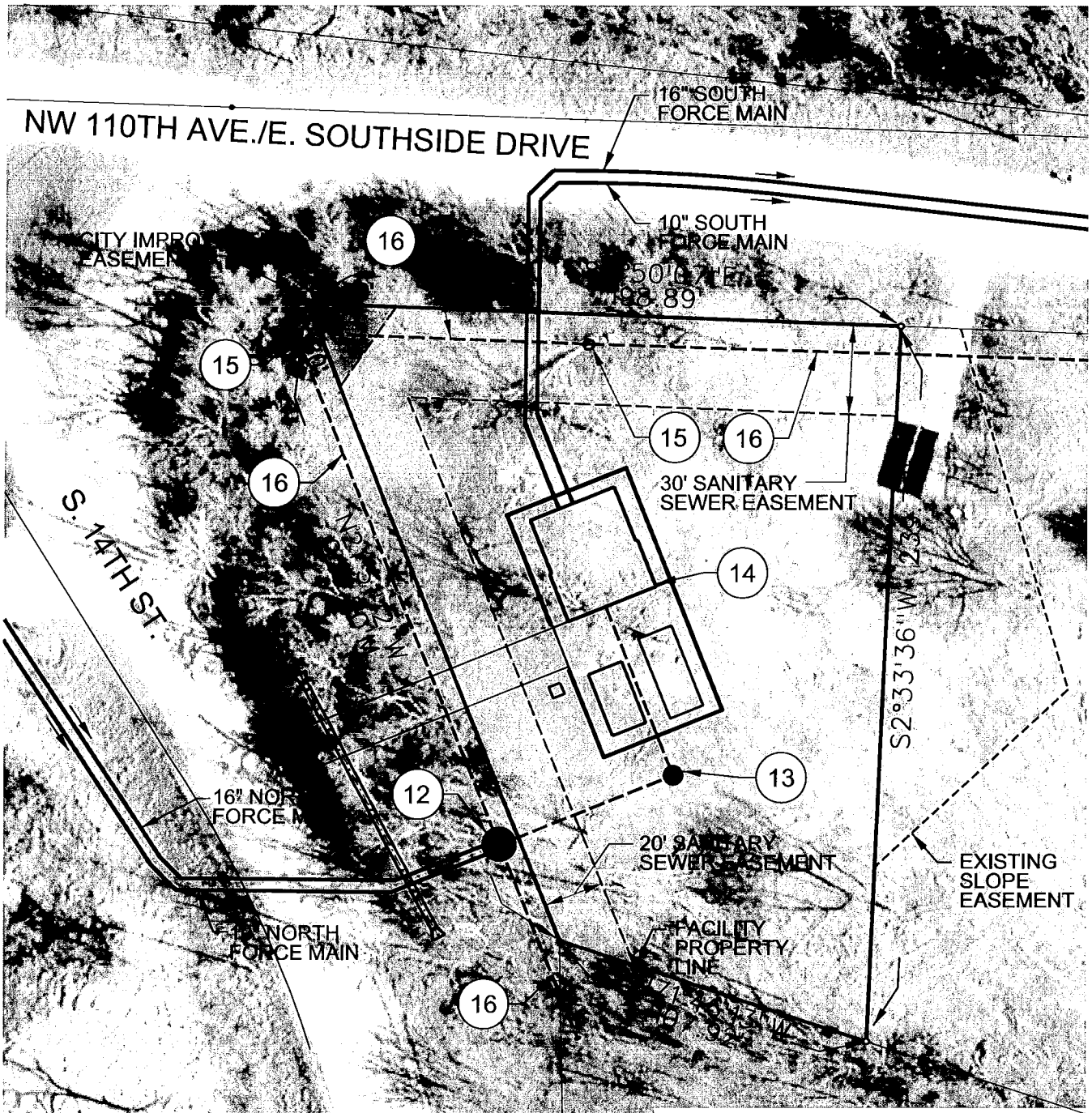
\_\_\_\_\_ of the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, and that Jason Morse and Jenny Gibbons acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation by it voluntarily executed.

\_\_\_\_\_  
Notary Public in and for the State of Iowa

I, Sara Kurovski, Secretary of the Board of the Des Moines Metropolitan Wastewater Reclamation Authority, do hereby certify that the within and foregoing Quit Claim Deed was duly approved and accepted by the WRA Board by Resolution No. \_\_\_\_\_, passed on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and this certificate is made pursuant to authority contained in said Resolution.

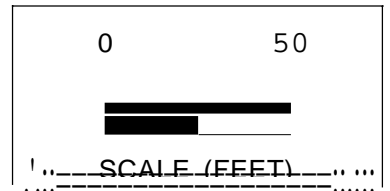
Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Sara Kurovski, WRA Board Secretary



**LEGEND**

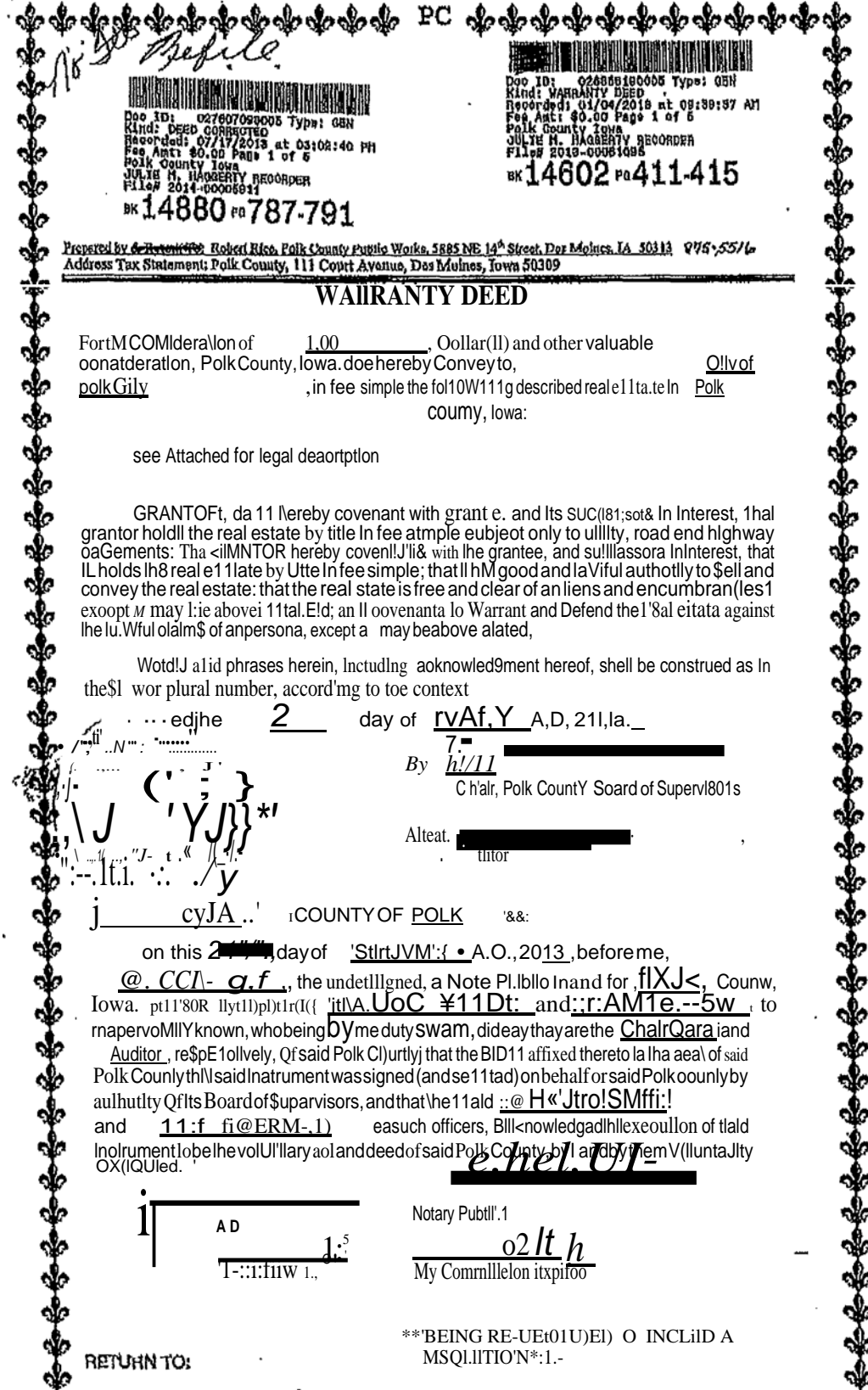
Structure No.	Structure Name
12	N FM discharge MH
13	S. PS Influent MH
14	South Pump Station
15	Sanitary MH
16	City of Polk City Gravity Sanitary Sewers



WRA FEE INTEREST  
SOUTH PUMP STATION  
ROCK CREEK INTERCEPTOR  
SEWER SEGMENT 5

D:\070085.01\Division\_1\_Rock\_Creek\_S\Exhibits\Facility\_Plan\070085F\_S\_PS\_WRA\_Easement.dgn Y:\print\_drive\Color\BColor\Hd\Weight\PDF.aic





*Handwritten signature/initials*

Doc ID: 02760709005 Type: GRN  
Kind: DEED CORRECTED  
Recorded: 07/17/2018 at 03:02:40 PM  
Fee Amt: \$0.00 Page 1 of 6  
Polk County Iowa  
JULIE M. HAGBERTY RECORDER  
File# 2014-0006911  
BK 14880 PD 787-791

Doc ID: 026866180005 Type: GRN  
Kind: WARRANTY DEED  
Recorded: 01/04/2018 at 09:59:57 AM  
Fee Amt: \$0.00 Page 1 of 6  
Polk County Iowa  
JULIE M. HAGBERTY RECORDER  
File# 2018-00061488  
BK 14602 PD 411-415

Prepared by ~~Robert Rice~~ Polk County Public Works, 5885 NE 14<sup>th</sup> Street, Des Moines, IA 50313 978-5516  
Address Tax Statement: Polk County, 111 Court Avenue, Des Moines, Iowa 50309

WARRANTY DEED

For M consideration of 1.00, Collar (II) and other valuable consideration, Polk County, Iowa, do hereby convey to, Oil of polk Gilv, in fee simple the following described real estate in Polk County, Iowa:

see Attached for legal description

GRANTOR, do hereby covenant with grantee and its successors and interest, that grantor holds the real estate by title in fee simple subject only to utility, road and highway easements; that grantor hereby covenants with the grantee, and successors and interest, that grantor holds the real estate by title in fee simple; that grantor and his heirs, assigns and legal representatives shall hold the real estate free and clear of all liens and encumbrances (except those may be above stated); and grantor warrants and defends the real estate against the lawful claims of any person, except as may be above stated.

Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, according to the context.

Witness my hand and seal this 2 day of July, A.D., 2018, at Polk, Iowa.  
By [Signature]  
Chair, Polk County Board of Supervisors

Attest: [Signature]  
Notary Public

I, [Signature] of the County of POLK, Iowa, do hereby certify that on this 2 day of July, A.D., 2018, before me, [Signature], the undersigned, a Notary Public in and for the State of Iowa, duly qualified and sworn to, and being duly sworn, did say that the [Signature] and [Signature], respectively, of said Polk County, are the Chair and Auditor of said Polk County and that the [Signature] and [Signature] are each officers, well known and duly qualified to hold and execute the powers and duties of said Polk County, by and on behalf of the Board of Supervisors of said Polk County, Iowa.

[Signature]  
Notary Public  
My Commission expires 02/18/2020

RETURN TO:  
AFTER RECORDING RETURN  
TO BECKY DEWEY,  
AUDITOR'S OFFICE

\*\*BEING RE-UE(01U)EI O INCLID A  
MSQ.IITIO'N\*:1.-

A PART OF (OT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE  
SOUTHEAST 1/4 EXCEPT 7 ACRES IN THE NORTHEAST CORNER OF THE  
SAME, AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6,  
TOWNSHIP 6 NORTH, RANGE 24 WEST, ALSO THE WEST 1/2 OF THE  
NORTHEAST 1/4, AND THE NORTH 1/2 OF THE NORTHWEST  
1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 5<sup>TH</sup> P.M., IN  
THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS  
FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A1", REP CEDAR  
PRAIRIE, BEING AN OFFICIAL PLAT; THENCE SOUTH 89°45'14" WEST  
ALONG THE SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE, 68.18  
FEET; THENCE NORTH 87° 60'07" WEST CONTINUING ALONG SAID SOUTH-  
RIGHT-OF-WAY LINE, 166.13 FEET TO THE POINT OF BEGINNING; THENCE  
SOUTH 2°83'36" WEST, 239.77 FEET; THENCE NORTH 71°48'13" WEST,  
107.92 FEET TO THE EAST RIGHT-OF-WAY LINE OF NW 55TH STREET;  
THENCE NORTH 21°51'12" WEST ALONG SAID EAST-OF-WAY LINE,  
229.80 FEET TO SAID SOUTH RIGHT-OF-WAY LINE OF NW 110TH AVENUE;  
THENCE SOUTH 87°50'07" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE,  
198.89 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.77 ACRES  
(33,331 S.F.).

"d. a.,,,,"

PREPARED BY ERIN D. GRIFFIN, SNYDER & ASSOCIATES, INC., 2727 SW SNYDER BLVD, ANKENY, IA 50023 (516)984-2020

RETURN TO: ERIN D. GRIFFIN, SNYDER & ASSOCIATES, INC., 2727 SW SNYDER BLVD, ANKENY, IA 50023 (516)984-2020

### ACQUISITION PLAT

#### SANITARY SEWER ACQUISITION DESCRIPTION

A PART OF LOT 9 OF THE OFFICIAL PLAT OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF EXHIBIT 7 ACRES IN THE NORTHEAST CORNER OF THE SH... THE SOUTH 1/4 OF 5 4 WfJil o\ HNi l r S. 6 ESTT... rlvrtsr

114 OF SECTION 11, TOWNSHIP 60 NORTH, RANGE 10 WEST OF 5TH P.M., IN THE CITY OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT "A", RTO CEDAR PRINRIE, BKJNG AN OFFICIAL PLAT... WEST ALONG THE SOUTH RIGHT-OF-WAY LINE 01' NW 110TH AVE... 88.18 FEET... NORTH 87° 60' 07" WEST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE... 65.13 FEET TO THE POINT OF BEGINNING... HENCE SOUTH 33° 36' WEST 239.77 FEET... HENCE NORTH 71° 48' 3" WEST 101.91 FEET TO THE EAST RIGHT-OF-WAY LINE OF NW 114TH STREET... HENCE NORTH 21° 51' 12" WEST ALONG SAID EAST RIGHT-OF-WAY LINE 210.00 FEET TO SAID SOUTH RIGHT-OF-WAY LINE OF NW 116TH AVENUE... HENCE SOUTH 87° 50' 07" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 111E, 19B, 99 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.77 ACRES (33,351 S.F.).

#### OWNER/ADDRESS

LAARY J. ANO OLANE K. HANDLEY  
5150 NW 110TH AVE.  
POLK CITY, IA 50226

#### DATE OF SURVEY

JUNE 2010

#### LEGEND

Settled Contention  
112' Right of Way  
114' Right of Way  
ROW Mark  
JOW Lab  
Calculated P<= 1/2  
8' 1/2' Ch 1:10111  
Pollard Jial<Inee  
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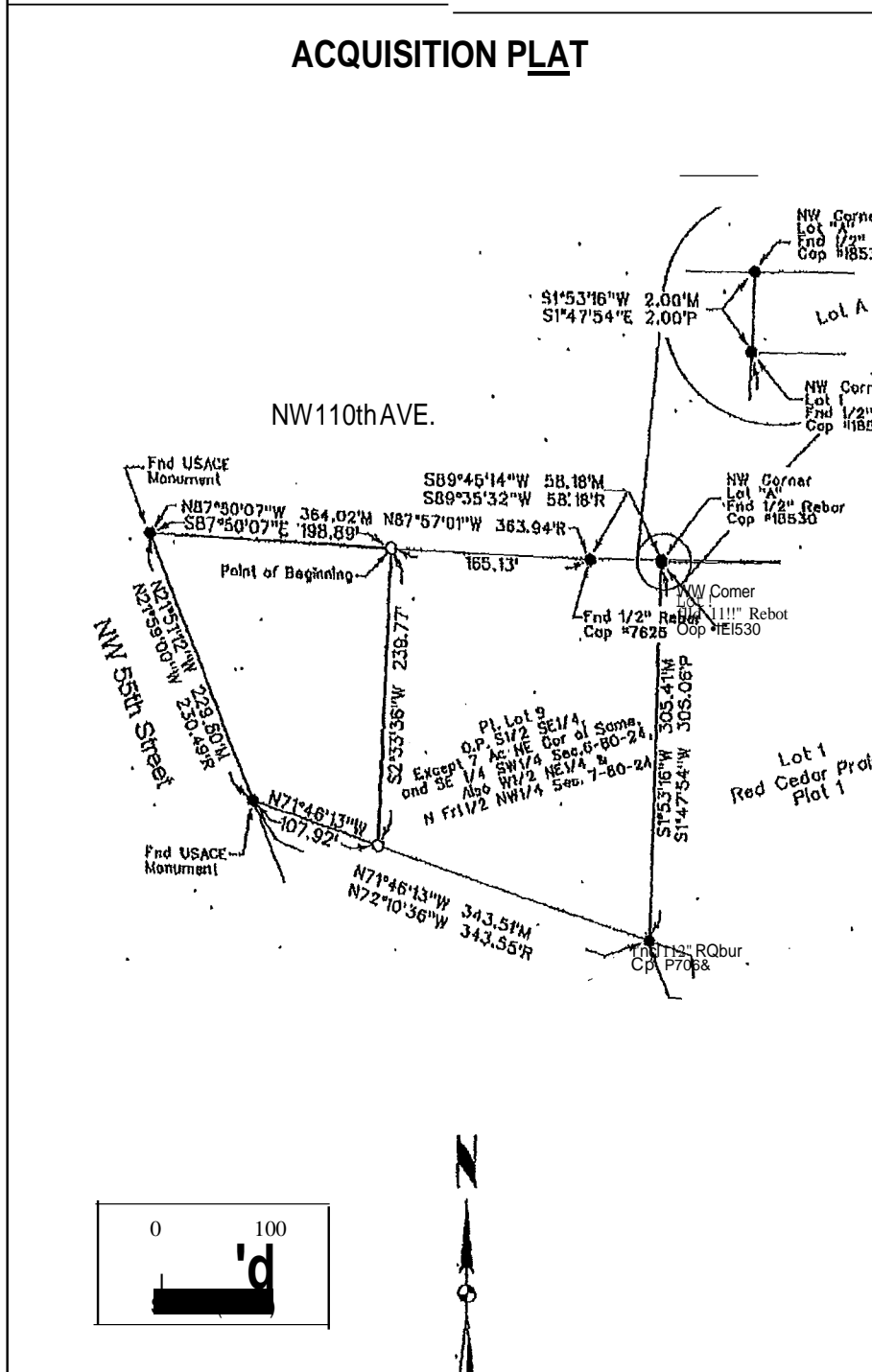


I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.  
Erin D. Griffin 1/10/10  
Erin D. Griffin, I.C.S.  
License Number 19710  
My License Renewal Date is December 31, 2011

POLK COUNTY... PH: 10



# ACQUISITION PLAT



POLK COUNTY .. 'ROCK CREEK TRUNK SEWER  
 PARCELS .. EARLY J, AND DIANE K HANDLEY

11/11/11 2 OF 2  
 r.14! mo

Res, No 106"13  
J u . . ly 16, 2013

RES(H.,UTION

Moved by 42, Seconded by Y000Cl that the following resolution be adopted:

WHEREAS.. construction of the Rook Cteek Tmnk Sewer PrQject, Si:,gme. 1, 1ta 4 and 5 ru:e included in:the approved Fiscal Year 2011/2012 Polk County Five (5) year (2011 2016) Ca.pit.al Imp,:ovemen.u Progr ; and

WlfBRBAS, Resolution Number < 11, dated April 19> 2011, l\pproved Polk County's pm:chase O:fproperty and slope easement from Larry J. and Dlane K. Handley.in orde.r:tQflcilitate oonstmotion of fue sanitary s wer puntping station associated with th Roel<; Cxeek T:rupk Sewer ProjQCt;md

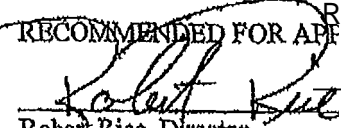
REAS, after oonattuction is (O,t11p1ete, said s!!!litary sewer pmnping stntion will be owned and operated.by th!) C ty of Polk City as part of the Citf s sJtrltw:y sewer system and.requit-es thtitrt\ fex of t.he-llfur rii-entioned pxoperty and:slope--ea mentobtaiped by Polk Co\Ulty to -the, ity of Polk City.

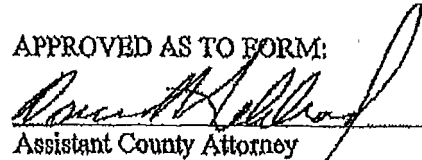
NOW, 'THEREFOREt BE IT RESOLVED th11,t the Polk County Bom:d of Supervisors.a.p'proves th!}trnsfet of attached property and easement t<> the City of Polk City and autbprlzes the Cha.w\_ person to ratify the oo:n.veyan.ee. as shown 1:Jy the attached Will"llnty deed wd execute th!;} permanent easotttent on behalf of Folk County; and



BE.tr FURTHER RESOLVBO tli1 lt the: Polk: County Board of Supervisors authorizes th Polk County Public Wor Department to record all11eoessacy documeP.t:;; and provide copies of all doQuments t(i the City of l?olk City f<>ttheir records,

POLK COUNTY BOAID OF SUPEltVISOR.S:

*Inrt.* ::.-.  
Chm:rperson

RECOMMENDED FOR APPROVAL:  
  
Robert Rice, Director  
Polk County Public Works

APPROVED AS TO FORM:  
  
Assistant County Attorney  
FISCAL IMPACT None

ROLL CALL FOR ALLOWANCE  
Steve Van Dort Yes Nay  
Robert Brownell Yes Nay  
Angela Connolly Yes Nay  
John F. Mauro Yes Nay  
Tom Hockensmith Yes Nay  
ALLOWED BY VOTE  
  
Above tabulation made by   
CHAIRPERSON



1

Res. No 106 13  
July 16, 2013

**RESOLUTION**

Moved by fzrp Seconded by jf00QC,4 that the following resolution be adopted:

WHEREAS, construction of the Rock Creek Trunk Sewer Project, Segments 4 and S 1.1e lnol, 19ed in the approved Fiscal Year 2011/2012 Polk County Five (S) year (2011-2016) Capital Improvement Program; and

WHEREAS, Resolution 011. Number 44"11, dated April 19, 2011 approved Polk County's purchase of property and slope easement from Larry J. and DJane K.; Handle in order to facilitate construction of the sanitary sewer pumping station associated with the Rock, Creek Trunk Sewer Project;

AS, after construction is complete, said sanitary sewer pumping station will be owned and operated by the City of Polk County as part of the City's sanitary sewer system requires the transfer of the aforementioned property and slope easement obtained by Pelk. J. to the City of Polk County.

NOW, THEREFORE, BE IT RESOLVED that the Polk County Board of Supervisors approves the transfer of attached property and easement to the City of Polk County and authorizes the Chairperson to ratify the conveyance as shown by the attached warranty deed and execute the permanent easement on behalf of Polk County; and

BE IT FURTHER RESOLVED that the Polk County Board of Supervisors authorizes the Polk County Public Works Department to record all necessary documents and provide copies of the same to the City of Polk County for their records.

POLK COUNTY BOARD OF SUPERVISORS:

*lllit.* \_\_\_\_\_  
Chairperson

**OV**  
**OW**  
JMJ Rice, Director  
Polk County Public Works

ROU.CMt. Steve VanOort Nay  
FORALLOWA,NOE Q!urilrownell Jaa-:!'Jay  
Angel Cl>llllnlY N<<Y  
JUL Ye21113 John f. Mallr<> ..WfNay  
Tom Hockl1ri8n1ilh ay

APPROVED AS TO FORM:

*[Signature]*  
Assistant County Attorney  
FISCAL IMPACT: None

**7** \_\_\_\_\_  
OFFICIAL

Page 5 of 5  
0-f(f) \ ...



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Preparer Information: Karl Elliott, Polk County Public Works, 5885 NE 14<sup>th</sup> Street, Des Moines, IA 50313, 515-286-3705  
Polk County - Rock Creek Trunk Sewer Project

PERMANENT EASEMENT CONVEYANCE

I, the undersigned, Owner Jim J. Handle and Diane K. Hruschka and wife, of the following described real estate: A [redacted] tract of approximately 7 acres in the Northeast corner of the same, and the S 1/4 of the SW 1/4 of Section 6 Township 80 North, Range 24 West, also the W 1/2 of the NE 1/4 of the North Fr. Merion of the NW 1/4 of Section 7, Township 80 North, Range 24 West of the 5<sup>th</sup> P.M., and described as follows: Commencing at the Northwest corner of Lot 9 of said Official Plat, thence South 83°23'46" East along the Northerly line of said Lot 9, 141.04 feet to the Point of beginning, then continuing South 81°02'3'46" East along said Northerly line 394.25 feet; thence North 89°35'32" East along the Northerly line of said Lot 8, 57.29 feet; thence 1°33'38" West 339.33 feet to a point being on the boundary line of said Lot 8, 57.29 feet; thence 10°36" West along said boundary line 343.55 feet; thence North 2.1°59'00" West along said boundary line 300.86 feet to the point of beginning and containing 2.6324 acres (114,688 square feet) more or less and being subject to road right of way on the north side thereof and containing 0.4619 acres (20,122 square feet) more or less

for and in consideration of Ten and no other sum of money to me in hand paid by the Grantor, the receipt of which is hereby acknowledged, I do hereby grant, bargain, sell and convey to Polk County, Iowa (Grantee), its successors and assigns the permanent right to construct, reconstruct, repair, alter, and maintain a slope easement across the above described real estate. Said permanent easement is described as follows:

See attached Easement Exhibit.

In consideration of the payment made, Grantor, for itself and its successors and assigns hereby covenants and agrees to the following terms and conditions:

1. Grantor shall not erect, construct, plant, or cause to be erected, constructed or planted, any walls, structures, trees, bushes or shrubs within the above described easement.
2. Grantor shall not grant, bargain, sell or otherwise convey @/ future or additional easements under, on, over, or through the above described easement without the express written permission of the Grantor.
3. Grantor reserves all right, title, privilege and use of the above described easement except as stated herein or except such use as will be inconsistent with or abridge the rights granted hereby for a slope easement.

Grantor shall not change the grade, elevation or contour of any part of the above described real estate without first obtaining the express written permission of the Grantee.

Affidavit prepared by:  
TODD ECKV br. WEV,  
AUBURN OFFICE

- 5. Grantee shall have the right to remove, without replating, existing and future walls, structures, trees, shrubs, billi. plantings or other obstacles except fences, driveways or paved surfaces, located within the above described easement.
- 6. Grantee shall have the right to remove and if removed by Grantee, the duty to place fences, driveways, parking lots, sidewalks and similar surfaces within the above described easement.
- 7. Grantee shall seed all existing grassed surfaces disturbed by Grantee.
- 8. Except as otherwise stated above, all structures disturbed or damaged by Grantee during the construction, reconstruction, repair, alteration, maintenance and operation of the sewer main shall be restored by the Grantee at its expense to the condition existing prior to such disturbances or damage.

In consideration of the payment made, Grantor, for itself and its successors and assigns does hereby covenant and agree to indemnify and have harmless Grantor, its successors and assigns from all loss, cost or liability which may at any time in the future arise or be imposed upon it in consequence of or in any manner resulting from the possession and use of said real estate by the Grantor or its successors and assigns, excepting only loss, cost or liability resulting from the negligent acts or omissions of Grantor, its successors or assigns. This Easement Conveyance shall run with the land and shall be binding upon all parties hereto, their heirs, successors and assigns.

By [Signature]  
Larry V. Handley  
(Print Name)

By [Signature]  
Diane K. Handley  
(Print Name)

**SELLER'S ALL-PURPOSE ACKNOWLEDGMENT**

STATE OF Iowa  
COUNTY OF Polk ss:

On this 11<sup>th</sup> day of March, A.D. 2011, before me, the undersigned, a Notary Public in and for said State, personally appeared Larry V. Handley and Diane K. Handley


and personally known to me and I believe to be the person(s) whose name(s) is/are subscribed to the within instrument and that he/she/they executed the same as the author(s) of the instrument and that he/she/they are the person(s) or the entity upon behalf of which the instrument is being acknowledged.


**AMY J. WALTER**  
Notary Public Number 197262  
My Commission Expires 1-4-13  
[Signature] (Sign in Ink)  
Amy J. Walter (Print Name)  
Notary Public in and for the State of IA

Signed this 19<sup>th</sup> day of APRIL

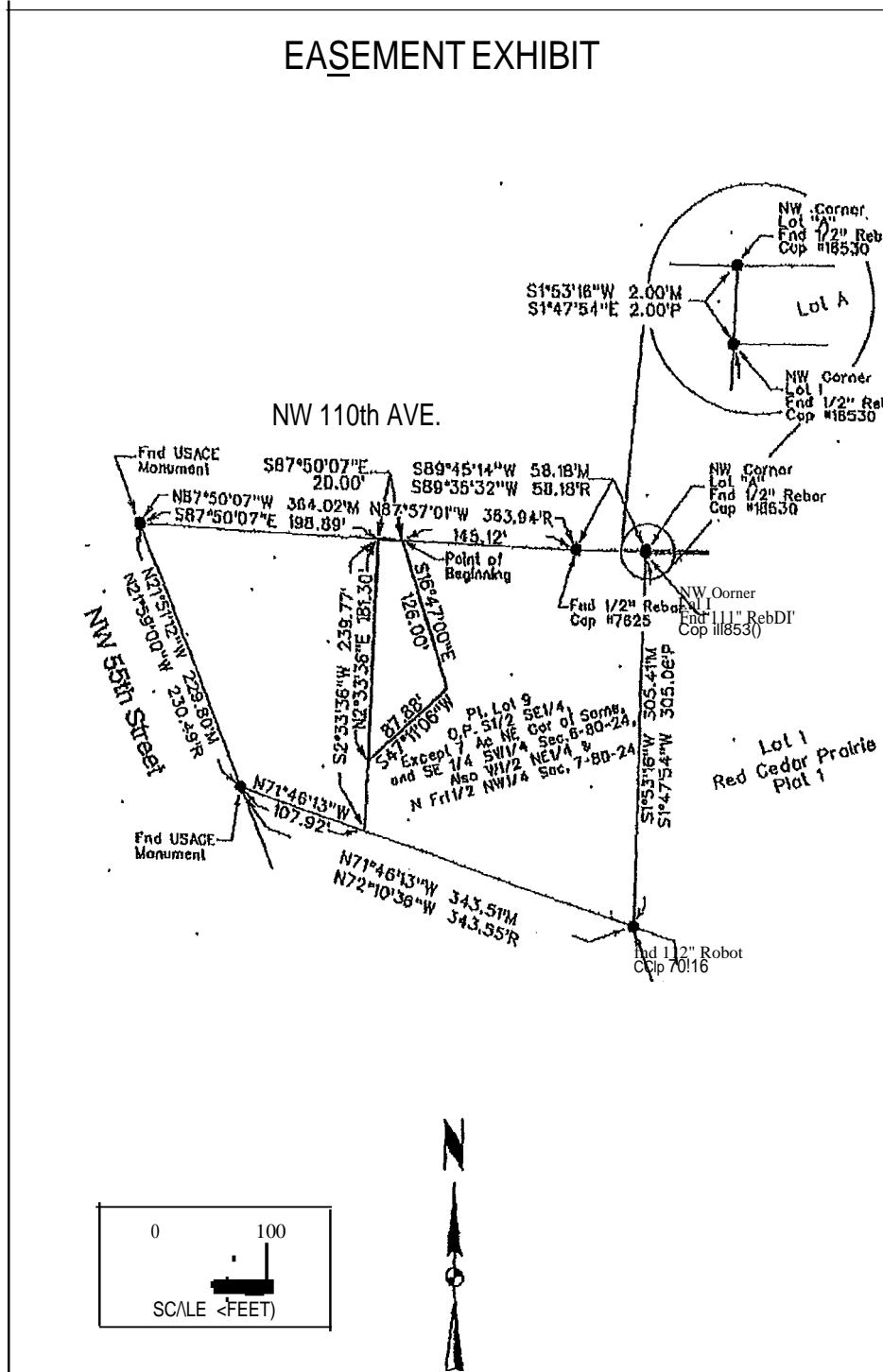
**|| C6:FAQ.TY Q,AJMEUBY SIGNER:**  
 INDIVIDUAL  
 CORPORATION  
Title(s) of Corporate Officer(s):  
\_\_\_\_\_  
\_\_\_\_\_  
 Corporate Seal is affixed  
 No Corporate Seal procured  
 PARTNER(S):  
 Limited Partnership  
 General Partnership  
 ATTORNEY-IN-FACT  
 EXECUTOR(S) OR TRUSTEE(S)  
 GUARANTIAN (or CONSERVATOR)  
 OTHER:  
 SUFFIXES & PRESENTING:  
List name(s) of entity (fill) or per line(s)

[Signature]  
[Name]  
County Board of Supervisors  
Polk

PREP/IMODY: "Rliii).GR(FI'IN, \$I'ff)li\ &:,S80CIA1 \$,INO.,.m.r \$WSNYDER lii.vo,ANKENV,JA D2a (611)0&4-24-20	
MI'Utm TO: ER1HD,GRi'd'IN, 8t1YDER & ASB001/mi9iNO., 2T2f 8W UNYDI!R UL.W,ANIO'NY, VI,\$lel23 (&111)164-2020	
<b><u>EASEMENT EXHIBIT</u></b>	
<p>SLOPE E/ASEMENT DESCRIPTION</p> <p>A PART OF THE LOT 9 OF THE OFFICIAL PLAT OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF 6TH P.M., IN THE CITY OF POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:</p> <p>8f Mr: C Ail\ JNf R SJ .:if11- fvg, Lf \s%D ItCra w E of NW 110TH AVENUE, 6B.18 m1m) He: NCE NORTH 87°50'07" WEST :&gt;TINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE 145.12 FEET TO THE POINT OF BEGINNING THENCE SOUTH 15°47'00" EAST, 126.00 FEET THEN SOUTHWEST 47°11'08" WEST 113.72 FEET THENCE NORTH 1°17'00" EAST, 126.00 FEET THEN SOUTHWEST 47°11'08" WEST 113.72 FEET TO THE POINT OF BEGINNING AND, COWI'AJN1Nn 0,16 ACRES (8,788 S.F.I.</p>	
<b><u>OWNER/ADDRESS</u></b> LARRY J. AND DIANE K. HANDLEY 5150 NW 110TH AV. POLK CITY, IA 50226	<b><u>DATE OF SURVEY</u></b> JUNE 2010
<b><u>LEGEND</u></b>	
<p><b>Survey</b></p> <p>Section Corner 1/2" Rebar, Yellow Cap #19710 (Unless Otherwise Noted)</p> <p>ROW Marker</p> <p>ROW Roll</p> <p>Calculated Point</p> <p>Bench Mark</p> <p>Plotted Distance</p> <p>Measured Bearing &amp; Distances Recorded As</p> <p>Dead Distance</p> <p>Calculated Distance</p> <p>Minimum Protection Elevation</p> <p>Centerline</p> <p>Section Line</p> <p>1/4 Section Line</p> <p>1/4 1/4 Section Line</p> <p>Easement Line</p>	<p><b>Found</b></p> <p>A</p> <p>+</p> <p>m</p> <p>AI</p> <p>P I R O C</p> <p>MPE</p> <p>.....-!-----</p>
<div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="text-align: center;"> <p>Revised: 1-07-2011</p>  </div> <div style="border: 1px solid black; padding: 5px; font-size: small;"> <p>I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed land surveyor under the laws of the State of Iowa.</p> <p><i>Erin D. Griffin</i> 1/07/11</p> <p>Erin D. Griffin PLS Date</p> <p>License Number 19710</p> <p>My License Renewal Date is December 31, 2011.</p> <p>Pages or sheets covered by this seal: Sheets 1 and 2.</p> </div> </div>	


<b>POLK COUNTY - ROCK CREEK TRUNK SEWER</b>		SHEET 1 OF 2
<b>PARCEL 35 - LARRY J. AND DIANE K. HANDLEY</b>		PAR: 1070088D
<b>SNYDER &amp; ASSOCIATES</b> Engineers and Planners		PAL: EDG
2727 S.W. SNYDER BLVD. ANKENY, IA 50020 (515) 884-2020		DATE: 1/07/11
		TECH: JCC

# EASEMENT EXHIBIT



POLK COUNTY .. R)CK CREEK TRUNK SEWER  
 PARCEL 30... LARRY J. AND DIA EK. HANDLEY

silatr 2 of 2  
 lot 1100DBBP  
 n.e. l.d.a

 **SNYDER & ASSOCIATES**  
 Engineers and Planners

2727 S.W. SNYDER BLVD.  
 ANKENY, IA 50023 (515) 884-2020

DATE:	1/07/11
TECH:	JCG



Res, No 44-U  
April 19, 2011

RESOLUTION

Moved by \_\_\_\_\_, Seco dedl, y Gov- - that the following resolution be adopted:

WHEREAS, Project No SSB-14-2011 at l. d SSE18-2013, Coustruction of tht: R-0cl<. Creek Trm lk Sewer P1- ojt ctis included l. 11 the approved Fiscal Year 2009/2014 Polk County F. ivt, (5) yeat- (2009-2014) Capital Imp. rovements Program; and

WHEREAS, in order to fuoilitate constuction the Polk C<> utl. fy Public Work\$ Depattment has negotiated the attached thirteen (13) l- igh N: , £- way contracts with a total coat of \$204,785.00.

NOW, THEREFOR, BE IT RBSOLVBD that the Polk County Board of Supervlsots approves the terms of the attached right-of-way contracts fot Ptoject No, SSB-14-201 land SSFr-18-2013, adoptilJ the <iontracts, and authorizes the Chairperaon to execute the oontt: I. \CWJ 0, 1 behalf of Polk County; and

BE IT FURTHER RESOLVED that th Polk County Board of Supet. - vlsors authorizes the P<> lk County Public Works Department to exeoute the terms Qf smd oontracts and record all necessary dQC'W<>nts,

POLK COUNTY BOARD OF SUPERVISORS:

*John F. Mauro*  
Chairperson

RECOMMENDED FOR APPROVAL:

*Darryl L. Land*  
Darryl L. Land, Director  
Polk County Public Works

APPROVED AS TO FORM: /\_

*JHL/V*  
Polk County, Iowa

ROLL CALL FOR ALLOWANCE  
E.J. Giovannelli Yes Nay  
Robert Brownell Yes Nay  
Angela Connolly Yes Nay  
Tom Hockenhamith Yes Nay  
John F. Mauro Yes Nay

APR 19 2011  
ALLOWED BY VOTE OF BOARD  
*John F. Mauro*  
CHAIRPERSON  
Abstention made by *BD*

FISCAL IMPACT: Right of Way oools Of \$204,785,00,00 to be drawn from the Polk County Sanitary Sewet Entei:prise Fund

**PERMANENT EASEMENT FOR EXISTING SANITARY SEWER FACILITIES AND  
QUITCLAIM OF INTEREST IN EXISTING SANITARY SEWER FACILITIES**

Be it known that the City of Polk City, Iowa, a municipal corporation, (hereinafter referred to as the "Grantor" or "the City"), in consideration of \$1.00 and other good and valuable consideration and the mutual promises and covenants contained in the Second Amended and Restated Agreement for the Des Moines Metropolitan Wastewater Reclamation Authority (WRA Agreement), does hereby convey unto the Des Moines Metropolitan Wastewater Reclamation Authority, a political subdivision organized and existing under Chapters 28E and 28F of the Iowa Code (hereinafter referred to as "Grantee" or the "WRA"), a Permanent Easement for Sanitary Sewer Facilities under, over, through and across property listed and identified as Parcels 321 and 321A on **Exhibit PE-3** hereto situated in Polk County, Iowa (hereinafter referred to as the "Easement Areas") for the purpose of operating, maintaining, repairing, reconstructing and enlarging existing sanitary sewer and related facilities and necessary appurtenances situated therein, and does hereby quitclaim to the WRA all its right, title, and interest in and to the existing sanitary sewer and related facilities and necessary appurtenances thereto situated upon or under said Easement Areas. Said quitclaim is only for existing sanitary sewer and related facilities and necessary appurtenances situated therein, not fee title to the underlying property.

This Easement is being granted to the WRA in accordance with Article 3 of the Chapter 28E Agreement between Polk City, Iowa and the WRA for the conveyance of Property Interests and Improvements and for the Grant of Permanent Easement for Operational Control and Maintenance of an Equalization Basin, Pump Station and Control Facilities which is recorded with the Iowa Secretary of State.

This Easement shall be subject to the following terms and conditions:

1. **ERECTION OF STRUCTURES AND PLACEMENT OF EQUIPMENT OR PLANTINGS IN EASEMENT AREAS IN PUBLIC RIGHT-OF-WAY; DUTY TO RESTORE.**

(a) Grantor reserves the right to construct or authorize the construction of structures, or to place or authorize the placement of equipment or plantings, within Easement Areas in street or alley rights-of-way, including but not limited to

bridges; sanitary and storm sewers and appurtenances; water mains and appurtenances; traffic signals and appurtenant cables and boxes; streetlights; streetscape improvements including street furniture, planter boxes, fountains, public art, streets and sidewalks including special street or sidewalk surfaces; irrigations systems; and plantings including street trees, shrubs, flowers and sod;

all as it shall deem necessary or appropriate. Such structures, equipment and plantings shall be so placed as not to physically interfere with or prevent the day-to-day operation and maintenance of the sanitary sewer facility located within the Easement Areas.

(b) In the event Grantee is required to access the Easement Areas in public rights-of-way for purposes of repairing, reconstructing or replacing said sanitary sewer facilities, Grantee shall be responsible for restoring, at its sole cost and expense, or for paying Grantor's cost to restore, the Easement Areas, including street, alley and sidewalk surfaces, and all structures, equipment and plantings placed therein, which are disturbed, damaged or destroyed by such activities.

(c) In the event Grantor is required to access the Easement Areas in public rights-of-way for purposes of repairing, reconstructing or replacing its structures or equipment identified above, Grantor shall be responsible for restoring or repairing, at its sole cost and expense, or for paying Grantee's cost to restore, Grantee's sanitary sewer facilities which are disturbed, damaged or destroyed by such activities.

2. **ERECTION OF STRUCTURES IN EASEMENT AREAS ON OTHER CITY PROPERTIES.** Grantor shall not erect or authorize the erection of any structure, and shall not place or authorize the placement of equipment or trees, over or within Easement Areas on other properties owned by it without the prior written approval of the WRA.

3. **RIGHT OF ACCESS.** The WRA, its agents, contractors, employees and assigns shall have the right of access to the Easement Areas and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the Easement Areas listed and identified in Exhibit PE-3 hereto.

4. **EASEMENT RUNS WITH LAND.** This Easement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's successors and assigns.

5. **RESERVATION OF RIGHTS.** The Grantor does hereby reserve to itself, and this Easement is granted subject to, the right to regulate the use and occupancy of City street right-of-way.
  
6. **ABANDONMENT OF SEWER FACILITIES; TERMINATION OF EASEMENT INTEREST.** In the event the WRA shall by resolution of its Board declare an abandonment of any portion of the sanitary sewer facilities covered by this Easement, this Easement shall terminate as to such facilities and as to the property upon which same are located. Such facilities may be abandoned in place with the consent of the Grantor, but the WRA shall take such actions with respect to such facilities as Grantor may request to preserve and protect Grantor's property or other utilities situated upon said property.

Words and phrases herein including acknowledgment hereof shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

Signed this \_\_\_\_ day of \_\_\_\_\_

THE CITY OF POLK CITY, IOWA, GRANTOR

**By** \_\_\_\_\_  
 Jason Morse, Mayor

Attest:

\_\_\_\_\_  
 Jenny Gibbons, City Clerk

State of Iowa            )  
                                   ) ss  
 County of Polk         )

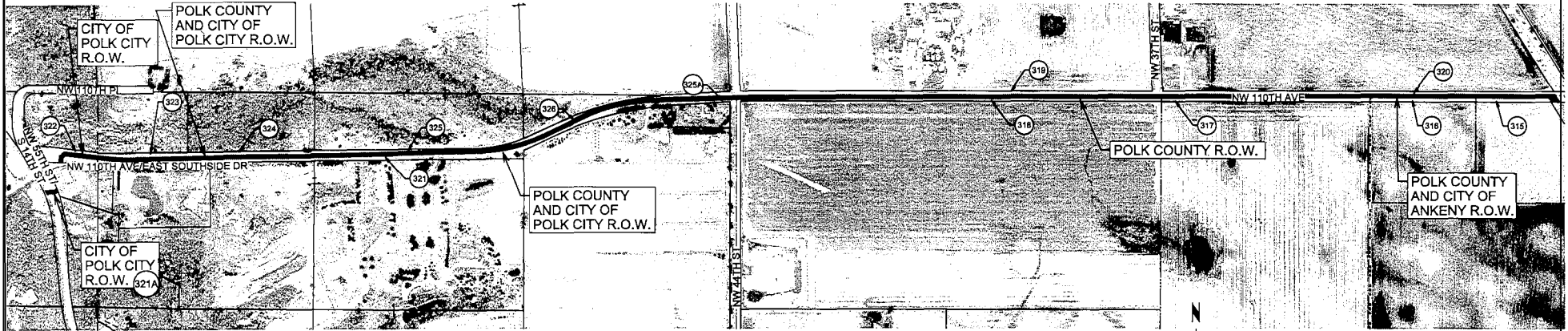
On this 26th day of May 2020, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Jason Morse and Jenny Gibbons, to me personally known, and, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively of the City of Polk City; that the seal affixed to the foregoing instrument is the corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by the authority of its City Council, under Resolution No. \_\_\_\_\_ of the City Council on the \_\_\_\_\_ day of \_\_\_\_\_ and that Jason Morse and Jenny Gibbons acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation by it voluntarily executed.

\_\_\_\_\_  
 Notary Public in and for the State of Iowa

I, Scott Hutchens, Director of the Des Moines Metropolitan Wastewater Reclamation Authority, do hereby certify that the within and foregoing Easement was duly approved and accepted by the Des Moines Metropolitan Wastewater Reclamation Authority by Resolution No. \_\_\_\_\_ passed on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, and this certificate is made pursuant to authority contained in said Resolution.

Signed this\_\_ day of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Scott Hutchens, WRA Director



**LEGEND**  
 - EASEMENTS FROM PRIVATE OWNERS  
 - EASEMENTS FROM PUBLIC OWNERS (POLK COUNTY, ANKENY, POLK CITY)  
 - OTHER EASEMENTS  
 0 PARCEL NUMBER

0

**ROCK CREEK INTERCEPTOR SEWER, PHASE 26  
 POLK COUNTY, IOWA**

**EXHIBIT PE-3**

PREPARED BY: I:RINGRIFFIN, SNYDER & ASSOCIATES, INC., 2721 SW SNYDER BLVD, ANKENY, IA 50023 (516)984-2020

RETURN TO: ERIN GRIFFIN, SNYDER & ASSOCIATES, INC., Z/27 SWSNYDER BLVD, ANKENY, IA 50023 (616)964-2020

### EASEMENT EXHIBIT

#### SANITMY SEWER EASEMENT DESCRIPTION:

A PART OF THE NORTH 1/2 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 7; THENCE SOUTH 00°07'24" WEST ALONG THE EAST LINE OF SAID SECTION 7, A DISTANCE OF 16.56 FEET; THENCE SOUTH 88°17'02" WEST, 524.61 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 1085.00 FEET, WHOSE ARC LENGTH IS 451.15 FEET AND WHOSE CHORD BEARS SOUTH 76°22'19" WEST, 447.91 FEET; THENCE SOUTH 64°27'35" WEST 245.65 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 1015.00 FEET, WHOSE ARC LENGTH IS 426.30 FEET AND WHOSE CHORD BEARS SOUTH 76°29'31" WEST, 423.17 FEET; THENCE SOUTH 88°31'26" WEST 964.31 FEET; THENCE SOUTH 89°31'44" WEST, 594.32 FEET; THENCE SOUTH 88°38'53" WEST, 532.99 FEET; THENCE WESTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2015.00 FEET WHOSE ARC LENGTH IS 270.46 FEET AND WHOSE CHORD BEARS NORTH 87°30'24" WEST 270.26 FEET; THENCE NORTH 83°51'31" WEST, 228.03 FEET; THENCE SOUTH 49°20'21" WEST, 16.99 FEET; THENCE SOUTH 02°20'21" WEST, 20.87 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF RW 110TH AVENUE; THENCE NORTH 87°50'07" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE 30.00 FEET; THENCE NORTH 02°20'21" EAST, 1.01 FEET; THENCE NORTH 49°20'21" EAST, 23.83 FEET TO THE CENTERLINE OF NW 110TH AVENUE; THENCE SOUTH 83°37'25" EAST ALONG SAID CENTERLINE, 252.88 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 2000.00 FEET, WHOSE ARC LENGTH IS 268.74 FEET AND WHOSE CHORD BEARS SOUTH 87°28'22" EAST, 268.53 FEET; THENCE NORTH 88°40'40" EAST CONTINUING ALONG SAID CENTERLINE 535.67 FEET; THENCE NORTH 89°27'28" EAST CONTINUING ALONG SAID CENTERLINE 571.72 FEET; THENCE NORTH 88°34'30" EAST CONTINUING ALONG SAID CENTERLINE 983.90 FEET; THENCE EASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1000.00 FEET, WHOSE ARC LENGTH IS 418.54 FEET AND WHOSE CHORD BEARS NORTH 76°35'05" EAST, 415.49 FEET; THENCE NORTH 64°35'40" EAST CONTINUING ALONG SAID CENTERLINE 251.03 FEET; THENCE NORTHEASTERLY CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 1100.00 FEET, WHOSE ARC LENGTH IS 450.62 FEET AND WHOSE CHORD BEARS NORTH 76°19'49" EAST, 447.48 FEET; THENCE NORTH 88°03'58" EAST CONTINUING ALONG SAID CENTERLINE, 529.10 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.51 ACRES (65,621 S.F.).

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

#### BASIS OF BEARING

THE NORTH LINE OF THE NE1/4 OF SEC 1-80 24 IS ASSUMED TO BEAR N00°07'24"E.

#### DATE OF SURVEY


JUNE 2008

#### OWNER

CITY OF POLK CITY  
112 3RD STREET  
POLK CITY, IA 50226

#### LEGEND

Survey	Found	Set
Section Corner	●	0
ROW Marker	■	8
Control Point	○	
Bench Mark	M	
Plotted Distance	P	
Measured Bearing It Distance	R	
Recorded It	C	
Deed Distance	D	
Calculated Distance	MPE	
Minimum Protection Elevation		
Centerline		
Section line		
V4- Section Line		
1/4 Section Line		
Easement Line		



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

*Erin D. Griffin* 5/20/14 Date

Erin D. GRIFFIN, PLS  
License HJ1718 1971a

My Lic. No. is 01101615 D- 31, 2015

P a- Sheet .....i by fht\* uotr  
Sh<lets 1cmd2

### PARCEL 321 -- 110TH AVENUE POLK COUNTY .. ROCK CREEK TRUNK SEWER

**SNYDER & ASSOCIATES, INC.** 2727 S.W. SNYDER BLVD. ANKENY, IA 50023 (515) 964-2020  
Engineers and Planners

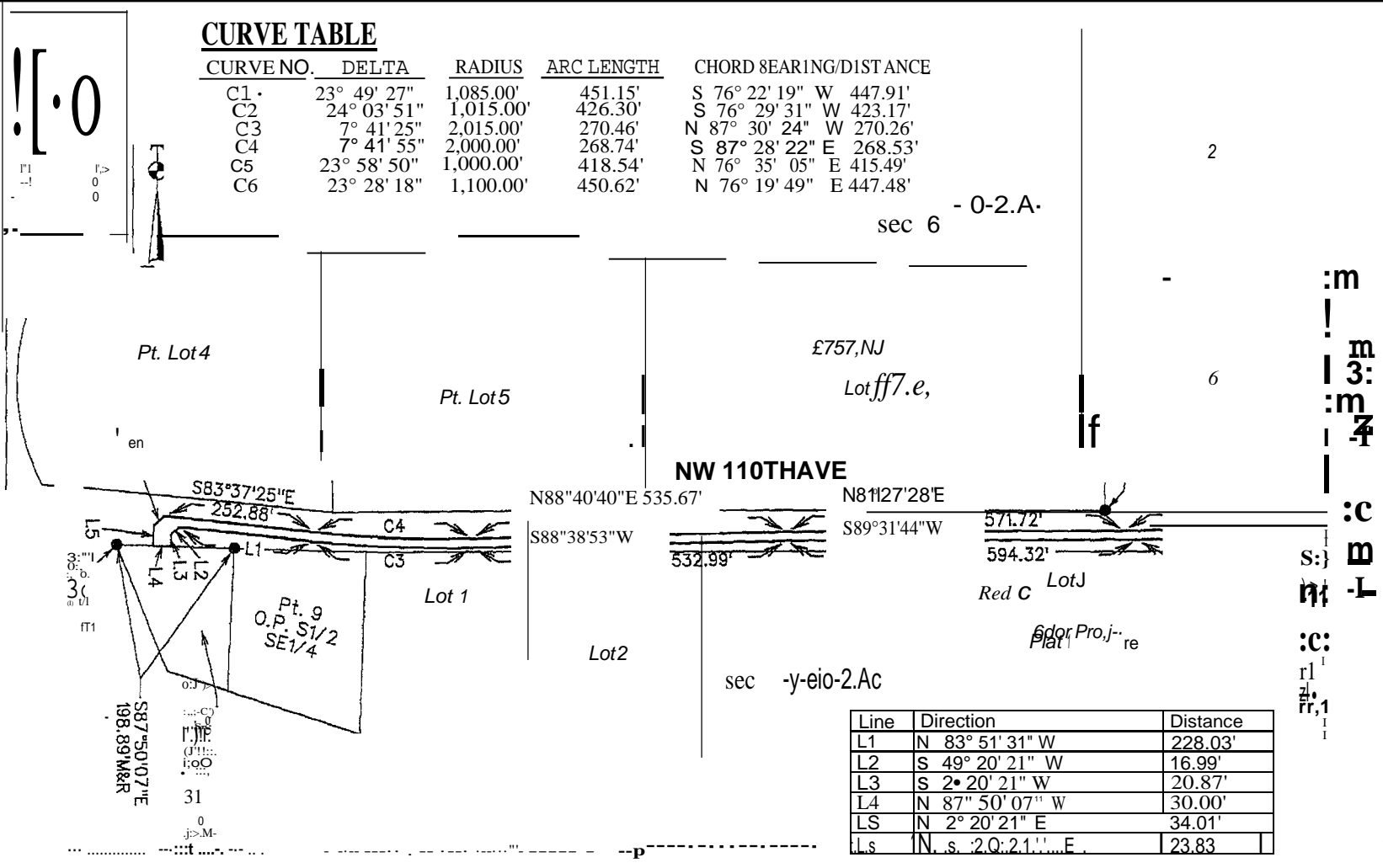
SHEET 1 OF 3  
10700880  
PM: EOG  
DATE: 02/10/14  
TECH: SGK





**CURVE TABLE**

CURVE NO.	DELTA	RADIUS	ARC LENGTH	CHORD BEARING/DISTANCE
C1	23° 49' 27"	1,085.00'	451.15'	S 76° 22' 19" W 447.91'
C2	24° 03' 51"	1,015.00'	426.30'	S 76° 29' 31" W 423.17'
C3	7° 41' 25"	2,015.00'	270.46'	N 87° 30' 24" W 270.26'
C4	7° 41' 55"	2,000.00'	268.74'	S 87° 28' 22" E 268.53'
C5	23° 58' 50"	1,000.00'	418.54'	N 76° 35' 05" E 415.49'
C6	23° 28' 18"	1,100.00'	450.62'	N 76° 19' 49" E 447.48'



Line	Direction	Distance
L1	N 83° 51' 31" W	228.03'
L2	S 49° 20' 21" W	16.99'
L3	S 2° 20' 21" W	20.87'
L4	N 87° 50' 07" W	30.00'
LS	N 2° 20' 21" E	34.01'
Ls	N s. 20.21" E	23.83'

## EASEMENT EXHIBIT

**SANITARY SEWER EASEMENT DESCRIPTION:**

A PART OF THE NORTH 1/2 OF SECTION 7, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF POLK CITY, POLK COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

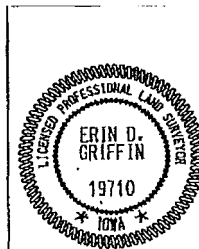
COMMENCING AT THE SOUTHWEST CORNER OF AN ACQUISITION PLAT RECORDED IN 80014 14259, PAGE 411 OF THE OFFICE OF THE POLK COUNTY RECORDER; THENCE NORTH 21°51'12" WEST ALONG THE EAST RIGHT-OF-WAY LINE OF NW 55TH STREET, 22.44 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 68°07'54" WEST, 47.66 FEET; THENCE NORTH 89°22'06" WEST, 46.55 FEET TO THE WEST RIGHT-OF-WAY LINE OF NW 55TH STREET, THENCE NORTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE AND ALONG A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 410.51 FEET. WHOSE ARC LENGTH IS 33.70 FEET AND WHOSE CHORD BEARS NORTH 26°26'42" WEST, 33.69 FEET; THENCE SOUTH 89°22'06" EAST, 55.92 FEET; THENCE NORTH 68°07'54" EAST, 41.70 FEET TO THE EAST RIGHT-OF-WAY LINE OF NW 55TH STREET; THENCE SOUTH 21°51'12" EAST ALONG SAID EAST RIGHT-OF-WAY LINE, 30.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.07 ACRES C2,B70 S.F.I.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

<b><u>BASIS OF BEARING</u></b>	<b><u>DATE OF SURVEY</u></b>	<b><u>OWNER</u></b>
THE WEST LINE OF ACQUISITION PLAT BOOK 14259, PAGE 411 IS ASSUMED TO BEAR N21°51'12"W.	JUNE 2008	CITY OF POLK CITY 112 3RD STREET POLK CITY, IA 50226

**LEGEND**

<u>Survey</u>	<u>Found</u>	<u>File</u>
Section Corner	.....	..
1/2" Rebar, Yellow Cop " 19710 (Unless Otherwise Noted)	●	0
ROW Marker	●	EI
Control Point	X	&
Bench Mark	41	
Plotted Distance	P	
Measured Bearing & Distance	M	
Recorded /Is	R	
Deed Distance	D	
Calculated Distance	C	
Minimum Protection Elevation	MPE	
Centerline		
Section Line		
1/4 Section Line		
1/4 1/4 Section Line		
Easement Line		



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.

*Erin D. Griffin* 5/20/14  
Erin D. Griffin PLS (Date)  
License # 19710  
I, the undersigned, do hereby certify that I am the author of the above described survey and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.  
P0900 (er sh. tS) OY (ed by ihs S<GI: |  
Sheets 1 and 2

<b>PARCEL 321A-NW 55TH STREET</b>	SHEET 1 OF 2
<b>POLK COUNTY - ROCK CREEK TRUNK SEWER</b>	1D70088Q
SNYDER & ASSOCIATES, INC.	pl.i: EDG;
eJ Engineers and Planners	DATE: 05/01/14
2727 S.W. SNYDER BLVD.	TECH: SGKI
ANKENY, IA 50023 (515) 964-2020	





## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager

**Subject:** Public hearing & approval request for budget amendment number 2 for FY2020

---

**BACKGROUND:** On Tuesday evening, the Council will have a public hearing in relation to a proposed budget amendment for the FY2020 budget. I am proposing a budget amendment in the amount of \$149,000 for the following functions of the City's budget:

1. Public Safety
  - a. Police Department +\$32,000; includes Attorney fees, vehicle operations, uniforms, phones, and programs
  - b. Building/Housing +\$35,000; includes salary for public works, IPERS, telephone services and engineer fees
2. Culture and Recreation; +\$59,500; includes amending to incorporate new Parks and Recreation Director position and additional mowing costs
3. General Government; +\$22,000; includes amending City Hall group insurance, office supplies, and attorney fees

**ALTERNATIVES:** Do not approve the budget amendment

**FINANCIAL CONSIDERATIONS:** The financial considerations will not exceed \$149,000. I am recommending the City Council approve the budget amendment, although I am not sure we will actually need to utilize the full amount-this is more to be on the safe side and to get us through the remaining fiscal year, ending June 30, 2020.

**RECOMMENDATION:** It is my recommendation that the Council approve the proposed budget amendment #2.



**MEETING MINUTES**  
**The City of Polk City**  
**City Council Meeting**  
**6:00 p.m., May 11 2020**  
**City Hall – VIA ZOOM**

Polk City, City Council held a meeting via ZOOM at 6:00 p.m., on May 11, 2020. The Agenda was posted at the City Hall office as required by law. **These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** / Mayor Morse called the meeting to order at 6:00 p.m.
2. **Roll Call** / Walters, Vogel, Dvorak, Anderson, Sarchet | In attendance via zoom
3. **Approval of Agenda**  
**MOTION:** A motion was made by Walters and seconded by Vogel to approve the meeting agenda  
**MOTION CARRIED UNANIMOUSLY**
4. **Public Hearings**
  - a. Vacation of a portion of the Overland Flowage Easement in White Tail Ridge Plat 2
    - i. Mayor Morse opened the Public Hearing at 6:03 p.m. on the proposed vacation of a portion of the Overland Flowage Easement in White Tail Ridge Plat 2. City Clerk, Jenny Gibbons, said the notice was published May 1, 2020 and no comments had been received for or against the proposed vacation. City Engineering Representative, Kathleen Connor provided a report. No one was present on the phone to be heard for or against the proposed vacation.  
**MOTION:** A motion was made by Walters and seconded by Dvorak to close the public hearing at 6:04 p.m.  
**MOTION CARRIED UNANIMOUSLY**
    - ii. **MOTION:** A motion was made by Vogel and seconded by Walters to approve the first reading of Ordinance 2020-600 to vacating a portion of the Overland Flowage Easement in White Tail Ridge Plat 2  
**MOTION CARRIED UNANIMOUSLY**
  - b. Comp Plan Amendment
    - i. Mayor Morse opened the Public Hearing at 6:05 p.m. on the proposed Comp Plan Amendment. City Clerk, Jenny Gibbons, said the notice was published May 1, 2020 and no comments had been received for or against the proposed agreement. City Engineering Representative, Kathleen Connor provided a report. Engineer, Roger Silver provided comments as a representative of the Developer. Dave Mulder, 1312 NW 44<sup>th</sup> St. and Doug Layton, 1420 E Southside Dr. were on the phone and spoke against the proposed amendment. Council discussed the proposed amendment.  
**MOTION:** A motion was made by Vogel and seconded by Anderson to close the public hearing at 6:24 p.m.  
**MOTION CARRIED UNANIMOUSLY**
    - ii. **MOTION:** A motion was made by Sarchet and seconded by Walters to approve Resolution 2020-48 approving Comp Plan Amendment  
**MOTION CARRIED UNANIMOUSLY**
  - c. Snetselaar & Lillskau Petitions to Rezone
    - i. Mayor Morse opened the Public Hearing at 6:24 p.m. on the proposed rezoning petitions from Snetselaar and Lillskau. City Clerk, Jenny Gibbons, said the notice was published May 1, 2020 and read 2 written comments that had been received against the proposed rezoning from Jerry & Barb Greenwell, 2620 E Southside Dr. and Dave Mulder, 1312 NW 44<sup>th</sup> St. City Engineering Representative, Kathleen Connor provided a report. Engineer, Roger Silver provided comments as a representative of the Developer. Jerry Greenwell, 2620 E Southside Dr. was present on the phone to be heard against the proposed rezoning. Council discussed the rezoning.  
**MOTION:** A motion was made by Anderson and seconded by Walters to close the public hearing at 6:50 p.m.  
**MOTION CARRIED UNANIMOUSLY**
    - ii. **MOTION:** A motion was made by Vogel and seconded by Walters to approve the first reading of Ordinance 2020-900 rezoning 82.82 acres to R1  
**YES: Walters, Vogel, Dvorak, Anderson**  
**NO: Sarchet**  
**MOTION CARRIED**
    - iii. **MOTION:** A motion was made by Vogel and seconded by Walters to approve the first reading of Ordinance 2020-1000 rezoning 31.86 acres to R2  
**YES: Walters, Vogel, Anderson**  
**NO: Dvorak, Sarchet**  
**MOTION CARRIED**
    - iv. **MOTION:** A motion was made by Walters and seconded by Vogel to approve the first reading of Ordinance 2020-1100 rezoning 14.60 acres to R2A

**YES: Vogel, Walters**  
**NO: Dvorak, Anderson, Sarchet**  
**MOTION FAILED**

- v. **MOTION:** A motion was made by Vogel and seconded by Walters to approve the first reading of Ordinance 2020-1200 rezoning 34.16 acres to C2  
**YES: Walters, Vogel**  
**NO: Dvorak, Anderson, Sarchet**  
**MOTION FAILED**

**5. Consent Items**

**MOTION:** A motion was made by Vogel and seconded by Sarchet to approve the consent agenda items

- a. City Council Meeting Minutes for April 27, 2020
- b. City Council Work Session Meeting Minutes for April 27, 2020
- c. Claims listing May 11, 2020
- d. March 2020 Finance Report
- e. Amend the Polk City Employee Handbook regarding pay periods
- f. Approve twelve months Class C Liquor License for Kum & Go with Sunday Sales effective 7/1/20
- g. Approve Twelve-month Tobacco Permit for Fareway Stores Inc. #137 effective July 1, 2020
- h. Approve Twelve-month Tobacco Permit for Casey's Store #1144 effective July 1, 2020
- i. Resolution 2020-49 Setting a Date of Meeting at Which it is Proposed to Approve a Development Agreement with Kwik Trip, Inc., Including Annual Appropriation Tax Increment Payments
- j. Appoint Rod Bergren to the vacancy on the Library Board with a term expiring 6/30/2025
- k. Twelve months High Proof Brew Pub Liquor License for Fenders effective July 14, 2020
- l. Resolution 2020-50 setting Public Hearing for the intent to assign and convey improvements, property and permanent easements to the WRA
- m. Resolution 2020-54 setting Public Hearing for FY 19/20 Budget Amendment
- n. Receive and file the April 6, 2020 Library Board Meeting Minutes
- o. Receive and file the April 2020 Library Stats Report
- p. Receive and file the April 2020 Library Director Report
- q. Acknowledge Library Resolution 2020-03L, Special Revenue Fund, Expendable Trust Account
- r. Resolution 2020-51 authorizing the disposal of non-function or obsolete Police equipment and gear
- s. Receive and file the April 2020 Water Report
- t. Receive and file the May 11, 2020 Parks and Recreation Department Updates

**MOTION CARRIED UNANIMOUSLY**

**6. Business Items**

- a. **MOTION:** A motion was made by Sarchet and seconded by Dvorak to approve Resolution 2020-52 approving Pay App No. 4 for the 2019 Street Repair Project in the amount of \$29,737.85  
**MOTION CARRIED UNANIMOUSLY**
- b. **MOTION:** A motion was made by Sarchet and seconded by Vogel to approve Resolution 2020-53 approving a Memorandum of Understanding with Metro Waste Authority and approving an Agreement for the Collection of Solid Waste between Metro Waste Authority and Ankeny Sanitation, Inc.  
**YES: Vogel, Anderson, Sarchet, Walters**  
**NO: Dvorak**  
**MOTION CARRIED**
- c. **MOTION:** A motion was made by Dvorak and seconded by Sarchet to approve redesign of the city website with Civic Plus in the amount of \$11,000
- d. **MOTION CARRIED UNANIMOUSLY MOTION:** A motion was made by Vogel and seconded by Sarchet to approve the first reading of Ordinance 2020-500 amending Chapter 106 concerning collection of solid waste  
**YES: Sarchet, Walters, Vogel, Anderson**  
**NO: Dvorak**  
**MOTION CARRIED**
- e. **MOTION:** A motion was made by Walters and seconded by Vogel to approve the first reading of Ordinance 2020-700 amending water rates  
**MOTION CARRIED UNANIMOUSLY**
- f. **MOTION:** A motion was made by Dvorak and seconded by Anderson to approve the first reading of Ordinance 2020-800 amending the provisions regarding Fireworks  
**MOTION CARRIED UNANIMOUSLY**
- g. **MOTION:** A motion was made by Vogel and seconded by Sarchet to approve the third and final reading of Ordinance 2020-400 Adding Recycling Chapter  
**MOTION CARRIED UNANIMOUSLY**

7. **Reports & Particulars** | Mayor, Council, City Manager, Staff, Boards, and/or Commissions

- City Manager Huisman reviewed communication regarding Utility Bill changes and asked Mayor and Council for feedback prior to inclusion with the next utility bill. Huisman said discussions about reopening public facilities in Polk City and the metro are on hold until June at which time local governments will be looking at some type of a phased approach.
- Council Member Sarchet discussed the cancellation of the DSM Partnership trip and the Four Seasons Festival.
- Fire Chief Mitchell shared information on the upcoming pancake breakfast drive through Saturday May 16<sup>th</sup>. Social Distancing practices will be used as well as all volunteers are wearing PPE.
- Council Member Walters said the Festival cancelation is sad but understandable and looking forward to 2021.
- Council Member Anderson sad cancelations of events and keeping city facilities closed until further notice are good decisions. He encouraged Huisman to not rush into anything and error on the side of caution.
- Council Member Vogel discussed the rezoning petitions and the amount of time P&Z reviewed options and worked with the developer. She said despite the residents that strongly oppose commercial, it is part of the Council's duty to look ahead to get tax base. She encouraged Council to clarify intentions and expectations for P&Z moving forward. Vogel thanked staff for the efforts on communication for the Utility Bill changes in preparation of the impending tough conversations that will transpire. She thanked staff for the work creating good information in the CIP to help Council make decisions in the best interest of the City as a whole.
- Council Member Dvorak shared his appreciation for the CIP work and his sadness regarding the cancelation of the Festival.
- Mayor Morse enacted three proclamations recognizing May 17-23<sup>rd</sup> National Public Works Week, May 17-23<sup>rd</sup> EMS Week, and May 10-16 National Police Week, and he also recognized the week of May 4-9<sup>th</sup> as City Clerk Week. Mayor discussed guidance coming from the Saylorville office regarding re-opening the parks and campgrounds surrounding Polk City. He said that Federal parks will open in June, however playground and picnic areas will remain closed for the 2020 season. He confirmed no summer programs would be held in Polk City at the Library or Sports Complex. He echoed the comments of the Council regarding the Festival cancelations. Mayor thanked volunteers and contributors for the grab & go meals with North Polk, but the program will be ending May 27<sup>th</sup>. He shared his appreciation for the way the community has responded to the Comet Cupboards and thanked Kiwanis and PC Community Foundation for their monetary contributions to support the kids of Polk City. He shared some quick stats that indicate 8 bags of groceries are going out of the cupboard per day in addition to the 100 bags of groceries that were distributed from May day event, plus the dozen bags dropped off for the elderly. The number of families needing assistance continues to grow and some high demand items are needed immediately including peanut butter, cereal, diapers etc. Mayor encourages everyone that is able to support local businesses and volunteer organizations as much as possible as this time of need is going to be ongoing for some time. Mayor called attention to the next meeting scheduled for Tuesday May 26<sup>th</sup> due to the Memorial Day Holiday.

8. **Adjournment**

**MOTION:** A motion was made by Anderson and seconded by Sarchet to adjourn at 7:43 p.m.

**MOTION CARRIED UNANIMOUSLY**

*Next Meeting Date – TUESDAY, May 26, 2020*

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Jason Morse, Mayor

Attest

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Jenny Gibbons, City Clerk



**MEETING MINUTES**  
**The City of Polk City**  
**Work Session**  
**5:000 p.m., Monday, May11, 2020**  
**City Hall Council Chambers – VIA ZOOM**

A Council Work Session was held on May 11, 2020 at 5:00 p.m. via Zoom.

<p><b><u>Mayor and City Council Members Present:</u></b></p> <p>Jason Morse   Mayor Dave Dvorak   Pro Tem Jeff Walters   City Council Member Mandy Vogel   City Council Member Ron Anderson   City Council Member Robert Sarchet   City Council Member</p>	<p><b><u>Staff Members Present:</u></b></p> <p>Chelsea Huisman   City Manager Jenny Gibbons   City Clerk Mike Schulte   Public Works Director Jeremy Siepker   Police Chief Jim Mitchell   Fire Chief Jamie Noack   Library Director Jason Thraen   Parks &amp; Rec Director</p>
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**Minutes**

City Manager, Chelsea Huisman reviewed the equipment list and project list in Polk City’s 5-year Capital Improvement Plan (CIP).

Council had discussion and questions with staff regarding certain projects. Council will bring back their preferred rankings of project in two weeks. Follow up work session will be held June 8, 2020.

**Adjournment** – Meeting adjourned at 5:58 p.m.

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Jason Morse, Mayor

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Jenny Gibbons, City Clerk

**MEETING MINUTES**  
**The City of Polk City**  
**Planning and Zoning Commission**  
**6:00 p.m., Monday, May 18, 2020**

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on May 18, 2020 via ZOOM. The Agenda was posted at the City Hall office as required by law. **These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Chair Dietz called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Triplett, Bowersox, Dietz, Ohlfest, Vogel, Sires | In attendance via ZOOM
3. **Approval of Agenda**  
**MOTION:** A motion was made by Ohlfest and seconded by Bowersox to approve the agenda.  
**MOTION CARRIED UNANIMOUSLY**
4. **Audience | No comments**
5. **Approval of Meeting Minutes**  
**MOTION:** A motion was made by Bowersox and seconded by Ohlfest to approve the April 20, 2020 meeting minutes.  
**YES: Ohlfest, Vogel, Sires, Hankins, Triplett, Bowersox**  
**ABSTAIN: Dietz**  
**MOTION CARRIED**
6. **Zunkel Estates Plat 1**, Vic Piagentini, AEC Engineer for Zunkel Estates Plat 1 reported details on this plat within 2 miles of Polk City. All City Engineering comments were addressed.
  - a. **MOTION:** A motion was made by Ohlfest and seconded by Bowersox to recommend Council approval of the Preliminary Plat  
**MOTION CARRIED UNANIMOUSLY**
  - b. **MOTION:** A motion was made by Ohlfest and seconded by Bowersox to recommend Council approval of the Final Plat  
**MOTION CARRIED UNANIMOUSLY**
7. **Big Creek Technology Campus Plat 4**, Paul Claussen with CEC reported details on the Preliminary and Final Plat. Commission discussed zoning and trail easement.
  - a. **MOTION:** A motion was made by Hankins and Vogel by Bowersox to recommend Council approval of the Preliminary Plat subject to all engineering comments dated May 13, 2020 being satisfactorily addressed  
**MOTION CARRIED UNANIMOUSLY**
  - b. **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend Council approval of the Final Plat subject to all engineering comments dated May 14, 2020 being satisfactorily addressed  
**MOTION CARRIED UNANIMOUSLY**
8. **P&M Apparel Site Plan**, Mark Thiessen, Angelo Architectural Associates LLC, on behalf of Kay Ferin, P&M Owner presented the Site Plan for a new building located at the SW corner of W Bridge Rd and 5<sup>th</sup> Street. Kathleen Connor, City Engineering Representative commented on provisions for a sidewalk easement, lighting plan and storm water discharge. Dan Southwick, Bishop Engineering responded. Hankins expressed his desire to limit sidewalk deferments as much as possible because of the Community

Visioning Committee focusing on eliminating gaps. He also requested P&M reconsider installation of a bike rack in their parking lot. Hankins shared his concern regarding the single pitch roof and Commission discussed their thoughts and also discussed traffic patterns.

**MOTION:** A motion was made by Hankins and seconded by Sires to recommend Council approval of the P&M Apparel Site Plan subject to the Engineering comments dated May 13, 2020 being satisfactorily addressed

**MOTION CARRIED UNANIMOUSLY**

- 10. Reports & Particulars** – Council Member Anderson reported hiccups at the Council meeting regarding the Snetselaar property, but he said he is confident it will be revisited at an upcoming Council meeting. Ohlfest asked for an update on HyVee and Kwik Star. City Manager Huisman said there was not an update to report on HyVee but Kwik Star has submitted plans and anticipates them moving forward at the June P&Z meeting.

**11. Adjournment**

**MOTION:** A motion was made by Ohlfest and seconded by Bowersox to adjourn at 6:44 p.m.

**MOTION CARRIED UNANIMOUSLY**

*Next Meeting Date – Monday, June 15, 2020*

Attest:

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Jenny Gibbons - City Clerk

CLAIMS REPORT  
CITY OF POLK CITY

DATED 5/26/2020

VENDOR	REFERENCE	AMOUNT
ACCUJET LLC	VAC LIFT STATION -BRIDGEWOOD	\$ 600.24
ALBAUGH MCGOVERN POST 42	FLAGS	\$ 275.72
Amazon	LIBRARY BOOKS	\$ 1,058.66
ANKENY HARDWARE	HOSES	\$ 59.97
ANKENY SANITATION	TRASH SERVICE	\$ 514.18
ARDICK EQUIPMENT CO.	SIGNS	\$ 285.80
ATHELBERT HARDING PLLC	3RD QUARTER MEDICAL DIR FEES	\$ 500.00
AUREON TECHNOLOGY	LITE SURFACE PRO - JASON	\$ 8,464.32
BAKER & TAYLOR	BOOKS	\$ 130.62
CAPITAL SANITARY SUPPLY	CLEANING SUPPLIES	\$ 274.10
CENTRAL IOWA DISTRIBUTING	CLEANING SUPPLIES	\$ 512.40
CHR TIRE AND AUTO	TIRE REPAIR	\$ 149.48
CITY OF DES MOINES	WRA	\$ 25,677.30
CITY OF POLK CITY	UB ASSISTANCE - COVID 19	\$ 143.29
CLEANING CONNECTION INC	CARPET/FLOOR CLEANING	\$ 1,494.00
Controlled Access of the Midwest	CITY HALL REMODEL - FRONT DOOR	\$ 1,950.00
D & K PRODUCTS	MARINA COVE POND	\$ 2,103.95
DEE LARKIN	PET LICENSE REIMBURSEMENT	\$ 20.00
Delta Dental	DENTAL INSURANCE	\$ 984.46
Ferguson Waterworks	EQUIPMENT REPAIRS	\$ 9,484.26
FREEDOM FLATWORK	REPAIR DAMAGED SIDEWALK	\$ 2,375.00
GALL'S INC.	UNIFORMS - DELANEY	\$ 351.23
GNA TRUCKING LLC	TRUCKING SERVICES	\$ 745.20
GOODE GREENHOUSE	TOWNSQUARE PLANTS	\$ 88.22
Gurnsey Electric Co	REPLACE TIMER	\$ 264.22
HAWKINS INC	AZONE CHLORINE	\$ 1,310.61
HOLLIE SMITH GLASS & DOOR	CITY HALL REMODEL	\$ 4,011.75
IOWA LAW ENFORCEMENT ACADEMY	292nd BASIC ILEA SCHOOL	\$ 6,875.00
IOWA LEAGUE OF CITIES	IOWA MUNICIPAL PROFESSIONALS	\$ 960.00
IOWA ONE CALL	UNDERGROUND LOCATIONS	\$ 174.70
JAMIE NOACK	MILEAGE REIMBURSEMENT	\$ 474.31
KIMBALL MIDWEST	RESTOCK	\$ 689.75
MARTIKA DANIELS	SUMMER READING PERFORMER	\$ 200.00
MEDIACOM	INTERNET SERVICE	\$ 281.30
MERCYONE NORTH PHARMACY	PO 59498 - 2/10/20	\$ 1,321.42
MICROMARKETING, LLC	BOOK ON CD	\$ 29.99
MIDAMERICAN ENERGY	ELECTRIC CHARGES	\$ 5,171.81
MIDLAND POWER CO-OP	STREET LIGHTING	\$ 446.13
MIDWEST OFFICE TECHNOLOGY	COPIER RENTAL	\$ 169.18
MIKAYLA OZ	SUMMER READING PERFORMER	\$ 200.00
OFFICE OF AUDITOR OF STATE	FILING FEE FOR FY19 AUDIT	\$ 425.00
POLK CITY VETERINARY HOSPITAL	EYE MEDICATION FOR E6	\$ 68.08
POLK COUNTY HEATING & COOLING	CLEAN OUT SOUTHSIDE DRIVE	\$ 550.00

POLK COUNTY TREASURER	ANIMAL CNTL FEES 4/2020	\$ 226.12
RANGEMASTERS TRAINING CENTER	AMMUNITION	\$ 122.00
SCIENCE TELLERS	SUMMER READING PERFORMANCE	\$ 195.00
Sprayer Specialities Inc	TRIGGER NOZZLE GUN	\$ 92.11
TK Concrete Inc	2019 STREET REPAIRS PROJECT	\$ 73,539.98
UNITED HEALTHCARE	HEALTH INSURANCE	\$ 20,863.23
VAN-WALL EQUIPMENT	VEHICLE REPAIR PARTS	\$ 499.55
WRIGHT EXPRESS FLEET SERVICES	FUEL	\$ 888.43
WRIGHT OUTDOOR SOLUTIONS	GRIND BRUSH PILE	\$ 5,028.00
Accounts Payable Total		\$ 183,320.07
GENERAL		\$ 56,295.32
ROAD USE		\$ 6,049.61
L.M.I		\$ 49.29
CAPITAL IMPROVEMENTS		\$ 73,539.98
WATER		\$ 16,409.98
SEWER		\$ 30,975.89
TOTAL FUNDS		\$ 183,320.07





**POLK CITY** - A City For All Seasons -

# **Monthly Finance Report April 2020**

**Prepared By: Jenny Gibbons**

ACCOUNT TITLE	LAST REPORT END BALANCE	RECEIVED	DISBURSED	CHANGE IN LIABILILTY	ENDING BALANCE
001 GENERAL	3,899,287.15	1,202,224.30	292,772.60	4.40	4,808,743.25
110 ROAD USE	112,842.87	39,806.45	35,196.31	.00	117,453.01
111 I-JOBS	.00	.00	.00	.00	.00
125 TIF	210,057.70	.00	.00	.00	210,057.70
135 L.M.I	1,592,666.09	.00	.00	.00	1,592,666.09
167 PC COMM. LIB TRUST	14,413.83	.00	9.99	.00	14,403.84
177 ASSET FORFEITURE	4,326.25	.00	.00	.00	4,326.25
200 DEBT SERVICE	155,198.78	.00	.00	.00	155,198.78
301 CAPITAL IMPROVEMENTS	133,143.61	.00	1,440.00	.00	131,703.61
302 CAPITAL WATER PROJECT	2,238,460.40	.00	.00	.00	2,238,460.40
600 WATER	790,707.94	74,125.32	57,763.12	2.20	807,072.34
610 SEWER	622,791.76	111,488.48	56,811.28	2.22	677,471.18
670 SOLID WASTE/RECYCLING	.00	.00	.00	.00	.00
920 ESCROW	.00	.00	.00	.00	.00
Report Total	9,773,896.38	1,427,644.55	443,993.30	8.82	10,757,556.45



**BANK CASH REPORT  
2020**

BANK FUND	BANK NAME	MARCH CASH BALANCE	APRIL RECEIPTS	APRIL DISBURSMENTS	APRIL CASH BALANCE	OUTSTANDING TRANSACTIONS	APR BANK BALANCE
<b>Grinnell State Bank</b>							
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BANK 001	Grinnell State Bank						6,179,992.94
110	CHECKING - GENERAL	101,858.11-	1,202,363.99	294,818.44	805,687.44	100,764.70	
111	CHECKING - ROAD USE	112,842.87	39,806.45	35,196.31	117,453.01	4,484.61	
112	CHECKING - I-JOBS	0.00	0.00	0.00	0.00		
125	CHECKING - EMPLOYEE BENEFIT	0.00	0.00	0.00	0.00		
135	CHECKING - TIF	210,057.70	0.00	0.00	210,057.70		
167	CHECKING - L.M.I.	873,623.23	0.00	0.00	873,623.23		
177	CHECKING - PC COMM. LIB TRUST	14,413.83	0.00	9.99	14,403.84	9.99	
200	CHECKING - FORFEITURE	4,326.25	0.00	0.00	4,326.25		
301	CHECKING - DEBT SERVICE	155,198.78	0.00	0.00	155,198.78		
302	CHECKING - CAPITAL PROJECT	133,143.61	0.00	1,440.00	131,703.61	1,440.00	
600	CHECKING - CAPITAL WATER PROJ	2,238,460.40	0.00	0.00	2,238,460.40		
610	CHECKING - WATER UTILITY	790,706.94	79,961.90	63,597.50	807,071.34	10,065.63	
670	CHECKING - SEWER UTILITY	622,790.76	111,785.09	57,105.67	677,470.18	38,585.38	
920	CHECKING-SOLID WASTE/RECYCLING	0.00	0.00	0.00	0.00		
	CHECKING - ESCROW BANK ACCOUNT	0.00	0.00	0.00	0.00		
	DEPOSITS					11,112.09	
	WITHDRAWALS					298.94	
	Grinnell State Bank TOTALS	5,053,706.26	1,433,917.43	452,167.91	6,035,455.78	144,537.16	6,179,992.94
<b>LUANA SAV. BK MONEY MARKET</b>							
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BANK 001	LUANA SAV. BK MONEY MARKET						1,638,002.08
135	Luana Savings Bank - M.M. Accto	917,346.25	1,613.97	0.00	918,960.22		
	Luana Money Market Account	719,041.86	0.00	0.00	719,041.86		
	LUANA SAV. BK MONEY MARKET TOT	1,636,388.11	1,613.97	0.00	1,638,002.08	0.00	1,638,002.08
<b>GRINNELL STATE BK- C.D.</b>							
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BANK 001	GRINNELL STATE BK- C.D.						1,068,382.98
	GRINNELL STATE BANK CD	1,068,382.98	0.00	0.00	1,068,382.98		
	GRINNELL STATE BK- C.D. TOTALS	1,068,382.98	0.00	0.00	1,068,382.98	0.00	1,068,382.98
<b>GRINNELL STATE BK-MONEY MARKET</b>							
-----							
BANK 001	GRINNELL STATE BK-MONEY MARKET						451,282.20
	SUPER MONEY MKT II	450,985.62	296.58	0.00	451,282.20		
	GRINNELL STATE BK-MONEY MARKET	450,985.62	296.58	0.00	451,282.20	0.00	451,282.20
<b>LUANA SAVINGS BANK CD</b>							
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BANK 001	LUANA SAVINGS BANK CD						1,563,994.41
	LUANA BANK C.D.-1.85%	1,563,994.41	0.00	0.00	1,563,994.41		
	LUANA SAVINGS BANK CD TOTALS	1,563,994.41	0.00	0.00	1,563,994.41	0.00	1,563,994.41

# BANK CASH REPORT 2020

BANK NAME FUND GL NAME	MARCH CASH BALANCE	APRIL RECEIPTS	APRIL DISBURSMENTS	APRIL CASH BALANCE	OUTSTANDING TRANSACTIONS	APR BANK BALANCE
TOTAL OF ALL BANKS	9,773,457.38	1,435,827.98	452,167.91	10,757,117.45	144,537.16	10,901,654.61

**BUDGET REPORT**  
**CALENDAR 4/2020, FISCAL 10/2020**

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	GENERAL TOTAL	4,110,866.00	292,772.60	3,231,944.17	78.62	878,921.83
	ROAD USE TOTAL	517,793.00	35,196.31	392,312.43	75.77	125,480.57
	TIF TOTAL	336,600.00	.00	144,419.60	42.91	192,180.40
	L.M.I TOTAL	36,000.00	.00	7,737.00	21.49	28,263.00
	PC COMM. LIB TRUST TOTAL	5,000.00	9.99	1,443.71	28.87	3,556.29
	ASSET FORFEITURE TOTAL	.00	.00	1,356.25	.00	1,356.25-
	DEBT SERVICE TOTAL	341,080.00	.00	60,590.00	17.76	280,490.00
	CAPITAL IMPROVEMENTS TOTAL	1,087,515.00	1,440.00	963,247.11	88.57	124,267.89
	CAPITAL WATER PROJECT TOTAL	500,000.00	.00	.00	.00	500,000.00
	WATER TOTAL	1,057,392.00	57,763.12	786,192.99	74.35	271,199.01
	SEWER TOTAL	1,514,212.00	56,811.28	1,284,575.90	84.83	229,636.10
	TOTAL EXPENSES BY FUND	=====	=====	=====	=====	=====
		9,506,458.00	443,993.30	6,873,819.16	72.31	2,632,638.84
		=====	=====	=====	=====	=====

**BUDGET REPORT**  
**CALENDAR 4/2020, FISCAL 10/2020**

**PCT OF FISCAL YTD 83.3%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	917,722.00	64,945.51	793,759.02	86.49	123,962.98
	CIVIL DEFENSE TOTAL	15,400.00	105.76	4,736.57	30.76	10,663.43
	FIRE TOTAL	701,080.00	33,814.68	463,432.76	66.10	237,647.24
	BUILDING/HOUSING TOTAL	394,892.00	50,914.00	374,737.19	94.90	20,154.81
	DOG CONTROL TOTAL	2,000.00	436.12	1,727.44	86.37	272.56
	<b>PUBLIC SAFETY TOTAL</b>	<b>2,031,094.00</b>	<b>150,216.07</b>	<b>1,638,392.98</b>	<b>80.67</b>	<b>392,701.02</b>
	ROAD USE TOTAL	682,377.00	39,923.03	478,702.84	70.15	203,674.16
	STREET LIGHTING TOTAL	60,000.00	12,047.59	50,579.44	84.30	9,420.56
	<b>PUBLIC WORKS TOTAL</b>	<b>742,377.00</b>	<b>51,970.62</b>	<b>529,282.28</b>	<b>71.30</b>	<b>213,094.72</b>
	ENV.HEALTH SERVICES TOTAL	15,000.00	.00	.00	.00	15,000.00
	<b>HEALTH &amp; SOCIAL SERVICES TOTA</b>	<b>15,000.00</b>	<b>.00</b>	<b>.00</b>	<b>.00</b>	<b>15,000.00</b>
	LIBRARY TOTAL	325,550.00	23,289.92	244,060.07	74.97	81,489.93
	PARKS TOTAL	275,968.00	46,296.20	254,352.83	92.17	21,615.17
	COMMUNITY CENTER TOTAL	11,000.00	.00	8,094.10	73.58	2,905.90
	<b>CULTURE &amp; RECREATION TOTAL</b>	<b>612,518.00</b>	<b>69,586.12</b>	<b>506,507.00</b>	<b>82.69</b>	<b>106,011.00</b>
	TIF/ECON DEV TOTAL	292,949.00	.00	139,513.60	47.62	153,435.40
	<b>COMMUNITY &amp; ECONOMIC DEV TOTA</b>	<b>292,949.00</b>	<b>.00</b>	<b>139,513.60</b>	<b>47.62</b>	<b>153,435.40</b>
	MAYOR COUNCIL TOTAL	98,636.00	6,607.12	84,548.64	85.72	14,087.36
	POLICY ADMINISTRATION TOTAL	233,012.00	29,444.38	229,401.66	98.45	3,610.34
	ELECTIONS TOTAL	2,000.00	.00	65.21	3.26	1,934.79
	CITY ATTORNEY TOTAL	51,000.00	3,387.50	46,067.05	90.33	4,932.95
	CITY HALL TOTAL	128,300.00	3,209.84	58,987.53	45.98	69,312.47
	OTHER CITY GOVERNMENT TOTAL	192,000.00	13,557.25	138,804.21	72.29	53,195.79
	<b>GENERAL GOVERNMENT TOTAL</b>	<b>704,948.00</b>	<b>56,206.09</b>	<b>557,874.30</b>	<b>79.14</b>	<b>147,073.70</b>
	DEBT SERVICE TOTAL	341,080.00	.00	60,590.00	17.76	280,490.00
	<b>DEBT SERVICE TOTAL</b>	<b>341,080.00</b>	<b>.00</b>	<b>60,590.00</b>	<b>17.76</b>	<b>280,490.00</b>
	CAPITAL IMPROVEMENT TOTAL	1,087,515.00	1,440.00	963,247.11	88.57	124,267.89
	WATER UTILITY TOTAL	500,000.00	.00	.00	.00	500,000.00
	<b>CAPITAL PROJECTS TOTAL</b>	<b>1,587,515.00</b>	<b>1,440.00</b>	<b>963,247.11</b>	<b>60.68</b>	<b>624,267.89</b>

**BUDGET REPORT**  
**CALENDAR 4/2020, FISCAL 10/2020**

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	MTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	WATER UTILITY TOTAL	1,057,392.00	57,763.12	786,192.99	74.35	271,199.01
	SEWER UTILITY TOTAL	954,419.00	56,811.28	724,782.90	75.94	229,636.10
	ENTERPRISE FUNDS TOTAL	2,011,811.00	114,574.40	1,510,975.89	75.11	500,835.11
	TRANSFER TOTAL	1,167,166.00	.00	967,436.00	82.89	199,730.00
	TRANSFER OUT TOTAL	1,167,166.00	.00	967,436.00	82.89	199,730.00
	TOTAL EXPENSES	9,506,458.00	443,993.30	6,873,819.16	72.31	2,632,638.84

**REVENUE REPORT**  
**CALENDAR 4/2020, FISCAL 10/2020**

**PCT OF FISCAL YTD 83.3%**

ACCOUNT NUMBER	ACCOUNT TITLE	BUDGET	MTD BALANCE	YTD BALANCE	PERCENT RECD	UNCOLLECTED
	GENERAL TOTAL	3,669,338.00	1,202,224.30	3,753,938.13	102.31	84,600.13-
	ROAD USE TOTAL	440,000.00	39,806.45	386,624.05	87.87	53,375.95
	TIF TOTAL	336,600.00	.00	237,089.57	70.44	99,510.43
	L.M.I TOTAL	85,651.00	.00	24,197.75	28.25	61,453.25
	ASSET FORFEITURE TOTAL	.00	.00	699.00	.00	699.00-
	DEBT SERVICE TOTAL	357,587.00	.00	199,457.03	55.78	158,129.97
	CAPITAL IMPROVEMENTS TOTAL	1,162,515.00	.00	1,094,950.30	94.19	67,564.70
	WATER TOTAL	1,040,000.00	74,125.32	953,195.94	91.65	86,804.06
	SEWER TOTAL	1,224,000.00	111,488.48	1,124,608.79	91.88	99,391.21
	TOTAL REVENUE BY FUND	8,315,691.00	1,427,644.55	7,774,760.56	93.50	540,930.44

**BALANCE SHEET**  
**CALENDAR 4/2020, FISCAL 10/2020**

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
001-000-1110	CHECKING - GENERAL	907,545.55	805,687.44
001-000-1725	ACCUM.DEPR. - LIBRARY BLDG	.00	.00
001-000-1745	ACCUM.DEPR. - PWD EQUIPMENT	.00	.00
001-000-1755	ACCUM.DEPR. - POLICE	.00	.00
001-000-1756	ACCUM.DEPR. - FIRE DEPT.	.00	.00
001-000-1805	ACCUM.DEPR. - SIDEWALKS	.00	.00
001-000-1806	ACCUM.DEPR.- PARKER BLVD	.00	.00
110-000-1110	CHECKING - ROAD USE	4,610.14	117,453.01
111-000-1110	CHECKING - I-JOBS	.00	.00
125-000-1110	CHECKING - TIF	.00	210,057.70
135-000-1110	CHECKING - L.M.I.	.00	873,623.23
167-000-1110	CHECKING - PC COMM. LIB TRUST	9.99-	14,403.84
177-000-1110	CHECKING - FORFEITURE	.00	4,326.25
200-000-1110	CHECKING - DEBT SERVICE	.00	155,198.78
301-000-1110	CHECKING - CAPITAL PROJECT	1,440.00-	131,703.61
302-000-1110	CHECKING - CAPITAL WATER PROJ	.00	2,238,460.40
600-000-1110	CHECKING - WATER UTILITY	16,364.40	807,071.34
600-000-1805	ACCUM. DEPR. - WATER	.00	.00
610-000-1110	CHECKING - SEWER UTILITY	54,679.42	677,470.18
610-000-1805	ACCUM. DEPR. - SEWER	.00	.00
670-000-1110	CHECKING-SOLID WASTE/RECYCLING	.00	.00
920-000-1110	CHECKING - ESCROW BANK ACCOUNT	.00	.00
		-----	-----
	CHECKING TOTAL	981,749.52	6,035,455.78
600-000-1111	WAT.SINKING/CKG	.00	.00
610-000-1111	SEWER SINKING FUND	.00	.00
		-----	-----
	WATER SINKING TOTAL	.00	.00
600-000-1112	WATER TRUST CHECKING	.00	.00
610-000-1112	SEW.IMPR.CHECKING	.00	.00
		-----	-----
	CHECKING TOTAL	.00	.00
600-000-1113	WAT.IMPR/CHECKING	.00	.00
610-000-1113	79 SANITARY SEWER DISTRICT	.00	.00
		-----	-----
	CHECKING TOTAL	.00	.00
600-000-1115	Water Holding Account	.00	.00
		-----	-----
	TOTAL	.00	.00
001-000-1120	LIBR.PETTY CASH	.00	35.00
600-000-1120	WATER PETTY CASH	.00	.00
		-----	-----

**BALANCE SHEET**  
**CALENDAR 4/2020, FISCAL 10/2020**

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
	PETTY CASH TOTAL	.00	35.00
001-000-1121	GENERAL PETTY CASH	.00	100.00
	PETTY CASH TOTAL	.00	100.00
001-000-1122	PETTY CASH-POLICE	.00	300.00
	PETTY CASH-POLICE TOTAL	.00	300.00
001-000-1150	GENERAL RESERVE IPAIT A/C	.00	1.00
125-000-1150	TIF RESERVE IPAIT A/C	.00	.00
135-000-1150	LMI - IPAIT Account	.00	1.00
200-000-1150	DEBT/TIF/CHECKING	.00	.00
301-000-1150	TIF SPECIAL REVENUES	.00	.00
600-000-1150	WATER FUND IPAIT A/C	.00	1.00
610-000-1150	SEWER FUND IPAIT A/C	.00	1.00
	CHECKING TOTAL	.00	4.00
001-000-1151	GENERAL INVESTMENT	.00	.00
600-000-1151	WATER RESERVE INVESTMENT	.00	.00
610-000-1151	Sewer Fund CD	.00	.00
	SAVINGS TOTAL	.00	.00
600-000-1152	WATER TRUST INVESTMT.	.00	.00
	WATER TRUST INVESTMENT TOTAL	.00	.00
001-000-1160	SUPER MONEY MKT II	296.58	451,282.20
110-000-1160	SAVINGS	.00	.00
125-000-1160	SAVINGS	.00	.00
	SUPER MONEY MKT II TOTAL	296.58	451,282.20
001-000-1161	GRINNELL STATE BANK CD	.00	1,068,382.98
610-000-1161	Polk County Bank CD	.00	.00
	GRINNELL STATE BANK CD TOTAL	.00	1,068,382.98
001-000-1162	LUANA BANK C.D. -1.85%	.00	1,563,994.41



**BALANCE SHEET**  
**CALENDAR 4/2020, FISCAL 10/2020**

ACCOUNT NUMBER	ACCOUNT TITLE	MTD BALANCE	YTD BALANCE
	TOTAL	.00	1,563,994.41
001-000-1163	Luana Savings Bank - M.M. Acco	1,613.97	918,960.22
135-000-1163	Luana Money Market Account	.00	719,041.86
600-000-1163	Luana Money Market Account	.00	.00
610-000-1163	Luana Money Market Account	.00	.00
	LUANA MONEY MARKET TOTAL	1,613.97	1,638,002.08
600-000-1220	ACCOUNTS RECEIVABLE	.00	.00
610-000-1220	ACCOUNTS RECEIVABLE	.00	.00
	TOTAL	.00	.00
	TOTAL CASH	983,660.07	10,757,556.45



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** City Clerk job description-update

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**BACKGROUND:** In your packet for consideration is an updated job description for the City Clerk. The only change made is the additional duty for the City Clerk to serve as the City Treasurer.

**ALTERNATIVES:** Do not approve the job description.

**FINANCIAL CONSIDERATIONS:** None

**RECOMMENDATION:** It is my recommendation that the Council approve the job description.



## City of Polk City

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<b>Title:</b>	City Clerk
<b>Department:</b>	Policy & Administration
<b>Status:</b>	Regular Full-Time/Non-Exempt
<b>Reports to:</b>	City Manager
<b>Supervises:</b>	None

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### POSITION FUNCTION:

Under general direction, participates in and directs and coordinates daily related administrative responsibilities for the City in accordance with the Code of Iowa, the Code of Ordinances of the City of Polk City, and established procedures; attends Council meetings and records and maintains all official actions of the Council. Performs a variety of general office and public relation duties as outlined in this document.

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### DUTIES AND RESPONSIBILITIES:

1. Provides administrative support for the Mayor, Council and City Officials.
2. Performs the duties of the City Treasurer
3. Coordinates preparation and distribution of all City Board and Commission agendas and distribution of information packets.
4. Attends all City Council meetings, unless excused, recording official minutes, preparing reports and maintaining official records; arranges for appropriate publication of City Council actions, plans and hearings and ensures the preparation and distribution of legal notices.
5. Attends all other City Board and City Commission Meetings as requested by management for recording of official minutes.
6. Ensures that all public records are properly maintained and secure, reviews all documents for retention, organization and related purposes.
7. Perform budgeting duties, including assistance in budget preparation and budget administration.
8. Facilitates applications for plats, site plans and rezoning requests.
9. Prepare Ordinances, Resolutions and Proclamations so they can be executed, recorded, archived and distributed.
10. Responsible for the proper recording and certification of all ordinances and ongoing maintenance of the Code of Ordinances of Polk City. Also responsible for advising the City Council on needed updates to existing Ordinances.
11. Assists citizens by responding to inquiries and complaints and communicating with the appropriate departments to both alleviate complaints and follow-up with appropriate parties involved.
12. Maintains, processes, and updates utility billing accounts.
13. Issues all licenses and permits; including but not limited to: Beer, liquor, cigarette, all associated building permits, grading permits, variances/special exceptions, hauler, peddler, right-of-way permits and pet licenses and registrations.
14. Oversees the local election process including the receipt and processing of election papers.
15. Official Custodian of the City Seal.

16. Perform contract administration duties, assisting with bid openings and the awarding of contracts.
17. Authorizes rental agreements, manages room schedule and collects fees for all City rental facilities.
18. Manages the content and provides response to inquiries of the City website and social media pages.
19. Serve as a notary public.
20. Participates in the development and implementation of goals, objectives, policies, procedures, and priorities for the City.
21. Ability to establish and maintain effective work and employee relationships within the department, other departments of the City, other jurisdictions and agencies and the general public.
22. Aid City Officials as needed and as requested by the City Manager.
23. Adhere to all City policies and procedures.

### **Any duties assigned by the City Manager**

This job description is not intended to limit the responsibilities of an employee assigned to this position to those duties listed above. The employee is expected to follow any other reasonable instructions and perform any other reasonable duties requested by the City Manager.

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### **SKILLS AND ABILITIES:**

Knowledge of the principles and practices associated with the organization and function of municipal government and public administration.

1. Working knowledge of principles and practices of municipal government.
  2. Ability to produce accurate correspondence, reports, forms and documents.
  3. Is bondable by the City of Polk City.
  4. Ability to maintain complex and confidential records and files consistent with City policy and practice and regulatory requirements.
  5. General knowledge of accounting functions, customer relations, capacity to plan and organize workflow.
  6. Ability to follow directions, meet deadlines and accomplish tasks with minimal supervision.
  7. Possess good planning, organizational and scheduling skills.
  8. Maintain department records in an organized and orderly way.
  9. Use computers and related software applications.
  10. Communicates and maintains effective working relationships (both orally and written) with staff and citizens.
- 

### **TRAINING AND EXPERIENCE:**

1-3 years' experience and a minimum 2 year (associate degree) in General/Public Administration or Financial Management/Accounting. Acceptable combination of education and experience will be considered.

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### **OTHER NECESSARY REQUIREMENTS:**

1. Valid Iowa driver's license
2. Certification as Certified Municipal Clerk (CMC) within 3-5 years of hire
3. Pre-employment drug testing and criminal background history check

**RESOLUTION NO. 2020-58**

**RESOLUTION SETTING A PUBLIC HEARING ON THE VACATION OF A  
BUFFER EASEMENT AND SURFACE WATER FLOWAGE EASEMENT IN  
LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3**

---

**WHEREAS**, a proposal has been made for the City to vacate a 50' Buffer Easement and 20' Surface Water Flowage Easement on the following described real property:

***50.00' BUFFER EASEMENT VACATION***

*A 50.00 FEET WIDE BUFFER EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 AND ALSO DESCRIBED IN THE BUFFER EASEMENT RECORDED IN BOOK 16665, PAGE 49 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
THE SOUTH 50.00 FEET OF SAID LOT 1.*

***20.00' SURFACE WATER FLOWAGE EASEMENT VACATION***

*A 20.00 FEET WIDE SURFACE WATER FLOWAGE EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 ALSO DESCRIBED IN THE SURFACE WATER FLOWAGE EASEMENT RECORDED IN BOOK 16665, PAGE 44 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
THE SOUTH 20.00 FEET OF SAID LOT 1.*

**WHEREAS**, the City Engineer has reviewed and approved said vacation based on Lot 1 of Big Creek Technology Campus Plat 3 being replatted as part of Big Creek Technology Campus Plat 4; and

**WHEREAS**, the Code of Iowa provides that an easement may be vacated only after notice and hearing as provided by law.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Polk City, Iowa, that a public hearing before this Council on the proposal set forth in the preamble to this Resolution is set for 6:00 p.m., on the 8th day of June 2020. The City Clerk is directed to publish the Notice of said hearing at the time and in the manner required by law.

**DATED** at Polk City, Iowa, this 26th day of May 2020.

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Jason Morse, Mayor

ATTEST:

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Jenny Gibbons, City Clerk



# Polk City Police Department

309 W Van Dorn St. PO Box 381

Polk City, Iowa 50226

Phone: 515-984-6565 Fax 515-984-6819 email: police@polkcityia.gov

*Service Integrity Respect Quality*

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To: Honorable Mayor and Council Members

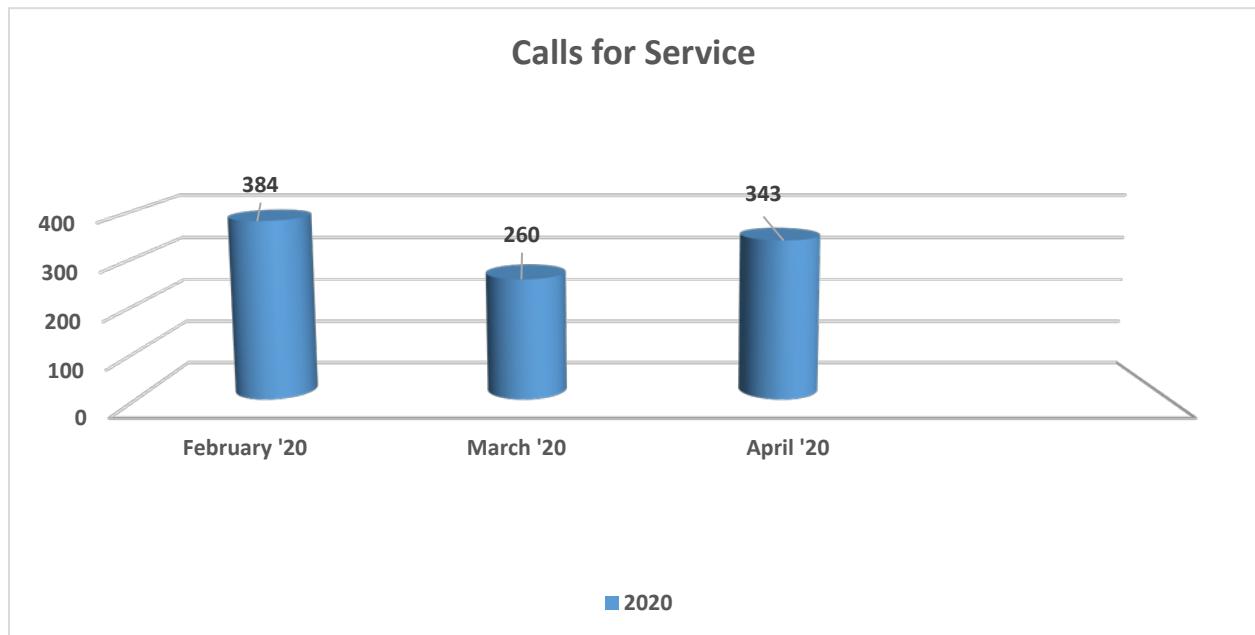
From: Lieutenant Aswegan

Date: May 14, 2020

Re: April 2020 Monthly Report

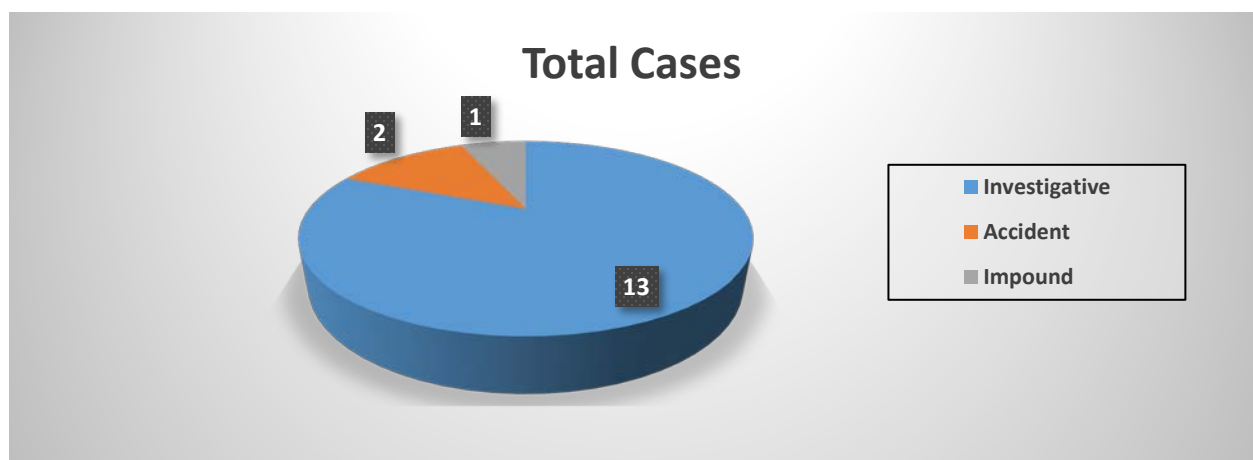
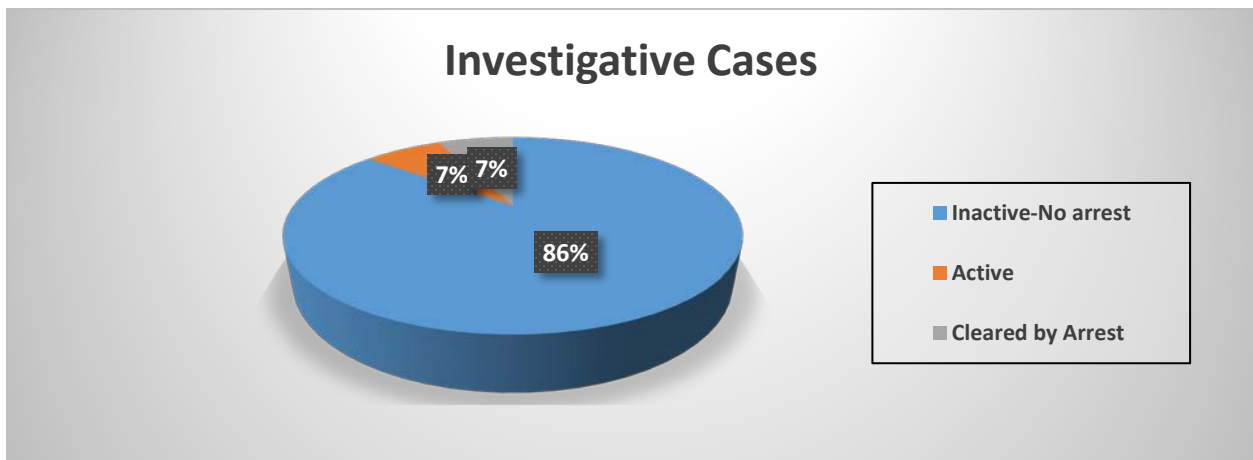
## Calls for Service

The total calls for service for the month of April were **343**. This includes response to citizen complaints/reports, assists, self-initiated activities such as traffic stops, building checks, suspicious persons, and case follow up. Among these calls for service Polk City Officers conducted **17** traffic stops.



## Cases Made

The Police Department had **16** total cases during the month of April. **13** of the cases were investigative incident reports and **2** were traffic crashes and **1** was a vehicle impound. There is **1** active investigation from this month. There was a **7%** rate of cases cleared by arrest, for investigative cases in April.



## **Arrests Made**

The Police Department made **1** arrest and issued **7** citations and **7** warnings. The one arrest was for a driving related offense.

## **Notable Incidents**

In early April, the Polk City Police Department began receiving complaints of a series of loud explosions occurring in a residential neighborhood. Patrolling officers also heard these explosions, which were described as significant enough to rattle near-by house windows. Initial attempts to identify the source were not successful. A total of at least 4 explosions occurred from April 4<sup>th</sup> to April 18<sup>th</sup> in the same neighborhood. An in-depth investigation into the series of explosions was conducted and a 51 year old Polk City resident was identified as a suspect. On April 21<sup>st</sup>, the Polk City Police Department was assisted by the Iowa State Fire Marshall's Office in serving a search warrant at the suspect's residence. Evidence was obtained from that search warrant and submitted to the Iowa DCI for evaluation. Charges of Possession of an Explosive Device and Reckless Use of Fire are pending. There have not been any more reports of these explosions since April 18<sup>th</sup>. It has been determined through this investigation that the explosions were caused by an M80 type device, which is considered an explosive device by Iowa Code and Federal Code.



On April 24<sup>th</sup> two Polk City Police Officers were on patrol when they came across a two vehicle, head-on collision on the Mile Long Bridge. Officers promptly rendered aid and coordinated efforts with the Polk County Sheriff's Office and another Polk City Officer to set up traffic control in order to prevent secondary collisions. As a result, the scene was secured, aid was given to several people by the Polk City Fire Department and no secondary collisions occurred. The cause of the collision is being investigated by the Polk County Sherriff's Office.

### **In Service Training**

Officer Wilson administered the department's annual Taser re-certification training to two of the officers and will be training additional officers in May. This training helps officers refresh their skills and knowledge in the use of a valuable tool and is also required by Axon, the manufacturer of the Taser.

## **Individual Officer Training**

We continue to focus on training Officer Delaney, who joined our department in late March. During the month of April, Officer Delaney entered into the department's Field Training Program where he has been trained in a number of topics, including firearms, Taser, Use of Force, conducting felony traffic stops (pictured below), interacting with citizens and many other tasks necessary to be a successful officer. He is scheduled to attend the Iowa Law Enforcement Academy on June 1<sup>st</sup> on an on-line basis and will attend the in-person academy in July.



## **Training Hours: 38**

Lamfers	2
Untrauer	0
Aicher	0
Siepker	0
Wilson	0
Aswegan	2
Delaney	34

*\*In addition to monthly in-service training and scheduled external trainings, officers conduct monthly on-line training through Police Legal Science, which keeps officers up-to-date on current case law.*

## **Canine Program**

There were no K9 deployments for the month of April.

## **Community Outreach**



The Polk City Police Department has participated in a number of birthday parades



**City of Polk City, Iowa**  
City Council Agenda Communication

**Date:** May 27, 2020  
**To:** Mayor & City Council  
**From:** Carol Thornburg, Accounting Specialist  
**Subject:** Record Retention Policy

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**BACKGROUND:** Currently there is not a formal Record Retention Policy and a guideline is needed for record keeping. The proposed policy has been adopted from the State of Iowa guidelines.

**ALTERNATIVES:** N/A

**FINANCIAL CONSIDERATIONS:** N/A

**RECOMMENDATION:** It is my recommendation that the Council approve the Record Retention Policy.



City of Polk City

**RECORDS RETENTION POLICY**

Adopted by Resolution No.

Approved:

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## City Clerk

### (Public Record Law Implementation Responsibility – City Clerk)

#### 1. Council Proceedings

Record Title	Retention Period	Reason
<b>A - MINUTES</b>		
Official copy	Permanent	Legal, administrative and historical value
Working copies	Until approved and published	Administrative value ends
Audio tapes of closed sessions	1 year from date of meeting; unless required to retain due to pending legislation	Administrative and legal value ends
Agendas	5 years	Administrative value ends
<b>B – ORDINANCES</b>		
Current code	Permanent	Continuing legal, administrative and historical value
Superseded code	Two copies permanent	Historical value
Index	Permanent	Continuing administrative and historical value
Individual copies of ordinances for disbursement	Until superseded; then destroyed	Administrative and legal value ends
<b>C - RESOLUTIONS</b>		
Official copy	Permanent	Continuing legal, administrative and historical value
Working copies	As long as administratively useful; then destroy	Administrative value ends
Index	Permanent	Continuing administrative and historical value
<b>D – AFFIDAVITS OF PUBLICATIONS</b>		
Re: Budget	Until audited or 5 years	Fiscal and legal value ends
Re: Ordinances	Until recodification	Fiscal and legal value ends
Re: Bond issues	Permanent	Continuing legal and historical value
Others	5 years	Fiscal and legal value ends



## 2. Real Property

Record Title	Retention Period	Reason
<b>A. TITLE DOCUMENTS</b>		
Deeds	Permanent	Continuing legal, administrative and historical value
Title opinions	Permanent	Continuing legal, administrative and historical value
Abstracts and certificates of titles	Permanent	Continuing legal, administrative and historical value
Title Insurance	Permanent	Continuing legal, administrative and historical value
Condemnation proceedings	Permanent	Continuing legal, administrative and historical value
<b>B – EASEMENTS AND/OR RIGHT OF WAY AGREEMENTS</b>		
Easements and/or right of way agreements	Permanent	Continuing legal, administrative and historical value.
<b>C- PLATS</b>		
Plats (legal description, parcel maps, plat books, both current and outdated)	Permanent	Continuing legal, administrative and historical value
<b>D- VACATIONS OR ALTERCATIONS OF PLATS</b>		
Vacations or altercations of plats	Permanent	Continuing legal, administrative and historical value
<b>E – ANNEXATION FILES</b>		
Annexation files	Permanent	Continuing legal, administrative and historical value

## 3. Permits and Licenses

Record Title	Retention Period	Reason
<b>A – PERMITS</b>		
Peddlers	5 years	Administrative and legal value
Special events (parades, fireworks)	5 years	Administrative and legal value
Cigarette	5 years	Administrative and legal value
<b>B – LICENSES</b>		
Liquor or Beer	5 years	Administrative and legal value

## 4. General

Record Title	Retention Period	Reason
<b>A – ACCIDENTS ON CITY PROPERTY</b>		
Claims settled out of court	10 years after settlement	Legal value ends

Court Decisions	Permanent	Continuing legal value
<b>B - BIDS</b>		
Accepted	5 years	Legal and fiscal value
Rejected	5 years or 1 year after audit	Legal and fiscal value
<b>C - BLUEPRINTS OR PLANS FOR CITY OWNED STRUCTURES</b>		
Blueprints	Permanent	Continuing administrative and historical value
<b>D - CONTRACTS OR AGREEMENTS FOR SERVICES,</b>		
Contracts/agreements for services, purchase of equipment or supplies, concessions	10 years after expiration	Legal value ends
<b>E - CORRESPONDENCE</b>		
Correspondence	As long as administratively useful; then appraise for permanent retention	Possible long term administrative as well as historical value
<b>F - EQUIPMENT RECORDS</b>		
Inventories	While current	Administrative value ends
Maintenance history	Life of an equipment	Administrative value ends
Cost of operation summaries	5 years	Administrative value ends
<b>G - FRANCHISES</b>		
Franchises	5 years after expiration	Legal value ends
<b>H - INSURANCE POLICIES</b>		
Insurance Policies	5 years after expiration	Legal value ends
<b>I - LEASES</b>		
Leases	5 years after expiration	Legal value ends
<b>J - LEGAL ACTIONS</b>		
Civil lawsuits and administrative law proceedings	5 years after closure	Administrative and legal value ends
Criminal and municipal infraction cases – closed	5 years	Administrative value ends
Civil case – closed	5 years	Administrative value ends
<b>K - LEGAL OPINIONS</b>		
Informal opinions	5 years	Legal and Administrative value ends
Formal opinions	Permanent	Continuing administrative and historical value

<b>L – MAPS, BOTH CURRENT AND OUTDATED</b>		
Maps, both current and outdated (road, street, zoning, park, flood plain, storm and sanitary sewer, water and gas mains)	Permanent	Continuing administrative and historical value
<b>M – MINUTES OF ANY BOARD OR COMMISSION</b>		
Minutes	Permanent	Continuing administrative and historical value
<b>N – CITIZEN COMPLAINTS</b>		
Complaints	5 years after disposition	Legal and administrative value ends
<b>O – PETITION FROM CITIZENS</b>		
Petition	5 years after issue closed. Appraise those dealing with significant issues for possible permanent retention.	Administrative and legal value ends. Possible historical value.
<b>P – PROMOTIONAL MATERIALS</b>		
Press releases	5 years	Historical value ends
Pamphlets, brochures	Appraise for permanent retention of 2 copies	Possible historical value
Newspaper clippings	Permanent	Continuing historical value
<b>Q- PHOTOS</b>		
Photos and scrapbooks	Appraise for permanent retention of 2 copies.	Possible historical value
<b>R – STUDIES/SURVEYS</b>		
From an outside source	As long as administratively useful	Administrative value ends
Pertaining directly to the City	Appraise for permanent retention of 2 copies	Possible historical value
<b>S – ELECTION RECORDS</b>		
Declaration of eligibility signed by voters, absentee enrollments, ballots (No longer created in city government)	6 months after the election, if not contested.	Code of Iowa, 50.19
Election registers ( No longer created in city government)	Permanent	Continuing historical value
Tally lists or abstracts (sometimes found in the back of old poll books,	Permanent	Continuing historical value

No longer created by city government)		
Precinct maps, both current and outdated	Permanent	Continuing historical value
City elections ballots	6 months after the election, if not contested	Code of Iowa, 50.19
City election abstracts	Permanent	Continuing historical value

## 5. Finance/Purchasing records

Record Title	Retention Period	Reason
<b>A - LEASES</b>		
Agreements and related documents resulting from solicitation and acted on by Council	Upon expiration, 5 – year minimum (City Clerk keeps original)	Administrative value ends
Agreements resulting from solicitation, but not requiring Council action	5 years after expiration, 5 year minimum	Administrative value ends
<b>B – BIDS, QUOTATIONS AND PROPOSALS</b>		
Official copy, bid/proposal solicitation document	10 years after completion of contract	Administrative value ends
Copies of bids received and related documents for public improvements and acted upon by Council	10 years after completion of contract (official copies kept by City Clerk)	Administrative value ends
Copies of bids received and related documents for other equipment and service projects acted upon by Council	Lifetime of equipment (official copies kept by Council)	Administrative value ends
Originals of bids, quotations, and proposals received for contracts not awarded by Council	10 years after completion of contract except; fleet equipment and buses; lifetime of equipment AND other capital equipment 10 years after completion of contract or upon expiration of warranty, whichever is more.	Administrative, grant and warranty issues active until equipment is taken out of service
<b>C – PRINT EQUIPMENT</b>		
Printing charges	5 years	Administrative value ends
City hall copier readings	After audit completion or at least 5 years	Administrative value ends

## 6. Revenue

Record Title	Retention Period	Reason
<b>A. NOTICE OF PROPERTY TAX ALLOCATION FROM COUNTY</b>		
Notice of property tax allocation from county	5 years	Fiscal value ends
<b>B – NOTICE OF LIQUOR TAX ALLOCATION FROM STATE</b>		
Notice of liquor tax allocation from state	5 years	Fiscal value ends
<b>C – INVESTMENTS</b>		
Investments (Notice of interest earned or reports of growth, dividends, purchase, sale, etc.)	5 years	Fiscal value ends
<b>D – ROAD USE TAX FUND RECORDS</b>		
Arterial street maps	Permanent	Continuing Historical value
<b>E. CLAIMS FOR REFUNDS OF STATE SALES TAX</b>		
Claims for refunds of state sales tax	5 years	Fiscal value ends
<b>F. CLAIMS FOR REFUNDS OF STATE FUEL TAX</b>		
Claims for refunds of state fuel tax	5 years	Fiscal value ends
<b>G. SPECIAL ASSESSMENTS</b>		
Certified mail stubs from notice to property owners	5 years after final payment	Fiscal and legal value ends
Assessment title searches	5 years	Fiscal and legal value ends
Preliminary and final assessment schedules	5 years after final payment	Fiscal and legal value ends
Petition and waiver (agreements to special assessments)	5 years after final payments	Fiscal and legal value ends
Assessments plats	5 years after final payment	Fiscal and legal value ends
Certificate of levy of final assessment	5 years after final payment	Fiscal and legal value ends
<b>H. BOND ISSUES AND PROCEEDINGS</b>		
Bond Certificates	5 years after final recall	Fiscal value ends
Redeemed coupons	5 years after final recall	Fiscal value ends
Bond register	Permanent	Code of Iowa, 372.13(5). Continuing fiscal, administrative, legal and historical value.
Proceedings (notice and call of public meeting, minutes, and certificate of meeting, certificate of referendum, legal options.	Permanent	Code of Iowa, 372.13(5), Continuing fiscal administrative, legal and historical value.
Remittance advise received with payments	5 years	Fiscal value ends
<b>I. RECORDS OF FEDERALLY FUNDED PUBLIC IMPROVEMENT PROJECTS</b>		
Records of federally funded public improvement projects (applications, contracts, accounting and records, payroll, EEO, compliance records)	5 years after final payment is audited	Fiscal value ends

## 7. Accounting

Record Title	Retention Period	Reason
<b>A. SOURCE DOCUMENTS</b>		
<i>Accounts Payable</i>		
Invoices, statements and bills	5 years	Fiscal value ends
Claims presented to Council	5 years	Fiscal value ends
Check/warrant copies or stubs	5 years	Fiscal value ends
Vendor ledger cards	5 years	Fiscal value ends
<i>Accounts Receivable</i>		
Receipt copies or books	5 years	Fiscal value ends
Daily cash receipt tabulations (cash register tapes, validator tallies, etc.)	5 years	Fiscal value ends
Invoices, statements, bills	5 years	Fiscal value ends
<b>B. BOOKS OF ORIGINAL ENTRY</b>		
Receipt journal (register)	10 years	Fiscal value ends
Disbursement journal (register)	10 years	Fiscal value ends
General journal	10 years	Fiscal value ends
Appropriations journal (where maintained)	10 years	Fiscal value ends
<b>C. LEDGERS</b>		
General ledger	Permanent	Continuing fiscal value
Subsidiary revenue ledger cards	10 years	Fiscal value ends
Subsidiary appropriation/expenditure cards	10 years	Fiscal value ends

## 8. Banking

Record Title	Retention Period	Reason
<b>A. CHECKING ACCOUNT STATEMENTS</b>		
Checking account statements	5 years	Fiscal value ends
<b>B. CHECK/WARRANT REGISTER</b>		
Check/warrant register (same as disbursement journal, above)	10 years	Fiscal value ends
<b>C. CANCELED CHECKS/WARRANTS</b>		
Cancelled checks/warrants	5 years	Fiscal value ends
<b>D. SAVING ACCOUNT STATEMENTS</b>		
Savings accounts statements	5 years	Fiscal value ends
<b>E. RECONCILIATION WORKSHEETS</b>		
Reconciliation worksheets	5 years	Fiscal value ends
<b>F. BANK DEPOSIT SLIPS</b>		
Bank Deposit Slips	5 years	Fiscal value ends

## 9. Financial Reports

Record Title	Retention Period	Reason
<b>A. ANNUAL FINANCIAL REPORT</b>		
Annual financial report	Permanent	Continuing fiscal value
<b>B. TREASURER'S AND/OR CLERK'S REPORT</b>		
Treasurers and/or clerks report	5 years	Fiscal value ends
<b>C. SALES TAX AND USE TAX REPORTS</b>		
Sales tax and use tax reports	5 years	Statute of limitation on audit
<b>D. GRANTS REPORTS</b>		
Grant reports	5 years after audit; 7 years if not audited; grant terms if not stated therein	Fiscal value ends

## 10. Audits

Record Title	Retention Period	Reason
Audits	Permanent	Continuing fiscal and historical value

## 11. Budget

Record Title	Retention Period	Reason
<b>A. APPROPRIATES REQUESTS FROM DEPARTMENTS</b>		
Appropriate requests from departments	5 years	Fiscal value ends
<b>B. ANNUAL BUDGET FORMS</b>		
Annual budget forms	5 years	Fiscal value ends
<b>C. FINAL BUDGET AND CERTIFICATE SUMMARY</b>		
Final budget and certificate summary	2 copies permanent	Continuing fiscal and historical value
<b>D. BUDGET AMENDMENTS</b>		
Budget Amendments	2 copies permanent	Continuing fiscal and historical value
<b>E. BUDGET WORKSHEETS</b>		
Budget worksheets	5 years	Fiscal value ends

## 12. Payroll

Record Title	Retention Period	Reason
<b>A. PAYROLL JOURNAL</b>		
Payroll journal (shows name, SSN, earnings, deductions, net pay per pay period and yearly totals)	60 years	Fiscal value ends. (Satisfies long-term need for future salary and pension inquiries)
<b>B. PAYROLL SUPPORT DOCUMENTS</b>		
Payroll support documents (time sheets and reports of sick or vacation leave)	5 years	Fiscal value ends
<b>C. FEDERAL REPORTING FORMS</b>		
W-2, W-3, W-4	5 years	Fiscal value ends
941E quarterly report	5 years	Fiscal value ends
Copy of deposit card	5 years	Fiscal value ends
1099, 1096	5 years	Fiscal value ends
<b>D. STATE REPORTING FORMS</b>		
Withholding agents reports	5 years	Fiscal value ends
Iowa Workforce Development reports	5 years	Fiscal value ends
Copy of deposit card	5 years	Fiscal value ends
IPERS	5 years	Fiscal value ends

## 13. Engineering Records

Record Title	Retention Period	Reason
<b>A. ANNEXATION FILES</b>		
Annexation files	Permanent	Code of Iowa, 372-13(5). Also continuing legal, administrative and historical value.
<b>B. PLATS</b>		
Plats (legal descriptions, maps, plat books, both current and outdated)	Permanent	Code of Iowa, 372-13(5). Also continuing legal, administrative and historical value.
<b>C. STUDIES AND SURVEYS</b>		
Studies and surveys from an outside source	As long as administratively useful	Administrative value ends
Studies and surveys pertaining directly to the City	Appraise for permanent retention	Possible historical value
<b>D. SUBDIVISION FILES</b>		
Subdivision files	Permanent	Continuing administrative and historical value
<b>E. BRIDGE RECORDS</b>		
Bridge records (inspection and maintenance)	Life of structure	Administrative value ends
<b>F. CAPITAL IMPROVEMENT PROJECTS</b>		



Authorization phase	5 years	Administrative value ends
Financing phase	See financing records	
Pre-Construction phase		
Appraisals	5 years after project completed; if project not initiated, retained as administratively useful.	Administrative and fiscal value
Environmental impact surveys	5 years	Administrative value ends
Historical surveys of buildings	Appraise for permanent retention	Possible historical value
Demolition files	Permanent	Continuing legal and historical value
Construction phase		
Work orders	5 years after project completed, if audited	Administrative and fiscal value ends
Daily diaries	5 years after project completed, if audited	Administrative and fiscal value ends
Payroll records	5 years after project completed, if audited	Administrative and fiscal value ends
Purchases	5 years after project completed, if audited	Administrative and fiscal value ends
Inspections and testing	5 years after project completed, if audited	Administrative and fiscal value ends
Progress reports	5 years after project completed, if audited	Administrative and fiscal value ends
Pay requests	5 years after project completed, if audited	Administrative and fiscal value ends
Blueprints	Permanent	Administrative and fiscal value ends
Certificate of completion and acceptance	Permanent	Administrative and fiscal value ends
<b>G. DEEDS, EASEMENTS, OR RIGHT A WAY AGREEMENTS</b>		
Deeds, easements or right of way agreements	Permanent	Continuing legal and historical value
<b>H. LAND SURVEY RECORDS</b>		
Field notes	Permanent	Continuing administrative and historical value
Benchmark books	Permanent	Continuing administrative and historical value

## City Manager

### (Public Record Law Implementation Responsibility – City Manager)

#### 1. Personnel

Record Title	Retention Period	Reason
<b>A. INDIVIDUAL EMPLOYEE FILE</b>		
Job description and history	Permanent	Continuing historical value
Application and resume	60 years	Administrative value (satisfies long term need for future inquiries)
Performance reviews, discipline, demotion, promotion and awards	60 years	Administrative value ends
Continuing education	60 years	Administrative value ends
Drug/Alcohol Testing	60 years	Administrative value ends
Medical information (separate file)	60 years	Administrative value ends
Resignations, reasons for leaving	60 years	Administrative value ends
Claims for IPERS	60 years	Administrative value ends
Unemployment insurance claims	5 years	Fiscal value ends
Garnishments	Through closure plus 1 year	Fiscal value ends
Enrollment for direct deposit, insurance, savings bonds.	While current	Administrative value ends
<b>B. APPLICATIONS OF THOSE NOT HIRED</b>		
Applications of those not hired	5 years	Administrative value ends
<b>C. BOARD AND COMMISSION FILES</b>		
Files regarding boards and commissions	5 years	Administrative value ends
<b>D. HEALTH AND INSURANCE PAYMENTS, CLAIMS</b>		
Employers report	5 years	Administrative and fiscal value ends
OSHA report	5 years	Administrative and fiscal value ends
Worker's compensation reports	2 years from date of occurrence which benefits are claimed for 3 years from last payment of weekly compensation benefits	Code of Iowa, 85.26 Legal value ends
<b>E. Misc personnel records</b>		
Classification studies	5 years	Administrative value ends. Appraise for possible historical value.
Compensation studies	5 years	Administrative value ends. Appraise for possible historical value.
Administrative studies	5 years	Administrative value ends. Appraise for possible historical value.
Job Specifications	Permanent	Continuing historical value
Personnel policies, pay plans, Etc.	Permanent	Continuing historical value
Internal investigations	10 years	Administrative and legal value ends. Appraise for possible historical value.
<b>F – OATHS OF OFFICE</b>		

Oaths of office	If placed in writing, post to official copy of council minutes for permanent retention	Continuing legal and historical value
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## Utility records

(Public Record Law Implementation Responsibility – City Clerk)

### 1. Billing & customer service records

Record Title	Retention Period	Reason
<b>A. BILLING</b>		
Water bill stubs	5 years	Fiscal value ends
Receipts	5 years	Fiscal value ends
Meter readings	2 consecutive periodic tests or at least 2 years	Iowa administrative code, 199-21. 6(9). Administrative value ends
End of day report	5 years	Fiscal value ends
Summaries of usage and billing	5 years	Fiscal value ends
Delinquent account list	5 years	Fiscal value ends
Bad debt write offs	5 years	Fiscal value ends
Records of customer deposits and refunds	7 years after abandonment of service	Fiscal value ends
Records of unclaimed refunds	1 year	Code of Iowa, 556.4. Legal and fiscal value
<b>B. CUSTOMER SERVICE RECORDS</b>		
Application form for services	3 years	Administrative value ends
Termination form for services	3 years	Administrative value ends
Service orders	3 years	Administrative value ends

### 2. Landlord records

Record Title	Retention Period	Reason
<b>A. Landlord files</b>		
Landlord lien waiver	3 years after abandonment of service	Administrative value ends

## Public Works Records

(Public Record Law Implementation Responsibility – Public Work Director)

### 1. System, plant and equipment

Record Title	Retention Period	Reason
<b>A. BLUEPRINTS/PLANS</b>		
Blueprint or plans of plants and systems	Permanent	Continuing administrative and historical value
<b>B. INVENTORIES</b>		
Inventories (elevated water tanks, wells, pumps, engines, pump station, etc.)	While current	Administrative value ends
<b>C. EQUIPMENT RECORDS</b>		
Inventories	While current	Administrative value ends
Maintenance	Life of equipment	Administrative value ends
Fuel usage records	5 years	Administrative value ends
<b>D. MAPS OF SYSTEMS</b>		
Maps of systems	Permanent	Continuing administrative and historical value.
<b>E. METER RECORDS</b>		
Meter records (location, testing, maintenance)	2 consecutive periodic test or 2 years; if record made at retirement, retain for 3 years	Iowa Administrative Code, 199-21.6 (9); administrative value ends
<b>F. VALVE RECORDS</b>		
Valve records	Permanent	Continuing administrative value

### 2. Operations

Record Title	Retention Period	Reason
Logs indication (Pumpage, hours, gallons, etc.)	6 years	Administrative value ends
Recording instruments charts	5 years	Administrative value ends
Records relating to Operations, including correspondence, permits, pretreatment, disposal water, wastewater sludge, water supply, historical consumption, trouble call)	Permanent	Continuing historical and future projection value
Cost of operation summaries	5 years	Administrative and fiscal value ends
Summary bacterial analysis	7 years	Administrative value ends
Water supply monthly operations report	7 years	Administrative value ends
Operations permits	Permanent	Continuing administrative value

### 3. Water Treatment

Record Title	Retention Period	Reason
<b>A. BACTERIOLOGICAL ANYLISTS</b>		
Bacteriological analysis	5 years	US EPA, 40 CFR 141.33 Administrative value ends
<b>B. CHEMICAL ANALYSIS</b>		
Chemical analysis	10 years	US EPA, 40 CFR 141.33 Administrative value ends
<b>C. ACTIONS TO CORRECT VIOLATIONS</b>		
Actions to correct violations of primary drinking water regulations	5 years	US EPA, 40 CFR 141.33 Administrative value ends
<b>D. COPIES OF SANITARY SURVEY REPORTS</b>		
Copies of reports relating to sanitary surveys of system	10 years	US EPA, 40 CFR 141.33 Administrative value ends
<b>E. GROUNDWATER LEVEL MONITIIONING DATA</b>		
Groundwater level monitoring data	Permanent	Continuing historical and future projection value
<b>F. HYDRANT FLUSH RECORDS</b>		
Hydrant flush records	5 years	Administrative value ends

### Planning and Zoning records

(Public Record Law Implementation Responsibility – City Clerk)

#### 1. General Records

Record Title	Retention Period	Reason
<b>A. CASE FILES</b>		
Zoning variance requests and decisions	10 years after settlement	Administrative and legal value ends
Non-compliance violations	10 years after settlement	Administrative and legal value ends
Decisions and orders	Permanent	Continuing administrative, historical and legal value

#### 2. Planning and Zoning board

Record Title	Retention Period	Reason
<b>A. GENERAL PLANNING</b>		
General planning (comprehensive plan, land use, open space, recreation, capital improvements, regional, transportation, etc.)	As long as administratively useful; appraise for retention	Administrative value ends; possible historical value
<b>B. BOARD OF COMMISSION</b>		
Minutes of the board or commission	Permanent	Continuing administrative and historical value
Rosters of previous board or commission members	Permanent	Continuing historical value

Monthly reports to Council	5 years	Administrative value ends
Yearly report to Council	Permanent	Continuing historical value

### Parks and Recreation records

(Public Record Law Implementation Responsibility –City Clerk)

#### 1. GENERAL

Record Title	Retention Period	Reason
<b>A. Contracts &amp; Agreements</b>		
Contracts, agreements (concessions, service, purchase of equipment, personnel, use of facilities)	10 years after expiration	Legal and administrative value ends
<b>B. Commission</b>		
Commission Minutes	Permanent	Continuing administrative and historical value
Commission members	Permanent	Historical value
<b>C. Facilities and other structures</b>		
Facilities, building and other Structures	For life of building or until unit sold	Administrative value ends
Facilitates, equipment records (inventories and maintenance)	Until equipment retired	Administrative value end
<b>D. Park maintenance</b>		
Park maintenance, pesticides, application licenses	5 years minimum	Administrative value ends

#### 2. MISC FILES

Record Title	Retention Period	Reason
<b>A. Program files</b>		
Program files (rosters, score books, permission slips, waivers)	5 years	Administrative value ends
<b>B. Event Records</b>		
Event Records	5 years	Administrative value ends
Event contracts	10 years after expiration	Administrative value ends
<b>C. Reservation Records</b>		
Community Center	5 years	Administrative value ends
Miller Park	5 years	Administrative value ends
<b>D. Promotional materials</b>		
Promotional material, brochures, flyers, event advertisements	5 years; appraise for permanent retention	Possible historical value
<b>E. Eagle Scout projects</b>		
Eagle Scout projects	Permanent	Continuing historical value
<b>F. Photos, scrapbooks, park history</b>		

Photos, scrapbooks, park history	Permanent	Continuing historical value
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### 3. REPORTS TO CITY COUNCIL

Record Title	Retention Period	Reason
Monthly	5 years	Administrative value ends
Yearly	Permanent	Continuing historical value

**Library Records**  
(Public Record Law Implementation Responsibility – City Clerk)

**1. Administrative**

Record Title	Retention Period	Reason
<b>A. AGREEMENT AND CONTRACTS</b>		
Agreements, leases, contract for equipment or services	10 years after expiration. Note: Contracts for CIP projects kept by City Clerk	Administrative and legal value end
Contracts for Library services to other communities	Permanent	Continuing legal value
<b>B. BUILDING</b>		
Building specifications, floor plans, structural upgrades, miscellaneous blueprints	Permanent	Continuing administrative and historical values
Construction documents and blueprints	Permanent	Continuing administrative and historical value
<b>C. FINANCIAL</b>		
Bequests	Life of donated item OR 5 years after funds have been spent; then assess for historical value	Administrative value ends. Possible historical value
Requests for bids or proposals, responses, and evaluation materials.	5 years after date of award	Administrative and legal values
<b>D. GRANTS</b>		
Grant files	5 years after completion OR grant terms, if stated therein; then assess for historical value.	Legal and administrative values end. Possible historical value.
<b>E. LIBRARY BOARD OF TRUSTEES</b>		
Audio recordings of closed sessions CONFIDENTIAL	1 year from date of meeting, unless litigation is pending	Administrative and legal values, unless litigation is pending
Audio recordings of open sessions	1 year from date of meeting	Administrative value ends
Library policies	Permanent	Continuing administrative, historical and legal value
Meeting files (agenda, action forms, reports, and correspondence, distributed)	Permanent	Continuing administrative and historical values
Signed copies of minutes and resolutions	Permanent	Continuing administrative, historical, and legal values.



## Fire Department Records

(Public Record Law Implementation Responsibility – City Clerk)

### 1. Administrative

Record Title	Retention Period	Reason
<b>A. BLUEPRINTS OF COMMERCIAL BUILDINGS</b>		
Blueprints of Commercial Buildings	As long as administratively useful	Administrative and legal value end
<b>B. DAILY DIARIES OR LOGS</b>		
Daily Diaries or Logs (appointment calendar, activity, radio, phone)	5 Years	Administrative and legal value end
<b>C. EQUIPMENT RECORDS</b>		
Inventories	5 Years	Administrative and legal value end
Maintenance and Testing.	5 Years	Administrative and legal value end
<b>D. INSPECTION RECORDS</b>		
Card File or Log Book with Results, Violations Corrections	Life of Structure	Administrative and legal value end.
Inspector Books, Copies of inspection certificates	5 years	Administrative and legal value ends
<b>E. IOWA INCIDENT REPORTS</b>		
Iowa Incident Reports	Permanent	Administrative and legal value end.
<b>F. INVESTIGATION FILES</b>		
Arson	Permanent	Administrative and legal value end
Fire Deaths	Permanent	Administrative and legal value end
<b>G. LOG BOOK OF FIRES</b>		
Log book of Fires	Permanent	Administrative and legal value end
<b>H. MAPS OF AREA SERVED</b>		
Maps of area served	As long as administratively useful	Administrative and legal value end
<b>I. MISCELLANEOUS VEHICLE RUN REPORTS</b>		
Miscellaneous Vehicle run reports	5 years	Administrative and legal value end
<b>J. ROLL CALL OR MINUTE BOOKS</b>		
Roll Call or Minute Books	Permanent	Administrative and legal value end
<b>K. REPORTS TO CITY COUNCIL</b>		
Monthly reports to City Council	5 years	Administrative and legal value end
Annual reports to City Council	Permanent	Continuing historical value
<b>L. RURAL TOWNSHIP CONTRACTS</b>		
Rural Township Contracts	5 Years after expiration	Administrative and legal value end
<b>M. PHOTOS, DEPARTMENT HISTORY</b>		
Photos, department history	Appraise for permanent retention	Possible historical value
<b>N. STATE FIRE MARSHALL'S STATISTICS</b>		
State Fire Marshall's Statistics	As long as administratively useful	Administrative and legal value end

## Police Department Records

(Public Record Law Implementation Responsibility – City Clerk)

### 1. Administrative

Record Title	Retention Period	Reason
<b>A. RECORDS</b>		
Class A offenses (homicide, sexual assault, arson)	Permanent	Continued historical and legal value
OPEN felony cases	Permanent	Continued historical and legal value
All other investigative and arrest reports	10 years	Administrative and legal value end
Accident Reports	5 years	Administrative and legal value end
All cases files of the current year and the previous 5 years shall be kept as an accessible case file.		Continuing administrative value
Case files later than 5 years may be scanned and retained as a PDF file.		Continuing administrative value
All Class A Offenses and Open Felony cases shall be retained and accessible as a paper file.		Continuing administrative value



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor & City Council  
**From:** Jason Thraen, Parks & Recreation Director

**Subject:** **Parks & Recreation Department Updates**

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1. City Webpage Redesign Progress
  - Phase 1 (Strategy Sessions & Discovery) is ongoing
  - Phase 2 (Design & Architecture) will begin March 27 and will take 3-4 weeks
  - Entire project (6 phases) is estimated to take 12-15 weeks
  
2. Planning some virtual, socially distanced programs for July (National Parks & Recreation Month)
  - Photo Scavenger Hunt
  - Photo Contest
  - Movies in the Park (if group size restrictions are eased)

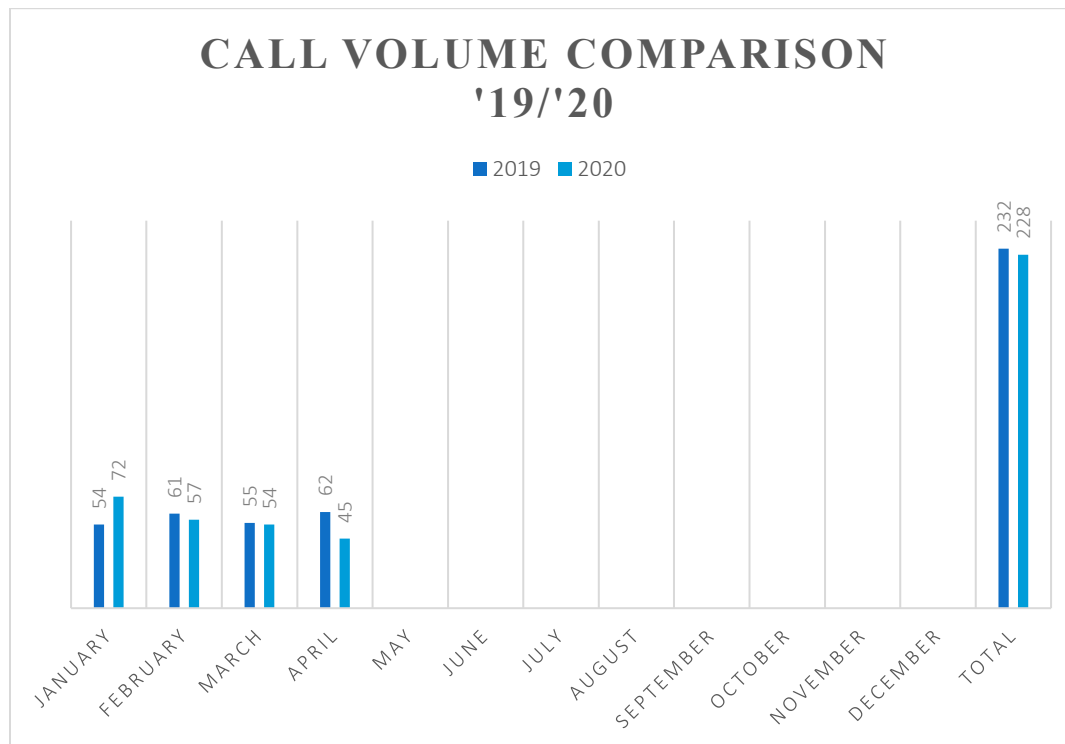


## City of Polk City, Iowa City Council Agenda Communication

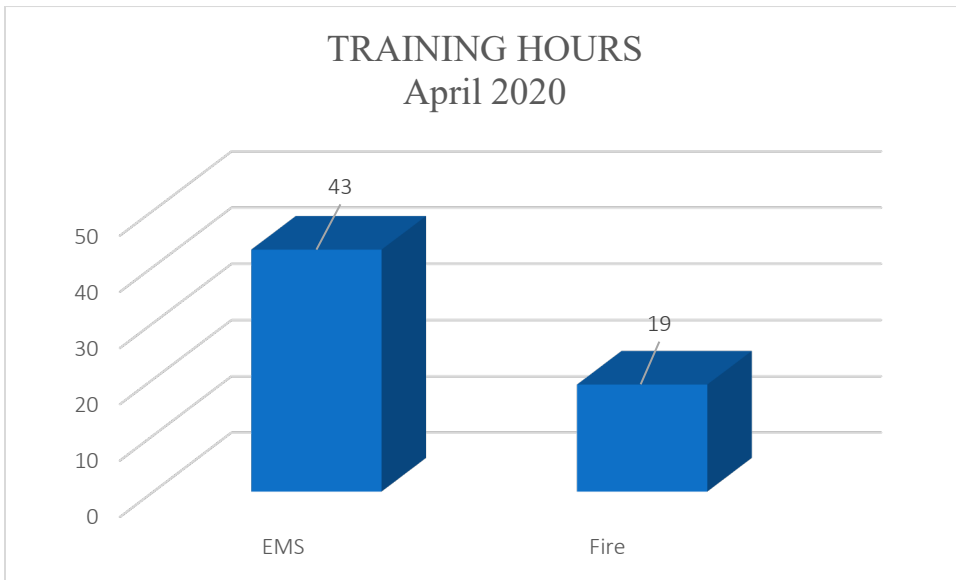
**Date:** May 26, 2020  
**To:** Mayor & City Council  
**From:** Jim Mitchell – Fire Chief  
**Subject:** April 2020 Monthly Report

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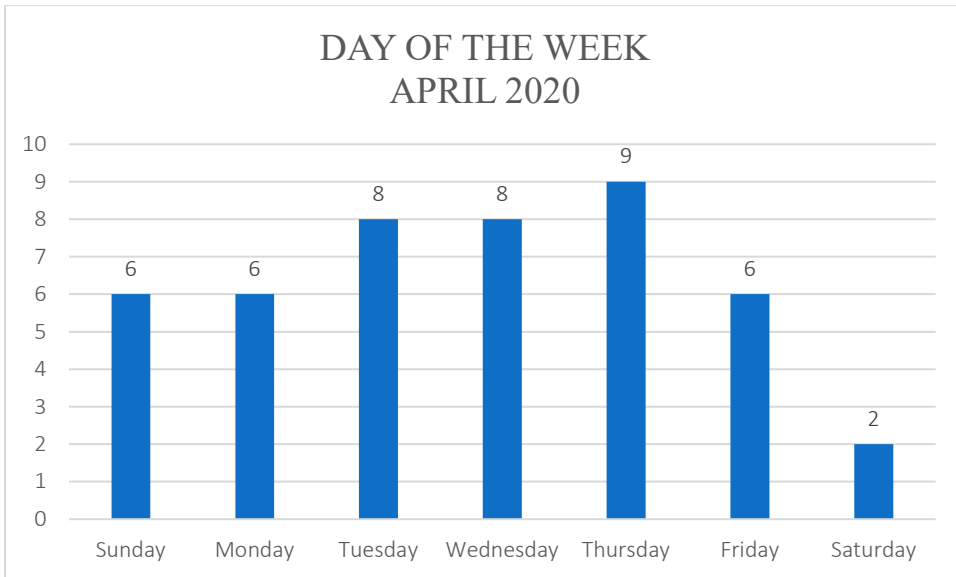
**BACKGROUND:** April 2020 provided fewer calls for service than April 2019. PCFD had a total of 62 calls for service during April 2019 and 45 this year. All fire departments in Polk County had a reduction in calls for service in April.



We had to completely change our training program to adhere to the social distancing protocol. We conducted 3 training sessions via Zoom. The topics included COVID-19 procedures, General PCFD Information, and Blood Borne Pathogens & HIPPA requirements. Each class was 1 hour.

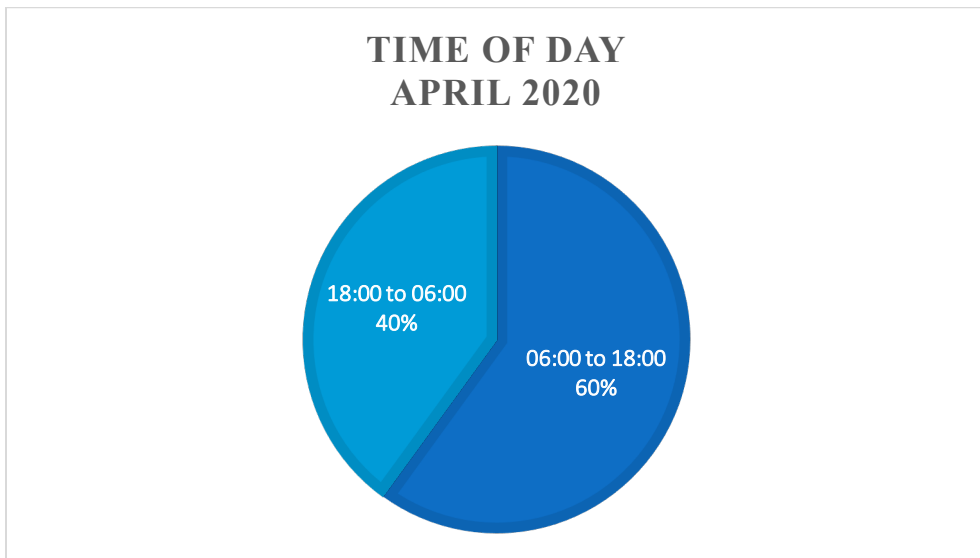


The call volume was busiest on Thursday with 9 calls for service in April:

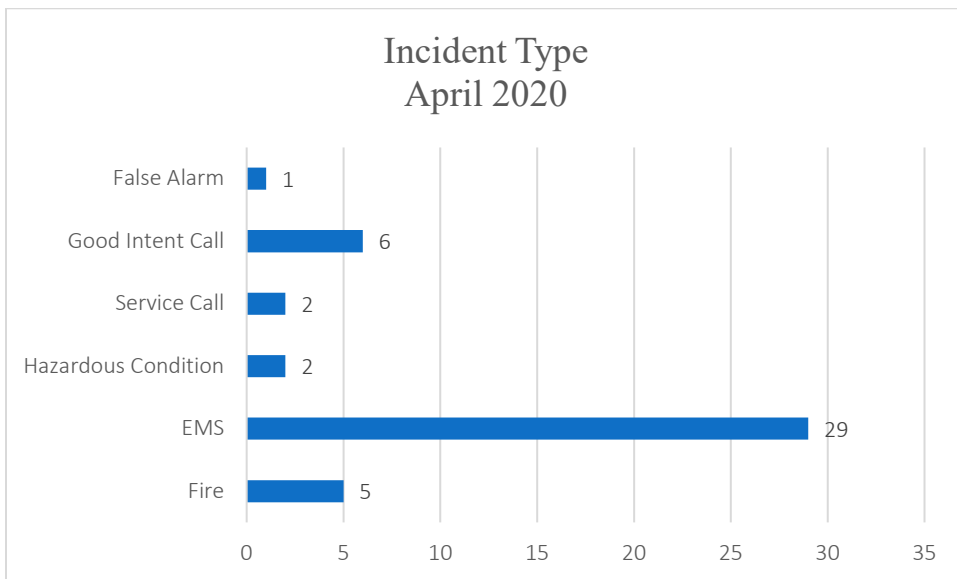


Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	TOTAL
6	6	8	8	9	6	2	45

We responded to 27 calls for service during the day shift, between 06:00 hours (6:00 AM) and 18:00 hours (6:00 PM) and 18 calls for service during the on-call hours, 18:00 hours (6:00 PM) to 06:00 hours (6:00 AM):



The “Incident Type” of calls was predominately EMS related with a total of 45 calls for service for April:



The month of April was busy with revising and adjusting procedures to respond to COVID-19 related incidents. We are handling this situation very well.

**PRELIMINARY PLAT & FINAL PLAT**

Date: May 12, 2020  
Project: Zunkel Estates Plat 1

Prepared by: Jared Foss, Planner  
Project No.: 120.0450.01

**GENERAL INFORMATION:**

**Applicant/Owner:** Jon & Noel Zunkel

**Requested Action:** Approval of Plat

**Location:** 14150 NW Madrid Drive  
(within 2-mile area)

**Plat Size:** 8.76, total  
- Lot 1: 3.03 acres  
- Lot 2: 4.62 acres  
-ROW: 1.11 acres

**Polk County Zoning:**  
ER – Estate Residential

**Polk City Equivalent Zoning:**  
R-1 Single Family Res

**PROJECT DESCRIPTION:**



The subject property is located within Polk City’s 2 mile area, west of Big Creek State Park. (The parcel’s location is illustrated on the attached exhibit.) On behalf of the applicant, AEC Engineering has prepared the Preliminary Plat and Final Plat to create a new Lot 1 that can be sold for construction of a new home. The existing residence and outbuildings are located on Lot 2.

Polk County’s zoning for this property is ER – Estate Residential. Since the new lot is smaller than the 10 acres, the city’s equivalent zoning becomes R-1 Single Family residential. Both Lot 1 and 2 exceed the city’s R-1 requirements for minimum lot size and width; including additional requirements for properties where no sanitary sewer service is available. The setbacks established in the “Bulk Regulations” noted on the plat exceed the city’s R-1 requirements for setbacks of a 35’ front yard, 8’ side yard, and 35’ rear yard.

NW Madrid Drive is a minor arterial street; as such it is required to have an 80’ wide right-of-way (40’ on each side of the road centerline) per the Comp Plan and Subdivision Regulations. The current Polk County zoning has a minimum lot size of 3-acres. Lot 1 is proposed to be 3.03 acres. However, Lot B shows only 35.87’ of right-of-way adjacent to Lot 1. Increasing the right-of-way would bring Lot 1 below the required 3-acre minimum. Since a 3-acre lot size exceeds Polk City’s

R-1 requirements, additional right-of-way is shown as proposed and will be dedicated to the City of Polk City at no cost following annexation.

There is currently one driveway on Lot 2 providing access to NW Madrid Drive and one entrance on Lot 1 providing access to NW 142<sup>nd</sup> Avenue. No more than one driveway will be permitted to serve Lot 1. No new driveways shall be permitted to serve Lot 2.

Since this plat is not within the corporate limits of Polk City, a Petition and Waiver for sidewalks is not required at this time. A sidewalk easement along NW Madrid Drive or NW 142<sup>nd</sup> Avenue is not necessary since the sidewalk can be located within the existing right-of-way.

Both lots will be connected to rural water. Both lots will have their own private septic systems.

**REVIEW COMMENTS:**

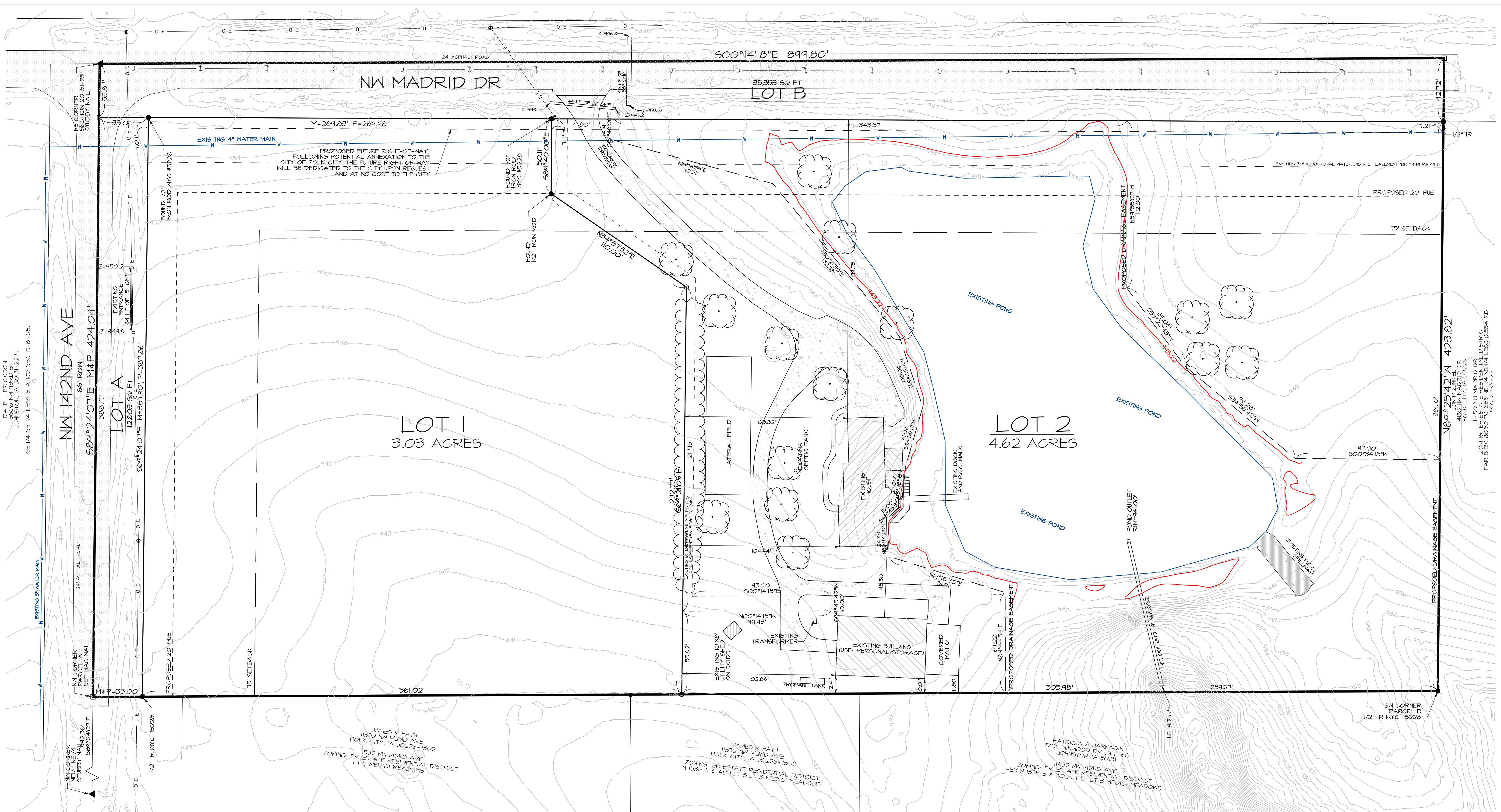
All comments have been addressed on submittal #3.

**RECOMMENDATION:**

Based on the foregoing review comments being satisfactorily addressed, staff recommends approval of the Preliminary Plat and Final Plat for Zunkel Estates Plat 1 subject to the following:

1. P&Z recommendations, if any, shall be addressed prior to this item being placed on the Council agenda.
2. Payment of all application fees and engineering review fees prior to this item being placed on the Council agenda.





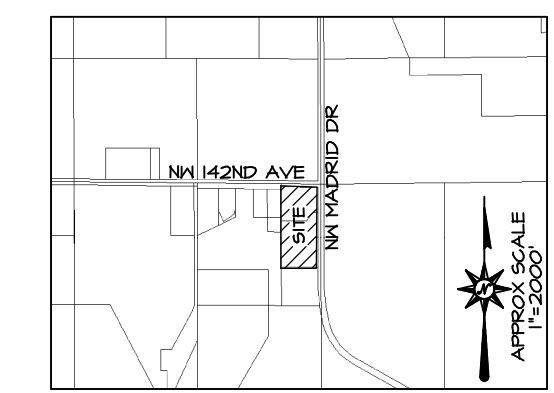
**POLK CITY NOTES**

1. PROPOSED FUTURE RIGHT-OF-WAY: FOLLOWING POTENTIAL ANNEXATION TO THE CITY OF POLK CITY, THE FUTURE RIGHT-OF-WAY WILL BE DEDICATED TO THE CITY UPON REQUEST AND AT NO COST TO THE CITY.
2. NO MORE THAN ONE DRIVEWAY SHALL BE PERMITTED TO SERVE LOT 1 OF ZUNKEL ESTATES PLAT 1.
3. NO NEW DRIVEWAYS SHALL BE PERMITTED TO SERVE LOT 2 OF ZUNKEL ESTATES PLAT 1.
4. MAINTENANCE OF ALL DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**NOTES**

1. DUE TO SOIL TYPES, LIMITATIONS AND DISTURBANCES, ALTERNATIVE SEPTIC SYSTEMS MAY BE REQUIRED. INDIVIDUAL WASTEWATER TREATMENT SYSTEMS SHALL BE DESIGNED BY AN ENGINEER.
2. UTILITIES: WATER PROVIDED BY XENIA RURAL WATER TREATMENT SYSTEM. SANITARY: PRIVATE ON-SITE WASTEWATER TREATMENT SYSTEM.
3. LOTS A & B SHALL BE DEEDED TO POLK COUNTY FOR ROADWAY PURPOSES.
4. POLK COUNTY DOES NOT REQUIRE OR ISSUE PERMITS FOR SIDEWALKS AND DOES NOT ACCEPT THE LIABILITY AND/OR RESPONSIBILITY FOR CONSTRUCTION, PLACEMENT, REPAIR OR MAINTENANCE THEREOF OF ANY STREET SIDEWALK INSTALLED IN THE PLAT BY ANY HOME OWNER.
5. FEMA MAP PANEL#: 191530029F EFFECTIVE DATE 2/1/2019 ZONE X.
6. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUIRED OF THIS PROJECT.
7. STORM RUNOFF: DURING CONSTRUCTION & GRADING INDIVIDUAL LOT OWNERS WILL ALTER RESOURCES IF SAID PERMITS ARE REQUIRED OF THIS PROJECT.
  - (A.) INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR ENSURING POST DEVELOPMENT RUNOFF FROM THEIR SITE DOES NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
  - (B.) INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR GRADING THEIR LOT TO CONVEY RUNOFF GENERATED FROM THEIR LOT AND RUNOFF GENERATED FROM ADJACENT LOTS IN SUCH A MANNER AS TO:
    - (i.) RESTRICT OFF SITE FLOW FROM BEING CONVEYED ACROSS THEIR LOT.
    - (ii.) CHANGE THE GENERAL DIRECTION OF FLOW OF RUNOFF.
    - (iii.) DAMAGE DOWN STREAM PROPERTY.
    - (iv.) RESTRICT OFF SITE FLOW FROM BEING CONVEYED ACROSS THEIR LOT.
  - (C.) INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR ENSURING THEIR SITE IS GRADED TO PROTECT THEIR PRIVATE PROPERTY FROM ANY AND ALL DAMAGE FROM STORM RUNOFF GENERATED ON-SITE OR OFF SITE.
  - (D.) INDIVIDUAL LOT OWNERS SHALL NOT GRADE ANY PORTION OF THEIR LOT TO CAUSE RUNOFF TO BECOME CONCENTRATED FLOW WITHOUT PROVIDING PROTECTION FOR DOWNSTREAM PROPERTIES.
8. RELOCATION OF ANY ENTRANCE OR UTILITY TO CONFORM TO THE REQUIREMENTS OF THIS PLAT SHALL BE AT THE DEVELOPER'S EXPENSE.
9. ALL MAILBOXES LOCATED IN POLK COUNTY RIGHT-OF-WAY MUST BE OF BREAKAWAY DESIGN.
10. UTILITY EASEMENTS ARE DEDICATED FOR THE USE OF ANY PUBLIC UTILITY.
11. SUBSURFACE DRAINAGE FACILITIES: ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED, MUST BE RESTORED OR REROUTED BY THE PROPERTY OWNER.
12. ALL SERVICES TO UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORED UNDER THE ROADWAY AT THE LOT OWNERS EXPENSE.

**VICINITY SKETCH**



**CERTIFICATION**

I HEREBY CERTIFY THAT THE LAND SURVEYING DOCUMENT WAS PREPARED BY ME AND THE FIELD NOTES WITH ACCURATE LAND SURVEYING UNDER THE CARE OF THE STATE OF IOWA. I AM A LICENSED SURVEYOR IN THE STATE OF IOWA. DATE: 5/12/2020 PAGE COVERED BY THIS SEAL: THE PAGE ONLY

SEAL: GREGORY L. ROSS, P.L.S. #13286

SIGNED: GREGORY L. ROSS P.L.S. DATE: 5/12/2020

**OWNER/DEVELOPER**

JON & NOEL ZUNKEL  
14150 NW MADRID DR.  
POLK CITY, IA 50226  
(515) 450-2065

**BULK REGULATIONS**

ZONING - ER (ESTATE RESIDENTIAL)  
FRONT YARD SETBACK - 15'  
REAR YARD SETBACK - 15'  
SIDE YARD SETBACK - 25'

**LEGAL DESCRIPTION**

PARCEL A OF THE NE 1/4 OF THE NE 1/4 IN SECTION 20, TOWNSHIP 81 NORTH, RANGE 25 WEST OF THE 5TH PM, POLK COUNTY IOWA, AS RECORDED IN BOOK 8080, PAGE 385 AT THE POLK COUNTY RECORDERS OFFICE.  
SAID PARCEL CONTAINS 8.76 ACRES INCLUDING 1.11 ACRES OF ROAD RIGHT OF WAY.

**ZUNKEL ESTATES PLAT I  
MAJOR PRELIMINARY PLAT**

**LEGEND**

- MONUMENT FOUND AS NOTED
- SET 1/2" IR 1/4" ORANGE CAP #13286
- ▲ SECTION CORNER FOUND AS NOTED
- △ SECTION CORNER SET AS NOTED
- ⊙ SANITARY MANHOLE AS NOTED
- ⊗ STORM MANHOLE AS NOTED
- ⊕ TRAFFIC MANHOLE AS NOTED
- ⊖ UTILITY MANHOLE AS NOTED
- ⊘ PHONE MANHOLE AS NOTED
- ⊙ ELECTRIC MANHOLE AS NOTED
- ⊗ GAS METERS AS NOTED
- ⊕ GAS VALVE AS NOTED
- ⊖ UTILITY POLE AS NOTED
- ⊘ WELL AS NOTED
- ⊙ FIREHYDRANT AS NOTED
- ⊙ EXISTING WATER VALVE
- ⊙ PROPOSED WATER VALVE
- ⊙ CURB INTAKE AS NOTED
- ⊙ ARSA INTAKE AS NOTED
- ⊙ ELECTRIC TRANSFORMER BOX
- ⊙ UTILITY BOX AS NOTED
- ⊙ PERK TEST SITE AS NOTED
- ⊙ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- ⊙ MEASURED DISTANCE OR BEARING
- ⊙ RECORDED DISTANCE OR BEARING
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FENCE LINE AS NOTED
- BURIED TELEVISION AS NOTED
- BURIED ELECTRIC AS NOTED
- OVER-HEAD UTILITIES
- GAS MAIN AS NOTED
- WATER MAIN AS NOTED
- STORM SEWER AS NOTED
- SANITARY SEWER AS NOTED
- BURIED TELEPHONE
- BURIED CABLE/UTILITIES

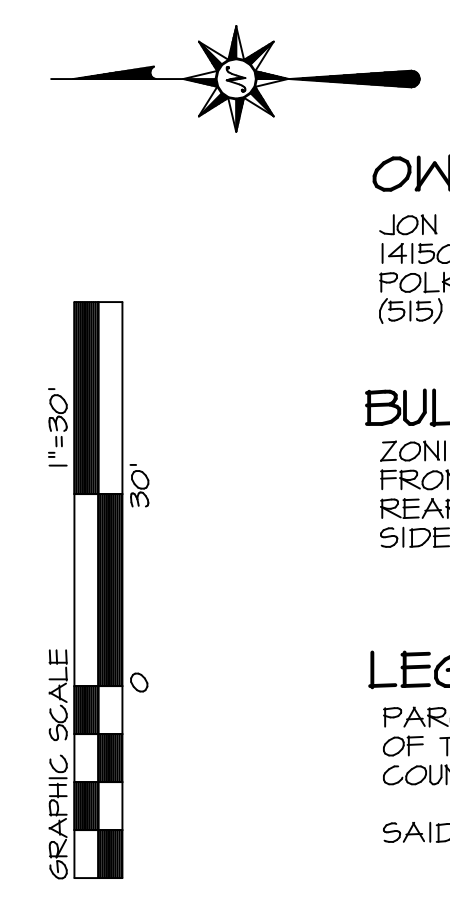
**ASSOCIATED ENGINEERING  
AEC COMPANY OF IOWA**

1830 SE Princeton Dr. Ste M Grimes, IA 50111  
Phone: (515) 255-3156 Fax: (515) 255-3157

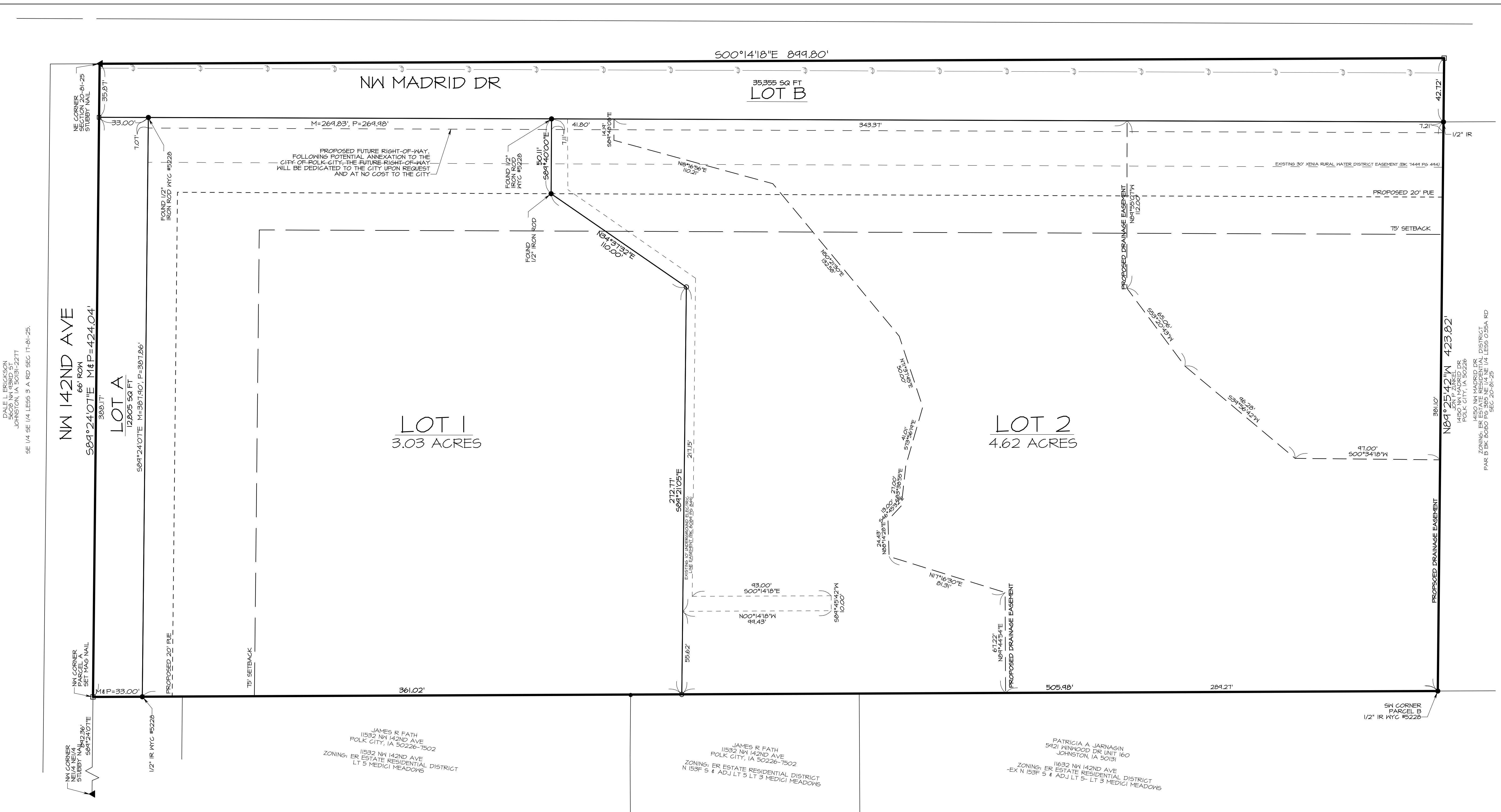
PROJECT #: 208687  
FIRST SUBMITTAL DATE: 2/18/2020

DALE L. ERICSSON  
SURVEYOR  
JOHNSTON IA 50131-2211  
SE 1/4 SE 1/4 L655 3 A RD SEC 17-81-25.

14150 NW MADRID DR  
POLK CITY, IA 50226  
ZONING: ER (ESTATE RESIDENTIAL)  
PAR B BK 6080 PG 305 NE 1/4 NE 1/4 SEC 20-81-25







DALE L. ERICSSON  
 SURVEYOR  
 JOHNSON IA 50131-2217  
 SE 1/4 SE 1/4 L655 3 A RD SEC 17-81-25

**OWNER/DEVELOPER**  
 JON & NOEL ZUNKEL  
 14150 NW MADRID DR.  
 POLK CITY, IA 50226  
 (515) 450-2865

**BULK REGULATIONS**  
 ZONING - ER (ESTATE RESIDENTIAL)  
 FRONT YARD SETBACK- 75'  
 REAR YARD SETBACK- 75'  
 SIDE YARD SETBACK- 25'  
 MAXIMUM BUILDING COVERAGE - 8%

**LEGAL DESCRIPTION**  
 PARCEL A OF THE NE1/4 OF THE NE1/4 IN SECTION 20, TOWNSHIP 01 NORTH, RANGE 25 WEST OF THE 5TH PM, POLK COUNTY IOWA, AS RECORDED IN BOOK 0090, PAGE 305 AT THE POLK COUNTY RECORDERS OFFICE.

SAID PARCEL CONTAINS 0.76 ACRES INCLUDING 1.11 ACRES OF ROAD RIGHT OF WAY.

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**UTILITY PROVIDERS**

Mediacom  
 Mr. Chad Ernst  
 2205 Ingersol Avenue  
 Des Moines, Iowa 50312  
 (515) 246-2213

MidAmerican Energy  
 Electric Transmission  
 Mr. Steve Harrison, P.E.  
 3500 104th Street  
 Urbandale, IA 50322  
 (515) 252-6560  
 sjharrison@midamerican.com

Des Moines Water Works  
 Mr. Bryan Polpeter  
 2201 George Flag Parkway  
 Des Moines, Iowa 50321  
 (515) 323-6204  
 bpollpet@dmww.com

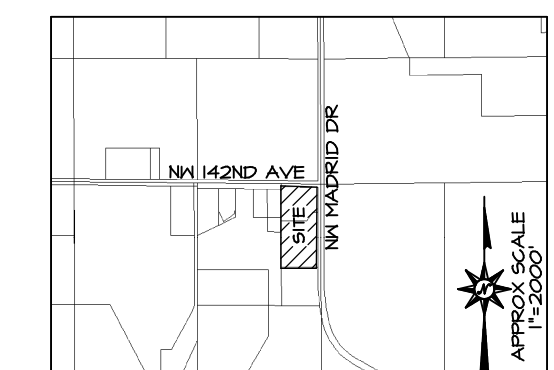
MidAmerican Energy  
 200 SE 3rd Street  
 Des Moines, Iowa 50309  
 (515) 242-3474  
 cavelman@midamerican.com

Quest Communications  
 Mr. Brent Carlson  
 2103 E. University  
 Des Moines, Iowa 50317  
 (515) 263-7304 (office)  
 joshperd@midamerican.com

**NOTES**

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**VICINITY SKETCH**



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SIGNED: GREGORY L. ROSS P.L.S. 13286 DATE: \_\_\_\_\_



**ZUNKEL ESTATES PLAT 1  
 MAJOR FINAL PLAT**

**LEGEND**

● MONUMENT FOUND AS NOTED	⊕ FIREHYDRANT AS NOTED	--- EXISTING CONTOUR
○ SET 1/2" IR 1/4" ORANGE CAP #13286	⊖ EXISTING WATER VALVE	--- PROPOSED CONTOUR
▲ SECTION CORNER FOUND AS NOTED	⊕ PROPOSED WATER VALVE	--- FENCE LINE AS NOTED
▲ SECTION CORNER SET AS NOTED	⊖ CURB INTAKE AS NOTED	--- TVC BURIED TELEVISION AS NOTED
⊙ SANITARY MANHOLE AS NOTED	⊕ AREA INTAKE AS NOTED	--- LE BURIED ELECTRIC AS NOTED
⊙ STORM MANHOLE AS NOTED	⊕ HANDICAPPED PARKING AS NOTED	--- OE OVER-HEAD UTILITIES
⊙ TRAFFIC MANHOLE AS NOTED	⊕ ELECTRIC TRANSFORMER BOX	--- G GAS MAIN AS NOTED
⊙ UTILITY MANHOLE AS NOTED	⊕ UTILITY BOX AS NOTED	--- H WATER MAIN AS NOTED
⊙ PHONE MANHOLE AS NOTED	⊕ PERK TEST SITE AS NOTED	--- S STORM SEWER AS NOTED
⊙ ELECTRIC MANHOLE AS NOTED	⊕ 100.00 EXISTING SPOT ELEVATION	--- SS SANITARY SEWER AS NOTED
⊕ GAS METERS AS NOTED	⊕ 100.00 PROPOSED SPOT ELEVATION	--- UT BURIED UTILITY
⊕ GAS VALVE AS NOTED	⊕ M MEASURED DISTANCE OR BEARING	--- UC BURIED CABLE/UTILITIES
⊕ UTILITY POLE AS NOTED	⊕ R RECORDED DISTANCE OF BEARING	
⊕ WELL AS NOTED		

**ASSOCIATED ENGINEERING  
 COMPANY OF IOWA**

1830 SE Princeton Dr. Ste M Grimes, IA 50111  
 Phone: (515) 255-3156 Fax: (515) 255-3157

PROJECT #: 208607  
 FIRST SUBMITTAL DATE: 2/18/2020

**RESOLUTION NO. 2020-60**

**A RESOLUTION APPROVING A PRELIMINARY PLAT FOR  
ZUNKEL ESTATES PLAT 1**

---

**WHEREAS**, Associated Engineering Company of Iowa, on behalf of Jon & Noel Zunkel, submitted a Preliminary Plat for approval for Zunkel Estates Plat 1 that lies within the 2 miles Extra-territorial Jurisdiction of Polk City, Iowa; and

**WHEREAS**, the Polk City Planning and Zoning Commission reviewed this Preliminary Plat and recommended its approval at their meeting on May 18, 2020; and

**WHEREAS**, the City Engineer has reviewed this Preliminary Plat and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Preliminary Plat.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa, hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and deems it appropriate to approve the Preliminary Plat for Zunkel Estates Plat 1.

**PASSED AND APPROVED** the 26th day of May 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk

**RESOLUTION NO. 2020-61**

**A RESOLUTION APPROVING A FINAL PLAT FOR ZUNKEL  
ESTATES PLAT 1**

---

**WHEREAS**, Associated Engineering Company of Iowa, on behalf of Jon & Noel Zunkel, submitted a Final Plat for approval for Zunkel Estates Plat 1 that lies within the 2 miles Extra-territorial Jurisdiction of Polk City, Iowa; and

**WHEREAS**, the Polk City Planning and Zoning Commission reviewed this Final Plat and recommended its approval at their meeting on May 18, 2020; and

**WHEREAS**, the City Engineer has reviewed this Preliminary Plat and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Final Plat.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa, hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and deems it appropriate to approve the Final Plat for Zunkel Estates Plat 1.

**PASSED AND APPROVED** the 26th day of May 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk

**SITE PLAN REVIEW**

Date: May 21, 2020  
 Project: P&M Apparel

Prepared by: Travis Thornburgh & Jared Foss  
 Project No.: 120.0438.01

**GENERAL INFORMATION:**

<b>Applicant:</b>	P&M Apparel
<b>Property Owner:</b>	MCHES, L.L.C.
<b>Requested Action:</b>	Approval of Site Plan
<b>Location</b>	Lot 1, Sandpiper Point Plat 1
<b>Size:</b>	1.02 acres
<b>Zoning:</b>	C-2 Commercial
<b>Propose Use:</b>	Retail Store with associated manufacturing



**PROJECT BACKGROUND:**

The Final Plat for Sandpiper Point Plat 1 was recorded on October 14, 1996. The plat included construction of Sandpiper Court and S. 5<sup>th</sup> Street and 12 lots fronting on those streets. While the remainder of the lots have been developed for commercial uses such as Fareway, Time to Shine car wash, and Nelson Automotive or for multi-family residential use. However, Lot 1, located at the southwest corner of W. Bridge Road and S 5<sup>th</sup> Street, has remained undeveloped.

35’ buffers are typically required adjacent to USACE property. But, since this property was platted in accordance with City Code prior to this requirement taking effect, this buffer is not required on this existing lot of record.

At this time, P&M Apparel plans to construct a new building to provide the needed additional space for their growing business, nearly doubling the 4,320 sf of space they have at their current location.

**DESCRIPTION:**

P&M proposes to construct an 8,220 sf building. The building will be faced primarily with grey brick veneer with charcoal gray, smooth metal panels beneath the roofline on each wall. A trash enclosure will be located on the southwest side of the building. Access to the site will be provided by two points from South 5<sup>th</sup> Street. The north entrance will be exit only while the south entrance shall be entrance only. A 5’ wide sidewalk will be paved along South 5<sup>th</sup> Street and for approximately 80 feet along W. Bridge Road. A bike rack will not be installed.

Water service, including an additional hydrant extended to the building but the applicant does not plan for the building to be sprinklered.

Building signs include a P&M Apparel sign (36 sf) on the east façade, and a second P&M Apparel sign (49 sf) on the north façade. A monument sign will be installed near the W. Bridge Road/ South 5<sup>th</sup> Street intersection.

**ISSUES:**

- A. The applicant plans to construct a portion of the public sidewalk along W. Bridge Road but requests that the western 124 feet of this sidewalk be deferred until such time as there are connecting sidewalks to the west. The City will provide a Sidewalk Agreement to be signed by the property owner and submitted for approval by City Council.

**REVIEW COMMENTS:**

All review comments were addressed on Submittal #3.

**RECOMMENDATION:**

Based on the satisfactory resolution of each of the foregoing review comments, staff recommends approval of the Site Plan for P&M Apparel, subject to:

1. Council approval of the Sidewalk Agreement deferring construction of the western approximately 124 feet of the sidewalks along W. Bridge Road until such time as Council determines there is a need for sidewalks in this area.
2. Council approval of a 10' wide public sidewalk easement on the north side of Lot 1, Sandpiper Point Plat 1.
3. Provision of a recorded copy of the Sidewalk Easement and Sidewalk Agreement to the City Clerk prior to issuance of a building permit.
4. Payment in full of all fees to the City Clerk.

**RESOLUTION NO. 2020-62**

**A RESOLUTION APPROVING THE SITE PLAN  
FOR P&M APPAREL INCLUDING SIDEWALK EASEMENT AND SIDEWALK  
AGREEMENT**

---

**WHEREAS**, Angelo Architectural Associates and Bishop Engineering have submitted a Site Plan on behalf of P&M Apparel, including a sidewalk easement and sidewalk deferral agreement, for their proposed building to be located at the southwest corner of S. 5th Street and W. Bridge Road on Lot 1 of Sandpiper Point Plat 1, Polk City, Iowa; and

**WHEREAS**, on May 26, 2020, the Polk City Planning and Zoning Commission met and recommended approval of the Site Plan for P&M Apparel, including sidewalk easement and sidewalk deferral agreement, subject to all review comments being satisfactorily addressed; and

**WHEREAS**, the City Engineer and City Attorney have reviewed the Site Plan and accompanying documents and recommend its approval subject to the provision of a recorded copy of the Sidewalk Easement and Sidewalk Agreement be provided to the City Clerk prior to issuance of a building permit.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission, City Engineer, and City Attorney and deems it appropriate to approve the Site Plan for P&M Apparel, Sidewalk Easement, and Sidewalk Agreement subject to the provision of a recorded copy of the Sidewalk Easement and Sidewalk Agreement to the City Clerk prior to issuance of a building permit on Lot 1 of Sandpiper Point Plat 1.

**PASSED AND APPROVED** the 26<sup>th</sup> day of May 2020.

---

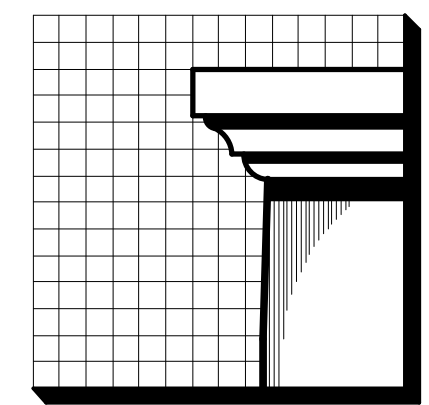
Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk





# ANGELO ARCHITECTURAL ASSOCIATES, LLC

12314 RIDGEVIEW DRIVE  
URBANDALE, IA  
P: (515) 250-6950  
E: mthiessena1@mchsi.com  
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ANGELO ARCHITECTURAL ASSOCIATES, LLC

OWNER:  
**P & M Apparel**  
Kay Ferin, Owner  
206 Van Dorn Street  
Polk City, IA 50226  
Ph: 515-984-7740

PROJECT:  
**P & M Apparel - New Facility**  
1100 S. 5th Street  
Polk City, IA 50226

SUBMITTAL  
**1st P & Z Site Plan Submittal - Revised**  
5-11-2020

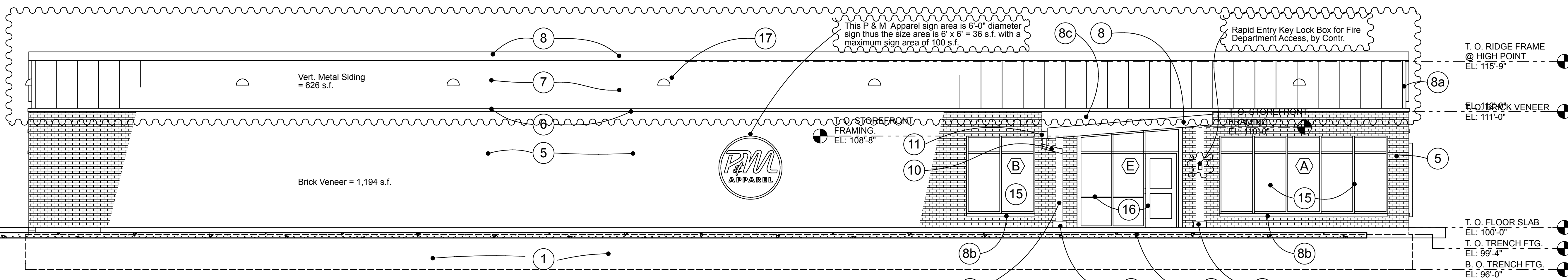
## EXTERIOR ELEVATIONS

JOB NO. 2008

April 22, 2020  
Rev. May 11, 2020

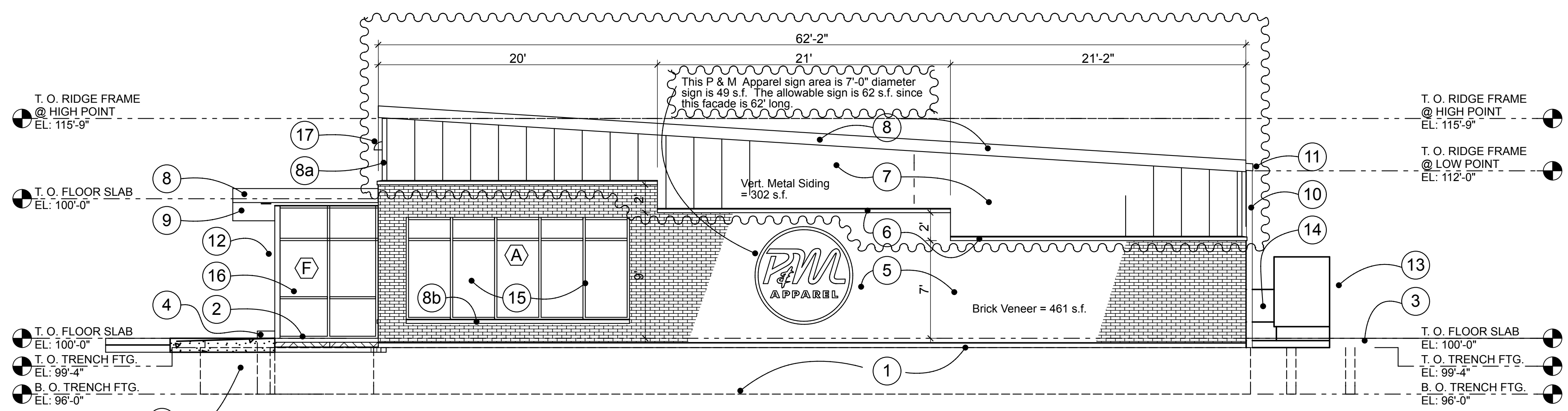
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Pilot Date: 5/11/20  
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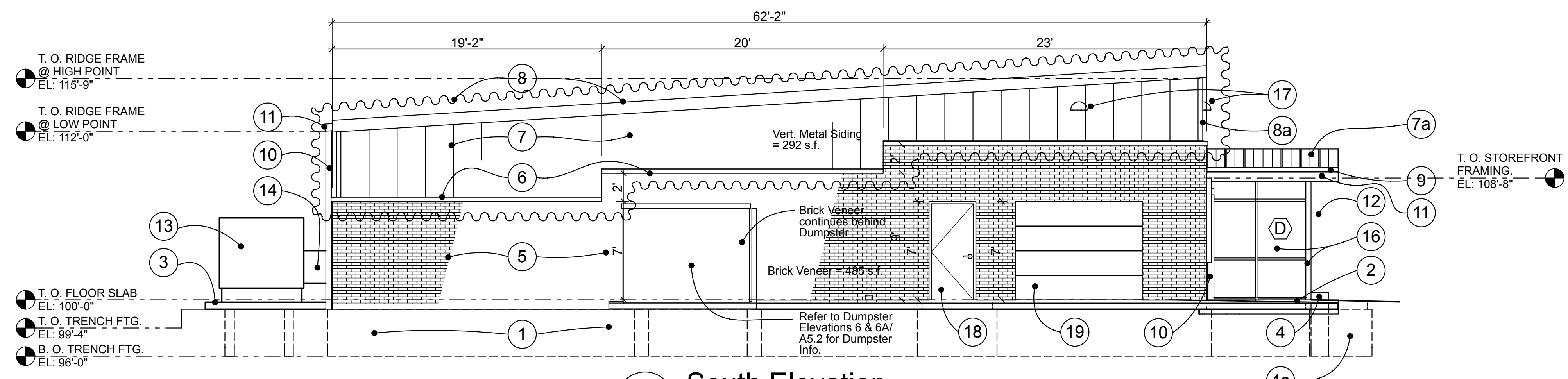
Total Facade Area without glazing = 1,820 s.f.  
Total Masonry Facade Area = 1,194 s.f. or 65.6%  
Total Upper Metal Panel Facade Area = 626 s.f. or 34.4%

**1 East (S. 5th Street) Elevation**  
SCALE: 3/16" = 1'-0"



Total Facade Area without glazing = 763 s.f.  
Total Masonry Facade Area = 461 s.f. or 60.4%  
Total Upper Metal Panel Facade Area = 302 s.f. or 39.6%

**2 North (West Bridge Road) Elevation**  
SCALE: 3/16" = 1'-0"



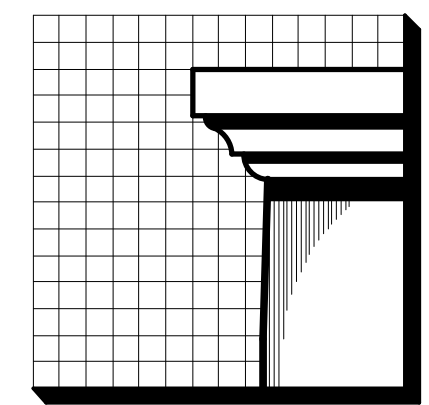
Total Facade Area without glazing = 777 s.f.  
Total Masonry Facade Area = 485 s.f. or 62.4%  
Total Upper Metal Panel Facade Area = 292 s.f. or 37.6%

**3 South Elevation**  
SCALE: 3/16" = 1'-0"

### TYP. EXTERIOR KEYNOTES:

- 1 Reinforced concrete trench footing. Refer to Structural Drwgs. for more info., Typ.
- 2 Edge of reinforced concrete floor slab. Refer to Structural Drwgs. for more info., Typ.
- 3 6" thick reinf. concrete roof top unit w/ 2" thick 1 lb. extruded insulation board under pad, w/ (6) 8" dia. concrete piers, 4 feet below top of pad, 18" bigger than the rooftop unit. on 3 sides & tight to brick veneer, Typ.
- 4 Reinf. square conc. pier 6" above sidewalk 15" x 15" x 4'-0" & (4) anchor bolts to fasten steel tube column to pier.
- 4a Reinf. conc. stoop trench footing w/ 5" reinf. conc. stoop slab on 4" thick void form, typ.
- 5 Brick Veneer of Gray Utility Brick with a range of medium Gray colors laid in 1/3" bond. Typ.
- 6 Custom fabricated pre-finished Black 24 ga. metal wall transition flashing overlapping brick 1 1/2" min. and extending up behind metal siding min. 4" Typ.
- 7 Star pre-finished Charcoal Gray 26 ga. vertical metal 24" wide x 2" thick siding panels, Typ.
- 7a Star Double-Lok pre-finished Charcoal Gray 24 ga. metal 24" wide roof panels, Typ.
- 8 Star AVP pre-finished Black 26 ga. Rake Trim Flashing, Typ.
- 8a Pre-finished Charcoal Gray 26 ga. 6" x 6" corner flashing Typ.
- 8b Pre-finished Black 24 ga. custom window sill flashing overlap brick 1 1/2" and turn up under window sill 1/2" Typ.
- 8c Pre-finished City Scope (Light Gray) 24 ga. custom wall counter flashing sealed water tight to metal roofing & extend up under metal wall flashing 1 1/2" min.
- 8d Pre-finished Black 26 ga. eave flashing w/ watertight flute closure gaskets Typ.
- 9 Pre-finished City Scope (Light Gray) 26 ga. 1/2" Thick V-Groove Soffit Panels w/ grooves @ 4" +/- o.c. Typ.
- 10 Pre-finished Black 24 ga. 5" x 5" enclosed metal down spouts, Typ.
- 11 Star Pre-finished Black 24 ga. 6" x 8" metal gutter supported at 24" o.c to each vert. roof rib, Typ.
- 12 Galv. Steel Tube Column 8" x 8" x 5/16" with powder coated paint finish to match Charcoal Gray Siding, Typ.
- 13 Ground mounted HVAC Roof Top Units set on 12" high x 2" wide galv. equipment curb, Typ.
- 14 Double wall 2" thick insulated galv. steel watertight steel supply and return air ductwork penetrating brick veneer.
- 15 Clear Anodized Thermally Broken Storefront Window Framing 2" wide x 4 1/2" deep w/ 1" clear insulating glass, Typ.
- 16 Clear Anodized Thermally Broken Storefront Vestibule Framing 2" wide x 4 1/2" deep w/ 1" clear tempered insulating glass, Typ.
- 17 Exterior Wall Pack Light Fixtures w/ down lens, Typ. Refer to Elec. Drwgs. for more information.
- 18 Insulated H.M. Door & Frame, shop primed and field painted, Typ.
- 19 2" thick pre-finished insulated metal overhead door w/ 26 ga. metal on interior & exterior side of door.





# ANGELO ARCHITECTURAL ASSOCIATES, LLC

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OWNER:

**P & M Apparel**  
**Kay Ferin, Owner**  
**206 Van Dorn Street**  
**Polk City, IA 50226**  
**Ph: 515-984-7740**

PROJECT:

**P & M Apparel - New Facility**  
**1100 S. 5th Street**  
**Polk City, IA 50226**

SUBMITTAL

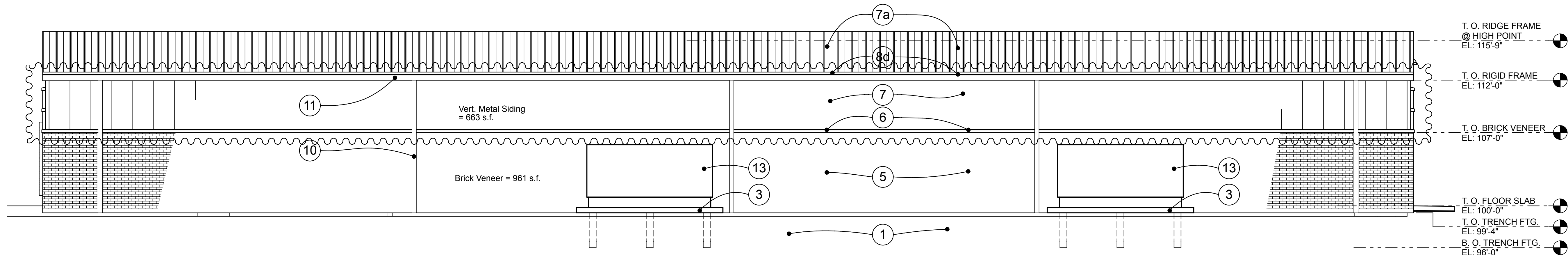
**1st P & Z Site Plan**  
**Submittal - Revised**  
**5-11-2020**

## EXTERIOR ELEVATIONS

JOB NO. 2008

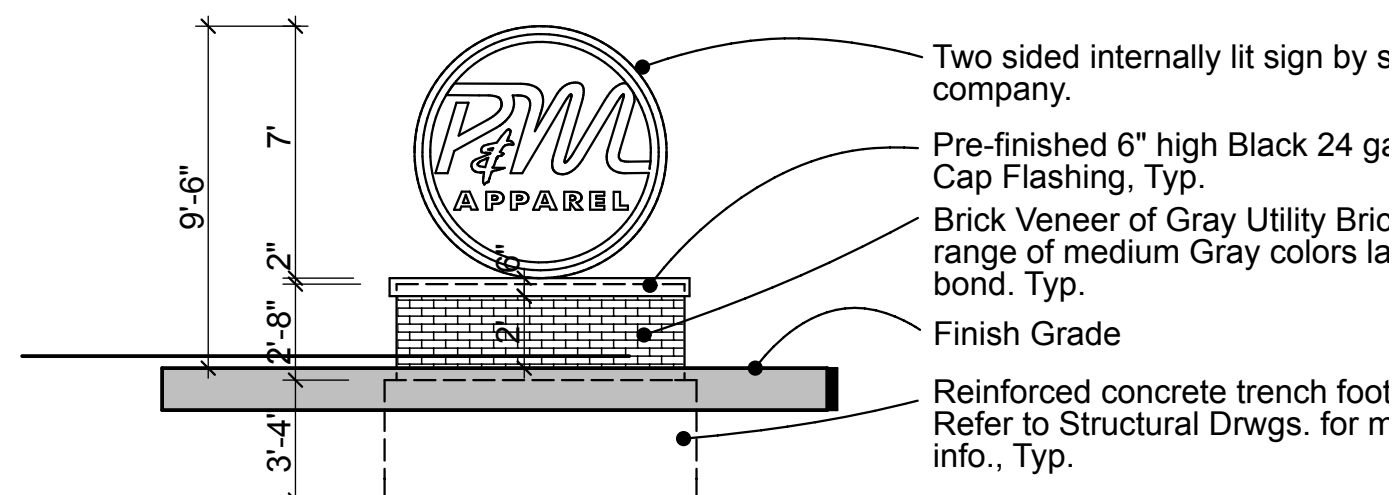
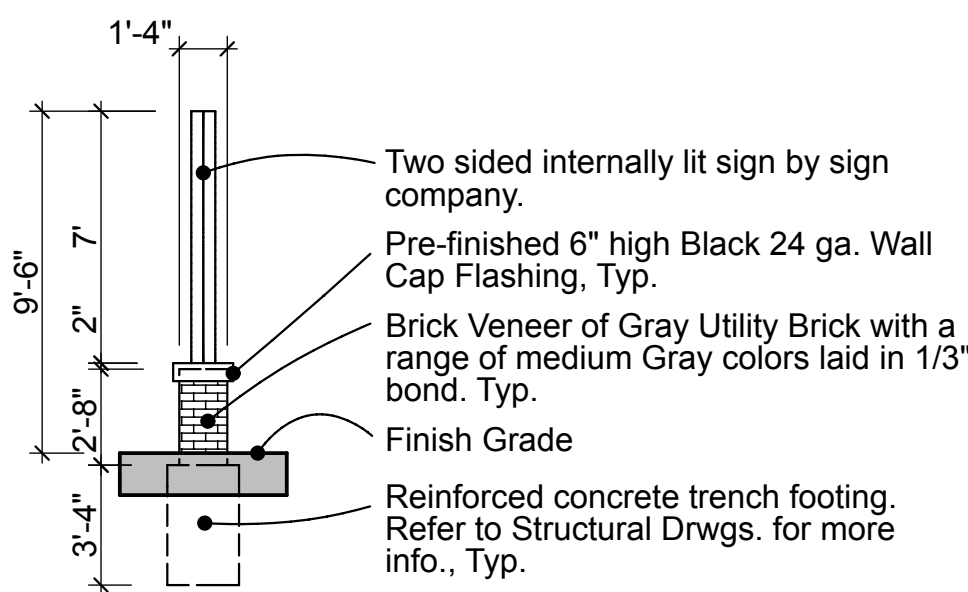
April 22, 2020  
Rev. May 11, 2020

# A5.2

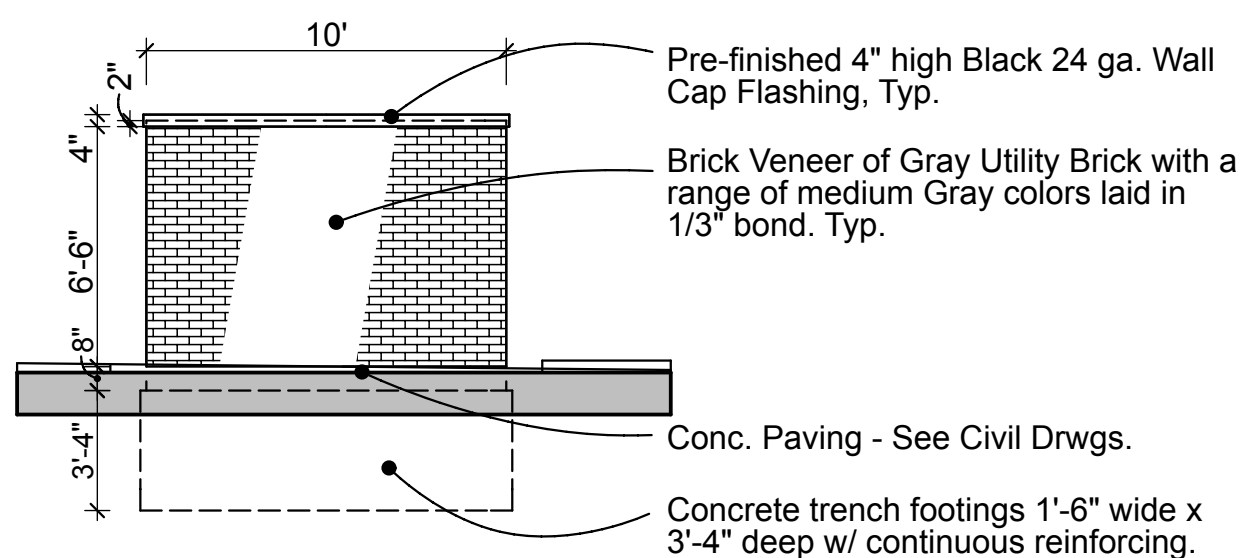


Total Facade Area without glazing = 1,615 s.f.  
Total Masonry Facade Area = 961 s.f. or 60.2%  
Total Upper Metal Panel Facade Area = 663 s.f. or 39.8%

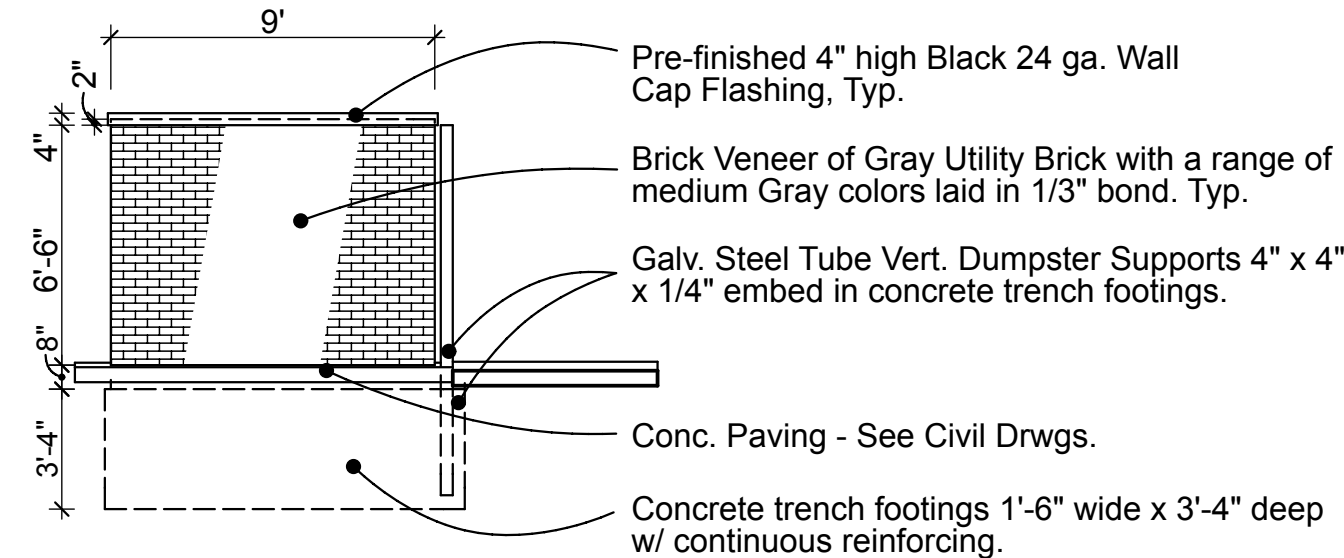
### 4 West (Rear Woods) Elevation SCALE: 3/16" = 1'-0"



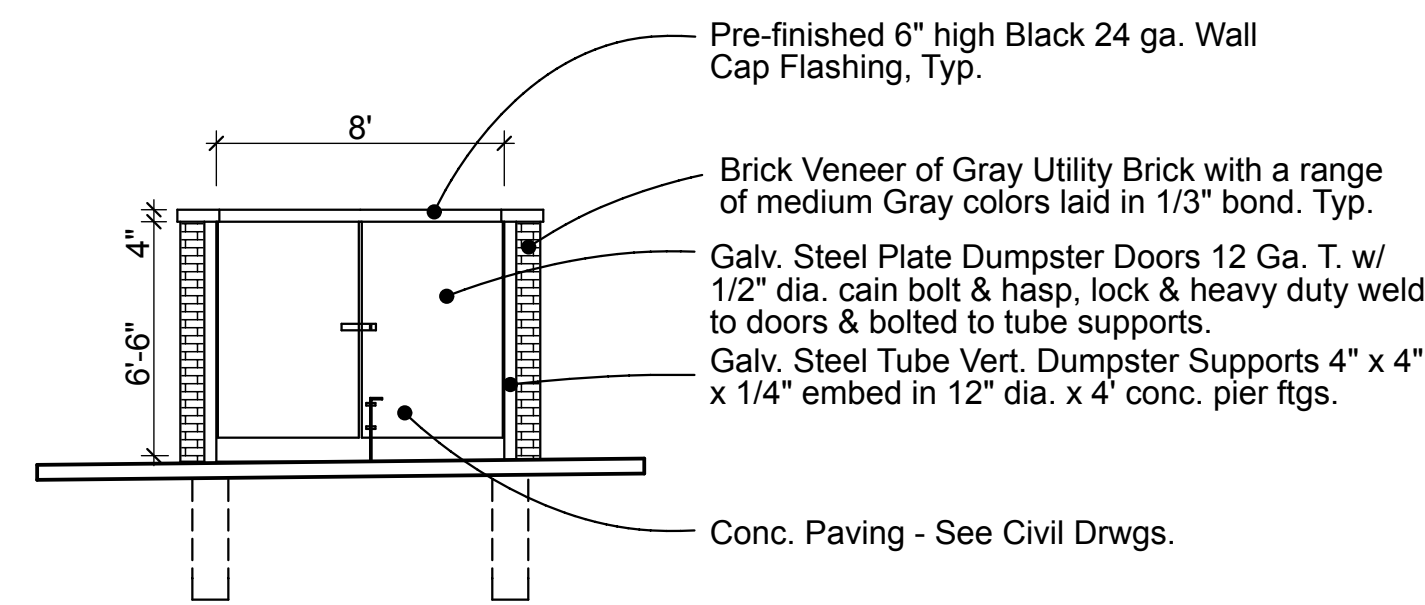
### 5 Front & End Sign Elevation SCALE: 3/16" = 1'-0"



### 6B Dumpster Rear Elevation SCALE: 3/16" = 1'-0"



### 6A Dumpster Side Elevation SCALE: 3/16" = 1'-0"



### 6 Dumpster Front Elevation SCALE: 3/16" = 1'-0"

The Dumpster Elevations have been revised to masonry wall with brick veneer to match the building, since corrugated metal panels are not acceptable.

### TYP. EXTERIOR KEYNOTES:

- 1 Reinforced concrete trench footing. Refer to Structural Drwgs. for more info., Typ.
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File Name: /Users/ANGELO\_Mark/Desktop/Angelo Projects/2008 P & M Apparel - Polk City/2008 Arch/Drawings/2008 P & M Apparel 4-30-20.dwg  
Plate Date: 5/11/2020  
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Insulated Panels

HOME INSULATED PANELS STRIATED

### Striated

Description

Attributes & Advantages

Material Specifications

Span Tables



WEB

Meti-Span Striated insulated metal wall panel is an attractive and economical alternative to typical flat wall panels. The exterior face is lightly profiled with narrow longitudinal striations and exhibits a virtual flat appearance from a short distance away. The Striated wall panel is an exceptional value combining the aesthetics of a flat wall panel and high insulation ratings of a polyurethane core.

Note: Not intended for exterior walls on cold storage buildings.

**Exterior Profile:**

Longitudinal striations, nominal 1/32" deep

**Interior Profile:**

Mesa nominal 1/8" deep; Light Mesa nominal 1/16" deep

**Panel Core:**

Foamed-in-place, Non-CFC & zero ODP polyurethane, FM Class 1 approval

**Thermal Values:**

K-factor, Btu in/ft<sup>2</sup> hr. °F @ 75°F (24°C) mean core temperature = 0.140

K-factor, Btu in/ft<sup>2</sup> hr. °F @ 40°F (4°C) mean core temperature = 0.126

**Module Width:**

30", 36", 42"

**Panel Thickness:**

2", 2 1/2", 3" (2 3/4" thickness also available from Nevada plant)

**Panel Lengths:**

8'-0" to 40'-0" for the 30" & 36" widths, 8'-0" to 32'-0" for the 42" width

**Exterior Facings:**

Stucco embossed, G-90 galvanized and/or AZ-50 aluminum-zinc coated steel in 24 Ga. and 22 Ga.

**Interior Facings:**

Stucco embossed, G-90 galvanized and/or AZ-50 aluminum-zinc coated steel in 26 Ga., 24 Ga. and 22 Ga.

**Panel Joint:**

Offset double tongue and groove with extended metal shelf for positive face fastening

**Fastening:**

Fastener and Clip concealed in the side joint

**Color:**

A full range of exterior colors & coatings are available for the architectural market. For specific information about our available colors and coatings, visit us online for a comprehensive selection.

FM Approved Class 1 with no height restrictions.



Charcoal Gray Color



## TUFF COTE® EXTERIOR COLORS

Tuff Cote® Fiber-Reinforced Polymer Coating – for Tuff Wall® or Tuff-Cast™ Panels only



Antique Bronze  
R: .26 E: .86 SRI: 25



Light Gray  
R: .35 E: .86 SRI: 37



Light Stone  
R: .51 E: .85 SRI: 58



Medium Beige  
R: .39 E: .86 SRI: 42



Surrey Beige  
R: .32 E: .87 SRI: 33



Textured White  
R: .64 E: .86 SRI: 77



Warm Limestone  
R: .45 E: .87 SRI: 51

## STANDARD SP EXTERIOR COLORS

Siliconized Polyester



Winter White  
R: .59 E: .85 SRI: 69



Light Stone  
R: .50 E: .88 SRI: 58



Ash Gray  
R: .47 E: .90 SRI: 55

## PREMIUM SP EXTERIOR COLORS

Siliconized Polyester



Hawaiian Blue  
R: .32 E: .87 SRI: 33



Crimson Red  
R: .33 E: .89 SRI: 36



Fern Green  
R: .27 E: .88 SRI: 27



Saddle Tan  
R: .48 E: .88 SRI: 55



Desert Sand  
R: .42 E: .89 SRI: 48



Burnished Slate  
R: .28 E: .88 SRI: 29



Koko Brown  
R: .28 E: .88 SRI: 29



Charcoal Gray  
R: .27 E: .88 SRI: 27



Rustic Red  
R: .36 E: .88 SRI: 39



Solar White  
R: .74 E: .87 SRI: 91

## POLYESTER EXTERIOR COLOR

Igloo White is standard interior color for all panels



Igloo White  
R: .64 E: .87 SRI: 77

R = Initial Solar Reflectivity (ASTM E903, C1549)

E = Emissivity (ASTM C1371 or E408)

SRI = Solar Reflective Index (ASTM E1980, based on medium wind speed)

All Metl-Span colors are formulated to provide maximum energy-efficiency and solar reflectivity. All standard available Premium I and Premium II colors have been formulated for maximum solar reflectance.

Prices will vary by color, gauge and quantity of metal. Please contact your local representative for complete information. All colors shown here approximate actual finish colors as accurately as possible.

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ENERGY STAR® designation is valid in the U.S. only.



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Oklahoma City, OK 73149

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EMAIL: [star.marketing@starbuildings.net](mailto:star.marketing@starbuildings.net)

WEB: [www.starbuildings.com](http://www.starbuildings.com)

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CONNECTED





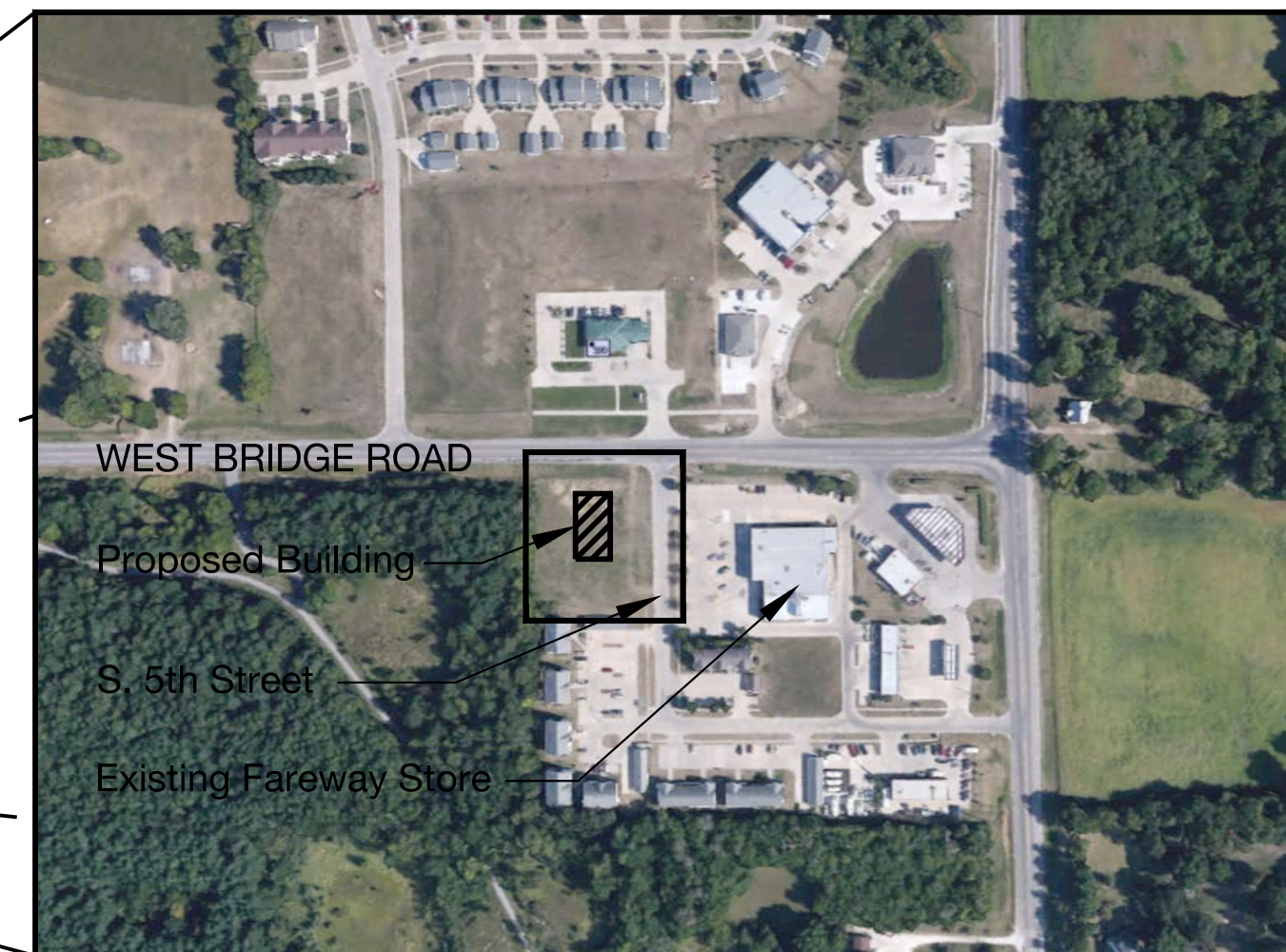


**ARIAL VICINITY VIEW**

NO SCALE



NORTH



**ARIAL SITE VIEW**

NO SCALE



NORTH



**Southwest End & Side View**



**Front Entry View**



**Northeast Front View**

**CONTACT LIST**

**OWNER & APPLICANT:**

NICK & AMANDA DOYLE  
 946 11th STREET S.E.  
 ALTOONA, IA 50009-2704  
 CONTACT: AMANDA DOYLE  
 PHONE: (515) 979-1232  
 CONTACT: NICK DOYLE  
 PHONE: (515) 249-1749  
 EMAIL: junior.achievers@yahoo.com

**CONTRACTOR:**

ROCHON, CORP.  
 3401 106TH CIRCLE  
 URBANDALE, IOWA 50322  
 CONTACT: RUSS CAREW - OWNER  
 PHONE: (515) 278-9446  
 CELL: (515) 202-4711  
 EMAIL: rcarew@rochoncorpofiowa.com

**ARCHITECT:**

ANGELO ARCHITECTURAL ASSOCIATES, LLC  
 12314 RIDGEVIEW DRIVE  
 URBANDALE, IOWA 50323  
 CONTACT: MARK A. THIESSEN - ARCHITECT  
 PHONE: (515) 250-6950  
 FAX: (515) 276-9453  
 EMAIL: mthiessena1@mchsi.com  
 WEB: angeloarchitecturalassociates.com

**CIVIL ENGINEER:**

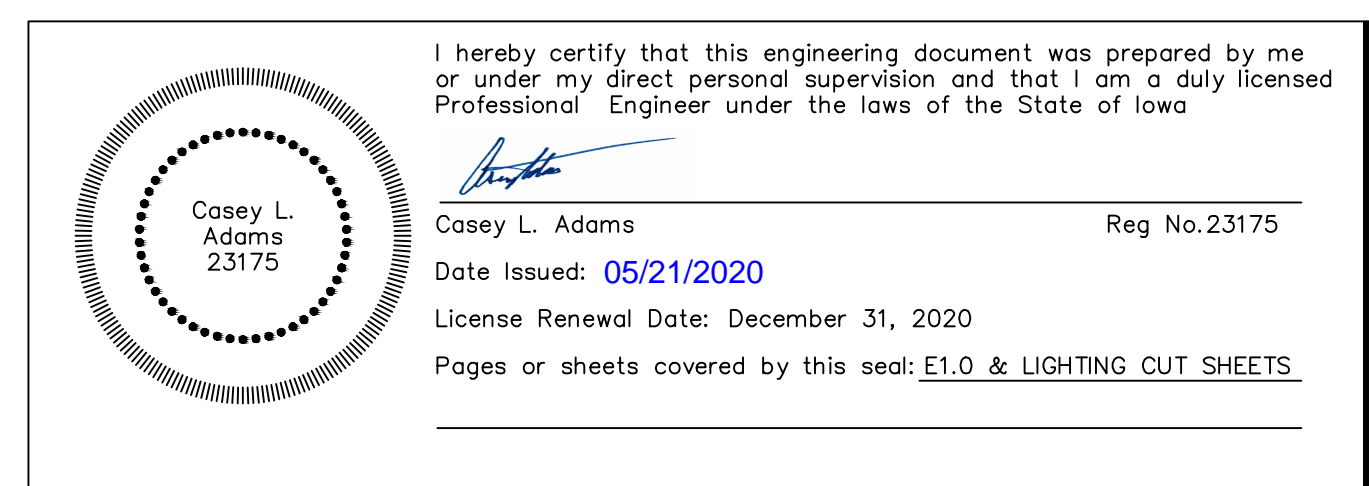
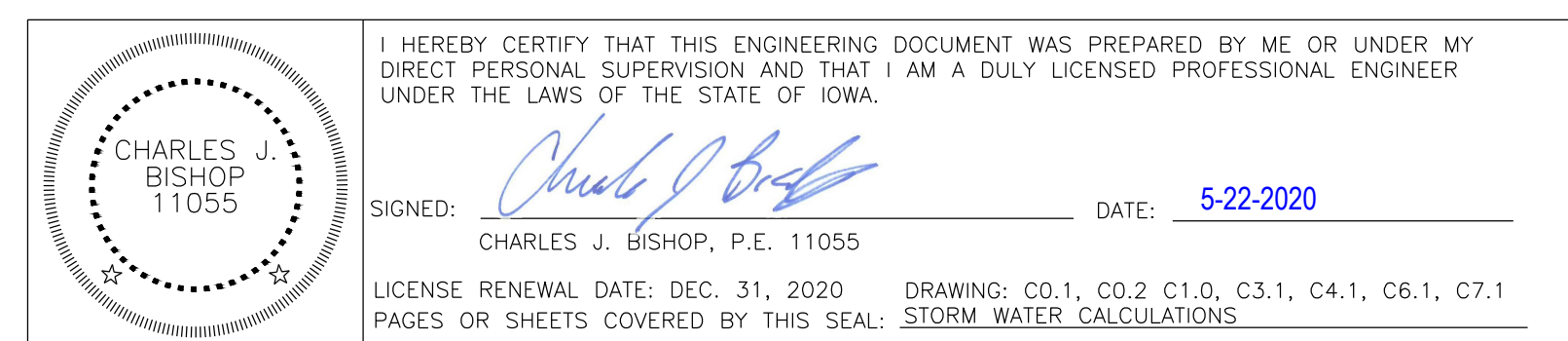
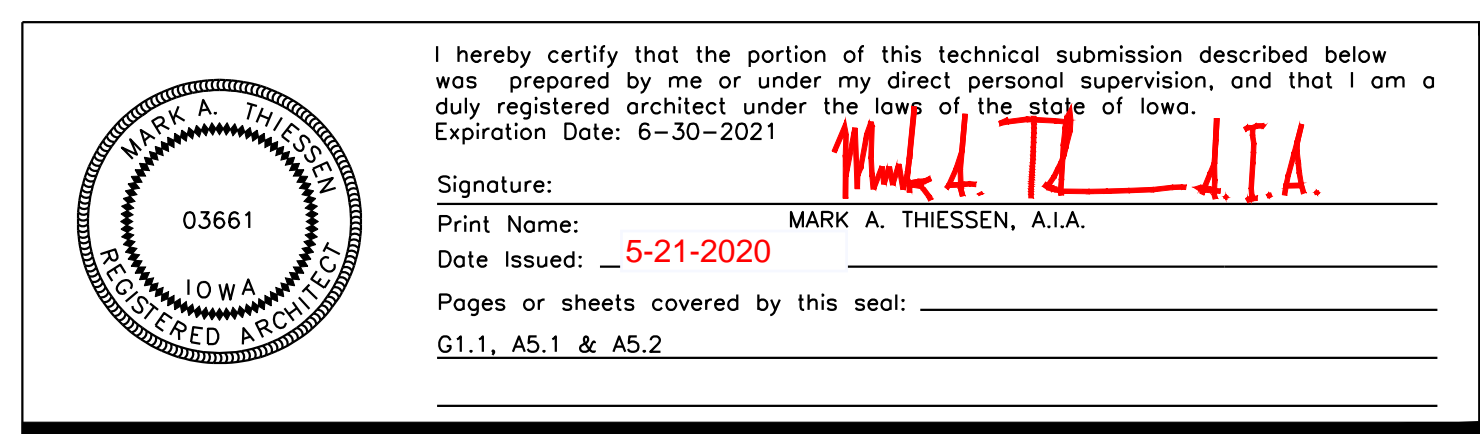
BISHOP ENGINEERING  
 3501 104TH STREET  
 URBANDALE, IA 50322  
 PHONE: (515) 276-0467  
 CELL: (515) 867-3373  
 CONTACT: DAN SOUTHWICK  
 EMAIL: dsouthwick@bishopengr.com

**ELECTRICAL ENGINEER:**

DURANTEM MEP CONSULTING  
 P. O. BOX 782  
 WAUKEE, IA 50263  
 PHONE: (515) 276-0467  
 CELL: (515) 707-8392  
 CONTACT: CASEY ADAMS  
 EMAIL: caseya@durantem.com

# P & M APPAREL NEW FACILITY PROJECT POLK CITY, IOWA

**LICENSED PROFESSIONAL SEALS**



**P & Z SUBMITTAL SUBMITTAL 5-18-20 &  
 CITY COUNCIL APPROVAL 5-26-20**

**PROJECT INFORMATION**

**BUILDING USE:** Low volume Retail Store with associated Manufacturing.  
**EXISTING ZONING:** C-2 (No rezoning is proposed)  
**PROPOSED BUILDING AREA:** 8,218 s.f.  
**EXISTING SITE AREA:** 44,750 s.f. or 1.03 Acres  
**BUILDING OCCUPANCY:** FACTORY / RETAIL:  
 NO FIRE SPRINKLERS required since building area is less than 12,000 s.f.  
**PROPOSED DEVELOPMENT SCHEDULE:**

Submit for P & Z:	4-22-2020
P & Z Review	5-18-2020
City Council Review	5-26-2020
Complete Bid Documents:	6-15-2020
Building Code Review:	7-15-2020
Start Construction:	8-1-2020
Certificate of Occupancy:	2-15-2020

**INDEX TO DRAWINGS**

**CIVIL DRAWINGS BY BISHOP ENGINEERING**

- G1.1 GENERAL COVER SHEET BY ANGELO
- C0.1 CIVIL COVER SHEET
- C1.1 SITE SURVEY / DEMOLITION PLAN
- C2.1 SITE LAYOUT PLAN
- C3.1 SITE GRADING PLAN
- C4.1 SITE UTILITY PLAN
- C5.1 SITE LANDSCAPE PLAN
- C6.1 CIVIL DETAILS
- C7.1 SWPP PLAN

**ARCHITECTURAL DRAWINGS BY ANGELO ARCHITECTURAL ASSOCIATES LLC**

- A5.1 EXTERIOR ELEVATIONS
- A5.2 EXTERIOR ELEVATIONS

**ELECTRICAL DRAWINGS BY DURANTEM MEP CONSULTING**

- E1.0 SITE LIGHTING PLAN

CITY COUNCIL 5-26-20 & P & Z SUBMITTAL & 5-18-20 FOR POLK CITY 5-26-20

PLOT DATE: Thursday, May 21, 2020 10:57:52 AM USER: ANGELO\_JMURK

# ANGELO ARCHITECTURAL ASSOCIATES, LLC

12314 RIDGEVIEW DRIVE  
 URBANDALE, IA 50323  
 PH: (515) 250-6950  
 mthiessena1@mchsi.com

**OWNER:**  
 P & M Apparel  
 Kay Ferin, Owner  
 206 Van Dom Street  
 Polk City, IA 20226  
 Ph: 515-984-7740

**PROJECT:**  
 P & M Apparel - New Facility  
 1100 S. 5th Street  
 Polk City, IA 50226

**JOB NO. 2008  
 APRIL 22, 2022  
 G1.1**



# P&M APPAREL SITE PLAN

## SHEET INDEX:

- C0.1 CIVIL INFORMATION SHEET
- C0.2 SITE SURVEY
- C1.1 DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP

## PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 13805, PAGE 300-301)  
 LOT 1, SANDPIPER POINT PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA

## ADDRESS:

1100 S 58TH STREET  
 POLK CITY, IA 50226

## OWNER:

KAY FERIN  
 POB 406  
 POLK CITY, IA 50226

## PREPARED FOR:

MARK THIESSEN  
 ANGELO ARCHITECTURAL ASSOCIATES, LLC  
 12314 RIDGEVIEW DRIVE  
 URBANDALE, IOWA 50323

## ZONING:

C-2 COMMERCIAL

## BULK REGULATIONS

FRONT SETBACK = 25'  
 REAR SETBACK = 35'

## PARKING REQUIREMENTS:

\*\*PARKING CALCULATIONS BASED ON RETAIL STORES WITH ASSOCIATED MANUFACTURING SUCH AS POTTERY SHOPS WITH KILNS

PARKING REQUIRED: 11400 S.F. OF BUILDING AREA  
 BUILDING AREA = 8,220 S.F.  
 8,220 S.F. / 400 S.F. = 20.5 = 21 SPACES

PARKING PROVIDED = 35

## OPEN SPACE REQUIREMENTS:

SITE AREA = 1.02 ACRES  
 REQUIRED OPEN SPACE = 6,716 (15%)  
 PROVIDED OPEN SPACE = 22,565 S.F. (50%)

## IMPERVIOUS SURFACE:

EXISTING IMPERVIOUS = 0 S.F.  
 PROPOSED IMPERVIOUS = 22,212 S.F.

## BENCHMARK:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83,  
 IOWA SOUTH  
 BENCHMARK DATUM = NAVD88

POINT #9000  
 NORTHING = 642779.17  
 EASTING = 1580598.17  
 ELEVATION = 946.61  
 DESCRIPTION: CUT "X" IN CONCRETE WALK ALONG THE EAST R.O.W. OF S 5TH ST; 10' +/- EAST OF MAILBOX; 35' +/- S OF NORTH DRIVE TO FAREWAY.

POINT #9007  
 NORTHING = 642601.68  
 EASTING = 1580598.56  
 ELEVATION = 946.08  
 DESCRIPTION: CUT "X" IN CONCRETE WALK ALONG THE EAST R.O.W. OF S 5TH ST; 7' +/- S OF SOUTH DRIVE TO FAREWAY.

ON-SITE TBM:  
 BURY BOLT ON HYDRANT LOCATED AT SE CORNER OF S 5TH ST & W BRIDGE RD  
 ELEVATION = 948.02

OFF-SITE TBM:  
 BURY BOLT ON HYDRANT LOCATED AT NORTH R.O.W. OF W BRIDGE RD; 83' +/- WEST OF DRIVE TO BANK  
 ELEVATION = 948.02



## UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

## GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF POLK CITY MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF POLK CITY.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- THERE SHALL BE NO OUTDOOR SALE OR STORAGE ON SITE UNLESS DESIGNATED AS SUCH ON SITE PLAN THAT HAS BEEN APPROVED BY CITY COUNCIL.

## PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF POLK CITY STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

## UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD/RODENT GUARDS.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF POLK CITY.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF POLK CITY WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

## UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

## WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

## SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 2020-03-17. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



VICINITY MAP  
 SCALE: 1" = 1,000'

## LEGEND:

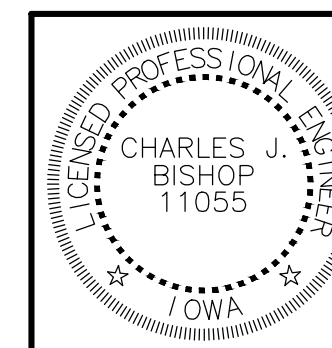
- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV
- ⊙ STORM MANHOLE
- ⊠ CURB INTAKE
- ⊙ SURFACE INTAKE
- ⊠ FLARED END SECTION
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ⊙ FIRE HYDRANT
- ⊙ SPRINKLER
- ⊙ IRRIGATION CONTROL VALVE
- ⊙ WATER MANHOLE
- ⊙ WELL
- ⊙ WATER VALVE
- ⊙ WATER SHUT OFF
- ⊙ YARD HYDRANT
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ ELECTRIC RISER
- ⊙ ELECTRIC VAULT
- ⊙ POWER POLE
- ⊙ TRANSFORMER POLE
- ⊙ LIGHT POLE
- ⊙ ELECTRIC JUNCTION BOX
- ⊙ ELECTRIC PANEL
- ⊙ TRANSFORMER
- ⊙ GROUND LIGHT
- ⊙ GUY WIRE
- ⊙ ELECTRIC HANDHOLE
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ AIR CONDITIONING UNIT
- ⊙ TELEPHONE RISER
- ⊙ TELEPHONE VAULT
- ⊙ TELEPHONE MANHOLE
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ FIBER OPTIC MANHOLE
- ⊙ FIBER OPTIC RISER
- ⊙ FIBER OPTIC FAULT
- ⊙ CABLE TV RISER
- SIGN
- BOLLARD
- ⑦ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED AS NOTED
- ⊙ SECTION CORNER - FOUND AS NOTED

## ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

## UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / 515-252-6632)
- STORM AND SANITARY (CITY OF POLK CITY / 515-984-6233)
- FIBER OPTIC (CENTURYLINK / 720-578-8090)
- GAS (MIDAMERICAN / 515-252-6632)
- WATER (CITY OF POLK CITY / 515-984-6233)



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: CHARLES J. BISHOP, P.E. 11055 DATE: \_\_\_\_\_  
 LICENSE RENEWAL DATE: DEC. 31, 2020  
 PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_

**Bishop Engineering**  
 "Planning Your Successful Development"

3501 104th Street  
 Des Moines, Iowa 50322-3825  
 Phone: (515)276-0467 Fax: (515)276-0217  
 Civil Engineering & Land Surveying Established 1959

**P&M APPAREL**  
 1100 S 5TH ST. POLK CITY, IOWA

**COVER SHEET**

REFERENCE NUMBER:

DRAWN BY:  
 DJS

CHECKED BY:  
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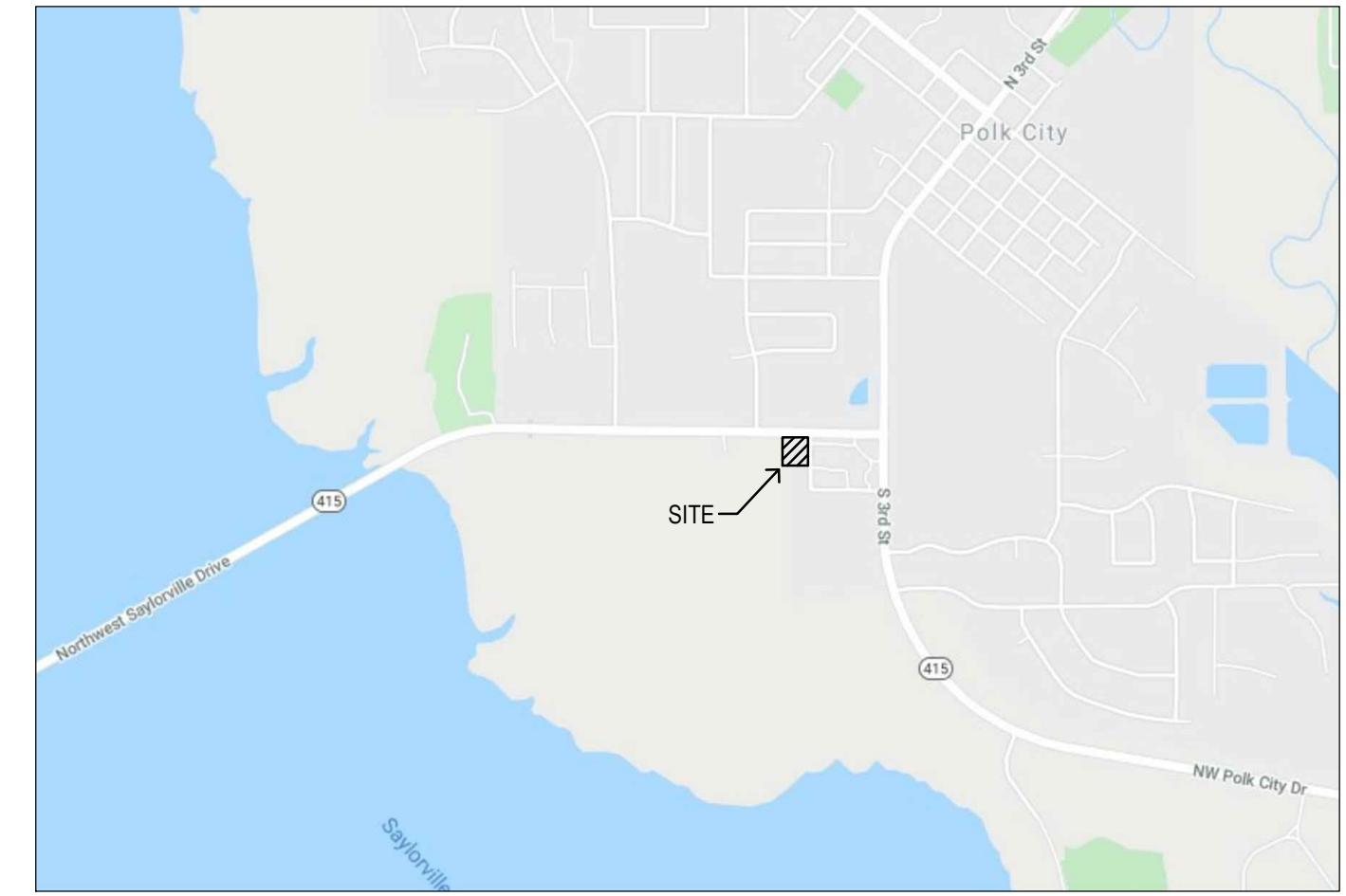
REVISION DATE:

PROJECT NUMBER:  
**200142**

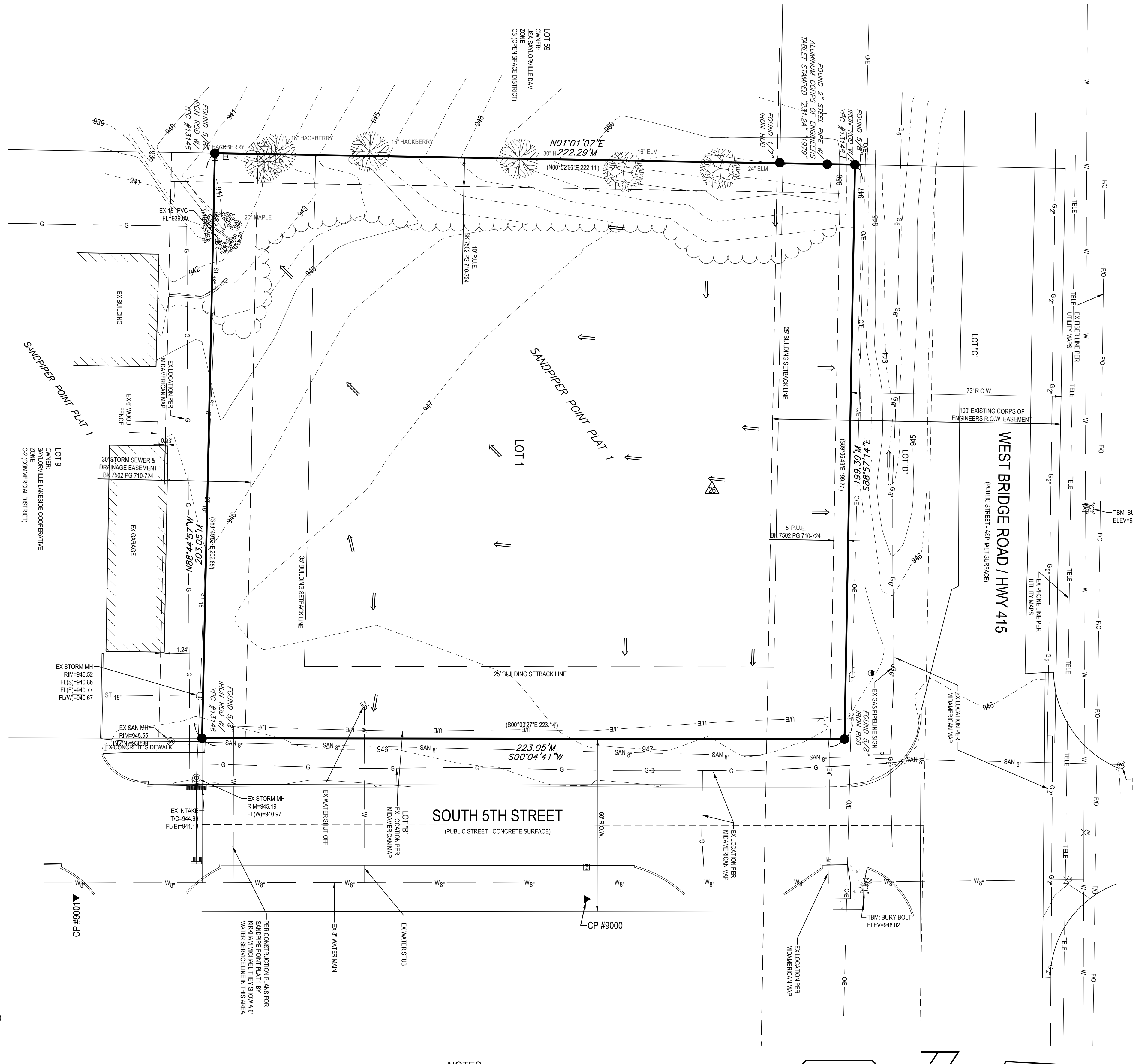
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**C0.1**



# P&M APPAREL SITE SURVEY



VICINITY MAP  
NOT TO SCALE



**PROPERTY DESCRIPTION:**

(WARRANTY DEED BOOK 13805, PAGE 300-301)  
LOT 1, SANDPIPER POINT PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA

**ADDRESS:**

1100 S 5TH STREET  
POLK CITY, IOWA 50226

**OWNER:**

HOWARD E STEIL  
POB 406  
POLK CITY, IA 50226

**PREPARED FOR:**

MARK THIESSEN  
ANGELO ARCHITECTURAL ASSOCIATES, LLC  
12314 RIDGEVIEW DRIVE  
URBANDALE, IOWA 50323

**ZONING:**

INFORMATION OBTAINED FROM THE POLK CITY ZONING MAP C-2 (COMMERCIAL DISTRICT)  
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF POLK CITY AT 515-984-6233

**SITE CONTROL AND BENCHMARKS:**

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88

**POINT #9000**

NORTHING = 642779.17  
EASTING = 1580598.17  
ELEVATION = 946.61

DESCRIPTION: CUT "X" IN CONCRETE WALK ALONG THE EAST R.O.W. OF S 5TH ST, 10' +/- EAST OF MAILBOX; 35' +/- S OF NORTH DRIVE TO FAREWAY.

**POINT #9007**

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EASTING = 1580598.56  
ELEVATION = 946.08

DESCRIPTION: CUT "X" IN CONCRETE WALK ALONG THE EAST R.O.W. OF S 5TH ST, 7' +/- S OF SOUTH DRIVE TO FAREWAY.

**ON-SITE TBM:**

BURY BOLT ON HYDRANT LOCATED AT SE CORNER OF S 5TH ST & W BRIDGE RD  
ELEVATION = 948.02

**OFF-SITE TBM:**

BURY BOLT ON HYDRANT LOCATED AT NORTH R.O.W. OF W BRIDGE RD; 83' +/- WEST OF DRIVE TO BANK  
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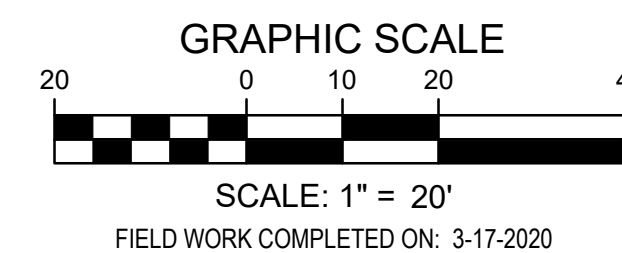
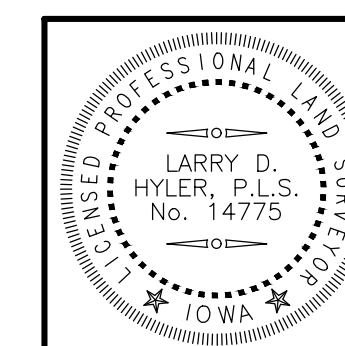
**ABBREVIATIONS:**

- AC ACRES
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- CI CURB INTAKE
- SI SURFACE INTAKE
- FES FLARED END SECTION
- CN CLEANOUT
- SM SANITARY MANHOLE
- CH CLEANOUT
- FH FIRE HYDRANT
- SP SPRINKLER
- ICV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- W WELL
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- FOM FIBER OPTIC MANHOLE
- FOR FIBER OPTIC RISER
- FOF FIBER OPTIC FAULT
- CTR CABLE TV RISER
- SIGN SIGN
- BOLLARDS BOLLARDS
- PNP NOTES NUMBER OF PARKING STALLS
- PCP PROPERTY CORNER - FOUND AS NOTED
- PPC PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
- SCN SECTION CORNER - FOUND AS NOTED
- SMN SITE CONTROL POINT - MONUMENT AS NOTED

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: \_\_\_\_\_

LICENSE RENEWAL DATE: DEC. 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1



- NOTES:**
- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
  - PARENTHESIS ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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- UTILITY MAPS PROVIDED BY:**
- ELECTRIC (MIDAMERICAN / 515-252-6632)
  - STORM AND SANITARY (CITY OF POLK CITY / 515-984-6233)
  - FIBER OPTIC (CENTURYLINK / 720-578-8090)
  - GAS (MIDAMERICAN / 515-252-6632)
  - WATER (CITY OF POLK CITY / 515-984-6233)



**UTILITY NOTE:**  
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Phone: (515)276-0467 Fax: (515)276-0217  
Civil Engineering & Land Surveying  
Established 1959

**P&M APPAREL**  
1100 S 5TH STREET, POLK CITY, IOWA

**SITE SURVEY**

REFERENCE NUMBER:

DRAWN BY:  
MDM

CHECKED BY:

REVISION DATE:

PROJECT NUMBER:

200142

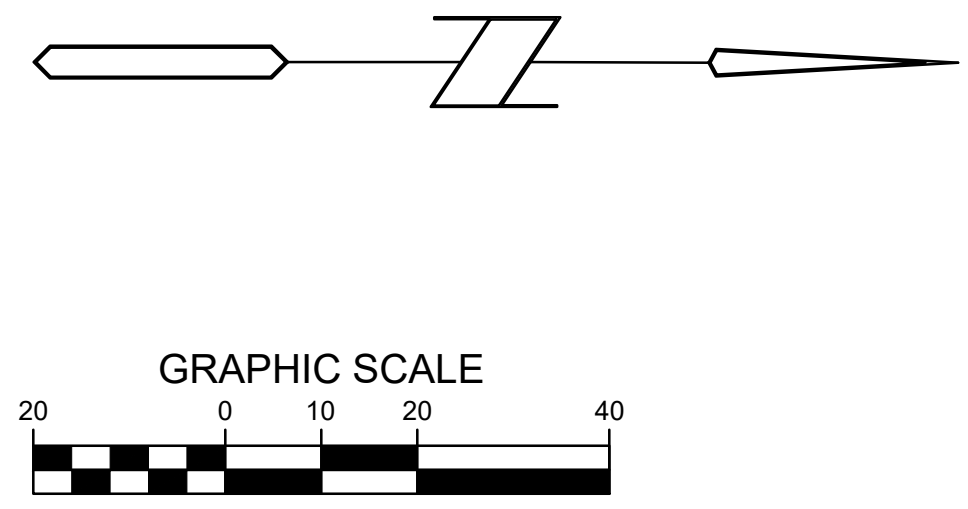
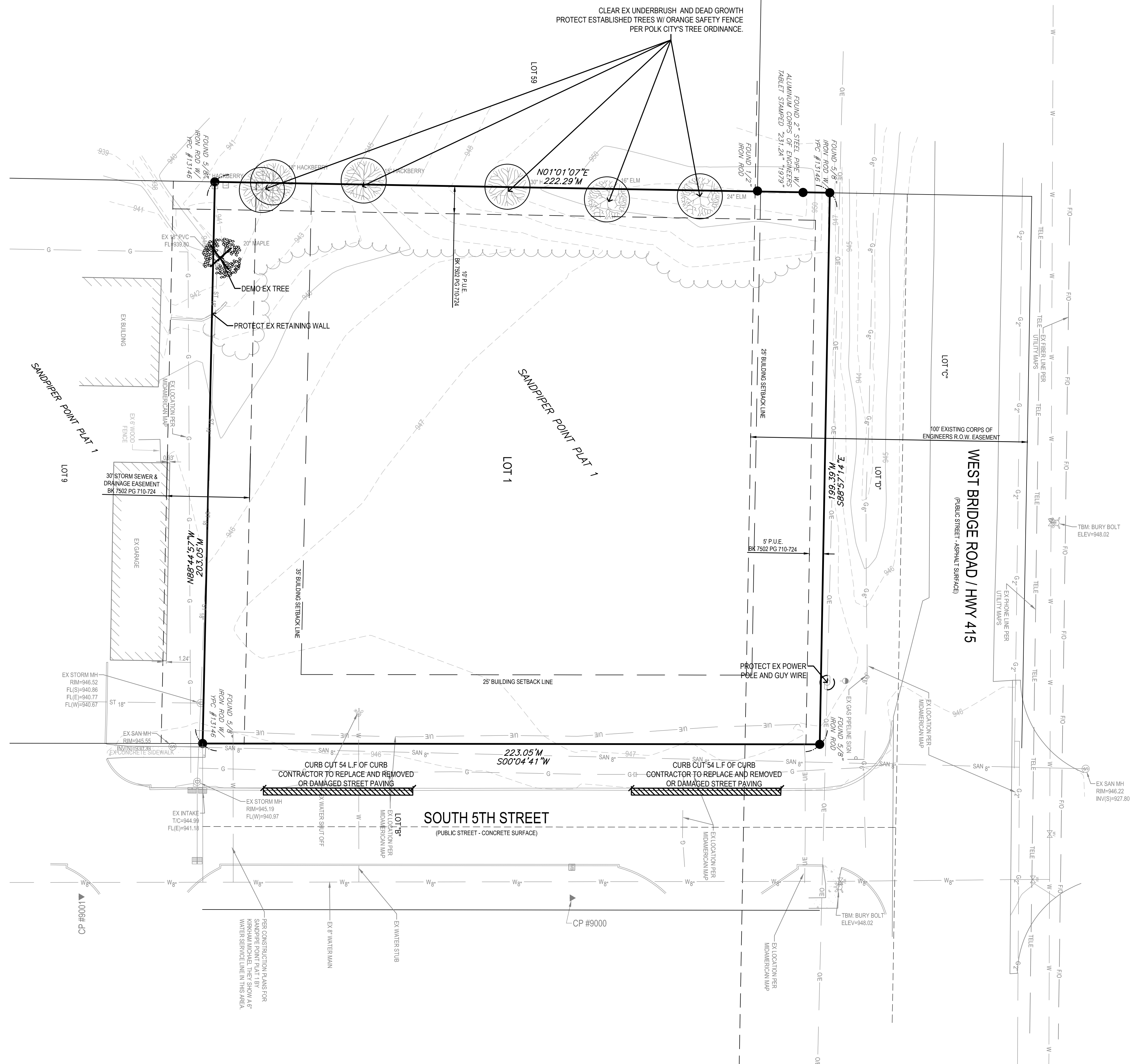
SHEET NUMBER:

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PRELIMINARY - NOT FOR CONSTRUCTION

**DEMO NOTES:**  
 1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.  
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.  
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.



5/20/2020 10:44:43 AM L:\LAND PROJECTS 2020\2001-220\WGIC1.1 DEMO.DWG

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**P&M APPAREL**  
 1100 S 5TH ST. POLK CITY, IOWA  
**DEMO PLAN**

REFERENCE NUMBER:	
DRAWN BY:	DJS
CHECKED BY:	CB
REVISION DATE:	
PROJECT NUMBER:	200142
SHEET NUMBER:	C1.1

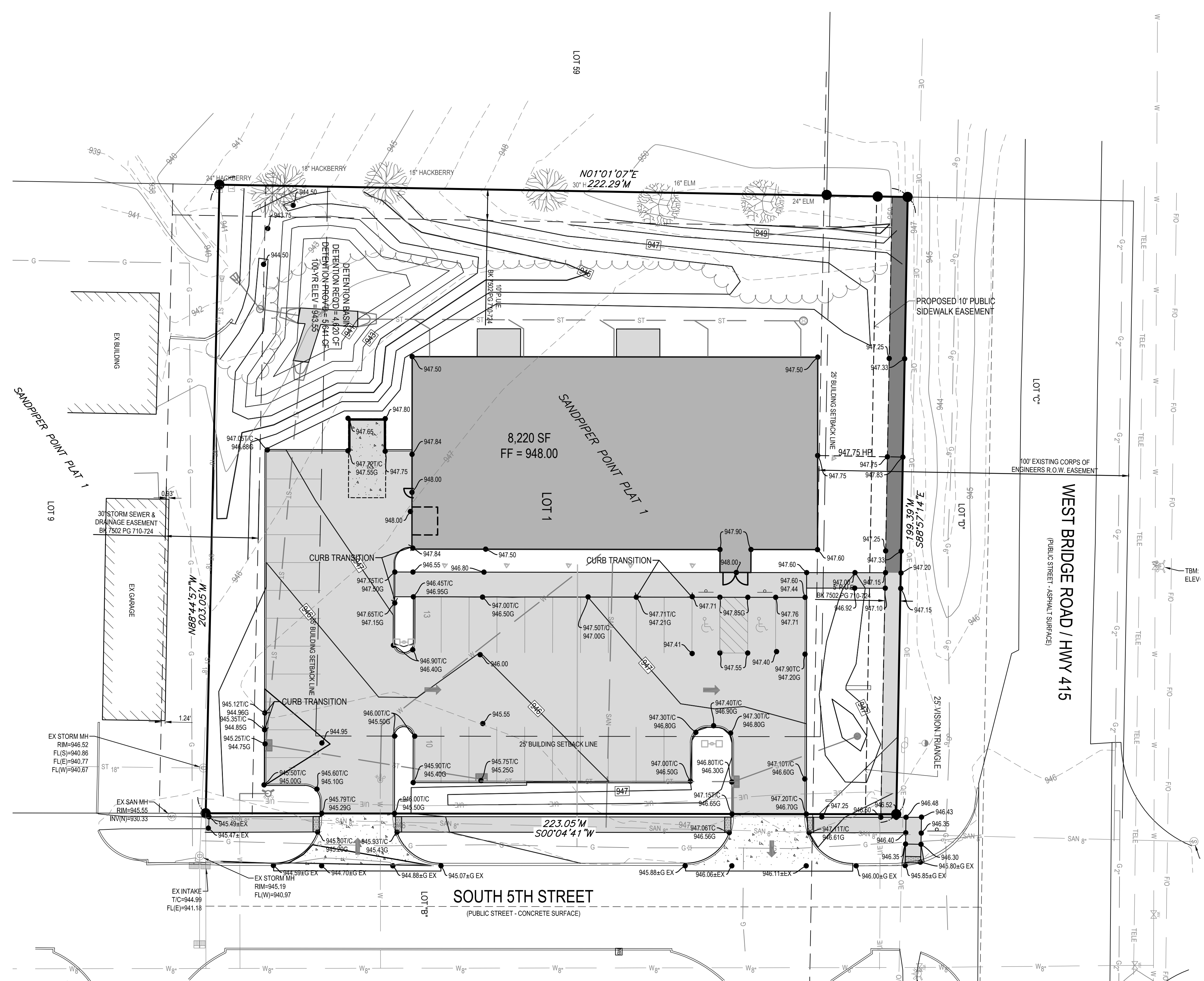




PRELIMINARY - NOT FOR CONSTRUCTION

TOPSOIL NOTES:

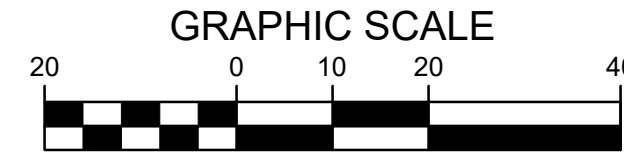
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.



GRADING LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISHED GROUND ELEVATION
- TOP OF CURB ELEVATION
- GUTTER ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- EDGE OF WALK ELEVATION
- TOP OF STAIR ELEVATION
- BOTTOM OF STAIR ELEVATION

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



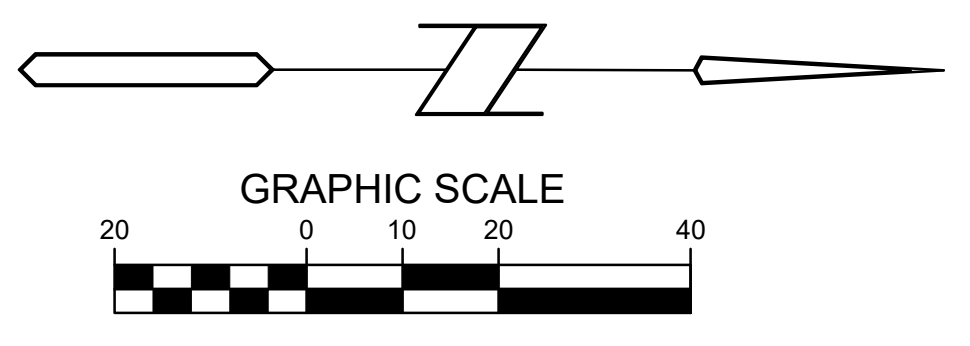
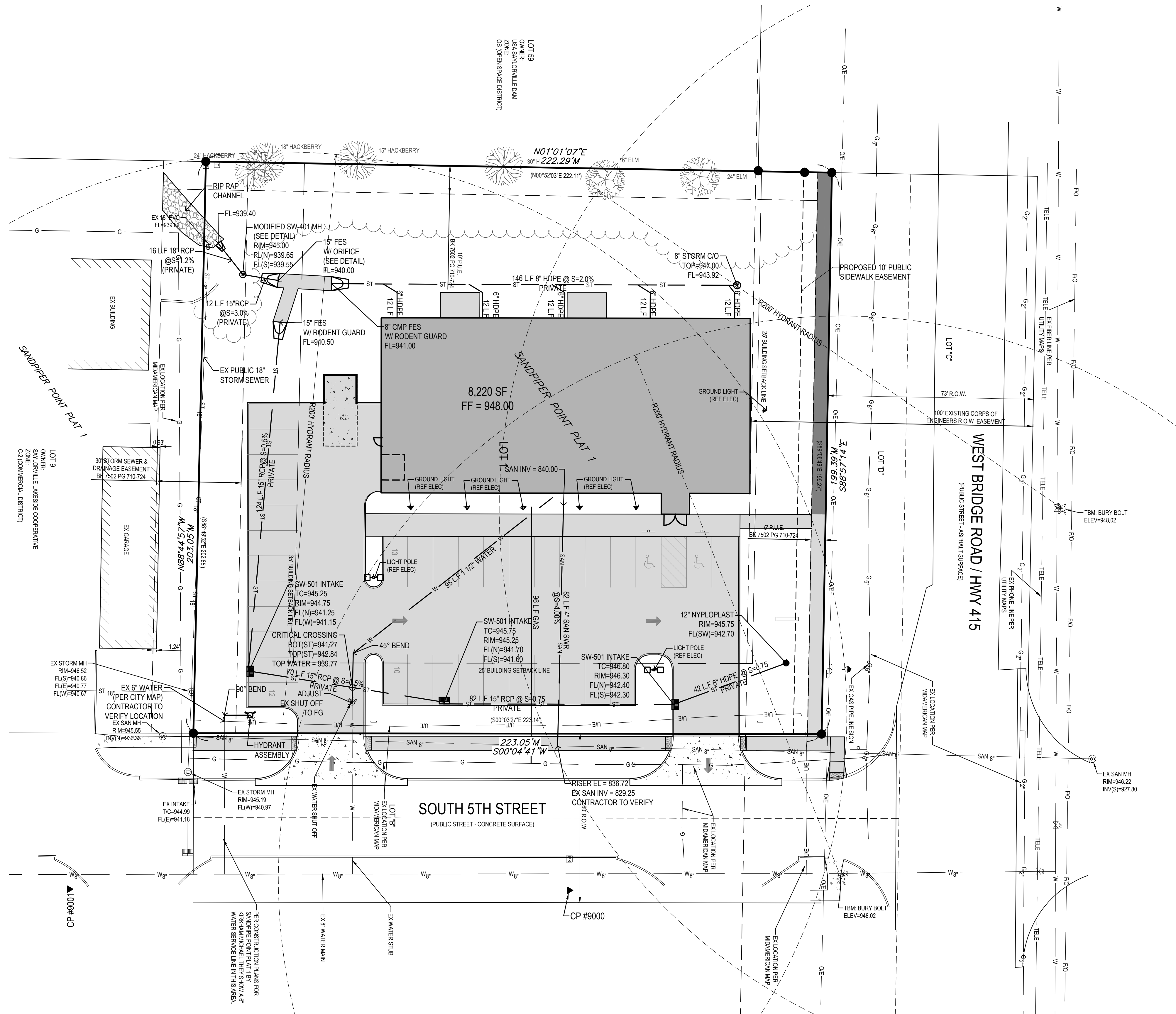
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**P&M APPAREL**  
 1100 S 5TH ST. POLK CITY, IOWA  
**GRADING PLAN**

REFERENCE NUMBER:	
DRAWN BY:	DJS
CHECKED BY:	CB
REVISION DATE:	
PROJECT NUMBER:	200142
SHEET NUMBER:	C3.1

- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
  2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
  3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
  4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
  5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
  6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
  7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
  8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.



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**UTILITY PLAN**

REFERENCE NUMBER:	
DRAWN BY:	DJS
CHECKED BY:	CB
REVISION DATE:	
PROJECT NUMBER:	200142
SHEET NUMBER:	C4.1



**LANDSCAPE NOTES:**

1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
6. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
8. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
9. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
11. ALL LANDSCAPE BEDS SHALL BE SPADE CUT EDGE.
12. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
13. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
14. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.
15. CONTRACTOR TO SOD ALL DISTURBED AREAS INCLUDING ROW.

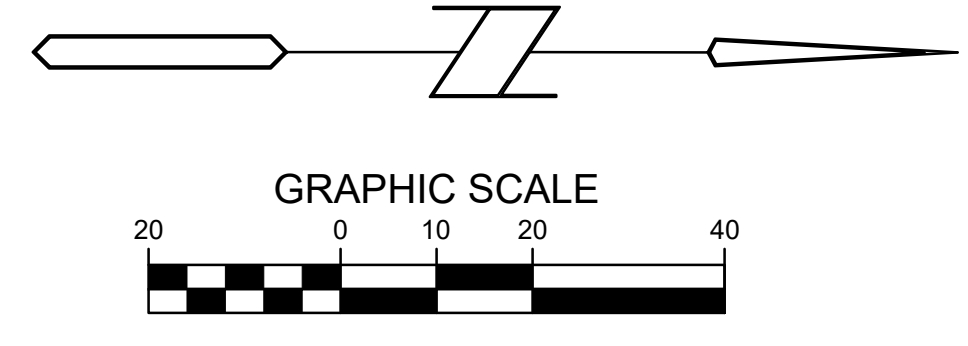
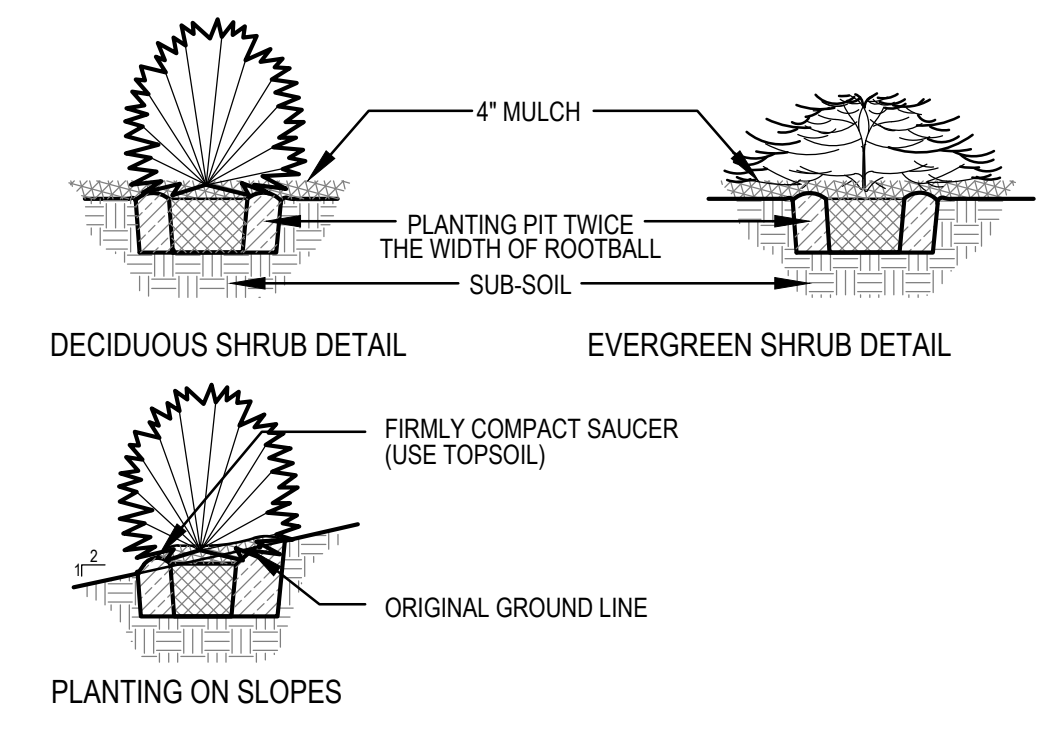
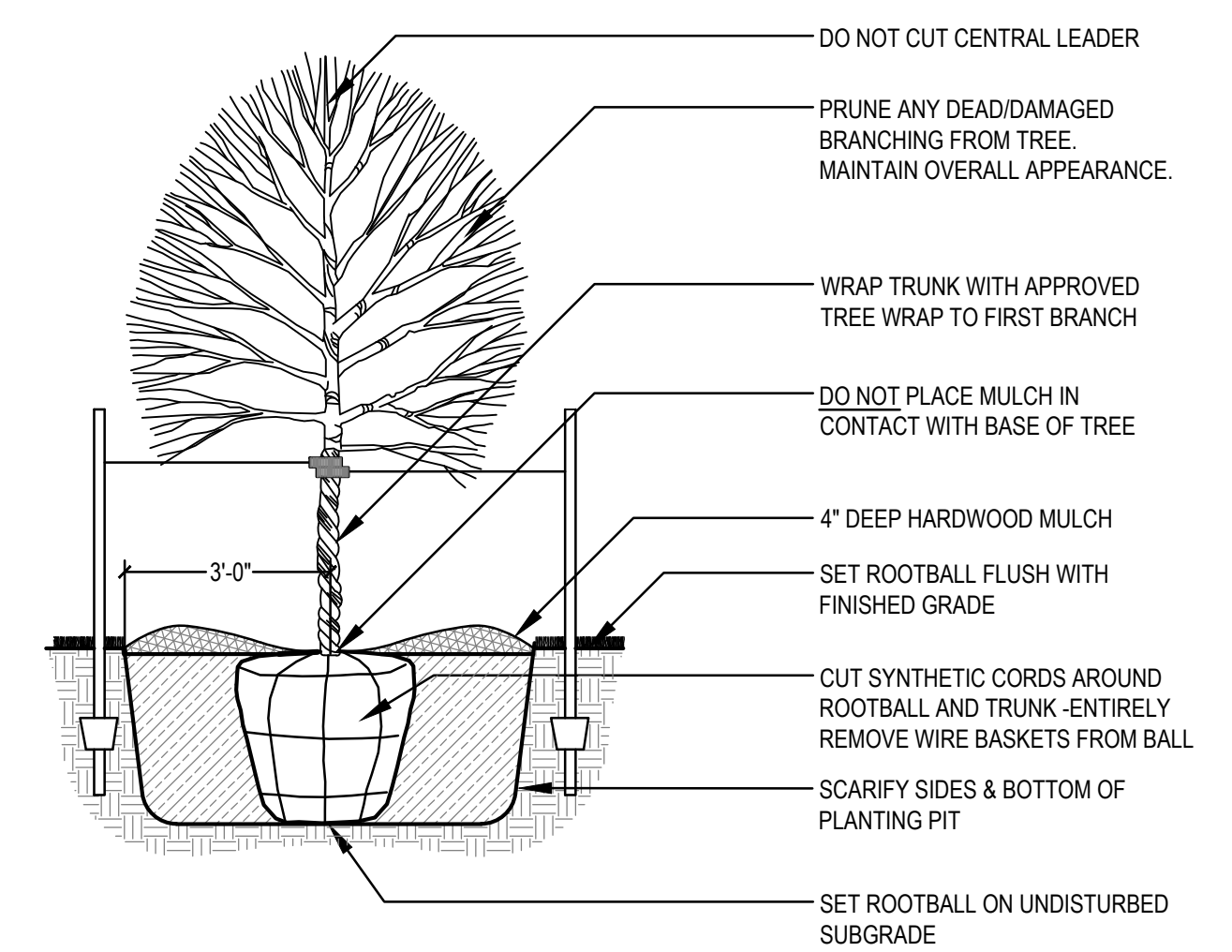
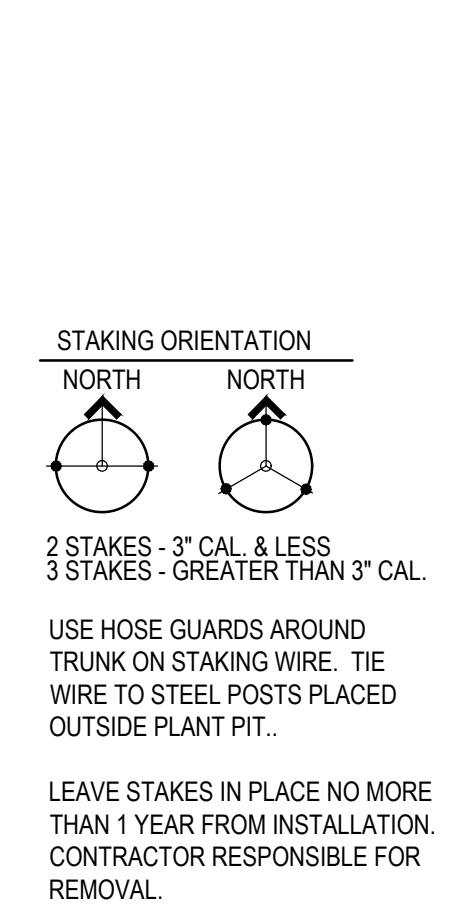
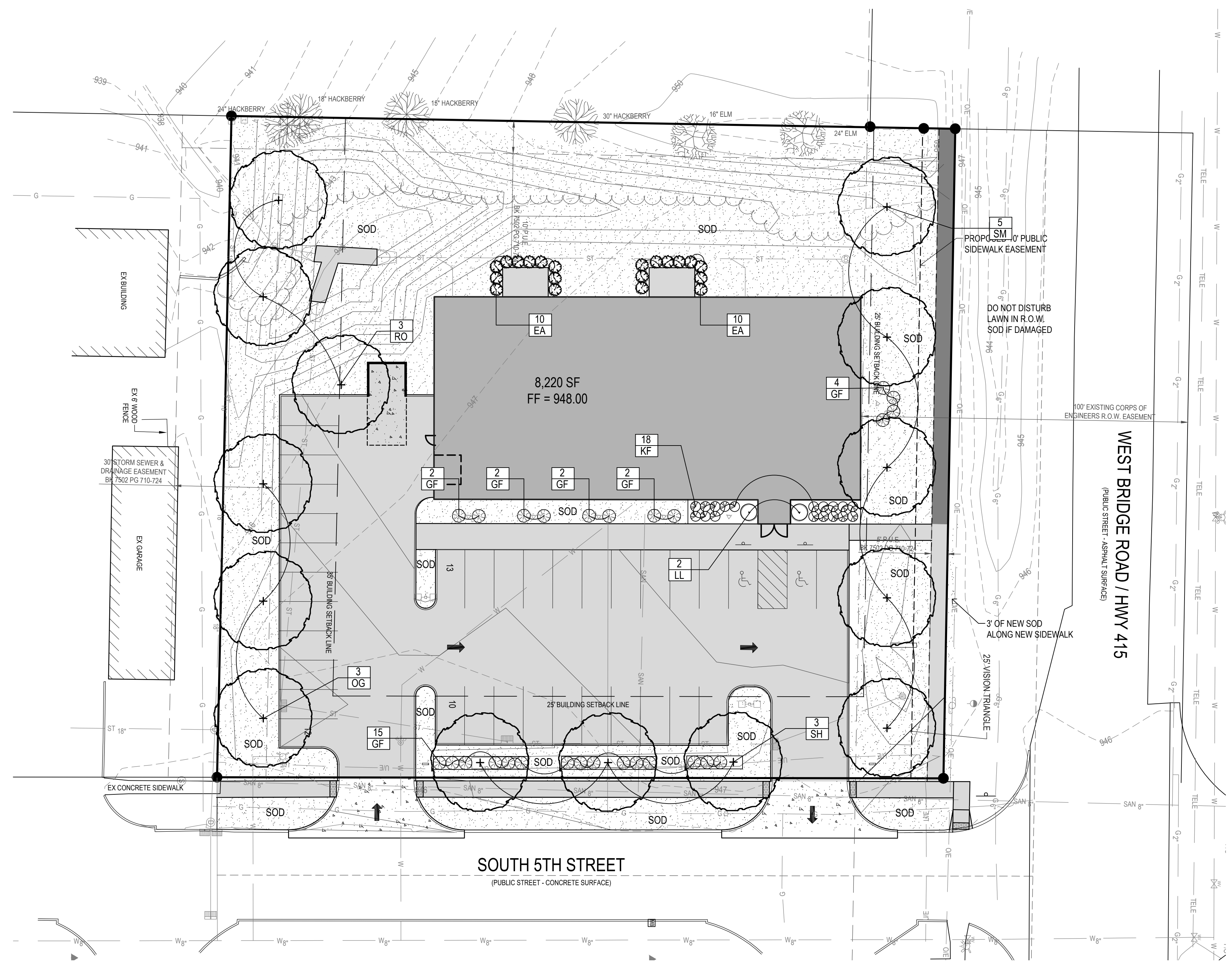
**GENERAL LANDSCAPE REQUIREMENTS**

TOTAL SQUARE FOOTAGE OF PROJECT AREA	44,801 SF
REQUIRED OPEN SPACE(15%)	6,720 SF
<b>GENERAL OPEN SPACE REQUIREMENT</b>	
TOTAL REQUIRED TREES (2 / 3,000 SF REQUIRED OPEN SPACE)	5
TOTAL REQUIRED SHRUBS (6 / 3,000 SF REQUIRED OPEN SPACE)	14
<b>PARKING AREA REQUIREMENTS</b>	
TOTAL AREA OF PARKING AND DRIVES	12,889 SF
REQUIRED SHADING (20% OF TOTAL AREA)	2,578 SF
REQUIRED TREES (REQUIRED SHADING / 700 SF)	4 TREES

**PLANTING SCHEDULE**

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OG	3	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.0" CAL	B&B	MATCHED SPECIMENS
SM	5	STATE STREET MAPLE	ACER MIYABEI 'MORTON'	2.0" CAL	B&B	MATCHED SPECIMENS
SH	3	SKYLINE HONEYLOCUST	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE'	2.0" CAL	B&B	MATCHED SPECIMENS
RO	3	RED OAK	QUERCUS RUBRA	2.0" CAL	B&B	MATCHED SPECIMENS
EA	20	EMERALD ARBORWITAE	THUJA X 'SMARAGD'	6"	B&B	FULL FORM - MATCHED
LL	2	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'JANE'	#5	CONT	FULL FORM - MATCHED
GF	27	GOLD FLAME SPIREA	SPIRAEA BUMALDA 'GOLDFLAME'	#3	CONT	FULL FORM - MATCHED
KF	18	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	#1	CONT	FULLY ROOTED IN CONTAINER

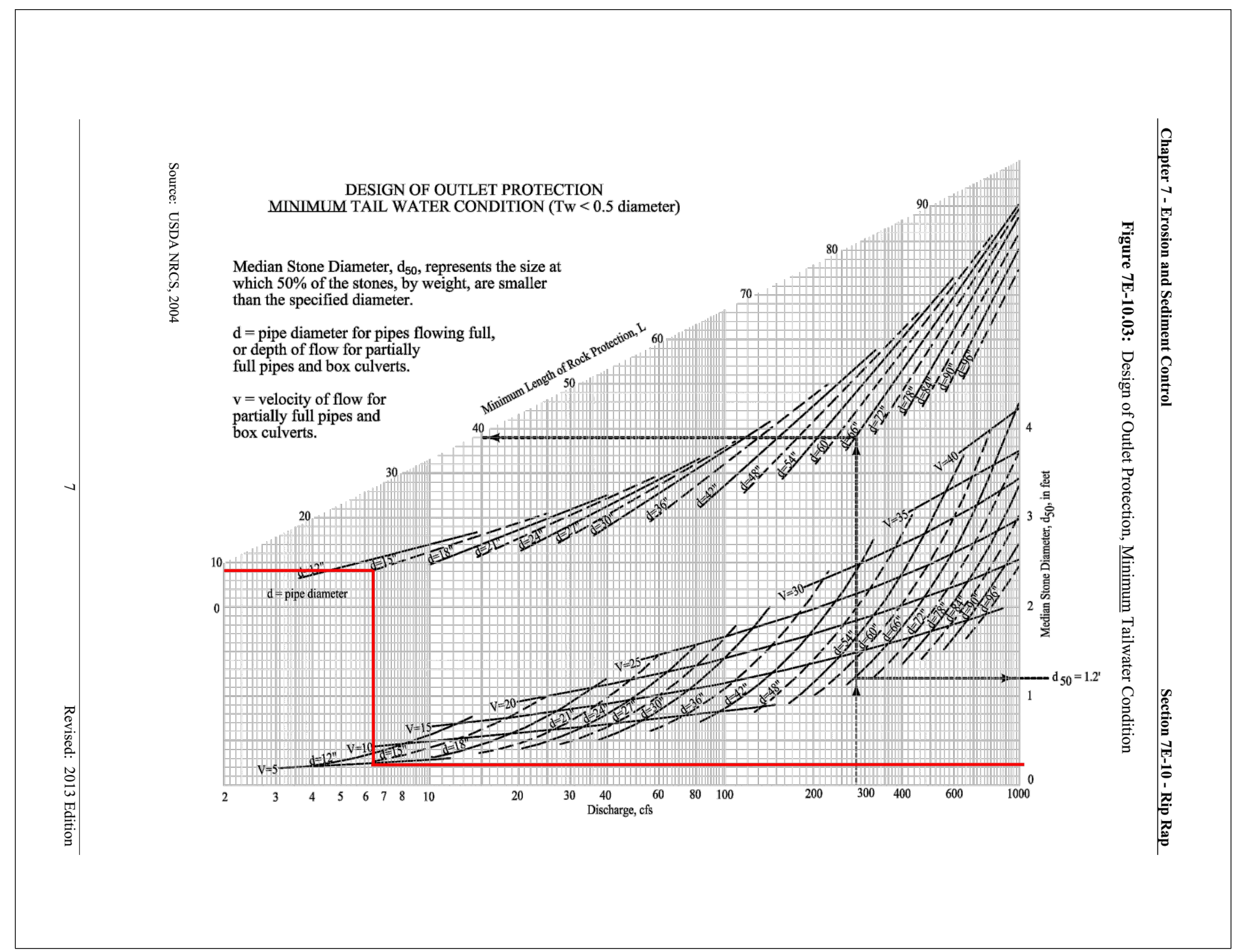
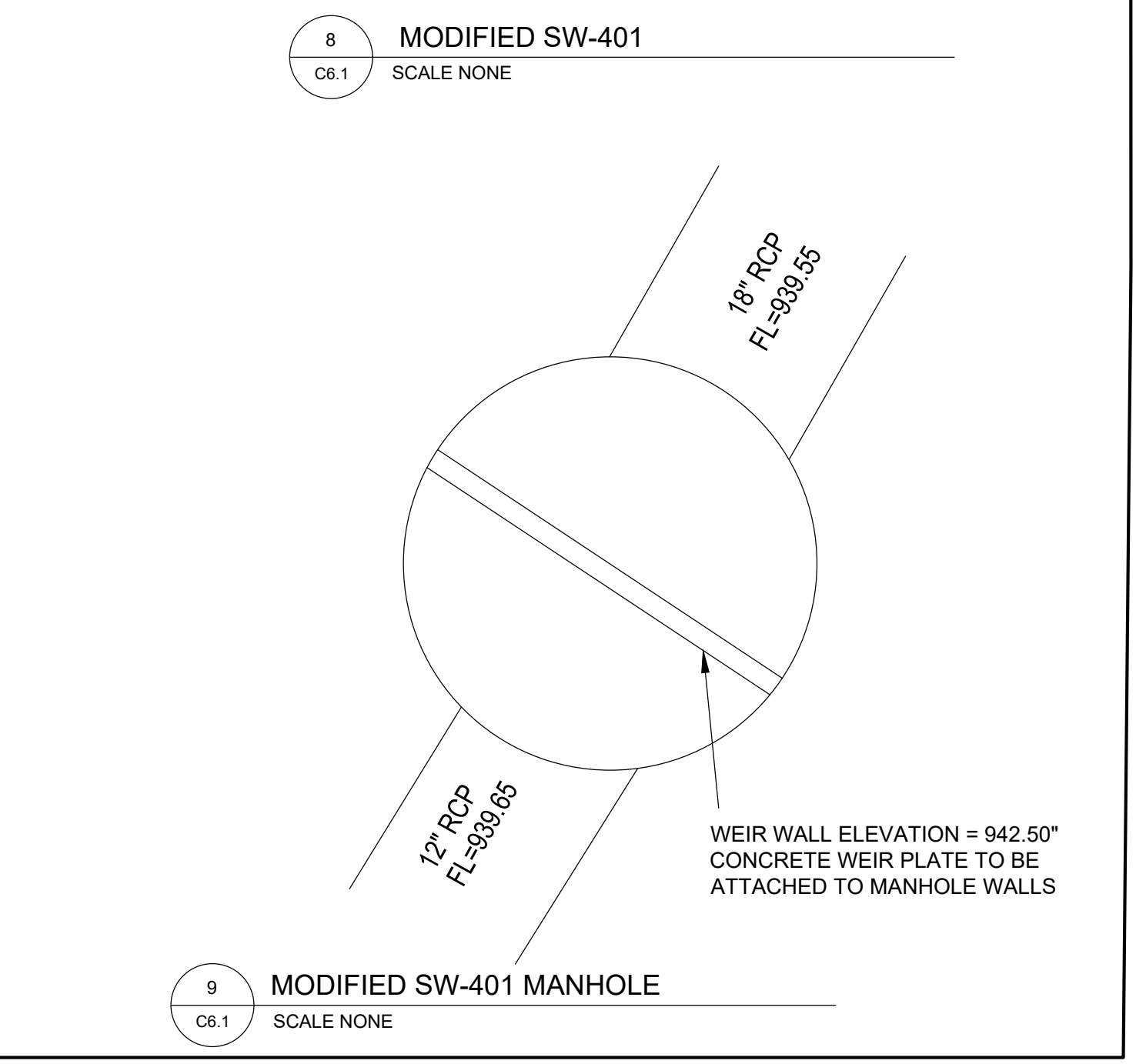
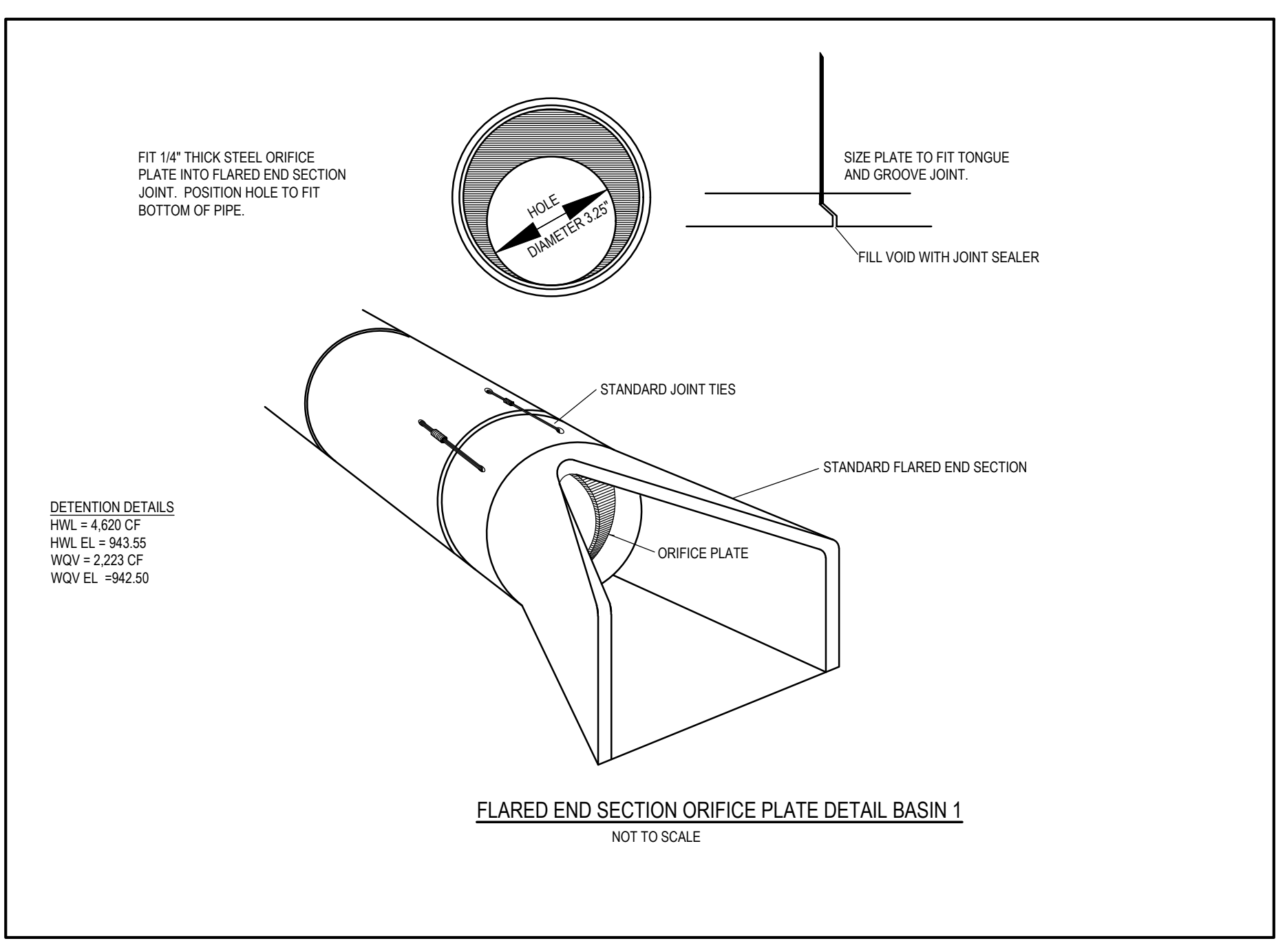
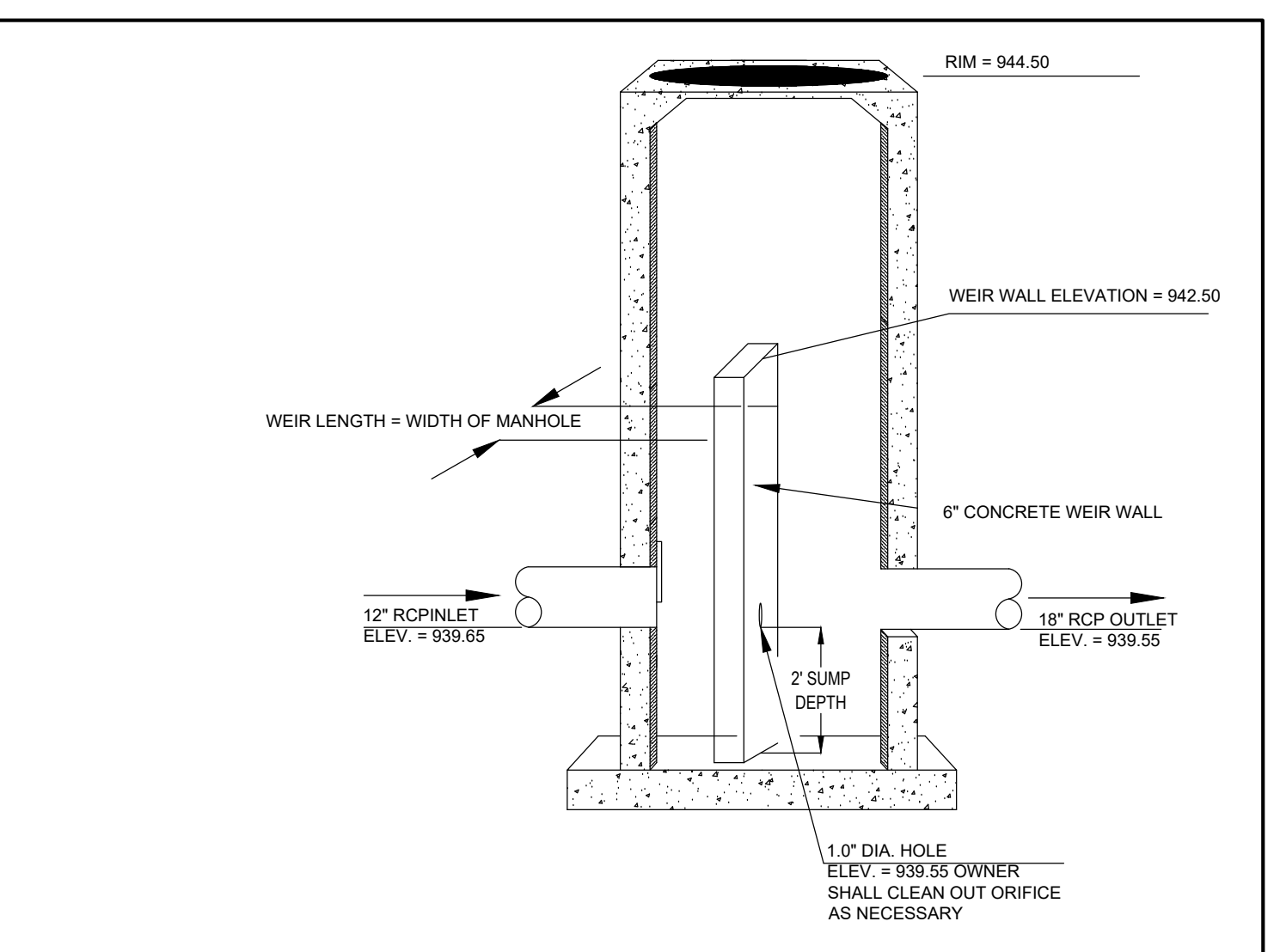
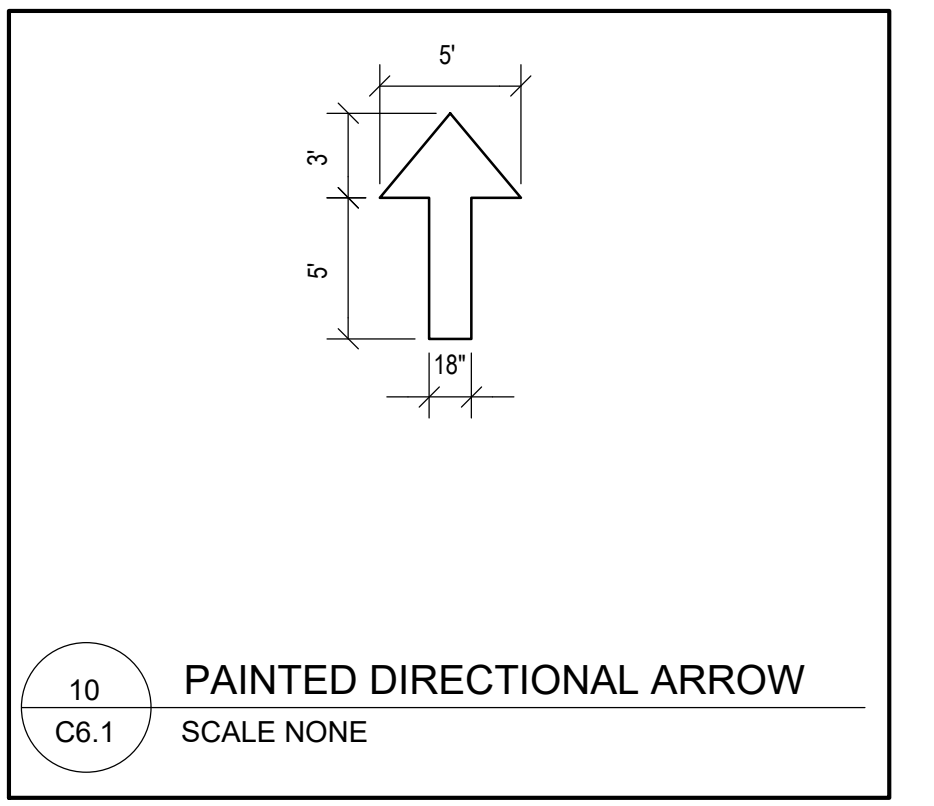
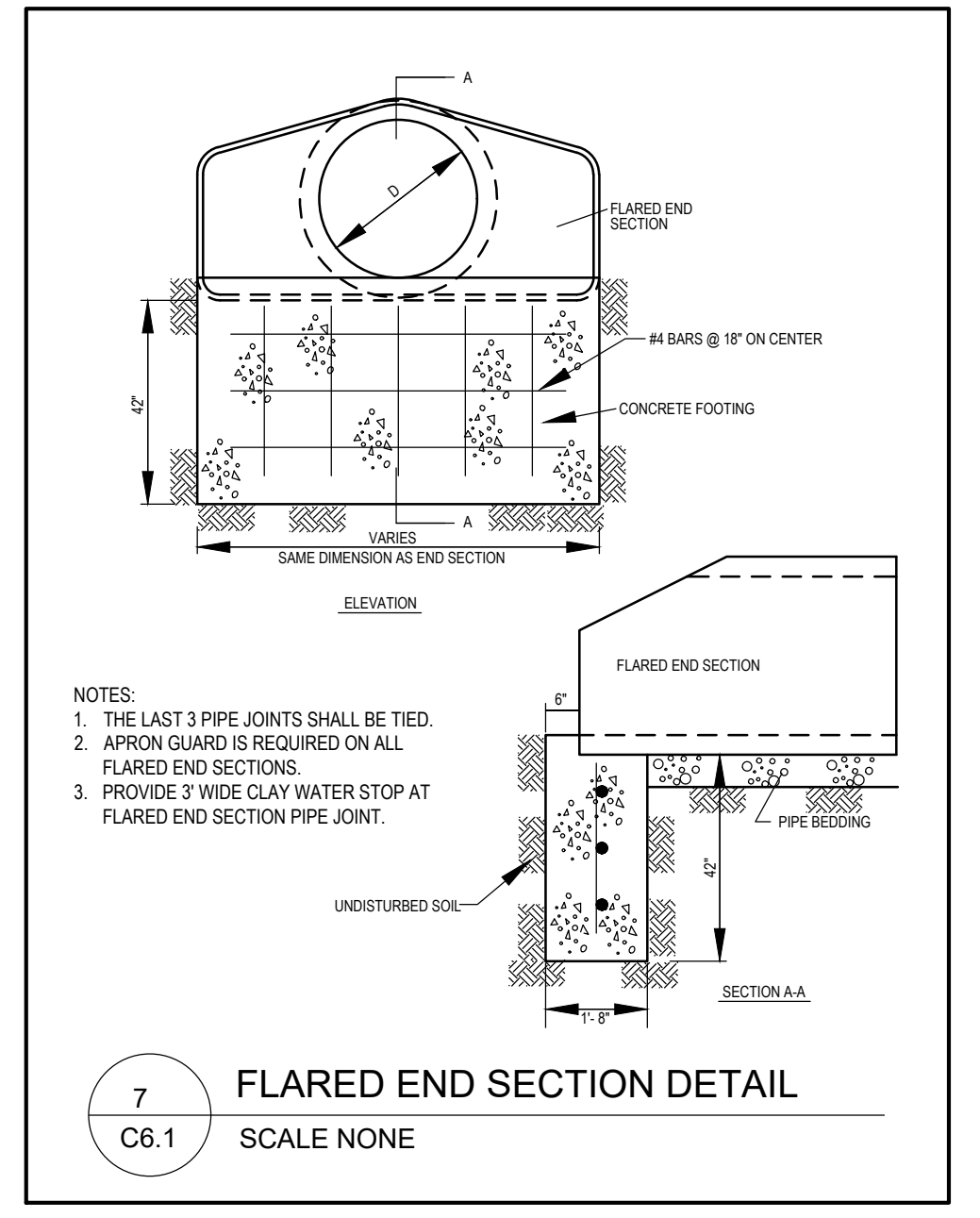
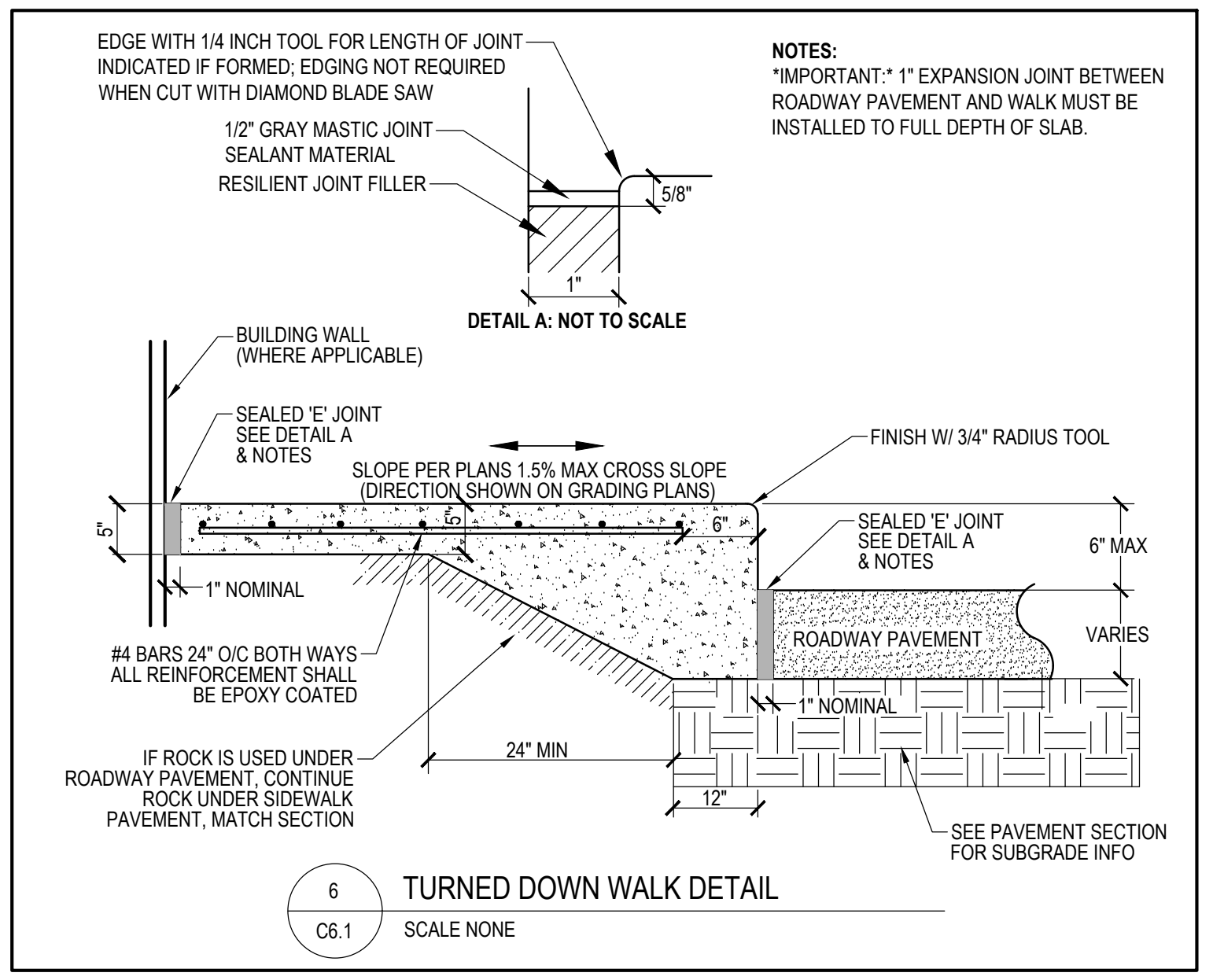
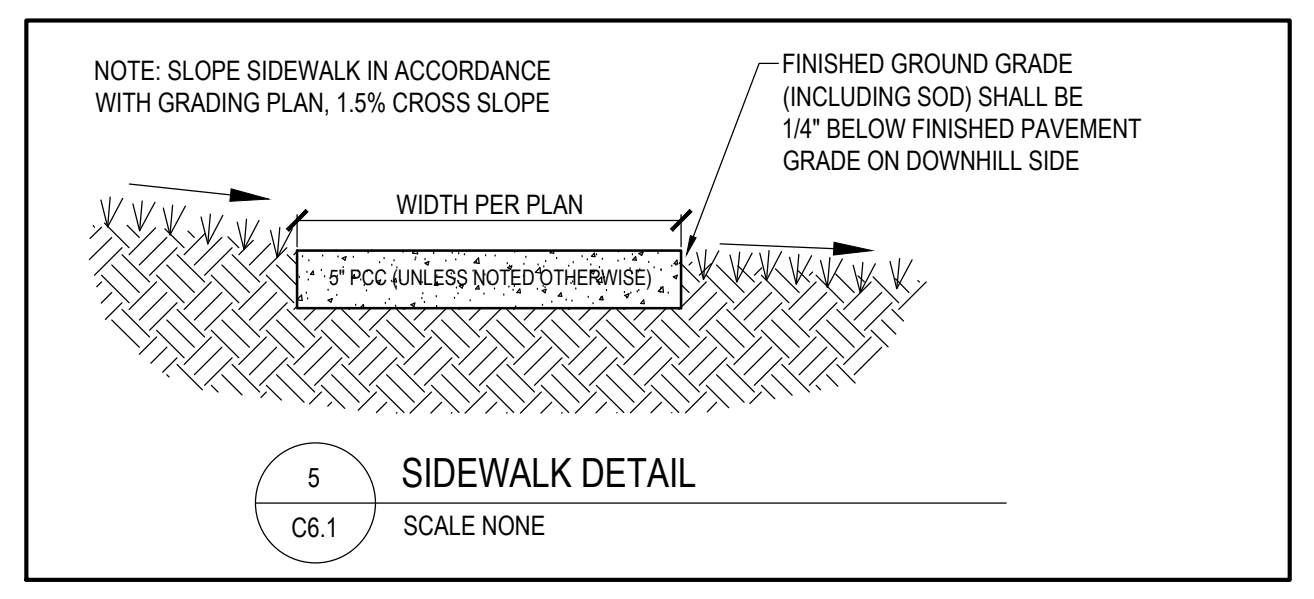
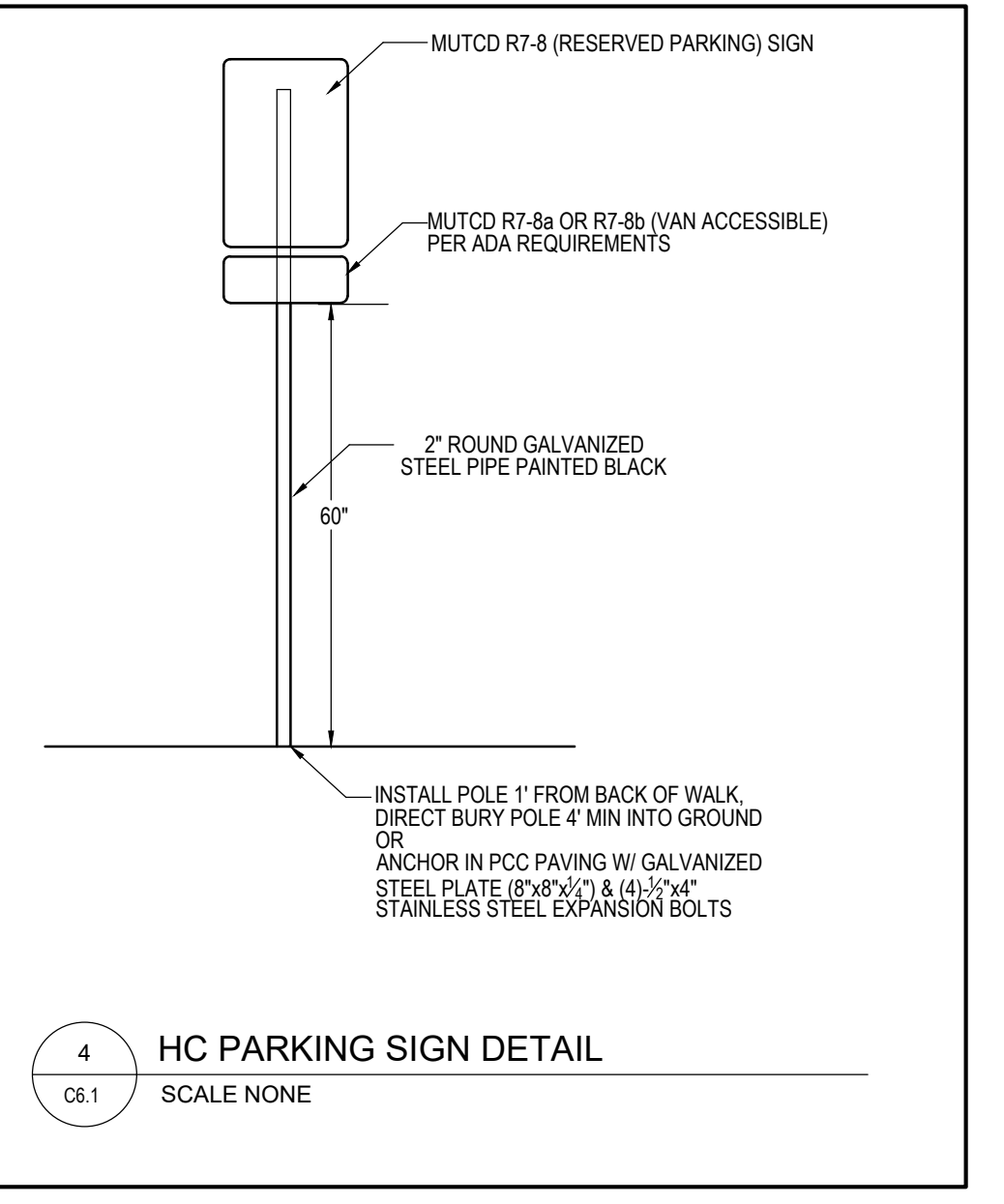
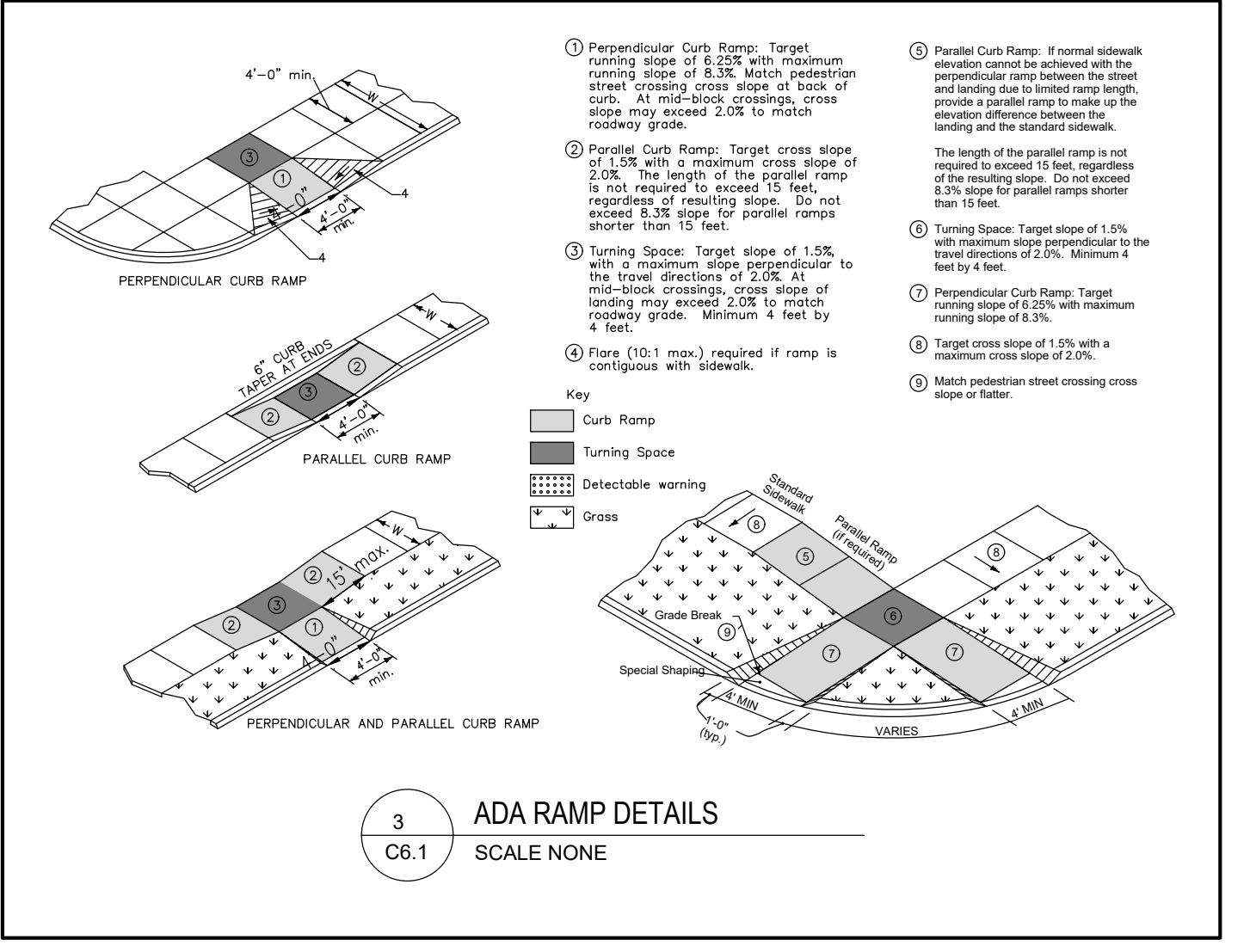
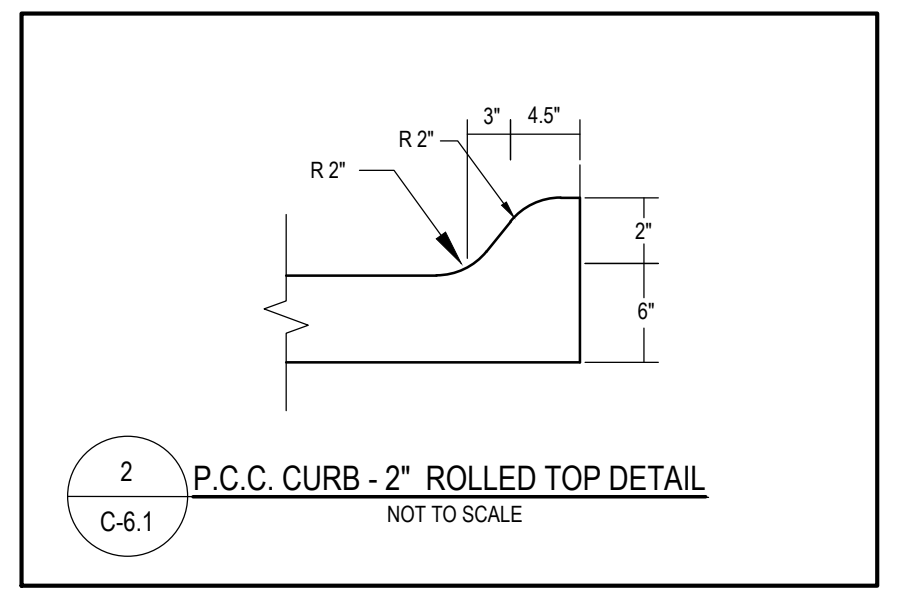
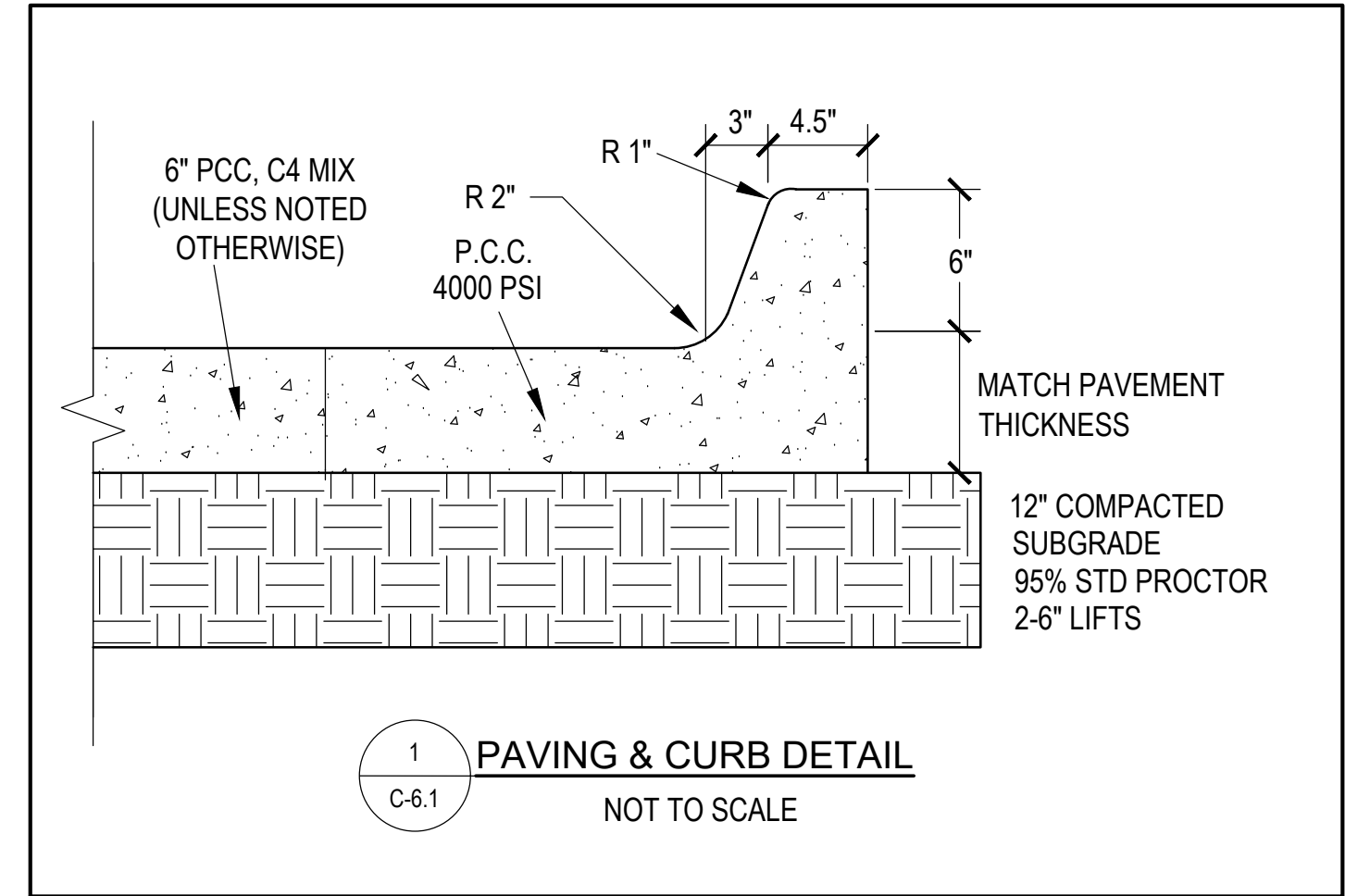
**SOD:** PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)



REFERENCE NUMBER:
DRAWN BY: DJS
CHECKED BY: CB
REVISION DATE:
PROJECT NUMBER: <b>200142</b>
SHEET NUMBER: <b>C5.1</b>



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DRAWN BY:	DJS
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REVISION DATE:	
PROJECT NUMBER:	200142
SHEET NUMBER:	C6.1



PRELIMINARY - NOT FOR CONSTRUCTION

# STORM WATER POLLUTION PREVENTION PLAN

**PROPERTY DESCRIPTION:**  
(WARRANTY DEED BOOK 13805, PAGE 300-301)  
LOT 1, SANDPIPER POINT PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA

**ADDRESS:**  
1100 5TH STREET  
POLK CITY, IA 50226

**OWNER:**  
HOWARD E STEIL  
POB 406  
POLK CITY, IA 50226

**SITE AREA:**  
SITE AREA = 1.02 ACRES  
DISTURBED AREA = 0.95 ACRES

**BENCHMARK:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88

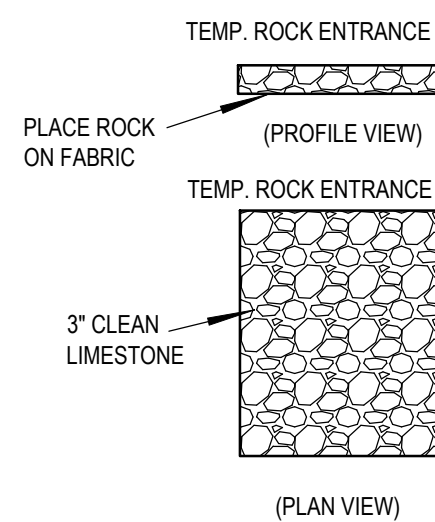
**POINT #9000**  
NORTHING = 642779.17  
EASTING = 1580598.17  
ELEVATION = 946.61  
DESCRIPTION: CUT "X" IN CONCRETE WALK ALONG THE EAST R.O.W. OF S 5TH ST; 10' +/- EAST OF MAILBOX; 35' +/- S OF NORTH DRIVE TO FAREWAY.

**POINT #9007**  
NORTHING = 642601.68  
EASTING = 1580598.56  
ELEVATION = 946.08  
DESCRIPTION: CUT "X" IN CONCRETE WALK ALONG THE EAST R.O.W. OF S 5TH ST; 7' +/- S OF SOUTH DRIVE TO FAREWAY.

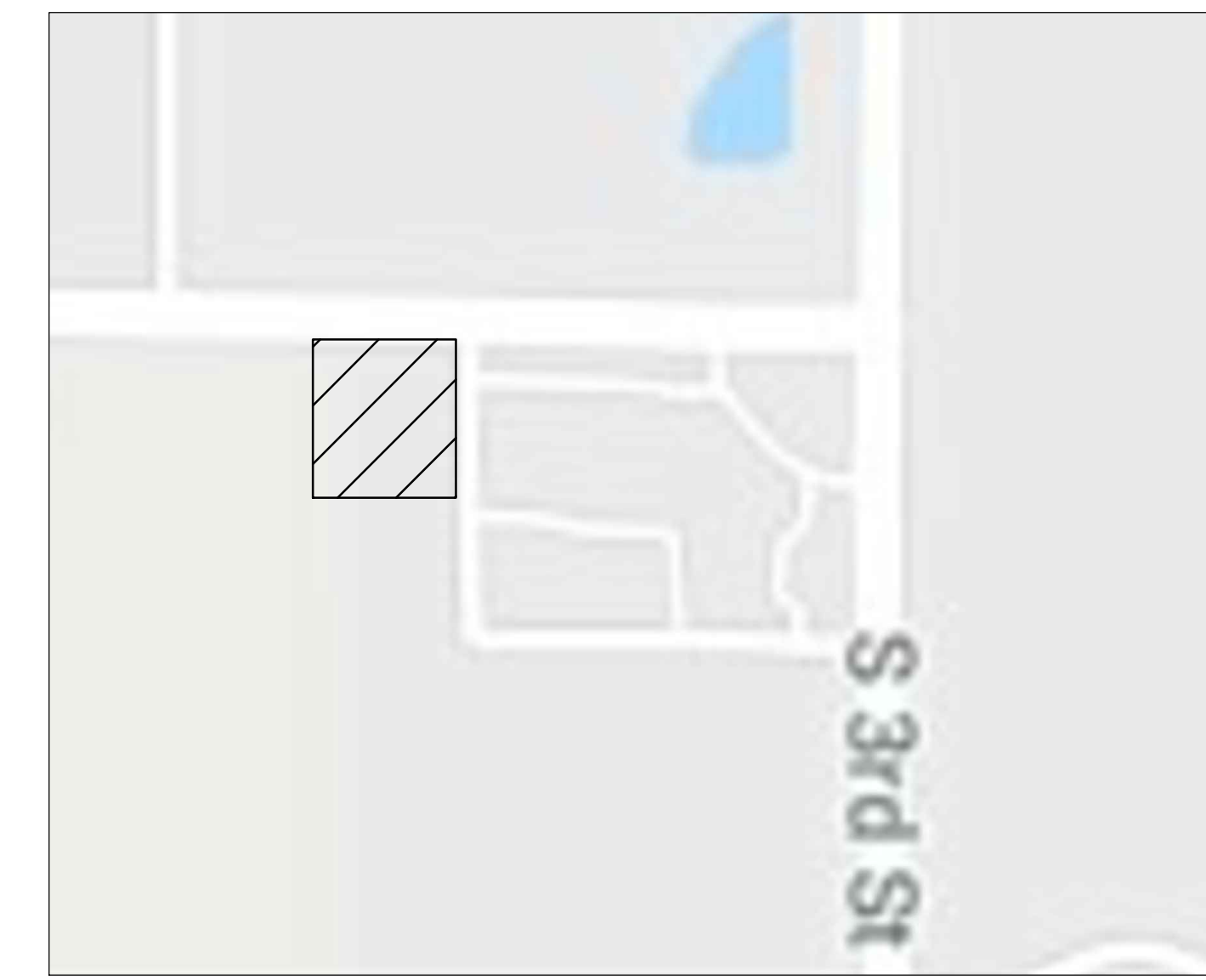
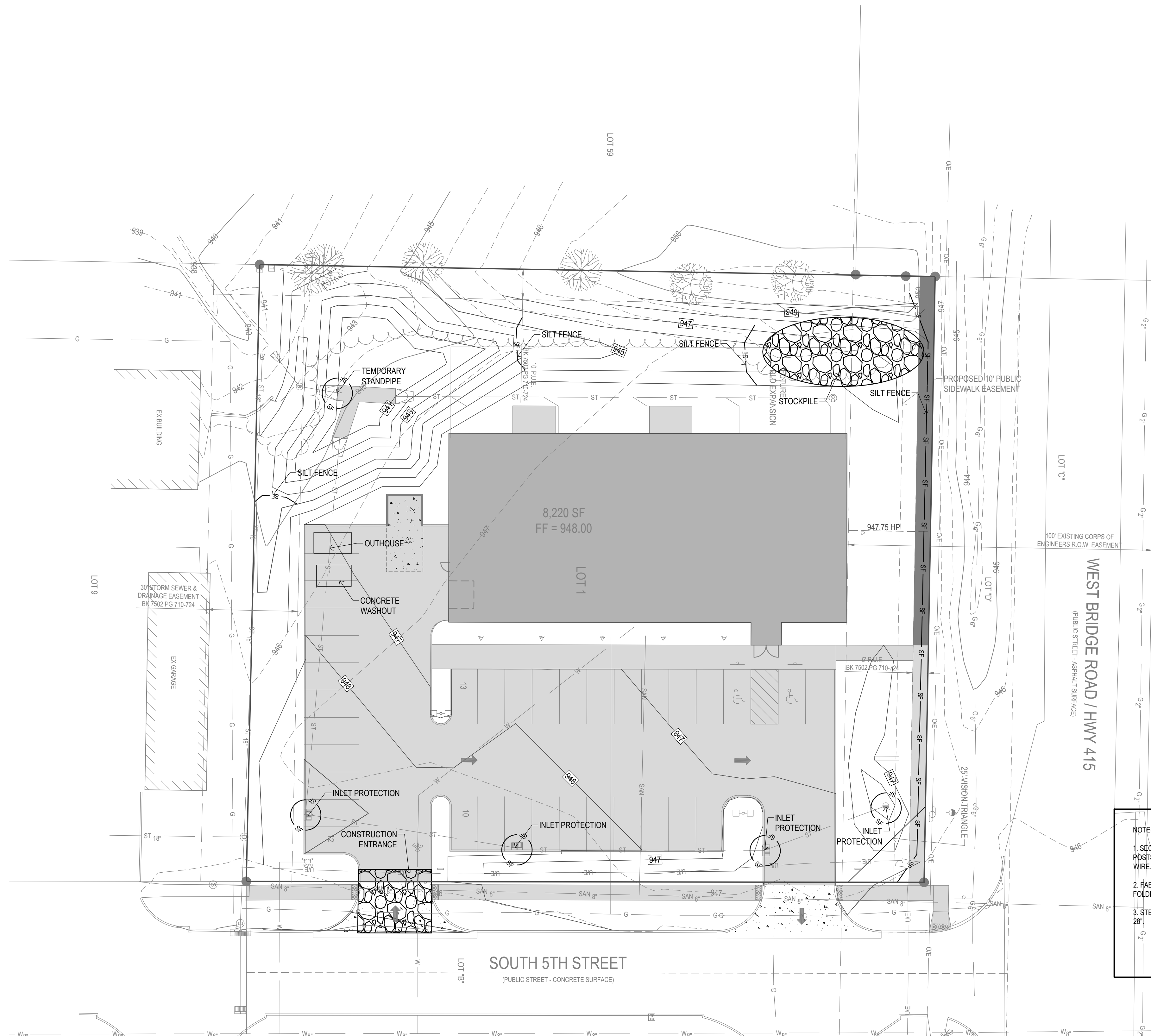
**ON-SITE TBM:**  
BURY BOLT ON HYDRANT LOCATED AT SE CORNER OF S 5TH ST & W BRIDGE RD  
ELEVATION = 948.02

**OFF-SITE TBM:**  
BURY BOLT ON HYDRANT LOCATED AT NORTH R.O.W. OF W BRIDGE RD; 83' +/- WEST OF DRIVE TO BANK  
ELEVATION = 948.02

STABILIZED ENTRANCE SHALL BE AT LEAST 50' LONG AND EXTEND TO THE PUBLIC ROADWAY.



**SITE ENTRANCE DETAIL**  
NOT TO SCALE



**VICINITY MAP**  
SCALE: 1" = 1,000'

### EROSION CONTROL NOTES:

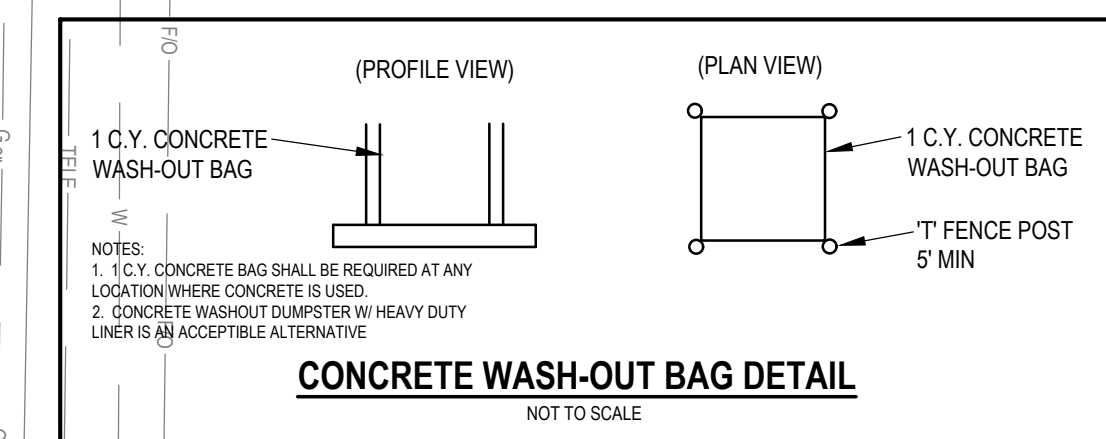
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

### EROSION CONTROL REMOVAL NOTES:

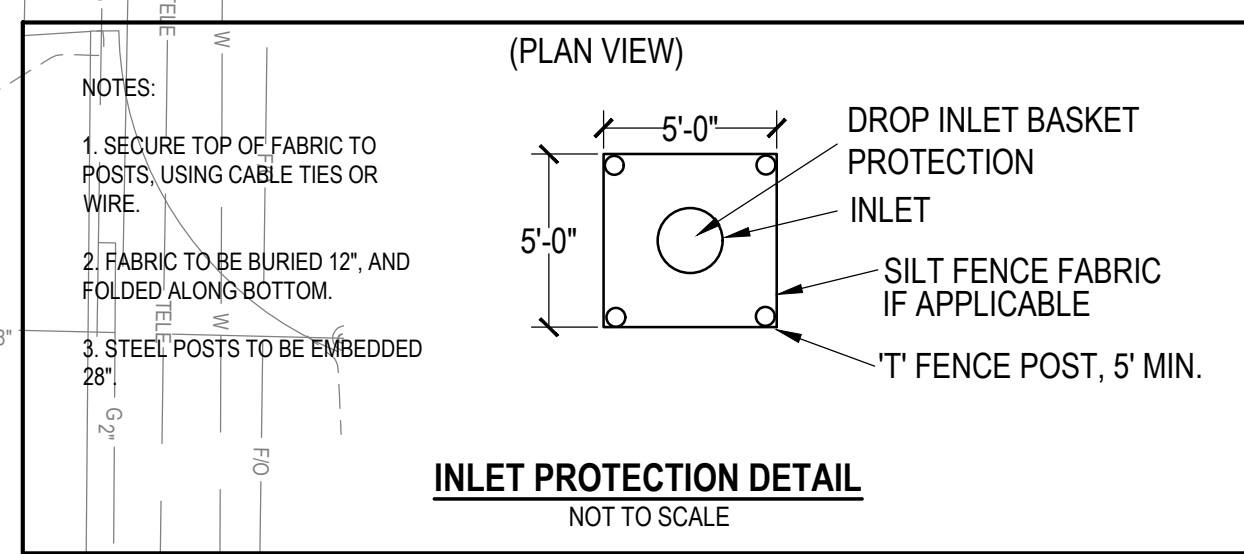
- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

### LEGEND:

- 120--- EXISTING CONTOUR
- 120- PROPOSED CONTOUR
- SF SILT FENCE
- SAN SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC
- TELE TELEPHONE LINE
- F/O FIBER OPTIC
- CATV CABLE TV
- SM STORM MANHOLE
- CI CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- SM SANITARY MANHOLE
- CO CLEANOUT
- FD FIRE HYDRANT
- SP SPRINKLER
- ICV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- WELL
- WV WATER VALVE
- WS WATER SHUT OFF
- YH YARD HYDRANT
- EM ELECTRIC MANHOLE
- EM ELECTRIC METER
- ER ELECTRIC RISER
- EV ELECTRIC VAULT
- PP POWER POLE
- TP TRANSFORMER POLE
- LP LIGHT POLE
- EJ ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GW GUY WIRE
- EH ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- ACU AIR CONDITIONING UNIT
- TR TELEPHONE RISER
- TV TELEPHONE VAULT
- TM TELEPHONE MANHOLE
- TSM TRAFFIC SIGNAL MANHOLE
- FR FIBER OPTIC RISER
- FF FIBER OPTIC FAULT
- CR CABLE TV RISER
- SIGN



**CONCRETE WASH-OUT BAG DETAIL**  
NOT TO SCALE

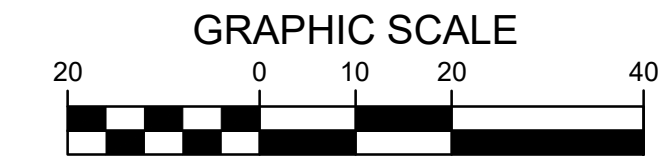


**INLET PROTECTION DETAIL**  
NOT TO SCALE

- NOTES:
- SECURE TOP OF FABRIC TO POSTS, USING CABLE TIES OR WIRE.
  - FABRIC TO BE BURIED 12", AND FOLDED ALONG BOTTOM.
  - STEEL POSTS TO BE EMBEDDED 28"



**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



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REFERENCE NUMBER:	
DRAWN BY:	DJS
CHECKED BY:	CB
REVISION DATE:	
PROJECT NUMBER:	200142
SHEET NUMBER:	C7.1

**ORDINANCE NO. 2020-600**

**ORDINANCE VACATING A PORTION OF THE OVERLAND  
FLOWAGE EASEMENT IN WHITE TAIL RIDGE PLAT 2.**

**WHEREAS**, on the 11th day of May 2020, pursuant to published notice as required by law, the City Council has held a public hearing on a proposal to vacate a portion of the Overland Flowage Easement within property legally described as follows:

A STRIP OF LAND IN LOTS 4 AND 5 WHITETAIL RIDGE PLAT 2, AN OFFICIAL PLAT, POLK CITY, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH CORNER OF SAID LOT 5; THENCE ALONG THE SOUTHWEST LOT LINE OF SAID LOT 5 NORTH 33°40'36" WEST, A DISTANCE OF 15.25 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHWEST LOT LINE OF SAID LOT 5 NORTH 33°40'36" WEST, A DISTANCE OF 15.24 FEET; THENCE NORTH 45°54'47" EAST, A DISTANCE OF 252.92 FEET TO THE EAST LOT LINE OF SAID LOT 5; THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 31.49 FEET ALONG SAID EAST LINE TO THE NORTH CORNER OF SAID LOT 4; THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 58.83 FEET ALONG THE EAST LINE OF SAID LOT 4; THENCE NORTH 69°49'01" WEST, A DISTANCE OF 78.86 FEET; THENCE SOUTH 45°54'47" WEST, A DISTANCE OF 193.98 FEET TO THE POINT OF BEGINNING. CONTAINING 5,800 SQUARE FEET (0.133 ACRES) MORE OR LESS.

**WHEREAS**, the City Council of the City of Polk City, Iowa, has determined that it is in the best interest of the City to vacate said easement.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Polk City, Iowa, as follows:

**Section 1.** The City of Polk City, Iowa, hereby vacates the following described Overland Flowage easement:

A STRIP OF LAND IN LOTS 4 AND 5 WHITETAIL RIDGE PLAT 2, AN OFFICIAL PLAT, POLK CITY, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH CORNER OF SAID LOT 5; THENCE ALONG THE SOUTHWEST LOT LINE OF SAID LOT 5 NORTH 33°40'36" WEST, A DISTANCE OF 15.25 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHWEST LOT LINE OF SAID LOT 5 NORTH 33°40'36" WEST, A DISTANCE OF 15.24 FEET; THENCE NORTH 45°54'47" EAST, A DISTANCE OF 252.92 FEET TO THE EAST LOT LINE OF SAID LOT 5; THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 31.49 FEET ALONG SAID EAST LINE TO THE NORTH CORNER OF SAID LOT 4; THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 58.83 FEET ALONG THE EAST LINE OF SAID LOT 4; THENCE NORTH 69°49'01" WEST, A DISTANCE OF 78.86 FEET; THENCE SOUTH 45°54'47" WEST, A DISTANCE OF 193.98 FEET TO THE POINT OF BEGINNING. CONTAINING 5,800 SQUARE FEET (0.133 ACRES) MORE OR LESS.

**Section 2.** All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

**Section 3.** This Ordinance shall be in effect upon its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_ day of \_\_\_\_\_ 2020.

---

Jason Morse, Mayor

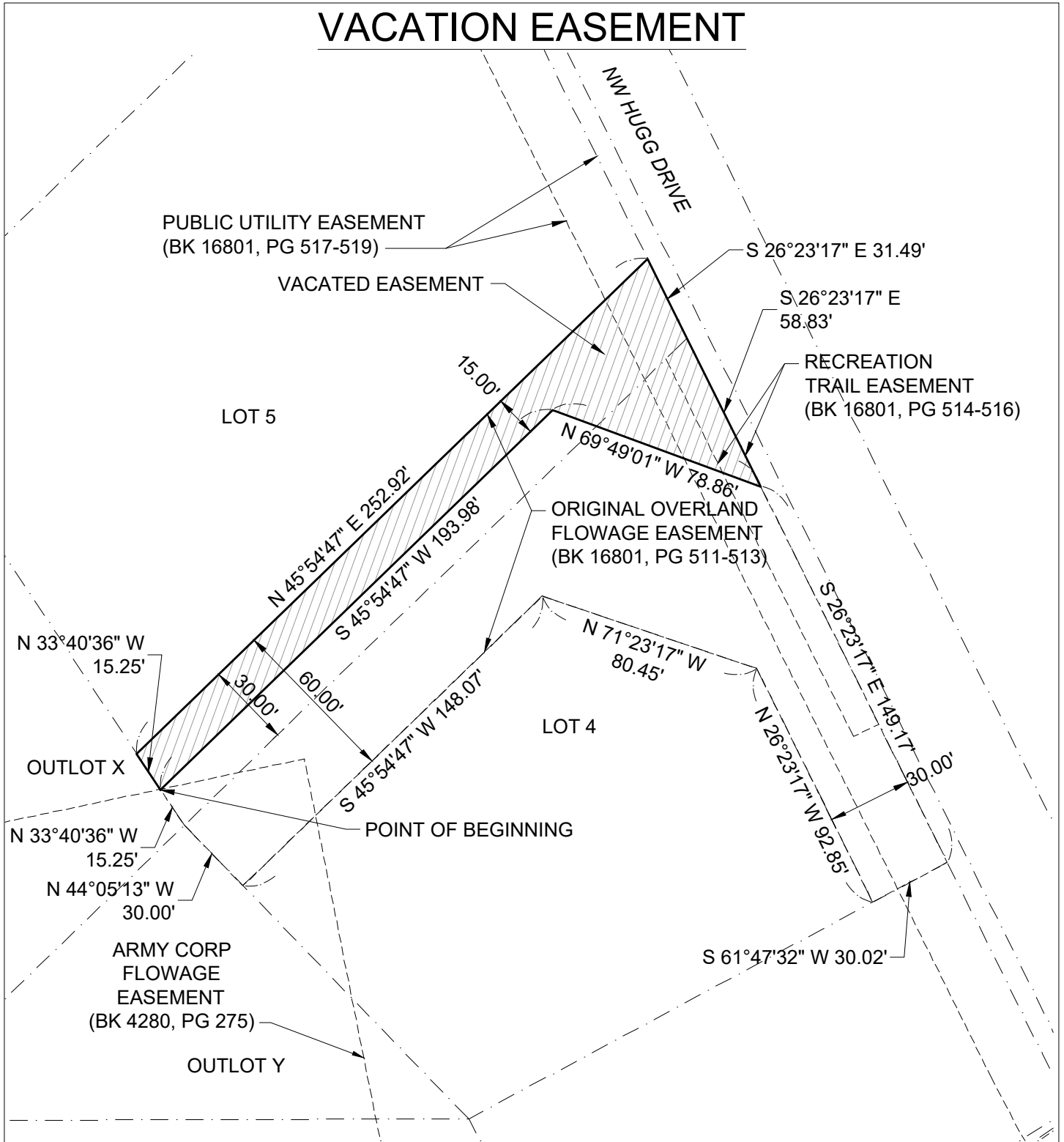
ATTEST:

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Jenny Gibbons, City Clerk



# VACATION EASEMENT

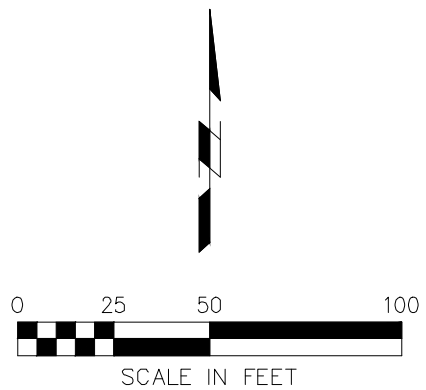


## LEGAL DESCRIPTION OF VACATION

A STRIP OF LAND IN LOTS 4 AND 5 WHITETAIL RIDGE PLAT 2, AN OFFICIAL PLAT, POLK CITY, POLK COUNTY, IOWA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH CORNER OF SAID LOT 5;  
 THENCE ALONG THE SOUTHWEST LOT LINE OF SAID LOT 5 NORTH 33°40'36" WEST, A DISTANCE OF 15.25 FEET TO THE POINT OF BEGINNING;  
 THENCE ALONG THE SOUTHWEST LOT LINE OF SAID LOT 5 NORTH 33°40'36" WEST, A DISTANCE OF 15.24 FEET;  
 THENCE NORTH 45°54'47" EAST, A DISTANCE OF 252.92 FEET TO THE EAST LOT LINE OF SAID LOT 5;  
 THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 31.49 FEET ALONG SAID EAST LINE TO THE NORTH CORNER OF SAID LOT 4;  
 THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 58.83 FEET ALONG THE EAST LINE OF SAID LOT 4;  
 THENCE NORTH 69°49'01" WEST, A DISTANCE OF 78.86 FEET;  
 THENCE SOUTH 45°54'47" WEST, A DISTANCE OF 193.98 FEET TO THE POINT OF BEGINNING.

CONTAINING 5,800 SQUARE FEET (0.133 ACRES) MORE OR LESS.



## LEGEND

- EASEMENT BOUNDARY
- SECTION CORNER LINE
- LOT LINES

<b>EASEMENT VACATION</b>			PROJECT NO. 418138-1
LOT 5 WHITETAIL RIDGE PLAT 2 NW HUGG DRIVE, POLK CITY, IOWA			
DATE	04/08/2020	SCALE	--
DRAWN	CWH	FIELD BOOK	--
APPROVED	MBB	REVISION	--
			<b>EX01</b>



## **EASEMENT & EASEMENT VACATION**

Date: April 23, 2020 Prepared by: Kathleen Connor  
Project: Whitetail Ridge Plat 2 Storm Sewer Easement & Vacation of part of Overland Flowage Easement Project No.: 120.0383.01

### **GENERAL INFORMATION:**

Owner of Lot 4 and Outlot Y, Whitetail Ridge Plat 2: Benjamin & Jessica White  
Owner of Lot 5 and Outlot X, Whitetail Ridge Plat 2: MJR Developments

### **PROJECT DESCRIPTION:**

MJR Developments has a potential buyer interested in Lot 5 and Outlot X for the purpose of building a single-family home. The topography of this lot has proved to be challenging to the builder in siting this new home, in part due to the existing Overland Flowage Easement that straddles the lot line between Lots 4 and 5. Shive-Hattery, the developer's engineer, as provided drainage calculations that demonstrate the easement is larger than necessary to contain runoff.

The developer is now asking the City to vacate the unnecessary portion of the Overland Flowage Easement on Lots 4 and 5 and to accept a new Storm Sewer Easement for the CMP pipe extension previously approved by the City to facilitate construction of the existing home on Lot 4.

### **REVIEW COMMENTS:**

We have reviewed the revised submittal including drainage calculations related to vacating part of the Overland Flowage Easement on Lot 5 of Whitetail Ridge Plat 2 and the proposed Storm Sewer Easement have the following comments to offer:

1. The drainage calculations and map will need to clarify the flow path for drainage along NW Hugg Drive as the flows turn south toward Big Creek and cross the sidewalk. We understand the driveway culvert was extended on Lot 4, but the existing driveway, sidewalk, and culvert should be clearly depicted on the plan. The plan should also define where the existing Lot 4 sidewalk ends and the proposed Lot 5 sidewalk begins. The proposed driveway for Lot 5 and driveway culvert and both FES, must be shown or additional grading and drainage arrows provided to clarify the proposed driveway will be at the high point of the ditch. It appears runoff from the south half of NW Hugg Drive and the roadside ditch will cross the sidewalk which is not acceptable since it creates a slippery condition on the sidewalk. Clarify where and how these flows will cross beneath the sidewalk in either a proposed or existing culvert. Provide pipe sizing calculations for culverts. The sidewalk grading and culvert(s) will need to be shown on the Exhibit and provided to the homebuilder for reference.
2. Prior to Council action, provide a certified letter or document establishing the new M.O.E. for Lot 5 based on the ponding that will be contained within the remaining Overland

Flowage Easement. This document will need to be recorded prior to issuance of a Building Permit for Lot 5 of Whitetail Ridge Plat 2.

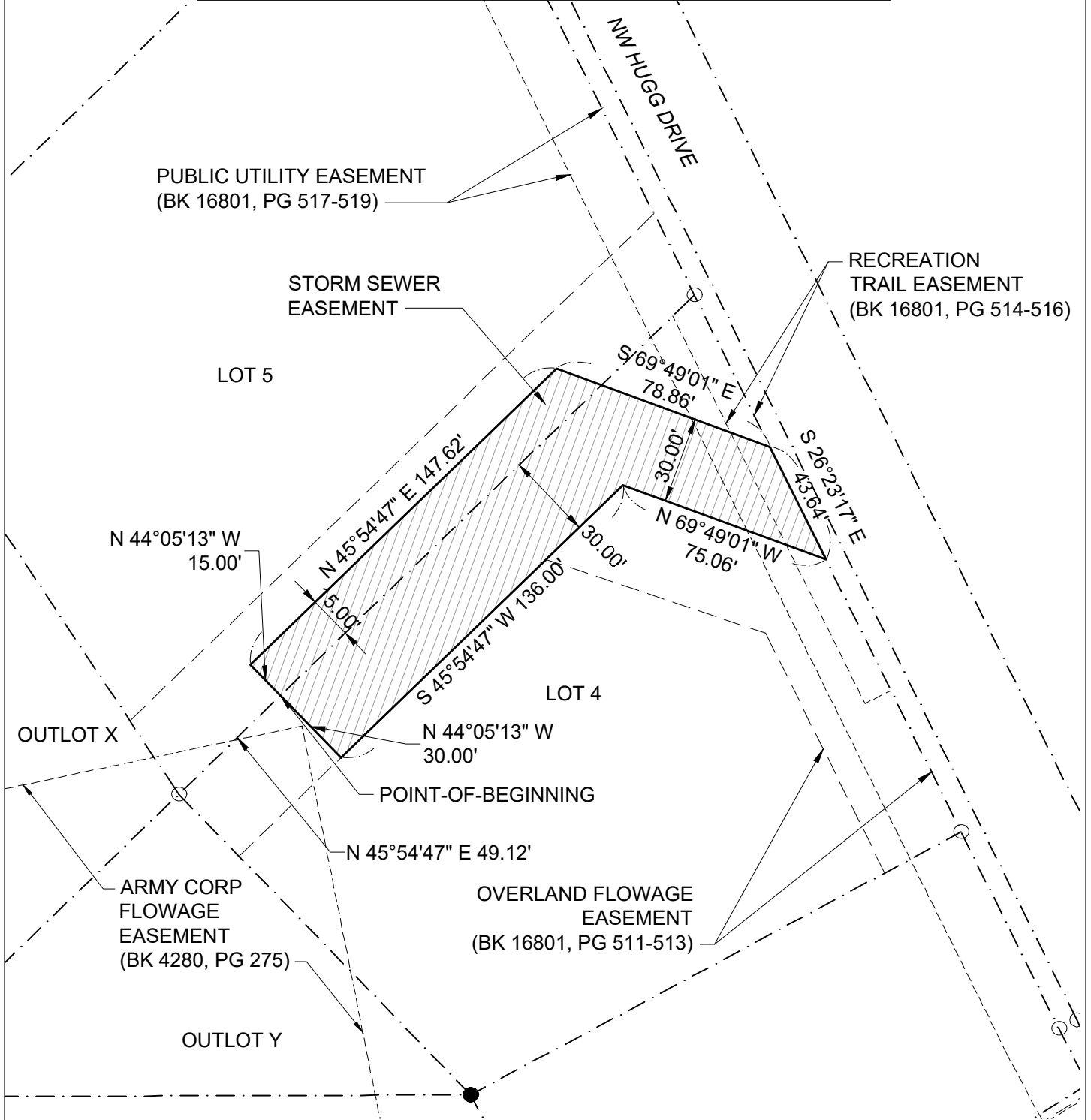
3. Prior to Council action, provide a copy of the legal documents required for vacating a portion of the Overland Flowage Easement; recorded in Book 16801, Page 511-513; for review by the City Attorney.
4. Prior to Council action, provide a copy of the proposed Storm Sewer Easement document for review by the City Attorney. This document will need to be signed by both Benjamin and Jessica White and by MJR Properties.

**RECOMMENDATION:**

Based on approval of the City Attorney, staff recommends Council approval of vacating a portion of the located on Lots 4 and 5 of Whitetail Ridge Plat 2 and acceptance of a Storm Sewer Easement on said 4 and 5, subject to the following:

1. A public hearing shall be held prior to City Council approval of the vacation of the Overland Flowage Easement area.
2. Provision of signed copies of all legal documents, including a document establishing the M.O.E. on Lot 5 of Whitetail Ridge Plat 2 to the City Clerk prior to Council action.
3. Provision of a recorded copy of all documents to the City Clerk prior to issuance of a Building Permit on Lot 5 of Whitetail Ridge Plat 2.
4. All application and review fees shall be paid in full to the City Clerk.

# PUBLIC STORM SEWER EASEMENT

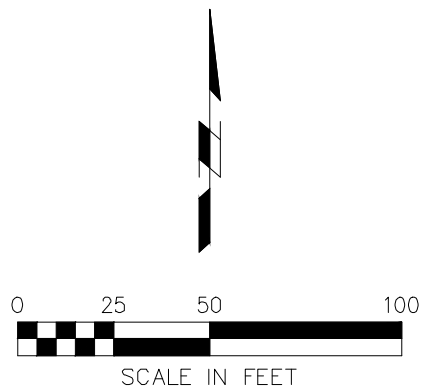


## LEGAL DESCRIPTION OF EASEMENT

A PUBLIC STORM SEWER EASEMENT IN LOTS 4 AND 5 WHITETAIL RIDGE PLAT 2, AN OFFICIAL PLAT, POLK CITY, POLK COUNTY, IOWA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST CORNER OF SAID LOT 4;  
 THENCE ALONG THE NORTHWEST LOT LINE OF SAID LOT 4 NORTH 45°54'47" EAST, A DISTANCE OF 49.12 FEET TO THE POINT OF BEGINNING;  
 THENCE NORTH 44°05'13" WEST, A DISTANCE OF 15.00 FEET;  
 THENCE NORTH 45°54'47" EAST, A DISTANCE OF 147.62 FEET;  
 THENCE SOUTH 69°49'01" EAST, A DISTANCE OF 78.86 FEET TO THE EAST LOT LINE OF SAID LOT 4;  
 THENCE SOUTH 26°23'17" EAST, A DISTANCE OF 43.64 FEET ALONG SAID EAST LINE;  
 THENCE NORTH 69°49'01" W, A DISTANCE OF 75.06 FEET;  
 THENCE SOUTH 45°54'47" WEST, A DISTANCE OF 136.00 FEET;  
 THENCE NORTH 44°05'13" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 8,690 SQUARE FEET (0.200 ACRES) MORE OR LESS.



## LEGEND

- EASEMENT BOUNDARY
- SECTION CORNER LINE
- LOT LINES

**SHIVEHATTERY**  
 ARCHITECTURE + ENGINEERING  
 4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266  
 515.223.8104 | www.shive-hattery.com  
 Iowa | Illinois | Indiana

PUBLIC STORM SEWER EASEMENT			PROJECT NO. 418138-1
LOT 4 & 5 WHITETAIL RIDGE PLAT 2 NW HUGG DRIVE, POLK CITY, IOWA			
DATE	04/20/2020	SCALE	--
DRAWN	CWH	FIELD BOOK	--
APPROVED	MBB	REVISION	--
			<b>EX01</b>

File Path: P:\Projects\DW\4.18138\1\Deliverables\Drawings\g\_WhitetailPlat2\lots\STORM SEWER EASEMENT.dwg

**RESOLUTION NO. 2020-59**

**A RESOLUTION APPROVING A PUBLIC STORM SEWER EASEMENT  
BETWEEN THE CITY OF POLK CITY, IOWA AND MJR DEVELOPMENTS  
AND BENJAMIN & JESSICA WHITE**

**WHEREAS**, the City Council for the City of Polk City, Iowa, deems it necessary to obtain a Public Storm Sewer Easement for Lots 4 and 5 of Whitetail Ridge Plat 2; and

**WHEREAS**, Kyle & Mackenzi Swenson and Benjamin & Jessica White are willing to grant the Public Storm Sewer Easement in accordance with the Agreement attached hereto as Exhibit "A"; and

**WHEREAS**, the City Council of the City of Polk City, Iowa, believes it to be in the best interest of the City to approve said Easement.

**NOW, THEREFORE BE IT RESOLVED**, that the City Council of the City of Polk City, Iowa, hereby approves the Public Storm Sewer Easement between the City of Polk City, Iowa and Kyle & Mackenze Swenson and Benjamin & Jessica White attached hereto as Exhibit "A", subject to the execution of the easement agreement.

**PASSED AND APPROVED**, this 26th day of May 2020.

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Jason Morse, Mayor

ATTEST:

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Jenny Gibbons, City Clerk



## City of Polk City, Iowa City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** 3 Year Audit RFP

---

**BACKGROUND:** In your packet for consideration is a bid tab for 4 proposals we received for auditing services. We did receive a 5<sup>th</sup> proposal but have determined it to be incomplete.

We are required by the State of Iowa to have an annual audit conducted every year. Below is a 3-year total for each proposal:

Martens & Co: \$33,900

Faller, Kincheloe & Co: \$34,500

Denman & Co: \$38,700

State of Iowa Auditors office: \$45,300

**ALTERNATIVES:** We are required to be audited each year and have provided the Council with a number of proposals. There are no alternatives.

**FINANCIAL CONSIDERATIONS:** Approximately \$11,300 annually

**RECOMMENDATION:** It is my recommendation that the Council award the bid to the lowest bidder. Martens & Co does many audits for nearby cities, such as the City of Grimes and the City of Altoona.





## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager

**Subject:** Amending collection of solid waste ordinance

---

**BACKGROUND:** On Tuesday, the Council will have the second reading amending the City's solid waste Ordinance. This Ordinance amends that a single hauler will be authorized by the City to collect solid waste from residential premises (hauler is subject to our Memorandum with MWA), and also states that collection of payment for solid waste will be added to the City utility bill.

**ALTERNATIVES:** Do not approve the second reading of the ordinance.

**FINANCIAL CONSIDERATIONS:** There are long-term financial considerations regarding our streets by reducing the number of trucks on our residential streets.

**RECOMMENDATION:** It is my recommendation that the Council approve the second reading of the collection of solid waste ordinance.

## CITY OF POLK CITY, IOWA

### ORDINANCE NO. 2020-500

#### AN ORDINANCE AMENDING THE CITY CODE OF POLK CITY, IOWA, REVISING CHAPTER 106 CONCERNING COLLECTION OF SOLID WASTE.

---

***Purpose.** The purpose of this Ordinance is to revise the means for the collection of solid waste.*

**BE IT ORDAINED** by the City Council of the City of Polk City, Iowa as follows:

**Section 1.** The current Chapter 106 is hereby deleted and there is hereby enacted the following new Chapter 106 of the City of Polk City Municipal Code:

#### **106.1 COLLECTION SERVICE.**

The collection and transportation of solid waste within the city shall be performed in accordance to the provisions of this code or the regulations of the Polk County board of health or of any other appropriate government agency. A single collector shall be authorized by the city to collect solid waste from residential premises, a single collector shall be authorized by the city to collect yard waste from residential premises and a single collector shall be authorized by the city to collect recyclable material from residential premises as set forth in this code.

#### **106.2 COLLECTION VEHICLES.**

Vehicles or containers used for the collection and transportation of garbage and similar putrescible waste or solid waste containing such materials shall be leakproof, durable and of easily cleanable construction. They shall be cleaned to prevent nuisances, pollution or insect breeding and shall be maintained in good repair so as to prevent leaking of oil or hydraulic fluid onto the city streets.

#### **106.3 LOADING.**

Vehicles or containers used for the collection and transportation of any solid waste shall be loaded and moved in such a manner that the contents will not fall, leak, or spill therefrom, and shall be covered to prevent blowing or loss of material. Where spillage does occur, the material shall be picked up immediately by the collector or transporter and returned to the vehicle or container and the area properly cleaned.

#### **106.4 FREQUENCY OF COLLECTION.**

All solid waste, yard waste and recyclable materials shall be collected, on the same day, by the respective authorized collectors, from residential premises at least once each week on a schedule approved by the council, and from commercial, industrial and institutional premises as frequently as may be necessary, but not less than once each week. Collection shall not begin before seven o'clock (7:00) A.M. or continue after seven o'clock (7:00) P.M. on the same day. Yard waste shall be collected between March 15 and November 30.



### **106.5 BULKY RUBBISH.**

Bulky rubbish which is too large or heavy to be collected in the normal manner of other solid waste may be collected by the authorized single residential collector.

### **106.6 YARD WASTE COLLECTION.**

The single collector authorized by the city to collect yard waste from residential premises shall haul the yard waste to a compost site approved by the city and shall keep an accurate accounting of the amount of such yard waste. The collector shall submit a monthly written report to the city detailing the amount of such yard waste that has been collected and delivered for composting during the reporting year. No collector shall mix yard waste and solid waste together. Any hauler who delivers for disposal yard waste and solid waste mixed together shall be subject to penalty(s) as provided in section 8-5A-14 of this chapter.

### **106.7 RIGHT OF ENTRY.**

Collectors are hereby authorized to enter upon private property for the purpose of collecting solid waste, yard waste or recyclable material therefrom as required by this article; however, the authorized single collector shall not enter dwelling units or other residential buildings.

### **106.8 UNIFORM COLLECTION FROM RESIDENTIAL PREMISES.**

The collection of solid waste and recyclable material from residential premises and the maintenance of the availability of such service, whether or not the service is used regularly or at all by the occupant of the residential premises, are hereby declared a benefit to such premises at least equal to the monthly charge specified for the service. Such charge shall be paid whether the occupant uses the residential premises solid waste and recyclable material collection service or not. Nothing herein is to be construed so as to prevent the owner from transporting solid waste or yard waste accumulating upon premises owned, occupied or used by such owner, provided such refuse is disposed of at city approved composting stations or neighborhood collection sites in accordance with policies established by the composting station.

### **106.9 CONTAINER SIZE AND CHARGES FOR RESIDENTIAL PREMISES.**

Container size and charges for solid waste collection and disposal from residential premises shall be fixed and determined by the council. Such container size and charges may from time to time be amended by the council by resolution. A copy of the resolution setting forth the currently effective size and charges shall be kept on file in the office of the city clerk and be open to inspection during regular business hours.

### **106.10 BILLING FOR SERVICE TO RESIDENTIAL PREMISES.**

Billing and payment for the collection of residential solid waste shall be in accordance with the following:

- A. Fee Charged: A fee shall be charged to each dwelling unit each month for the collection of residential solid waste, which fee shall include the fee paid to the collector authorized to collect solid waste from residential premises, and the costs of the city for performing the billing service. The fee to be charged to each dwelling unit shall be established from time to time. Each dwelling unit shall receive one waste container for solid waste. If a

resident requests a second waste container, a second monthly fee will be charged to the resident. For yard waste, a resident must purchase Compost It! stickers to be attached to each bag of yard waste or each bundle of brush set out for collection. A sticker shall also be purchased each season by each resident participating in the premium yard waste collection program.

- B. Bills Issued: The clerk shall prepare and issue bills for the collection of residential solid waste each month. The fee for the collection of residential solid waste shall be included on the bill sent by the clerk to each dwelling unit for water service and sewer service, as a combined service account.
- C. Bills Payable: Bills for the collection of solid waste shall be due and payable at the office of the clerk by the date set out in it. If a bill for the combined service account is not paid in full, the amount paid shall be applied pro rata to the amount billed for water service and for sewer service, and for the collection of residential solid waste.
- D. Late Payment Penalty: Bills not paid when due shall be considered delinquent. A late payment penalty of ten percent (10%) of the amount due shall be added to each delinquent bill.
- E. Returned Checks: A fee, as set forth in the fee schedule established by the city council of the city of Clive, shall be charged for all checks not honored by the bank on which the checks are written.

#### **106.11 SERVICE DISCONTINUED.**

Collection of residential solid waste shall be discontinued in accordance with the following:

- A. Notice: Within five (5) days following the date that bills for water service and the collection of residential solid waste are due and payable, the clerk shall send a written notice to each delinquent customer that water service, sewer service and the collection of residential solid waste and recyclable material may be discontinued if payment, including late payment charges, is not received within ten (10) days from the date the notice is mailed. The notice shall afford the customer the opportunity to request a hearing before the city clerk prior to the discontinuance of service. Such written notice shall be sent by first class mail. If the customer is a tenant and if the owner or landlord of the property has made written request for notice, the written notice sent to the customer shall also be given to the owner or landlord.
- B. Service Discontinued: If payment for all of the services billed by the city on the combined service account is not received within ten (10) days following the date the written notice is sent to the customer and payment arrangements have not been made pursuant to a hearing before the city clerk, the supply of water to the customer may be shut off and collection of solid waste and recyclable material may be discontinued for nonpayment.

#### **106.12 LIEN FOR NONPAYMENT.**

- A. Responsibility For Payment: The owner of the premises served and any lessee or tenant thereof shall be jointly and severally liable for fees for the collection of residential solid waste for the premises. Fees for the collection of residential solid waste, if not paid as provided by this article, shall constitute a lien upon the premises served and may be certified in the same manner as property taxes.
- B. Lien Notice: A lien for delinquent fees for the collection of residential solid waste material shall not be certified to the county treasurer unless prior written notice of intent to certify a lien is given to the customer. If the customer is a tenant and if the owner or landlord of the property has made a written request for notice, the notice shall also be given to the owner or landlord. The notice shall be sent to the appropriate persons by ordinary mail not less than thirty (30) days prior to certification of the lien to the county treasurer.

**106.13 PENALTY.**

Any person violating any provisions of this article shall be subject to a civil penalty as set forth in the schedule of civil penalties in this code. Each day that a municipal infraction occurs and/or is permitted to exist constitutes a separate offense.

**Section 2.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3.** This ordinance shall be in full force and effect after passage, approval and publication as provided by law.

**PASSED AND ADOPTED** by the City Council of Polk City, Iowa on this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Jason Morse, Mayor

ATTEST:

\_\_\_\_\_  
Jenny Gibbons, City Clerk



## City of Polk City, Iowa City Council Agenda Communication

**Date:** May 26, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** Water Rate Ordinance

---

**BACKGROUND:** On Tuesday, the Council will have the second reading of the water rate Ordinance with the new proposed rates which will go into effect for the July utility bills. We discussed this need with PFM at the City's work session on April 27<sup>th</sup>. Below is the current rate structure and the new proposed rate structure:

### CURRENT RATE STRUCTURE

Availability Fee (includes first 1,000 gal.): \$13.71  
Usage charge per 1,000 gallons: \$5.50  
Irrigation per 1,000 gallons: \$7.18

### PROPOSED STRUCTURE

Availability Fee: \$8.80  
Usage Charge per 1,000 gallons: \$5.89  
Irrigation per 1,000 gallons: \$10.05

For the purpose of better simplifying the bills, we are no longer going to include the first 1,000 gallons in the availability fee-therefore the availability fee is being reduced as you can see and all usage will be spelled out separately. This seemed to be a difficult communication piece between staff and the residents because the water availability fee included the first 1,000 gallons, but the sewer availability fee did not. We have worked with PFM to ensure this rate structure matches our cash flows and it does. I recognize this seems confusing and we are giving a lot of new information to people, but these changes do need to happen to make communication easier to our residents. Beginning July 1<sup>st</sup> this is the breakdown you will see on the City Utility bill:

- Water Availability Fee:
- Water Usage:
- Sewer Availability Fee:
- Sewer Usage:
- Recycling:
- Solid Waste:
- Tax:

The overall water rate increases for both the availability fee and usage charge per 1,000 gallons is 7%. Irrigation is increasing by 40%. The City Council requested that a larger increase be passed onto the irrigation customers instead of the lower end users since the irrigation is what drives our peak costs with DMWW.

**ALTERNATIVES:** Do not approve the water rate increases.

**FINANCIAL CONSIDERATIONS:** The City needs to increase water rates so that we are not operating negatively next fiscal year. We are passing on a 7% increase to our users for water, and 40% onto irrigation users. Irrigation users can take a number of steps to reduce irrigation by educating themselves and we are prepared to assist those people as it is a overall benefit to the City to purchase less water.

**RECOMMENDATION:** It is my recommendation that the Council approve the second reading of the water rate Ordinance. This Ordinance will not take effect until July 1<sup>st</sup>.

**ORDINANCE NO. 2020-700**

**AN ORDINANCE AMENDING CHAPTER 92, WATER RATES, SECTION 92.02,  
RATES FOR SERVICE**

---

**BE IT ORDAINED** By the City Council of the City of Polk City, Iowa, that:

**Section 1.** Chapter 92, of the Polk City Code of Ordinances; Water Rates, Section 92.02, Rates for Service is hereby amended by deleting the section and inserting the following: 92.02 Water Service. Service shall be furnished at the following monthly rates and classification within the City:

1. Domestic rate is the water used for human consumption and needs of a particular location.

<u>Gallons Used per Month</u>	<u>Rate</u>
Service Availability Charge	\$8.80 (minimum bill)
Usage Charge	\$5.89 per 1,000 gallons

2. Irrigation/Garden rate is the water used for irrigation/garden purposes and these water uses are billed on a separate meter from the domestic meter.

<u>Gallons Used per Month</u>	<u>Rate</u>
All usage/1000 gallons	\$10.05(minimum bill)

**Section 2.** The new water rates will start with meter reads in the month of June 2020, payable in July 2020.

**Section 3.** All Ordinances or parts of any Ordinance in conflict with the provisions of this Ordinance are hereby repealed to the extent of the conflict.

**Section 4.** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_ day of \_\_\_\_\_ 2020.

\_\_\_\_\_  
Jason Morse, Mayor

ATTEST:

\_\_\_\_\_  
Jenny Gibbons, City Clerk

First Reading:

Second Reading:

Third Reading:

Date Adopted:

Date of Publication by posting:

**ORDINANCE NO. 2020-800**

**AN ORDINANCE AMENDING THE PROVISIONS OF THE ORDINANCE  
REGRDING FIREWORKS USE**

---

**BE IT ORDAINED** by the City Council of the City of Polk City, Iowa, that:

**Section 1.** That section 41.11 FIREWORKS be and is hereby amended to include the underlined language:

4. Owner/Occupancy Responsibility.

A. No person or responsible party shall allow, permit, or otherwise consent to the display of consumer or display fireworks on the private property or an adjacent public way if such possession or display is in violation of this chapter.

B. A person or responsible party with control of the private property shall be presumed to have consented to the display of fireworks on the property or adjacent way if law enforcement or fire officials observe and document the existence of the remnants of unlawful fireworks on the premises indicative of the use or display of such fireworks.

C. a. For purposes of this section, **RESPONSIBLE PARTY** includes, but is not limited to:

- i. The person(s) who owns, rents, leases, or otherwise has possession of the residence or other private property; and
- ii. The person(s) in immediate control of the residence or other private property; and
- iii. The person(s) who organizes, supervises, sponsors, conducts, allows controls, or controls access to the illegal discharge or illegal storage of fireworks.

b. If the residence or other private property is rented or leased, the landlord or lessor is not covered by this section unless they fall within the category of persons described under division (C)(a) or (b) of this definition. A landlord or lessor can only be held responsible under division (C)(a) of this definition if he or she has knowledge that fireworks are being unlawfully discharged or stored on the property.

D. Any person or responsible party who violates the restrictions in division (A) or (B) above will be guilty of a municipal infraction and subject to a civil penalty of \$250 for each offense.

5. PENALTY. All violations of any provision(s) of Section 41.11 are hereby declared simple misdemeanors punishable by a fine of at least \$250 plus surcharge and court costs and/or municipal infractions punishable by a penalty as listed in this Code of Ordinances. Violations may be prosecuted as either a misdemeanor criminal offense or a municipal infraction at the sole discretion of the fire official or peace officer. Violations of this chapter shall be reported to the State Fire Marshal.

**Section 2.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3.** This ordinance shall be in full force and effect after passage, approval and publication as provided by law.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF POLK CITY, IOWA**  
on this \_\_\_\_\_ day of \_\_\_\_\_ 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk

First Reading:

Second Reading:

Third Reading:

Date Adopted:

Date of Publication by posting:





## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** February 5, 2020  
**To:** Mayor & City Council  
**From:** Chief Jeremy Siepker  
**Subject:** City Code 41.11 FIREWORKS

---

**BACKGROUND:** The current City Code 41.11 FIREWORKS outlines definitions of the various types of fireworks (Consumer, First-Class, and Second-Class) and the regulations that were set allowing fireworks to be used. Since this ordinance has taken effect the Police Department continually deals with people within the city limits that will use fireworks outside of the parameters set in Code Section 41.11(2) and (3) causing distress to others in the community. Enforcement of this is very difficult unless the violation is witness by Police or a violator admits to Police that they were in violation.

Adding the proposed section 41.11(4) Owner/Occupancy Responsibility and the proposed 41.11(5) Penalty sections will allow Police to more effectively enforce the Fireworks Ordinance. The proposed changes would place responsibility on those in control of the property where the violation occurs, in addition to the violator, and attach a scheduled fine for the violation to better deter behavior.

**ALTERNATIVES:** Keep the current Fireworks code section as it currently stands.

**FINANCIAL CONSIDERATIONS:** N/A

**RECOMMENDATION:** It is my recommendation that the Council adopt the proposed sections 41.11(4) and 41.11(5) to the current Fireworks City Ordinance.

**ORDINANCE NO. 2020-900**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING 82.82 ACRES LOCATED ALONG NW44TH STREET, POLK CITY, IOWA, KNOWN AS SNETSELAAR & LILLSKAU PROPERTY FROM ZONING CLASSIFICATION OF A-1, AGRICULTURAL TO R-1 SINGLE FAMILY DETACHED RESIDENTIAL**

---

**WHEREAS**, on the 20<sup>th</sup> day of April 2020, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

That part of Lot 3, RED CEDAR PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa; and that part of Outlot X, WHITE PINE PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa; and that part of the South 601.5 feet of the East Half of the Northeast Quarter of Section 07, Township 80 North, Range 24 West of the 5th P.M., Polk County, Iowa, and more particularly described as follows:

Beginning at the southeast corner of Lot 2, of said RED CEDAR PRAIRIE PLAT 1; thence North 00 degrees 13 minutes West, a distance of 533 feet; thence North 89 degrees 39 minutes East, a distance of 748 feet; thence South 00 degrees 14 minutes East, a distance of 313 feet; thence South 09 degrees 02 minutes East, a distance of 205 feet; thence South 27 degrees 12 minutes East, a distance of 63 feet; thence South 08 degrees 39 minutes East, a distance of 155 feet; thence North 78 degrees 13 minutes East, a distance of 77 feet; thence North 89 degrees 46 minutes East, a distance of 191 feet; thence North 74 degrees 46 minutes East, a distance of 186 feet; thence North 04 degrees 01 minute West, a distance of 155 feet; thence northeasterly 40 feet along a curve to the right, not tangent to the last described line, having a radius of 370 feet, a delta angle of 06 degrees 12 minutes and a chord distance of 40 feet which bears North 85 degrees 59 minutes East; thence South 04 degrees 01 minute East, not tangent to the last described curve, a distance of 147 feet; thence North 85 degrees 03 minutes East, a distance of 84 feet; thence North 89 degrees 46 minutes East, a distance of 85 feet; thence South 87 degrees 19 minutes East, a distance of 306 feet; thence South 00 degrees 34 minutes West, a distance of 268 feet; thence South 83 degrees 28 minutes West, a distance of 186 feet; thence South 77 degrees 55 minutes West, a distance of 113 feet; thence South 66 degrees 45 minutes West, a distance of 412 feet; thence North 72 degrees 30 minutes West, a distance of 56 feet; thence South 38 degrees 06 minutes West, a distance of 170 feet; thence southeasterly 275 feet along a curve to the left, not tangent to the last described line, having a radius of 250 feet, a delta angle of 62 degrees 55 minutes and a chord distance of 261 feet which bears South 83 degrees 22 minutes East; thence South 16 degrees 46 minutes East, not tangent to the last described curve, a distance of 134 feet; thence South 00 degrees 34 minutes West, a distance of 493 feet; thence South 89 degrees 26 minutes East, a distance of 520 feet; thence North 00 degrees 34 minutes East, a distance of 48 feet; thence South 89 degrees 26 minutes East, a distance of 258 feet; thence North 00 degrees 34 minutes East, a distance of 425 feet; thence South 89 degrees 26 minutes East, a distance of 186 feet; thence South 82 degrees 50 minutes East, a distance of 280 feet; thence South 89 degrees 50 minutes East, a distance of 763 feet; thence South 00 degrees 10 minutes West, a distance of 819 feet; thence North 89 degrees 14 minutes West, a distance of 1321 feet; thence North 89 degrees 10 minutes West, a distance of 1322 feet; thence North 00 degrees 48 minutes East, a distance of 290 feet; thence North 33 degrees 02 minutes West, a distance of 532 feet; thence North 42 degrees 22 minutes West, a distance of 389 feet; thence North 42 degrees 25 minutes West, a distance of 390 feet; thence North 00 degrees 29 minutes West, a distance of 146 feet; thence North 62 degrees 11 minutes West, a distance of 112 feet; thence North 00 degrees 13 minutes West, a distance of 208 feet; thence North 89 degrees 48 minutes East, a distance of 300 feet, to the Point of Beginning.

Containing 82.82 acres, including 1.32. acres of road right-of-way.

be considered for rezoning 82.22 acres from Agricultural (A-1) to Single Family Detached Residential (R-1); and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning the property described above from Agricultural (A-1) to Single Family Detached Residential (R-1).

**Section 2:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2020.

\_\_\_\_\_  
Jason Morse, Mayor

ATTEST:

\_\_\_\_\_  
Jenny Gibbons, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting

**ORDINANCE NO. 2020-1000**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING 31.86 ACRES LOCATED ALONG NW44TH STREET, POLK CITY, IOWA, KNOWN AS SNETSELAAR & LILLSKAU PROPERTY FROM ZONING CLASSIFICATION OF A-1, AGRICULTURAL TO R-2, ONE AND TWO-FAMILY RESIDENTIAL DISTRICT**

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**WHEREAS**, on the 20<sup>th</sup> day of April 2020, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

That part of Lot 3, RED CEDAR PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa; and that part of Outlot X, WHITE PINE PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa; and that part of the South 601.5 feet of the East Half of the Northeast Quarter of Section 07, Township 80 North, Range 24 West of the 5th P.M., Polk County, Iowa, and more particularly described as follows:

Commencing at the southeast corner of said Lot 3; thence North 00 degrees 34 minutes East, a distance of 842 feet, to the first Point of Beginning; thence North 00 degrees 34 minutes East, a distance of 311 feet; thence northwesterly 87 feet along a curve to the left, not tangent to the last described line, having a radius of 600 feet, a delta angle of 08 degrees 16 minutes and a chord distance of 86 feet which bears North 85 degrees 18 minutes West; thence North 89 degrees 26 minutes West, tangent to the last described curve, a distance of 74 feet; thence North 00 degrees 34 minutes East, a distance of 191 feet; thence South 83 degrees 28 minutes West, a distance of 186 feet; thence South 77 degrees 55 minutes West, a distance of 113 feet; thence South 66 degrees 45 minutes West, a distance of 412 feet; thence North 72 degrees 30 minutes West, a distance of 56 feet; thence South 38 degrees 06 minutes West, a distance of 170 feet; thence southeasterly 275 feet along a curve to the left, not tangent to the last described line, having a radius of 250 feet, a delta angle of 62 degrees 55 minutes and a chord distance of 261 feet which bears South 83 degrees 22 minutes East; thence South 16 degrees 46 minutes East, not tangent to the last described curve, a distance of 134 feet; thence South 00 degrees 34 minutes West, a distance of 493 feet; thence South 89 degrees 26 minutes East, a distance of 520 feet; thence North 00 degrees 34 minutes East, a distance of 48 feet; thence South 89 degrees 26 minutes East, a distance of 258 feet; thence North 00 degrees 34 minutes East, a distance of 425 feet; thence North 89 degrees 26 minutes West, a distance of 88 feet, to the first Point of Beginning.

AND

That part of Lot 3, RED CEDAR PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa, and more particularly described as follows:

Commencing at the southeast corner of said Lot 3; thence North 00 degrees 34 minutes East, a distance of 842 feet; thence North 00 degrees 34 minutes East, a distance of 311 feet; thence northwesterly 87 feet along a curve to the left, not tangent to the last described line, having a radius of 600 feet, a delta angle of 08 degrees 16 minutes and a chord distance of 86 feet which bears North 85 degrees 18 minutes West; thence North 89 degrees 26 minutes West, tangent to the last described curve, a distance of 74 feet; thence North 00 degrees 34 minutes East, a distance of 459 feet, to the second Point of Beginning; thence North 00 degrees 34 minutes East, a distance of 672 feet; thence South 89 degrees 06 minutes West, a distance of 1051 feet; thence South 00 degrees 14 minutes East, a distance of 312 feet; thence South 09 degrees 02 minutes East, a distance of 205 feet; thence South 27 degrees 12 minutes East, a distance of 63 feet; thence South 08 degrees 39 minutes East, a distance of 155 feet; thence North 78 degrees 13 minutes East, a distance of 77 feet; thence North 89 degrees 46 minutes East, a distance of 191 feet; thence North 74 degrees 46 minutes East, a distance of 186 feet; thence North 04 degrees 01 minute West, a distance of 155 feet; thence northeasterly 40 feet along a curve to the right, not tangent to the last described line, having a radius of 370 feet, a delta angle of 06 degrees 12 minutes and a chord distance of 40 feet which bears North 85 degrees 59 minutes East; thence South 04 degrees 01 minute East, not tangent to the last described curve, a distance of 147 feet; thence North 85 degrees 03 minutes East, a distance of

84 feet; thence North 89 degrees 46 minutes East, a distance of 85 feet; thence South 87 degrees 19 minutes East, a distance of 306 feet, to the Point of Beginning.

Containing 31.86 acres, including 1.02 acres of road right-of-way.

be considered for rezoning 31.86 acres from Agricultural (A-1) to One and Two-Family Residential District(R-2); and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning the property described above from Agricultural (A-1) to One and Two-Family Residential District (R-2).

**Section 2:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2020.

\_\_\_\_\_  
Jason Morse, Mayor

ATTEST:

\_\_\_\_\_  
Jenny Gibbons, City Clerk

First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting