

Agenda

Notice of Meeting

Polk City | City Council

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June 22, 2020 | 6:00 pm

City Hall | Council Chambers

**Due to Covid-19 Mayor and Council will meet via ZOOM**

**Public Meeting participation is via phone only**

**Call in local 515-329-8019**

**Toll-Free 833-329-8019**

**Participant Code 593054**

**Public can also provide comments directly to [support@polkcityia.gov](mailto:support@polkcityia.gov)**

**\*any comments received before the time of the meeting will be made a part of the public hearing**

**Broadcast playback will be available at <https://polkcityia.gov/page/LiveStream>**

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Jason Morse | Mayor

David Dvorak | Pro Tem

City Council Members: Jeff Walters | Mandy Vogel | Ron Anderson | Rob Sarchet

**1. Call to Order**

**2. Roll Call**

**3. Approval of Agenda**

**4. Public Comments:** This is the time and place for comments for any item other than those that are a Public Hearing. If you wish to speak, please contact the City Clerk by 5pm on the date of the meeting by email at [jgibbons@polkcityia.gov](mailto:jgibbons@polkcityia.gov) with your name and address for the record including the phone number you will be calling in with. The Mayor will recognize you for five minutes of comment during which time your line will be unmuted.

**5. Public Hearing**

- a. Public hearing Big Creek Technology Campus Plat 3 vacation of a 50' Buffer Easement and 20' Surface Water Flowage Easement
  - i. Public Hearing
  - ii. First reading of Ordinance 2020-1300 on the vacation of a 50' Buffer Easement and a 20' Surface Water Flowage Easement in Big Creek Technology Campus Plat 3

**6. Consent Items**

- a. City Council Meeting Minutes for June 8, 2020
- b. City Council Work Session Meeting Minutes for June 8, 2020
- c. City Council Special Meeting Minutes for June 15, 2020
- d. Receive and file the June 15, 2020 P&Z Commission Meeting Minutes
- e. Claims listing June 22, 2020
- f. Resolution 2020-68 approving the renewal of an agreement with Polk County for the use of the Community Room for the Polk City Senior Congregate Meal Program
- g. Resolution 2020-69 updating and confirming the salaries for the Staff of the City of Polk City Iowa
- h. Resolution 2020-70 setting public hearing for July 13, 2020 at 6pm regarding CDBG Funded project for the Comet Cupboard Food Bank
- i. Approve purchase of new server for Police and Fire Department not to exceed \$25,000

- j. Approve 48-month lease with RUAN for a 2021 Police Patrol Vehicle in the amount of \$62,415.25 payable annually at \$15,530.16, which was budgeted for FY21
- k. Resolution 2020-71 approving Year-end transfers between funds
- l. Receive and file the May 2020 Police Department Report
- m. Receive and file the May 2020 Fire Department Report
- n. Neighborhood Citizen Group (NCG) reappointments:
  - Suzie Sosby, Andy Cathcart, Tome Hogan, Peg Hogan term ending 12/31/2020
  - Nick Otis, Jared Foss, Ashley Dillinger, Charlotte Loter, term ending 12/31/2021
- o. Appointment of Lori Vanderleest as District 7 (Hugg Drive) representative of NCG ending 12/31/2021

## 7. Business Items

- a. Appointment of a person as the District 3 (Town Square/Deer Haven) representative of NCG term ending 12/31/2020
- b. Kwik Star
  - i. Resolution 2020-74 approving the Preliminary Plat for Kwik Trip # 1089
  - ii. Resolution 2020-75 approving the Final Plat for Kwik Trip #1089
  - iii. Resolution 2020-76 approving the Construction Drawings for Kwik Trip #1089
  - iv. Resolution 2020-77 approving the Site Plan for Kwik Star
- c. Resolution 2020-73 approving the final plat Deer Haven Plat 3
- d. Resolution 2020-72 awarding General Obligation Street Improvement Bonds, Series 2020
- e. Approve Snyder & Associates April 2020 Services Invoice in the amount of \$39,395.75
- f. Second Reading of Ordinance 2020-1100 rezoning 14.60 acres to R2A
- g. Second Reading of Ordinance 2020-1200 rezoning 34.16 acres to C2
- h. Discuss timing of opening City Facilities and resuming in-person meetings

## 8. Reports & Particulars

Mayor, Council, City Manager, Staff, Boards, and/or Commissions

- 9. **Closed Session** under Code of Iowa; Chapter 21 Official Meetings open to Public; **section 5 Closed Session**; sub paragraph 1.j To discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property. The minutes and the audio recording of a session closed under this paragraph shall be available for public examination when the transaction discussed is completed

- 10. *(Optional)* Take action on closed session item

## 11. Adjournment

*--next meeting date July 13, 2020*



**ORDINANCE NO. 2020-1300**

**AN ORDINANCE VACATING CERTAIN EASEMENTS IN BIG CREEK TECHNOLOGY CAMPUS PLAT 3**

**WHEREAS**, on the 22nd day of June 2020, pursuant to published notice as required by law, the City Council has held a public hearing on a proposal to vacate a 50' Buffer Easement and 20' Surface Water Flowage Easement within property legally described as follows:

***50.00' BUFFER EASEMENT VACATION***

*A 50.00 FEET WIDE BUFFER EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 AND ALSO DESCRIBED IN THE BUFFER EASEMENT RECORDED IN BOOK 16665, PAGE 49 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
THE SOUTH 50.00 FEET OF SAID LOT 1.*

***20.00' SURFACE WATER FLOWAGE EASEMENT VACATION***

*A 20.00 FEET WIDE SURFACE WATER FLOWAGE EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 ALSO DESCRIBED IN THE SURFACE WATER FLOWAGE EASEMENT RECORDED IN BOOK 16665, PAGE 44 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
THE SOUTH 20.00 FEET OF SAID LOT 1.*

**WHEREAS**, the City Council of the City of Polk City, Iowa, has determined that it is in the best interest of the City to vacate said easements; and

**WHEREAS**, the City Engineer has reviewed and approved said vacations provided final passage of this Ordinance occurs after City Council approves the final plat for Big Creek Technology Campus Plat 4; and

**WHEREAS**, the Code of Iowa provides that an easement may be vacated only after notice and hearing as provided by law.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Polk City, Iowa, as follows:

**Section 1.** The City of Polk City, Iowa, hereby vacates the following described Buffer Easement and Surface Water Flowage Easement:

***50.00' BUFFER EASEMENT VACATION***

*A 50.00 FEET WIDE BUFFER EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 AND ALSO DESCRIBED IN THE BUFFER EASEMENT RECORDED IN BOOK 16665, PAGE 49 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
THE SOUTH 50.00 FEET OF SAID LOT 1.*

***20.00' SURFACE WATER FLOWAGE EASEMENT VACATION***

*A 20.00 FEET WIDE SURFACE WATER FLOWAGE EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 ALSO DESCRIBED IN THE SURFACE WATER*

*FLOWAGE EASEMENT RECORDED IN BOOK 16665, PAGE 44 AT THE POLK COUNTY  
RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
THE SOUTH 20.00 FEET OF SAID LOT 1.*

**Section 2.** All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

**Section 3.** This Ordinance shall be in effect upon its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_ day of \_\_\_\_\_ 2020.

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Jason Morse, Mayor

ATTEST:

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Jenny Gibbons, City Clerk

## EASEMENT VACATION LEGAL DESCRIPTIONS

### 50.00' BUFFER EASEMENT VACATION

A 50.00 FEET WIDE BUFFER EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 AND ALSO DESCRIBED IN THE BUFFER EASEMENT RECORDED IN BOOK 16665, PAGE 49 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 50.00 FEET OF SAID LOT 1.

### 20.00' SURFACE WATER FLOWAGE EASEMENT VACATION

A 20.00 FEET WIDE SURFACE WATER FLOWAGE EASEMENT IN LOT 1 OF BIG CREEK TECHNOLOGY CAMPUS PLAT 3, AN OFFICIAL PLAT RECORDED AT THE POLK COUNTY RECORDER'S OFFICE IN BOOK 16665, PAGE 17 ALSO DESCRIBED IN THE SURFACE WATER FLOWAGE EASEMENT RECORDED IN BOOK 16665, PAGE 44 AT THE POLK COUNTY RECORDER'S OFFICE THAT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 20.00 FEET OF SAID LOT 1.

**MEETING MINUTES**  
**The City of Polk City**  
**City Council Meeting**  
**6:00 p.m., June 8, 2020**  
**City Hall – VIA ZOOM**

Polk City, City Council held a meeting via ZOOM at 6:00 p.m., on June 8, 2020. The Agenda was posted at the City Hall office as required by law. **These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Mayor Morse called the meeting to order at 6:00 p.m.
2. **Roll Call** | Walters, Vogel, Dvorak, Anderson, Sarchet | In attendance via zoom
3. **Public Comments** | None
4. **Approval of Agenda**  
**MOTION:** A motion was made by Anderson and seconded by Vogel to approve the meeting agenda  
**MOTION CARRIED UNANIMOUSLY**
5. **Consent Items**  
**MOTION:** A motion was made by Dvorak and seconded by Walters to approve the consent agenda items
  - a. City Council Meeting Minutes for May 26, 2020
  - b. Receive and file the May 21, 2020 NCG Meeting Minutes
  - c. Receive and file the June 1, 2020 Parks Commission Meeting Minutes
  - d. Claims listing June 8, 2020
  - e. Resolution 2020-63 Approving PA-32 Spending Policy
  - f. Twelve-month Class E Liquor License with Class B Native Wine Permit, Class C Beer Permit and Sunday Sales Privileges for Casey's General Store #1144 located at 1100 S 3<sup>rd</sup> Street effective August 9, 2020
  - g. Resolution 2020-64 resetting public hearing Big Creek Technology Campus Plat 3 vacation of a 50' Buffer Easement and 20' Surface Water Flowage Easement
  - h. Resolution 2020-65 setting the date for the sale of General Obligation Street Improvements Bonds, Series 2020 and authorizing the use of a preliminary official statement in connection therewith
  - i. Receive and file the May 2020 Library Director Report
  - j. Receive and file the May 4, 2020 Library Board Meeting Minutes
  - k. Receive and file the May 18, 2020 Special Board Meeting Minutes
  - l. Receive and file the May 2020 Library Stats Report
  - m. Resolution 2020-66 approving 28E Agreement with the Members of the Polk County Emergency Management Commission for funding of Emergency Management Administration
  - n. Receive and file the Parks & Recreation Department Updates dated June 8, 2020
  - o. Receive and file the May 2020 Water Department Report**MOTION CARRIED UNANIMOUSLY**
6. **Business Items**
  - a. Snetselaar & Lillskau Petitions to Rezone
    - i. **MOTION:** A motion was made by Walters and seconded by Vogel to approve the third and final reading of Ordinance 2020-900 rezoning 82.82 acres to R1  
**MOTION CARRIED UNANIMOUSLY**
    - ii. **MOTION:** A motion was made by Vogel and seconded by Sarchet to approve the third and final reading of Ordinance 2020-1000 rezoning 31.86 acres to R2  
**MOTION CARRIED UNANIMOUSLY**
    - iii. Andy Snetselar thanked Mayor and Council for reconsideration of the R2A and C2 rezoning petitions  
**MOTION:** A motion was made by Vogel and seconded by Walters to approve the first reading of Ordinance 2020-1100 rezoning 14.60 acres to R2A  
**MOTION CARRIED UNANIMOUSLY**
    - iv. **MOTION:** A motion was made by Walters and seconded by Vogel to approve the first reading of Ordinance 2020-1200 rezoning 34.16 to C2 contingent on a 50-foot-wide buffer easement adjacent to Lots 1 and 2 of White Pine Prairie Plat 1  
**MOTION CARRIED UNANIMOUSLY**

- b. **MOTION:** A motion was made by Vogel and seconded by Walters to approve the third and final reading of Ordinance 2020-500 amending Chapter 106 concerning collection of solid waste  
**YES: Walters, Vogel, Anderson, Sarchet**  
**NO: Dvorak**  
**MOTION CARRIED**
- c. **MOTION:** A motion was made by Dvorak and seconded by Sarchet to approve the third and final reading of Ordinance 2020-700 amending water rates  
**MOTION CARRIED UNANIMOUSLY**
- d. **MOTION:** A motion was made by Walters and seconded by Sarchet to approve the third and final reading of Ordinance 2020-800 amending the provisions regarding Fireworks  
**MOTION CARRIED UNANIMOUSLY**

**7. Reports & Particulars | Mayor, Council, City Manager, Staff, Boards, and/or Commissions**

- Council Member Vogel said she is glad the various items are moving forward even though the timing with COVID has not been ideal to work through these topics.
- Council Member Anderson said the calls he is receiving regarding garbage collection have been mostly from people wanting more information and happy to hear the City has found a way to save residents money. Anderson said he attended the Community Visioning Meeting and was happy to hear how their priorities seemed to parallel Council's.
- Council Member Walters said he attended a good Community Visioning meeting and after the work that has been done it will be fun to see what the design team unveils at a future meeting. Walters encouraged everyone to attend the Kiwanis Pancake to-go breakfast on June 20<sup>th</sup> at the Lakeside church. He said he continues to work with the Army Corp Real Estate Office and is encouraged by Senator Ernst office pressure to keep things moving forward.
- Council Member Sarchet appreciates all the work Walter's has done to create a positive and evolving relationship with the Corp. He offered Kudos to the library for thriving in a non-traditional environment. He thanked Staff for the work with all the utility changes including public education and marketing. Sarchet reported on the Parks Meeting and said he felt the Commission had good discussion with Jason Thraen, Parks & Rec Director and said he thought it was productive despite not meeting in person. He said he is thankful the Sports Complex is open although it took extra time and hopes that the Parks & Rec Director will be able to have a direct effect on future changes.
- Council Member Dvorak thanked everyone for their understanding and compassion regarding his absence from the last meeting to be with his Dad, who he reported is now healing at home with home health care. He thanked everyone for their kind wishes and said it meant a lot to both him and his dad.
- City Manager Huisman thanked Council for their work on the CIP despite the obstacles of not meeting in person and said she thinks we have landed in a good place.
- Public Works Director Schulte reported the street overlay project is moving fast and appreciates the contractor's progress. He said after the overlay phase is complete in town, the contractor will come back with the dirt fill on the edges and then Public Works will follow with hydroseeding. Schulte advised that Hugg Drive will be closed to one lane in the next few days due to water main work by the Creekview Development, but flaggers and signage would be on site.
- Parks & Rec Director Thraen discussed the playgrounds opening and the weekly sanitation efforts that have been implemented. He reported that there were some organizations that might have been upset about the delay in opening the Sports Complex but he said he felt good about the timing as he was following guidance from the CDC. Thraen thanked Fire Chief Mitchell for the use of equipment and helping with the first sanitation efforts of the playground equipment. He thanked Police Chief Siepker for the use of the UTV on the second and future sanitizing. Thraen indicated he is working to get to know the various user groups of the Sports Complex and although he anticipates some growing pains, he is happy where things are at and is hopeful as things move forward.
- Mayor Morse reported on the continued need of the Comet Cupboard. He said the Creamery raised \$320 selling poppies for the Legion fundraiser and thanked all that supported that cause. Mayor said Parks & Rec Director Thraen has his full support as things reopen and appreciates his leadership and guidance. Mayor passed on two compliments he received regarding the street overlay project that said the crews were doing a great job and the streets are looking good. Mayor thanked Police Chief Siepker for his help the last few weeks monitoring the situations during this crazy time and asked Chief to thank the entire Police Staff for stepping up to keep Polk City safe.

**8. Adjournment**

- MOTION:** A motion was made by Anderson and seconded by Dvorak to adjourn at 6:35 p.m.  
**MOTION CARRIED UNANIMOUSLY**

Next Meeting Date – June 22, 2020

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Jason Morse, Mayor

Attest

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Jenny Gibbons, City Clerk

**MEETING MINUTES**  
**The City of Polk City**  
**Work Session**  
**5:000 p.m., Monday, June 8, 2020**  
**City Hall Council Chambers – VIA ZOOM**

A Council Work Session was held on June 8, 2020 at 5:00 p.m. via Zoom.

<p><b><u>Mayor and City Council Members Present:</u></b> Jason Morse   Mayor Dave Dvorak   Pro Tem Jeff Walters   City Council Member Mandy Vogel   City Council Member Ron Anderson   City Council Member Robert Sarchet   City Council Member</p>	<p><b><u>Staff Members Present:</u></b> Chelsea Huisman   City Manager Jenny Gibbons   City Clerk Mike Schulte   Public Works Director Jeremy Siepker   Police Chief Jim Mitchell   Fire Chief Jamie Noack   Library Director Jason Thraen   Parks &amp; Rec Director Kathleen Connor   City Engineering Representative</p>
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**Minutes**

City Manager, Chelsea Huisman reviewed the rankings Mayor and Council provided on the project list in Polk City’s 5-year Capital Improvement Plan (CIP). Council discussed certain projects they wanted to see ranked differently.

After Council discussion and questions with staff regarding certain projects, it was determined a follow up work session would be needed to discuss the ranking changes and begin the next steps in formalizing the CIP. Follow up work session will be held July 13, 2020.

**Adjournment** – Meeting adjourned at 5:59 p.m.

\_\_\_\_\_

Jason Morse, Mayor

\_\_\_\_\_

Jenny Gibbons, City Clerk

**MEETING MINUTES**  
**The City of Polk City**  
**Work Session**  
**5:00 p.m., Monday, June 15, 2020**  
**VIA ZOOM**

Polk City, City Council held a special meeting at 5:00 p.m., on June 15, 2020. The Agenda was posted at the City Hall office as required by law. Before the meeting, staff provided agenda packets to the City Council and posted the agenda at the City Hall office.

**These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Mayor Jason Morse called the meeting to order at 5:03 p.m.
2. **Roll Call** | Walters, Vogel, Dvorak, Anderson, Sarchet | In attendance
3. **MOTION:** A motion was made by Walters and seconded by Sarchet to approve Resolution 2020-67 amending a Cooperative Public Service Agreement with Polk County for the 2020 Polk City Street Improvements Project to include E. Broadway  
**MOTION CARRIED UNANIMOUSLY**
4. **Adjournment**  
**MOTION:** A motion was made by Sarchet and seconded by Dvorak to adjourn 5:16 p.m.  
**MOTION CARRIED UNANIMOUSLY**

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Jason Morse, Mayor

**Attest**

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Jenny Gibbons, City Clerk

**MEETING MINUTES**  
**The City of Polk City**  
**Planning and Zoning Commission**  
**6:00 p.m., Monday, June 15, 2020**

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on June 15, 2020 via ZOOM. The Agenda was posted at the City Hall office as required by law. **These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Chair Dietz called the meeting to order at 6:00 p.m.
2. **Roll Call** | Hankins, Triplett, Dietz, Ohlfest, Vogel, Sires | In attendance via ZOOM  
Bowersox | Absent
3. **Approval of Agenda**  
**MOTION:** A motion was made by Ohlfest and seconded by Vogel to approve the agenda.  
**MOTION CARRIED UNANIMOUSLY**
4. **Audience** | None
5. **Approval of Meeting Minutes**  
**MOTION:** A motion was made by Triplett and seconded by Vogel to approve the May 18, 2020 meeting minutes.  
**MOTION CARRIED UNANIMOUSLY**
6. **Deer Haven Plat 3 Final Plat**, Jim Campney on behalf of Deer Haven Development presented the Final Plat. Kathleen Connor, City Engineering Representative confirmed the developer had addressed all engineering comments and this Final Plat had been discussed a couple of years ago but construction was just completed and a walk through was scheduled for this week.  
**MOTION:** A motion was made by Hankins and seconded by Sires to recommend Council approval of the Deer Haven Plat 3 Final Plat subject to the Engineering comments dated June 8, 2020 being satisfactorily addressed  
**MOTION CARRIED UNANIMOUSLY**
7. **Kwik Star**, Wade Dumond representing Kwik Trip reported details on the Preliminary and Final Plat and discussed the Site Plan. Kathleen Connor, City Engineering Representative discussed the upgraded black powder coated steel fence that would be added to the City Lift Station Easement area, and the public improvements of a storm sewer on Bridge Road and the reconfiguration of Edgewater Drive to ease the curve into the neighborhood. Commission discussed the design, landscaping, signage, traffic signal and traffic patterns and future connection to the Neal Smith Trail. Commission also discussed the hours of the car wash regarding the City's Noise Ordinance, the 30 ft buffer wrapping around to the north including a 6 foot vinyl fence and confirmed the signage on the building would not be lit
  - a. **MOTION:** A motion was made by Sires and seconded by Hankins to recommend Council approval of the Preliminary Plat for Kwik Trip #108 subject to all engineering comments being satisfactorily addressed  
**MOTION CARRIED UNANIMOUSLY**
  - b. **MOTION:** A motion was made by Sires and seconded by Hankins to recommend Council approval of the Final Plat for Kwik Trip #108 subject to all engineering comments being satisfactorily addressed  
**MOTION CARRIED UNANIMOUSLY**



- c. **MOTION:** A motion was made by Sires and seconded by Ohlfest to recommend Council approval of the Site Plan for Kwik Star subject to all engineering comments being satisfactorily addressed

**MOTION CARRIED UNANIMOUSLY**

**10. Reports & Particulars**

- Council Member Anderson reported that Council had a Special Meeting to add asphalt overlay to E Broadway that would widen the road and still come in under budget for the overall project. He mentioned he had received lots of comments that the areas look nice.
- Commission Member Hankins said the Community Visioning Committee continues to get feedback regarding signage of trails and connectivity to the high trestle trail. He applauded the Commission for the efforts with new development to prevent sidewalk gaps and dead ends. Council Member Anderson interjected he was pleasantly surprised with how closely the CVC groups priorities mirrored that of the Council's CIP regarding beautification efforts of the town and he said it was important to hear those priorities from another source.

**11. Adjournment**

**MOTION:** A motion was made by Triplett and seconded by Hankins to adjourn at 6:37 p.m.

**MOTION CARRIED UNANIMOUSLY**

*Next Meeting Date – Monday, July 20, 2020*

Attest:

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Jenny Gibbons - City Clerk

CLAIMS REPORT

CITY OF POLK CITY		DATED	6/22/2020
VENDOR	REFERENCE	AMOUNT	
440-PRAXAIR DISTR. INC.	OXYGEN	\$	421.10
ACCUJET LLC	JETVAC ON TYLER STREET	\$	846.43
ALLEGRA MARKETING	EDDM FLYER - TRASH SERVICE	\$	688.74
Amazon	LIBRARY BOOKS	\$	1,097.66
AMAZON BUSINESS	REPLACEMENT BASES/EQUIPMENT	\$	2,097.59
AMERICAN HOME SERVICES	A/C CHECK	\$	150.00
ANKENY HARDWARE	SPORTS COMPLEX KEYS	\$	24.90
ANKENY SANITATION	TRASH SERVICE	\$	514.18
AUREON TECHNOLOGY	MANAGED SERVICE - SAFEGUARD	\$	2,776.75
Automatic Systems Co	PANEL REPAIRS	\$	2,671.74
BAKER & TAYLOR	BOOKS	\$	33.56
BRAVO GREATER DES MOINES	HOTEL/MOTEL TAX 1/20-3/20 28E	\$	9,363.62
BUSINESS PUBLICATIONS CORP	PUBLICATIONS	\$	235.17
CATCH DES MOINES	JAN-MAR 2020 HOTEL/MOTEL TAX	\$	9,363.62
CENTURY LINK	PHONE SERVICE	\$	847.14
CITY OF POLK CITY	UB ASSISTANCE -COVID 19	\$	199.52
CLEANING CONNECTION INC	JANITORIAL SERVICES	\$	348.92
Controlled Access of the Midwe	CITY HALL REMODEL - INTERIOR	\$	1,990.65
Custom Awards & Embroidery Inc	AWARDS - 4 DIFFERENT	\$	232.00
D & K PRODUCTS	HYDRO MULCH	\$	1,993.50
Delta Dental	COBRA DENTAL	\$	106.64
DES MOINES AREA COMM.COLLEGE	CONTINUING ED HOURS	\$	15.00
FBI-LEEDA	EXECUTIVE LEADERSHIP TRAINING	\$	695.00
GALL'S INC.	SHIELDS, HELMETS, BATONS	\$	3,142.53
GRAINGER INC.	BACK FLOW REPAIR	\$	21.25
GRANGER MOTORS	#21 AC REPAIR	\$	913.65
Gurnsey Electric Co	WELL #4 REPAIRS	\$	375.00
HAWKINS INC	CHLORINE	\$	615.00
INTERSTATE ALL BATTERY CENTER	BATTERIES	\$	38.56
IOWA DEPT OF TRANSPORTATION	SIGN POST ANCHORS	\$	242.75
IOWA LEAGUE OF CITIES	MEMBERSHIP DUES FY20-21	\$	1,988.00
KIMBALL MIDWEST	RC STOCK SUPPLIES	\$	568.51
MEDIACOM	INTERNET SERVICE	\$	144.40
MIDAMERICAN ENERGY	ELECTRIC CHARGES	\$	10,682.45
MIDLAND POWER CO-OP	STREET LIGHTING	\$	447.50
MIDWEST OFFICE TECHNOLOGY	COPIER RENTAL	\$	87.30
MMIT BUSINESS SOLUTIONS GROUP	COPIER	\$	386.71
NELSON AUTOMOTIVE	REPAIR PARTS	\$	85.43
P & M APPAREL	UNIFORM SWEATSHIRTS	\$	1,027.80
Polk County Recorder	AGREEMENT - EASEMENT TRANSFER	\$	96.00
PORTABLE PRO, INC.	PORTABLE SERVICE	\$	300.00
RANGEMASTERS TRAINING CENTER	UNIFORMS	\$	1,207.23
REGISTER MEDIA	PUBLICATIONS	\$	667.85

Sprayer Specialities Inc	PARTS FOR WATER TANK	\$ 509.76
Strauss Security Solutions	LOCKSMITH - SET LOCK	\$ 189.00
TOTAL QUALITY INC.	LAWNCARE	\$ 549.00
UNITY POINT CLINIC-OCCUPATIONA	DOT RANDOM TESTS	\$ 42.00
WRIGHT EXPRESS FLEET SERVICES	FUEL	\$ 2,537.54
Accounts Payable Total		\$ 63,578.65
GENERAL		\$ 49,091.60
ROAD USE		\$ 4,614.11
L.M.I		\$ 199.52
CAPITAL IMPROVEMENTS		
WATER		\$ 6,481.62
SEWER		\$ 3,191.80
TOTAL FUNDS		\$ 63,578.65





**RESOLUTION NO. 2020-68**

**A RESOLUTION APPROVING THE RENEWAL OF AN AGREEMENT  
BETWEEN THE CITY OF POLK CITY AND POLK COUNTY FOR THE  
USE OF THE COMMUNITY ROOM FOR THE POLK CITY SENIOR  
CONGREGATE MEAL PROGRAM**

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**WHEREAS**, the City of Polk City, Iowa has had an agreement with Polk County since 1992 for use of the Community Room; and

**WHEREAS**, said agreement provides use for space in the Community Room for operation of the County's Senior Nutrition Program; and

**WHEREAS**, the current agreement terminates on June 30, 2020; and

**WHEREAS**, the City Council believes it to be in the best interest of the City to renew said agreement for 1 year setting out the understanding between the City of Polk City, Iowa and Polk County; and

**WHEREAS**, the new agreement is in the form attached as Exhibit "A".

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby approves the agreement for use of the Community Room in the form attached hereto as Exhibit "A".

**PASSED AND APPROVED** the 22 day of June 2020.

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Jason Morse, Mayor

ATTEST:

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Jenny Gibbons, City Clerk

**FIRST ADDENDUM TO LEASE AGREEMENT**

**BY and BETWEEN POLK CITY, IOWA  
and THE COUNTY OF POLK, IOWA**

**COMMUNITY SAFETY BUILDING  
COMMUNITY ROOM**

This Lease Agreement (["AGREEMENT"]) is entered into this \_\_\_\_ day of \_\_\_\_\_, 2020, by and between CITY OF POLK, IOWA (["CITY" or "PARTY"]) and COUNTY OF POLK, IOWA, a governmental subdivision organized under the laws of the State of Iowa (["COUNTY" or "PARTY"]) (collectively ["PARTIES"]).

**WHEREAS**, the CITY and COUNTY originally entered into this Lease Agreement on July 8, 2019 and

**WHEREAS**, the original TERM of the Lease was for one (1) year, expiring on June 30, 2020 and

**NOW, THEREFORE**, in consideration of all the promises, mutual agreements good and valuable consideration documented in the original Lease Agreement, the CITY and COUNTY agree as follows:

**1. TERM**

This First Addendum shall extend the TERM of the original Lease Agreement for a renewal period of one (1) year. This First Addendum shall extend the TERM of the original Lease Agreement and shall commence on July 1, 2020, continue in effect and shall expire on June 30, 2021.

**IN WITNESS WHEREOF**, the PARTI□S to this AGR□□M□NT have hereunto set their hands on this day and year as first above written.

COUNTY OF POLK, IOWA

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Matt McCoy  
Chairperson,  
Polk County Board of Supervisors

ATT□ST□

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Jamie Fitzgerald, Auditor  
County of Polk, Iowa

APPROV□D AS TO FORM□

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Ralph □. Marasco, Jr.  
Assistant County Attorney

STAT□ OF IOWA    )  
                                  ) ss□  
COUNTY OF POLK)

On this □□□□□ day of □□□□□□□□□□□□□□□□□□□□, 2020, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Tom Hockensmith and Jamie Fitzgerald, to me personally known, who being by me duly sworn, did say that they are the Chairman of the Polk County Board of Supervisors and Auditor of the County of Polk, Iowa, that the seal affixed to the foregoing instrument is the seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by authority of its Board of Supervisors, as contained in the Resolution adopted by the Board of Supervisors□and that Tom Hockensmith and Jamie Fitzgerald acknowledged the execution of the instrument to be the voluntary act and deed of the corporation, by it and by them voluntarily executed.

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Notary Public in the State of Iowa



CITY OF POLK, IOWA

\_\_\_\_\_  
Mayor, City of Polk City

ATTORNEY

\_\_\_\_\_  
City Clerk, Polk City, Iowa

APPROVED AS TO FORM

\_\_\_\_\_  
Assistant City Attorney

STATE OF IOWA     )  
  ) ss  
COUNTY OF POLK)

On this \_\_\_\_\_ day of \_\_\_\_\_ 2020, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared \_\_\_\_\_ and \_\_\_\_\_, to me personally known, who being by me duly sworn, did say that they are the Mayor and City Clerk, respectively of the CITY OF POLK, IOWA that the seal affixed to the foregoing instrument is the corporate seal of the corporation, and that the instrument was signed and sealed on behalf of the corporation, by authority of its City Council, as contained in the Resolution adopted by the City Council, under Roll Call No. \_\_\_\_\_ and that the Mayor acknowledged the execution of the instrument to be the voluntary act and deed of the corporation by it voluntarily executed.

\_\_\_\_\_  
Notary Public in the State of Iowa



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** June 22, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** Staff wage increases

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**BACKGROUND:** On Monday, the City Council will review a resolution pertaining to wage increases for the employees. Employees are scheduled to receive a 3% increase for July 1<sup>st</sup>.

**ALTERNATIVES:** Do not approve the resolution

**FINANCIAL CONSIDERATIONS:** This is a FY21 budgeted expense. When preparing the FY21 budget, we did include a 4% increase for the staff, however, I am recommending a 3% to be more in line with other metro communities.

**RECOMMENDATION:** It is my recommendation that the Council approve the wage resolution for FY20-21.

**RESOLUTION NO. 2020-69**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF POLK CITY IOWA:**

The following persons and positions named shall be paid the salary or wages indicated and the City Clerk is authorized to issue warrants/checks/electronic payments, less legally required or authorized deductions from the amounts set out below, and make such contribution to I.P.E.R.S. and Social Security or other purposes as required by law or authorization of the Council, all subject to audit and review by the Council.

**A RESOLUTION UPDATING AND CONFIRMING THE SALARIES FOR THE STAFF OF THE CITY OF POLK CITY**

<b><u>Non-union Full time employees</u></b>	<b><u>Position</u></b>	<b><u>Hourly Rate</u></b>	<b><u>Salary</u></b>
Aswegan, Matt	Police Lieutenant		\$80,000.00
Franzen, Randall	Public Works Supervisor		\$82,400.00
Gibbons, Jenny	City Clerk	\$30.80	\$64,064.00
Godfrey, Dennis	Public Works	\$25.52	\$53,081.60
Mitchell, Jim	Fire Chief		\$85,696.00
Moeckly, Cody	Public Works	\$24.72	\$51,417.60
Noack, Jamie	Library Director		\$58,406.00
Reece, Thomas	Public Works	\$20.96	\$43,596.80
Schulte, Mike	Public Works Director		\$92,700.00
Scott, Dani	Public Works	\$22.78	\$47,382.40
Siepkner, Jeremy	Police Chief		\$92,700.00
Thornburg, Carol	Accounting Specialist	\$23.22	\$48,297.60
Thraen, Jason	Parks & Recreation Director	\$29.72	\$61,817.60
Ulbrich, Melissa	Youth Services Librarian	\$18.98	\$39,478.00
Witt, Pam	Adult Services Librarian	\$22.61	\$47,028.00

<b><u>Part time employees</u></b>	<b><u>Position</u></b>	<b><u>Hourly Rate</u></b>	<b><u>POC Rate</u></b>
Baccam, Trinity	Library Clerk	\$9.27	
Bernard, Mike	Senior Firefighter/Medic Engineer	\$19.88	\$16.37
Boots, Shawn	Firefighter/EMT	\$15.57	\$14.26
Bristle, Chrissy	Recruit	\$12.66	\$11.62
Bristle, Ryan	Firefighter/EMT	\$14.21	\$13.73
Budden, Ross	Senior Medic/Firefighter	\$19.88	\$16.37
Burgod, Nathan	Firefighter/EMT	\$14.21	\$13.73
Caskey, Parker	Firefighter/Paramedic	\$18.13	\$15.84
Clefish, Cindy	Library Clerk	\$9.27	
Dunham, Zach	Firefighter/Paramedic	\$18.13	\$15.84
Feller, Jeff	Deputy Chief	\$16.05	\$14.78
Fitch, Matthew	Firefighter/EMT	\$15.11	\$13.73
Frank, Ross	Senior Firefighter/EMT	\$16.05	\$14.78
Friedrickson, Rusty	Firefighter/EMT	\$14.21	\$13.73
Furness, Nick	Public Works	\$15.00	
Gathercole, James	Firefighter/Paramedic	\$19.30	\$15.84
Gubbins, Dan	Assistant Fire Chief	\$20.46	\$17.42
Guerdet, Matt	Captain	\$16.05	\$14.78
Hall, Linda	Library Clerk	\$13.35	

Hanson, Brian	Lieutenant	\$16.05	\$14.78
Hibbing, Brice	Senior Firefighter/EMT Engineer	\$15.57	\$14.26
Hogrefe, Karla	Firefighter/Paramedic	\$18.70	\$15.84
Jacobson, Jane	Police Administrative Assistant	\$18.76	
Klatt, Nick	Senior Firefighter/EMT	\$15.57	\$14.26
Mason, Nathan	Firefighter/Paramedic	\$18.70	\$15.84
Meiners, Matt	Firefighter/EMT	\$14.21	\$13.73
Mitchell, John	Firefighter/Paramedic	\$18.70	\$16.37
Mitchell, Joseph	Firefighter/Paramedic	\$18.70	\$15.84
Moore, Ryan	Firefighter/EMT	\$16.05	\$14.78
Noack, Steve	Senior Firefighter/EMT Engineer	\$15.57	\$14.26
Reis, Nathan	Firefighter/EMT	\$14.64	\$13.73
Reising, Nathan	Firefighter/EMT	\$14.21	\$13.73
Richards, Kaitlyn	Library Clerk	\$9.27	
Rommel, Tyler	Captain	\$16.05	\$14.78
Shannon, Jobe	Firefighter/Paramedic	\$18.70	\$15.84
Sherzan, Jenna	Firefighter/Paramedic	\$18.70	\$16.37
Slagle, Landon	Firefighter/Paramedic	\$18.13	\$15.84
Sosby, Craig	Firefighter/Senior Paramedic	\$19.88	\$16.37
VanZee, Dottie	Paramedic	\$18.13	\$16.37
Wilkinson, Deb	Senior EMT	\$15.57	\$14.26
Winter, Steve	Firefighter/EMT	\$14.21	\$13.73

**BY ORDER OF THE CITY COUNCIL**, the new salaries as set above will go into effect July 01, 2020.  
**PASSED AND APPROVED** this 22<sup>nd</sup> day of June 2020.

\_\_\_\_\_  
Jason Morse, Mayor

ATTEST:

\_\_\_\_\_  
Jenny Gibbons, City Clerk



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** June 22, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager

**Subject:** Setting the public hearing related to CDBG award for local foodbank

---

**BACKGROUND:** On Monday evening, the Council will need to set a public hearing for Monday, July 13, 2020. The City has been awarded funding in the amount of \$30,988 to assist funding the local foodbank, the Comet Cupboard until September 30, 2020. We submitted an application in May, and just received notification of the award. There is no local match requirement for this funding.

The public hearing that takes place on July 13, 2020 will need to address the following items (which I will put together some information for):

- a. Need for the CDBG Project
- b. Description of the CDBG Project and activities
- c. The amount of CDBG Funds received for the project
- d. Estimated amount of CDBG assistance that will benefit low to moderate income
- e. The location of project activities
- f. Any relocation that has taken place due to COVID-19
- g. City contact information for residents to contact with concerns or complaints re: project
- h. Community Development and Housing Needs of lmi persons in the City and any planned or potential activities to address these needs
- i. Other Community Development and housing needs and any planned or potential activities to address these needs

**ALTERNATIVES:** Do not set the public hearing

**FINANCIAL CONSIDERATIONS:** There are no financial considerations currently as the Council is just setting the public hearing for a future Council meeting.

**RECOMMENDATION:** It is my recommendation that the Council set the public hearing for the regularly scheduled Council meeting on Monday, July 13, 2020.

**RESOLUTION NO. 2020-70**

**RESOLUTION SETTING A PUBLIC HEARING ON A COMMUNITY DEVELOPMENT  
BLOCK GRANT (CDBG) AWARD FOR THE CITY OF POLK CITY**

**WHEREAS**, the City of Polk City has received a CDBG award in the amount of \$30,988 to assist the local food bank, the Comet Cupboard; and

**WHEREAS**, the City Council is required to hold a Public Hearing related to the award and to allow persons for or against the project to propose concerns or questions.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Polk City, Iowa, that a public hearing will be set for the regularly scheduled City Council meeting on Monday, July 13, 2020 at 6:00 p.m. The City Clerk is directed to publish the Notice of said hearing at the time and in the manner required by law.

**DATED** at Polk City, Iowa, this 22nd day of June 2020.

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Jason Morse, Mayor

ATTEST:

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Jenny Gibbons, City Clerk



## City of Polk City, Iowa City Council Agenda Communication

**Date:** June 22, 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** Purchase of new server for Fire & Police Department

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**BACKGROUND:** On Monday evening, I am asking for the Council to approve a purchase for a new server for the Police and Fire Departments. We asked for our IT Provider, Aureon to build a custom-built server large enough for the Police and Fire Department. We have been researching a new server solution for 6 months now because of two main issues:

1. The Police Department server is full, and they are unable to add any new documentation to it (video)
2. The Fire Department server is 12 years old and needs to be replaced

**ALTERNATIVES:** Do not purchase a new server

**FINANCIAL CONSIDERATIONS:** The total cost of a new server will be \$26,243.85-half will be paid for out of the police department budget and the other half, the fire department budget. Unfortunately this purchase was not a budgeted item, however, we are capable of paying for it out of general operating budgets between the two departments and we will spread it out over the two fiscal years.

**RECOMMENDATION:** It is my recommendation that the Council approve the purchase of a new server.





# Server for Fire and Police Departments

FOR City of Polk City  
ORDER # SS-081465  
VERSION 1



## Hardware

Description	Price	Qty	Ext. Price
<b>PowerEdge R740</b> Trusted Platform Module 2.0 Chassis with up to 16 x 2.5" SAS/SATA Hard Drives for 2CPU Configuration 2 x Intel Xeon Silver 4215 2.5G, 8C/16T, 9.6GT/s, 11MCache, Turbo, HT (85W) DDR4-2400 Performance Optimized 2 x 32GB RDIMM, 2933MT/s, Dual Rank C5, RAID 10 for HDDs or SSDs in pairs (Matching Type/Speed/Capacity) PERC H740P RAID Controller, 8GB NV Cache, Adapter, Low Profile 8 x 960GB SSD SAS Read Intensive 12Gbps 512 2.5in Hot-plug AG Drive, 1 DWPD, 1752 TBW BOSS controller card + with 2 M.2 Sticks 240G (RAID 1),FH iDRAC9,Enterprise iDRAC Group Manager, Enabled iDRAC,Legacy Password Riser Config 1, 4 x8 slots Broadcom 5720 Quad Port 1GbE BASE-T, rNDC Dual, Hot-plug, Redundant Power Supply (1+1), 750W 2 x NEMA 5-15P to C13 Wall Plug, 125 Volt, 15 AMP, 10 Feet (3m), Power Cord, North America 2 x C13 to C14, PDU Style, 12 AMP, 6.5 Feet (2m) Power Cord, North America PowerEdge 2U Standard Bezel ReadyRails™ Sliding Rails With Cable Management Arm king Basic Next Business Day 36 Months, 36 Month(s) ProSupport and 4Hr Mission Critical, 60 Month(s)	\$10,024.85	1	\$10,024.85

Subtotal: **\$10,024.85**

## Software

Description	Price	Qty	Ext. Price
<b>Microsoft Windows Server Standard 2019, Government pricing, 2 -core packs</b>	\$102.00	16	\$1,632.00
<b>Microsoft Windows Server 2019 User CALs, Government pricing (for Fire Department users)</b>	\$29.00	40	\$1,160.00
<b>Microsoft SQL Server 2019 Standard - License - 1 License - Volume, Local Government, Microsoft Qualified - Microsoft Open License for Government - English - PC</b>	\$742.00	1	\$742.00
<b>Microsoft SQL Server 2019 Standard - License - 1 User CAL - Local Government, Volume, Microsoft Qualified - Microsoft Open License for Government - English - PC</b>	\$167.00	10	\$1,670.00

Subtotal: **\$5,204.00**

# Server for Fire and Police Departments



Prepared by:  
**Aureon - West Des Moines**  
Steve Simpson  
(515) 245-7649  
Fax 515-245-7730  
steve.simpson@aureon.com

Prepared for:  
**City of Polk City**  
112 N 3rd St  
Polk City, IA 50226  
Chelsea Huisman  
(515) 984-6233  
CHuisman@polkcityia.gov

Information:  
**Order #: SS-081465**  
Version: 1  
Delivery Date: 06/17/2020  
Expiration Date: 07/02/2020

## Summary

	Amount
Hardware	\$10,024.85
Software	\$5,204.00
Subtotal:	<b>\$5,204.00</b>
Shipping:	<b>\$15.00</b>
Total:	<b>\$15,243.85</b>

Proposals shall become void if not accepted by the Expiration date. These prices may NOT include applicable taxes, insurance, shipping, delivery, setup fees, or any cables or cabling services or material unless specifically listed above. All prices are subject to change without notice. We reserve the right to cancel orders arising from pricing or other errors. Supply subject to availability. Labor quotes are just estimates and are not guaranteed unless stated otherwise. Aureon is in no manner responsible for any action or inaction of any third party and does not guarantee the service or product provided by third parties in any way. Orders over \$15,000 may be subject to a 50% down payment. A restocking fee up to 20% may apply to all unopened product returns. Opened returns will need authorization from Aureon before they will be processed. For rush overnight order requests, please notify our sales team by 1:00PM CT in order to better guarantee on-time delivery. The signature below signifies your acceptance of the terms of this proposal.

City of Polk City

Signature: \_\_\_\_\_  
Name: Chelsea Huisman  
Date: \_\_\_\_\_



## STATEMENT OF WORK CONTRACT#200616POLKCITYIA-SVRMIGRATION-S-2

This Statement of Work (the "SOW"), with an effective date of June 16, 2020 (the "Effective Date"), is to formalize an arrangement between City of Polk City ("Client") and Aureon IT, Inc. ("Aureon") to provide services specified below. This SOW is issued pursuant to the Master Service Agreement ("Agreement") between Aureon and Client, dated June 22, 2015, and the terms and conditions of such Agreement are hereby incorporated and made a part of this SOW by reference and shall be applicable to the Services provided hereunder.

### 1. SCOPE OF SERVICES:

#### 1.1. Project Summary:

Client has requested the services of Aureon IT to install and configure a new Microsoft Windows Hyper-V Host server with four (4) virtual servers, one (1) VM will replace the client's existing server running Windows Server 2012 Standard and act as the new File server for the Polk City Fire Department. All Polk City Fire Department workstations will be migrated to the City of Polk City's Windows Domain. The archive VM will serve as a long-term archive of PCFD01. All data will be migrated and stored on the VM in a powered off state for archival purposes. One (1) VM will replace the City of Polk City Police Department's Active Directory Server also containing file data and shares utilizing the existing "PolkCityPD.local" domain. One (1) VM will be created as a new virtual server to be used as a stand alone SQL Server joined to the existing "PolkCityPD.local" domain.

#### 1.2. Aureon Essential Duties and Responsibilities:

- Server and application migration planning
  - Spend up to one (1) hour planning and preparing for server migration
- Install and configure one (1) new physical server
  - Basic physical server installation and configuration
    - Unpack/physically install/cable new server
    - Upgrade firmware as necessary to manufacture recommended levels
    - Configure drives and hardware
    - Configure iDRAC Management interface and networking
  - Install hypervisor on server
    - Install Windows Server 2019
    - Patch server OS as necessary
    - Install Hyper-V role and management tools
- Create up to forty (40) new users in the City of Polk City's existing domain "int.polkcit.org"
  - These will replace all current users on the Polk City's Fire Department domain "PCFD" and become their new user IDs to log into workstations going forward
- Create one (1) new Windows Server 2019 virtual machine template
  - Verify server licensing
  - Patch server OS as necessary
- Create one (1) new virtual server running Windows Server 2019 to act as a new File server for the Polk City Fire Department joined to the City of Polk City's current domain "int.polkcit.org"

- Deploy new virtual machine from template
- Join new virtual machine to existing domain "int.polkcity.org" as a member server
- Migrate server data from existing server (PCFD01) to the new Windows 2019 File Server
  - Install File Server role
  - Installation of Aureon standard applications
  - Create new file shares based on existing shares and migrate data up to 500 gb data
    - Discuss security permissions on existing shares to determine security and share permissions for the new shares going forward
      - Create security and sharing permissions as determined above
  - Create or update group policy objects as needed for the following
    - Drive Mappings in accordance to share permissions determined above
    - Folder Redirections in accordance to share permissions determined above
- Migrate printers from existing server (PCFD01) to the City of Polk City's server (FS01)
  - Migrate Printers hosted on (PDFD01) to new Print Server
  - Create or update group policy objects as needed
- Migrate the five (5) Fire Department workstations from existing PCFD Windows Domain to City of Polk City's "int.polkcity.org" Windows Domain
  - Gather information on existing computers current users, mapped drives, printers, redirected folders etc.
  - Join each computer to Client's "int.polkcity.org" domain
    - Adjust DNS requirements on workstations prior to joining domain
    - Confirm Group Policy is being applied properly for the following items:
      - Mapped Drives to Network Shares
      - Shared network printers
    - Perform migration of user data for one (1) user per computer being migrated from the following locations:
      - Documents
      - Desktop
      - Favorites
  - Verify new computers are functioning as needed and that everything has been transferred successfully from old computers
- Migrate the existing Windows 2008R2 Standard Server named "PCFD02" that contains the Firehouse software to the new HyperV server
  - Dis-join this machine from the existing PCFD Windows Domain
  - Create new local administrator password and store
  - Power Off this machine and disconnect the virtual network cards and store for archival purposes only as server is not needed on a daily basis
- Create one (1) new virtual server running Windows Server 2019 to act as a new Active Directory / File server for the Polk City Police Department replacing the existing server (PCPD-DC12)
  - Deploy new virtual machine from template
  - Promote the new virtual server to existing domain "PolkCityPD.local" as an additional Domain Controller
  - Migrate FSMO roles
  - Setup any additional server roles currently hosted on (PCPD-DC12)
    - DHCP Services
      - Migrate existing DHCP scopes



- DNS
      - Migrate existing DNS Zones
    - Create or update network devices and DHCP DNS settings as needed
  - Installation of Aureon standard applications
  - Migrate server data from existing server (PCPD-DC12) to the new Domain Controller
    - Install File Server role
    - Create new file shares based on existing shares and migrate data up to 1400 gb data
    - Create or update group policy objects as needed
  - Migrate printers from existing server (PCPD-DC12) to the new Domain Controller
    - Install Print Server role
    - Migrate Printers hosted on (PCPD-DC12) to new Print Server
    - Create or update group policy objects as needed
  - Decommission old PCPF-DC12 server after all migrations of data and applications have been completed
  - Store old server and computer hardware for reference on site
- Create one (1) new virtual server running Windows Server 2019 to act as a new SQL Server for Arbitrator 360
  - Deploy new virtual machine from template
  - Join existing domain "PolkCityPD.local" as a member server to be used as an SQL Server
  - Installation of Aureon standard applications
  - Base installation of Microsoft SQL Server 2019
- Store old server and computer hardware for reference on site
- Install and configure backup for server (covered under existing backup agreement)
- Project Management

### 1.3. Out of Scope:

- Backup configuration. Backup of the new server(s) is covered under a separate agreement
- Third-party application upgrades and installs unless otherwise mentioned in Section 1.2
- Migration of PCFD-VPN Server
- Joining PCFD02 to the City of Polk City's domain "int.polkcity.org"
- Installation / Migration of Arbitrator 360 application
- Installation / Migration of Milestone Xproduct application
- Office 365 changes or migrations
- Workstation changes or configuration unless otherwise mentioned in Section 1.2
- Provide contact information for third-party vendors Anything not identified in Section 1.2 of this scope of work will be considered out of scope

### 1.4. Client Essential Duties and Responsibilities:

- Provide maintenance windows for work to be performed. Some downtime will be required.
- Test and validate all applications are functioning correctly as needed during the server upgrade and migration project
- Provide third-party vendor access as needed for Arbitrator 360 migration performed by Keltek
- Keltek will perform the migration of Arbitrator 360 software
- Communicate any information relevant to the project to end users (maintenance windows, special instructions, etc.)

- Provide accurate licensing
  - Microsoft Windows Server 2019 server licensing and CALs (Server 2019 may be downgraded to Server 2016 if needed)
  - Microsoft SQL Server 2019 server licensing and CALs (SQL Server 2019 may be downgraded to earlier SQL version if needed)
- Provide and maintain full backups of existing servers throughout the duration of the project
- Provide physical access to facilities (possibly after normal business hours)
- Provide sufficient power, rack or installation space, cooling and network connectivity for any new devices
- If needed, provide office space, workstation, and/or system access

Client Initials: \_\_\_\_\_

1.5. Risks:

- Third-party application vendor support may be required to assist with application migration and they may have fees associated with any required migration assistance if applicable
- Third-party application upgrades may be required to be supported on Windows Server 2019 if applicable
- Minor risk of new equipment having firmware, hardware, or software issues beyond Aureon's control that can impact project duration (Shipping problems, manufacturing flaws, etc.)
- Some printers, hardware, and applications may not be compatible with Server 2019 requiring upgrades
- Some systems will be unavailable during migration

**2. ENGAGEMENT TIME:**

**Anticipated Project Duration:**

**Two (2) Weeks**

**Commencement Date:**

The first available date, not less than two (2) weeks from date of SOW signature. Final Project Commencement Date will be determined mutually between Aureon and Client.

**3. COMPENSATION/RATE:**

**Fixed Rate of \$11,000** (Travel and Expenses are not included in this rate)

Travel time will be invoiced to Client at the rate of \$95/hour for travel to and from Client's location. Rate includes any mileage or gasoline expenses. Other incurred travel expenses, including but not limited to, lodging, meals and airfare will be billed to Client.

After-hours will be invoiced at 1 ½ times the assigned hourly rate. After-hours is defined as hours worked outside normal business hours, Monday-Friday, 7:00AM-5:00PM CT, including Aureon recognized holidays as defined at <https://www.aureon.com/login/aureon-technology>.



**4. PAYMENT TERMS: Net Thirty (30) Days**

**5. FEDERAL TAX ID: 39-1895727**

**6. DETAILS OF SERVICE:**

The services described above shall be performed between the hours of 7:00AM and 5:00PM CT, Monday-Friday, at the office of Aureon located at 7760 Office Plaza Drive South, West Des Moines, Iowa 50266 and at the office of Client, located at 112 North 3rd Street Polk City, Iowa 50226.

**7. CONTACT PERSONS:**

City of Polk City	Aureon IT, Inc.
NAME: Chelsea Huisman	NAME: Steve Simpson
TITLE: City Manager	TITLE: Sales Executive
PHONE: (515) 984-6233	PHONE: (515) 245-7649
EMAIL: CHuisman@polkcityia.gov	EMAIL: steve.simpson@aureon.com
FAX:	FAX: (515) 245-7730

**8. AUTHORIZED SIGNATURES:**

By: \_\_\_\_\_  
*(Sign Above)*

By: \_\_\_\_\_  
*(Sign above)*

Its: \_\_\_\_\_  
*(Print name & title of person signing on behalf of Client)*

Its: \_\_\_\_\_  
*(Print name & title of person signing on behalf of Aureon)*

Date: \_\_\_\_\_

Date: \_\_\_\_\_

The terms and conditions described are valid for sixty (60) days from the date listed in paragraph one of this SOW.



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** June 16, 2020  
**To:** Mayor & City Council  
**From:** Chief Jeremy Siepker  
**Subject:** Vehicle lease agreement

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#### **BACKGROUND:**

The 2015 Dodge Charge we currently have in our patrol rotation is expected to exceed 90,000 miles before July 1, 2020 and needs to be replaced. This vehicle would be rotated to a back-up patrol vehicle to be utilized when our front-line vehicles are down for maintenance. The 2012 Ford Taurus that is currently our back-up patrol vehicle, is not operational in a patrol capacity. This vehicle will either be sold through an on-line governmental auction program or be traded in towards the new vehicle.

Two years ago the Police Department began to lease patrol vehicles and equipment in order to streamline the upfitting and purchase of vehicles as they are needed and replaced.

We previously have been utilizing Keltek Inc. out of Baxter, IA. I have re-evaluated the costs associated with utilizing Keltek Inc. as a leasing vendor and determined the city would save a considerable amount of money by leasing patrol vehicles through RUAN and have the vehicles upfitted through Karl Chevrolet. RUAN can provide vehicles at state-bid pricing and works directly with any upfitting company of our choice (in this case Karl Chevrolet).

Keltek Inc. is the state bid holder for the Panasonic equipment we utilize in the vehicles and they contract with Karl Chevrolet so we would maintain a working relationship with Keltek in regard to our vehicle equipment. This new lease is for a Chevrolet Silverado that would be put into the patrol rotation. At the end of the lease the city can purchase the vehicle for \$1 and maintain it as a back-up patrol vehicle or trade it in towards the replacement vehicle.

I have chosen a Chevrolet Silverado crew cab truck as the next patrol vehicle. Adding a truck to the fleet will provide benefits that the other patrol vehicle options do not, these include four-wheel drive for adverse winter weather and the ability to transport our speed sign, speed trailer and other equipment. We currently have to utilize the Kubota or borrow a vehicle from another city department to deploy our speed trailer. The Chevrolet Silverado also comes in slightly lower priced than our most recent purchase of the Dodge Durango.



**ALTERNATIVES:** Do not approve the lease agreement.

**FINANCIAL CONSIDERATIONS:** The 48-month lease provided by RUAN contains quotes for the vehicle, upfitting, Panasonic equipment, and radio. The total amount would be \$62,415.25. I plan to spread these payments annually at \$15,530.16 with a residual value of \$1. Our Current lease agreement with Keltek (which includes their service agreement) is \$68,936.60 with a residual value of \$26,368.70. A cost savings of \$33,184.66. Adding a new vehicle lease agreement is in the budget FY21.

**RECOMMENDATION:** It is my recommendation that the Council approves the lease agreement with RUAN for the 2021 Chevrolet Silverado patrol vehicle.

**CLOSED END LEASE PROPOSAL AND ORDER FORM**

**LESSEE:**

Name: City of Polk City  
Address:

**VEHICLE DATA:**

Quantity 1  
Make & Model: 2021 Chevrolet Silverado 1500 Crew Cab 4WD  
Includes up-fit: Karl Chev., Kaltek & Racom

**LEASE TERM:** 48 months

**COST DATA:**

Monthly Rate \$1,588.04  
Capitalized Cost \$62,414  
Residual Value \$1

**OPTIONAL SERVICES:**

**LEASE DATA:**

License Paid By: Customer  
Taxes Paid By: Customer  
Maintenance Paid By: Customer

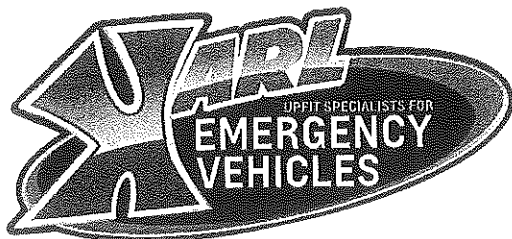
Lease quoted on current interest rate and vehicle cost. The lease rate is subject to change in accordance with any price or interest change between now and the date of delivery.

RUAN Incorporated  
dba RUAN Car Leasing

By: \_\_\_\_\_  
Date: 6/18/20

**City of Polk City**

By: \_\_\_\_\_  
Date: \_\_\_\_\_



# EQUIPMENT & INSTALL QUOTE

**KARL EMERGENCY VEHICLES**  
5983 NE INDUSTRY DR  
DES MOINES, 50313  
United States

Phone: 515-299-4479  
Mobile: 515-264-6311  
Toll free: FED TAX I.D. #42-1092272

Items	Quantity	Price	Amount
<b>LSVBKT13</b> MOUNT KIT FOR 2020 SILVERADO MIRROR PODS	1	\$52.00	\$52.00
<b>PSSEQACR</b> AMBER SEQUENCING STRIP LIGHT PLUS	1	\$161.00	\$161.00
<b>PSR01FCR</b> WHELEN STRIP LIGHT PLUS RED	1	\$112.00	\$112.00
<b>PSB01FCR</b> WHELEN STRIP LIGHT PLUS BLUE	1	\$112.00	\$112.00
<b>PSBKT90</b> WHELEN STRIP LIGHT PLUS BRACKETS	3	\$21.00	\$63.00
<b>LPT1230-052</b> LIND EQUIPMENT TIMER	1	\$98.00	\$98.00
<b>46063</b> 12 POS FUSE BLOCK W GROUND STRAP	1	\$42.00	\$42.00
<b>75552</b> 75 AMP RELAY	1	\$62.00	\$62.00
<b>46986</b> 100 AMP BREAKER	1	\$74.00	\$74.00
<b>MMBP-25</b> MAGNETIC MIC CLIP	2	\$33.00	\$66.00
<b>C-VS-1013-TAH-1</b> 2020 SILVERADO CONSOLE	1	\$550.00	\$550.00
<b>C-CUP-2-I</b> DUAL CUP HOLDERS	1	\$32.00	\$32.00
<b>C-AP-0645-L</b> HAVIS STORAGE BOX	1	\$140.00	\$140.00
<b>C-ARM-102</b> HAVIS SIDE MOUNT ARM REST	1	\$55.00	\$55.00



# EQUIPMENT & INSTALL QUOTE

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DES MOINES, 50313  
United States

Phone: 515-299-4479  
Mobile: 515-264-6311  
Toll free: FED TAX I.D. #42-1092272

Items	Quantity	Price	Amount
<b>C-LP2-PS1-USB</b> TWO 12 VOLT CHARGING PLUGS WITH ONE USB CHARGING PORT	1	\$122.00	\$122.00
<b>TLIR</b> T-ION SURFACE MOUNT RED ON REAR DS BUMPER	1	\$135.00	\$135.00
<b>TLIB</b> T-ION SURFACE MOUNT BLUE ON REAR PS BUMPER	1	\$135.00	\$135.00
<b>TIONFC</b> CHROME TION FLANGE	2	\$18.00	\$36.00
<b>DUAL WEAPONS MOUNT</b> PRO-GARD VERTICAL SELF SUPPORTING DUAL WEAPONS MOUNT WITH HANDCUFF CLAMPS AND HANDCUFF KEY OVERRIDE	1	\$469.00	\$469.00
<b>RPHOTO</b> WHEEL PHOTO CELL	1	\$38.00	\$38.00
<b>WEATHER TECH FLOOR MATS</b> FRONT WEATHER TECH FLOOR MATS FOR 2020 SILVERADO	1	\$140.00	\$140.00
<b>MUD FLAPS</b> MUD FLAPS (FRONT AND REAR)	1	\$175.00	\$175.00
<b>VEHICLE GRAPHICS-</b> INSTALL CUSTOMER SUPPLIED GRAPHICS	1	\$0.00	\$0.00
<b>INSTALL</b> CUSTOMER SUPPLIED RADIO, ANTENNA, ALL COMPUTER EQUIPMENT, RADAR AND IN CAR CAMERA SYSTEM	1	\$0.00	\$0.00
<b>LABOR AND SHOP SUPPLIES</b> LABOR AND SHOP SUPPLIES	1	\$3,625.00	\$3,625.00



# EQUIPMENT & INSTALL QUOTE

**KARL EMERGENCY VEHICLES**  
 5983 NE INDUSTRY DR  
 DES MOINES, 50313  
 United States

Phone: 515-299-4479  
 Mobile: 515-264-6311  
 Toll free: FED TAX I.D. #42-1092272

Items	Quantity	Price	Amount
TONNEAU COVER ALUMINUM ROLL -UP COVER REV	1	\$1,495.00	\$1,495.00
		<b>Total:</b>	\$14,144.00
		<b>Grand Total (USD):</b>	\$14,144.00

POLK CITY POLICE DEPARTMENT



# QUOTATION

Main Phone: 641-227-2222  
 Email: sales@keltekinc.com  
 Address: PO Box 14 Baxter, IA 50028

Quote Number: 31614  
 Quote Date: 06/17/2020

**Quote Total: \$14,050.90**

**Quoted To:**  
 Polk City Police Departme  
 PO Box 381  
  
 Polk City  
 IA 50226  
  
 Ph: 515-984-6565

**Deliver To:**  
 Polk City Police Departme  
 PO Box 381  
  
 Polk City  
 Iowa 50226  
 Jeremy Siepker

**Quote Notes:**

Account	Customer Contact	Order Ref	Terr	Rep	Quote Valid for:	
101271	Jeremy Siepker	DURANGO TECH - N	1	AS	30 Days	
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
NO FREIGHT	Do not add freight to the shipment	1.00	\$0.00	0.00	\$0.00	\$0.00
NASPO-IA	NASPO-IA contract number MNWNC-124	1.00	\$0.00	0.00	\$0.00	\$0.00
ARB HD CONTRACT	Iowa DAS Arbitrator HD System IOWA CONTRACT NUMBER 4840-15	1.00	\$0.00	0.00	\$0.00	\$0.00
LABOR CONTRACT	Iowa DAS KELTEK Labor Master Agreement 0055090-15  <i>Chief Jeremy Siepker, 515-984-6565            jsiepker@polkcityia.gov            *****</i>  <b>Project Includes:</b> <b>Technology Product for 2021 Silverado VIN TBD</b>  <b>Computer</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
FZ-55C0-02VM	55 Public Sector Win10, i5, Touch, 512GB 8GB LTE, WIFI BT, DP, dGPS	1.00	\$3677.00	13.00	\$3198.99	\$3198.99
FZ-BAZ1908	8GB Memory for Toughbook 55 mk1	1.00	\$167.76	11.00	\$149.31	\$149.31
SIM: FIRSTNET	Cellular Carrier = FIRSTNET (multiply by number of devices to be activated) <b>Computer Dock</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
DS-PAN-422	Docking Station w/Power Supply Toughbook 54/55 laptop computer	1.00	\$1167.28	43.00	\$665.35	\$665.35
DS-DA-602	Rugged Communications hub, USB pwr cables,driver software,2.0 amp fuse & mounting hardware	1.00	\$215.22	43.00	\$122.68	\$122.68
U022-006	6' 2.0 Hi-Speed A/B Cable Connection B/T USB Device & Computer USB <b>Computer, Antenna</b>	1.00	\$5.12	0.00	\$5.12	\$5.12



**QUOTATION**

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
101271	DURANGO TECH - N	MAIN	1	AS	31614	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
AP-MMF-CG-Q-S11	MultiMax FV,1xLTE,1xGPS, 2xTNC Bolt Mt, Black, 15' Fits Roof Ribs of 20+ Ford PIU <b>Computer, GPS</b> <b>Integrated in Computer</b> <b>Computer, Accessories</b>	1.00	\$134.14	0.00	\$134.14	\$134.14
CF-VEB541AU	Panasonic Desktop Port Replicator for CF54 MK1 Computer	1.00	\$360.00	11.00	\$320.40	\$320.40
CF-AA5713A2M	AC ADAPTER (100W) FOR FZ-55 MK	1.00	\$121.80	11.00	\$108.40	\$108.40
CF-SVCPSY5	CF-33, CF-20, CF-54, FZ-G1, CF-31 PS Bundle Year 4 & 5 Services Extension <b>Computer, Ext Keyboard &amp; Mount</b> <b>None</b> <b>Computer, Dock Mounting Equip</b>	1.00	\$645.00	0.00	\$645.00	\$645.00
C-MD-119	11" Slide Out Locking Swing Arm with Low Profile Motion adapter	1.00	\$340.55	43.00	\$194.11	\$194.11
C-HDM-214	8.5" Side Mount Heavy Duty Telescoping Pole. Height 1 - 8.25" Height 2- 13.25" <b>Computer, Professional Services</b>	1.00	\$128.70	43.00	\$73.36	\$73.36
IT-TECH-SER-PC	Tech Services-Assemble PC Update OS, Active LTE and GPS Load Purchased Accy Drivers <b>Mobile Printer</b>	1.00	\$300.00	0.00	\$300.00	\$300.00
PJ722	Brother PocketJet Thermal Printer. Does not include USB cable & printing supplies.	1.00	\$383.90	7.75	\$354.15	\$354.15
LB3692	Printer Car Power Adapter Hard Wired 14', for PJ3/PJ6/ PJ7	1.00	\$24.10	7.75	\$22.23	\$22.23
LB3603	Printer USB Cable 10', for PocketJet 3, 6, &7 <b>Mobile Printer, Mounting</b>	1.00	\$15.20	7.75	\$14.02	\$14.02
C-PM-109	Brother Printer Mount for PJ6, PJ7,PJ622,PJ623,PJ662, PJ663 - 5.375"X12"X3.25" <b>Imaging Scanner</b>	1.00	\$162.23	43.00	\$92.47	\$92.47
4910LR-152-LTRK	Ltron Next Generation Imaging Scanner Kit, Includes Drivers for Microsoft Windows <b>Camera</b>	1.00	\$561.41	43.00	\$320.00	\$320.00

Continued...





# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
101271	DURANGO TECH - N	MAIN	1	AS	31614	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
ARB-KIT-HD	Arbitrator Mk3, HD Camera 256 GB SSD, Includes GPS, HD Front Camera (No Mic)	1.00	\$6250.00	25.00	\$4687.50	\$4687.50
ARB-WV-VC31-C	Panasonic Arbitrator 360 HD Rear Camera W/ Black Body & Cable <b>Camera, Accessories</b>	1.00	\$515.00	11.00	\$458.35	\$458.35
ARB-256SSD	Additional Arbitrator MK3 256 SSD(Solid State Hard Drive)	1.00	\$570.00	11.00	\$507.30	\$507.30
ARB-M90	Add'l 900 Mhz Wireless Mic Ful kit w/transmitter, Receiver, harness, base, lapel mic	1.00	\$614.10	11.00	\$546.55	\$546.55
GNDLOOP ISOLATOR	Arbitrator RCA 2 Channel Audio Ground Isolator / Noise Filter	1.00	\$30.00	0.00	\$30.00	\$30.00
ARB-APWWQS22RPE	Panasonic Double WiFi Antenna Black Bolt Mount Required for W1 Kits <b>Camera, Support</b>	1.00	\$165.00	11.00	\$146.85	\$146.85
SOFICVOPBUN1	1 Year ICV, UEMS1, On Premises Server, On Premises Storage, Licensing per Device <b>Camera, Professional Services</b>	1.00	\$100.00	0.00	\$100.00	\$100.00
ARB-VPU-DEPLOY	Basic Arb VPU Commissioning Per car/unit. Includes In Veh or Interview Room - Per Unit <b>Vehicle Components</b> <b>BWC Pairing-Future Proofing</b>	1.00	\$199.00	0.00	\$199.00	\$199.00
ARB-BWC3PAIRDCK	NEW BWC MK3 Veh Pairing Dock w/Wiring Harness/Mounting Brkt	1.00	\$270.00	11.00	\$240.30	\$240.30
UUSBHAUB10	Anker Powerline Micro USB 10ft prem. durable cable	1.00	\$15.32	0.00	\$15.32	\$15.32
KELTEK-MSO	KELTEK UNLIMITED 8*5*5 VIRTUAL SUPPORT, MOBILE ROUTER ICV/BWC/TOUGHBOOK	2.00	\$200.00	0.00	\$200.00	\$400.00

**Complete Shipments vs Partial** -KELTEK only ships complete orders unless partials are specifically requested (shipments may be from multiple manufacturers). Partial shipments may result in multiple shipments and multiple invoices with payment terms starting at time of invoice.

**Returns:** Special order item sales are final. Returns need to be completed within 90 days of invoice. All returns are subject to a 50% restocking fee or a replacement order of 1.5 times the original order amount. Items need to be unopened and in original packaging. Please contact your inside sales rep for RA information.

**Warranty:** Please contact your inside sale rep for details.

**Payment Methods:** KELTEK accepts cash, check, Visa or Mastercard. There is a 2.31% processing fee for use of a credit card. Prepayment required if new account or no terms.

Subtotal:	14,050.90
Sales Tax:	0.00
<b>Grand Total:</b>	<b>14,050.90</b>

Internal Approval: \_\_\_\_\_

Customer Approval: \_\_\_\_\_





**RESOLUTION NO. 2020-71**

**A RESOLUTION APPROVING YEAR-END TRANSFERS FOR THE CITY OF POLK CITY**

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**WHEREAS**, as reflected in the FY2019-2020 budget, the City does need to transfer money between funds and these transfers are completed at the end of the year; and

**WHEREAS**, The City Council for the City of Polk City did approve a transfers resolution January 13, 2020; and

**WHEREAS**, the following transfers between funds need to be authorized for the budget year ending June 30, 2020:

<i>Amount</i>	<i>From Fund</i>	<i>To Fund</i>	<i>Purpose</i>
\$25,286.12	TIF Fund 125-910-6910	LMI Fund 135-910-4830	LMI Disbursement for Twelve Oaks DA
\$45,092.91	General Fund 001-910-6910	Capital Projects 301-910-4830	Street Repair Project

**NOW, THEREFORE BE IT RESOLVED**, by the City Council of the City of Polk City, Iowa that the City Clerk is hereby authorized to make the fund transfers listed above.

**PASSED AND APPROVED** the 22<sup>nd</sup> day of June 2020.

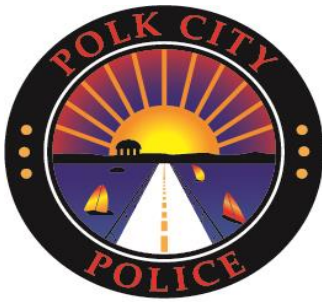
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Jason Morse, Mayor

Attest:

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Jenny Gibbons, City Clerk



# Polk City Police Department

309 W Van Dorn St. PO Box 381

Polk City, Iowa 50226

Phone: 515-984-6565 Fax 515-984-6819 email: police@polkcityia.gov

***Service Integrity Respect Quality***

To: Honorable Mayor and Council Members

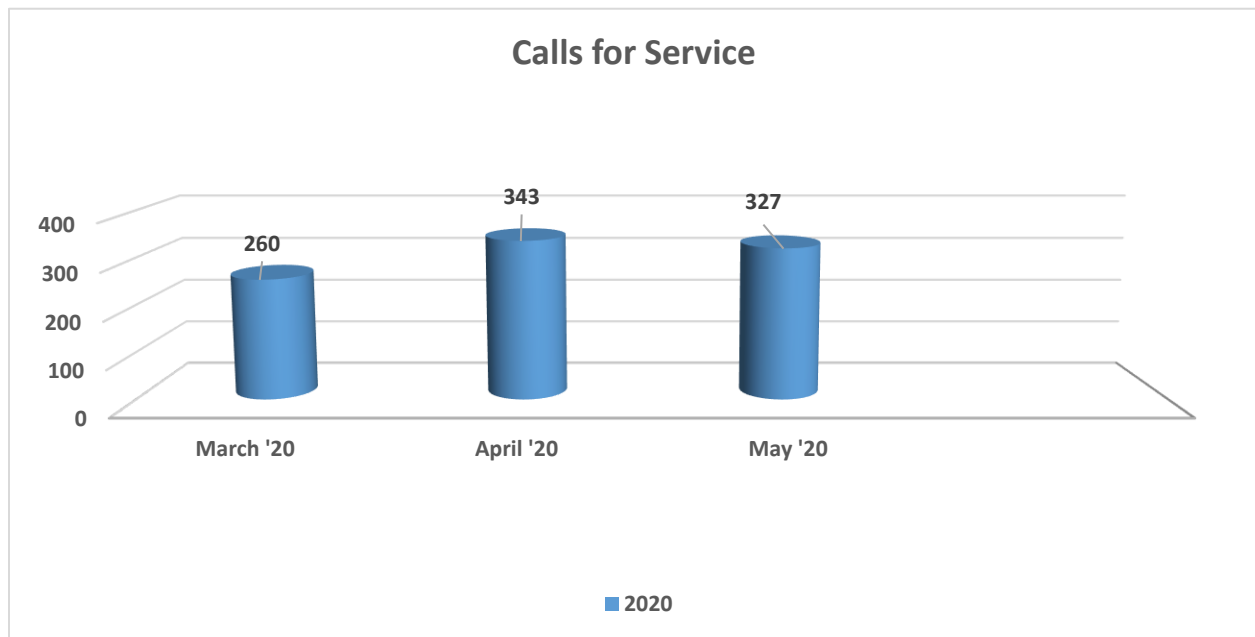
From: Lieutenant Aswegan

Date: June 9<sup>th</sup>, 2020

Re: May 2020 Monthly Report

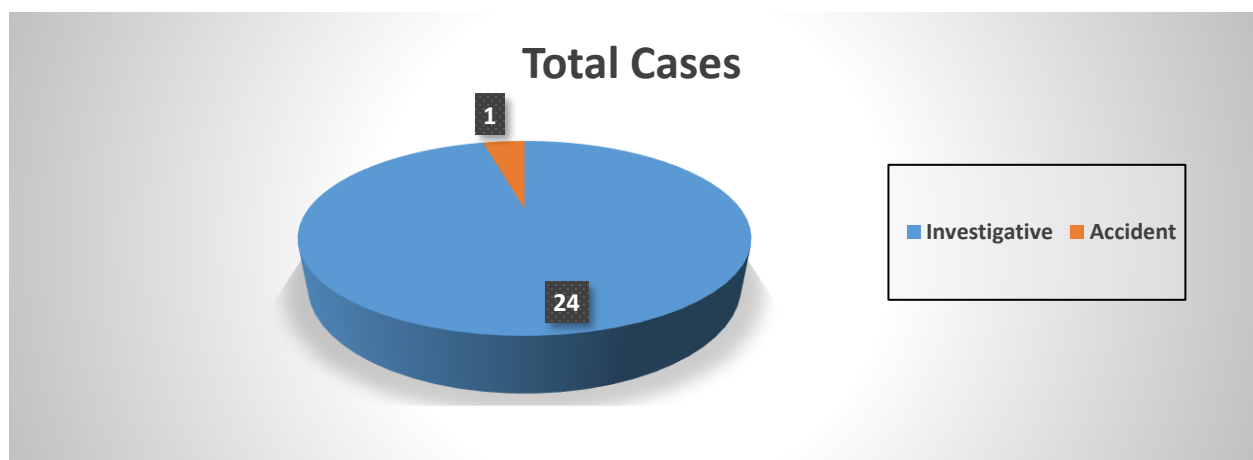
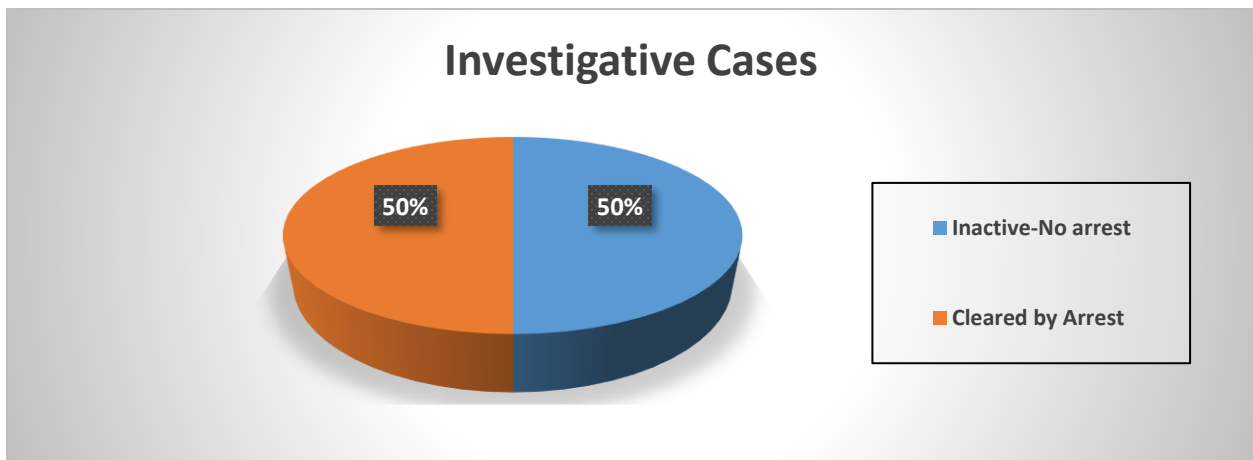
## Calls for Service

The total calls for service for the month of May were **327**. This includes response to citizen complaints/reports, assists, self-initiated activities such as traffic stops, building checks, suspicious persons, and case follow up. Among these calls for service Polk City Officers conducted **17** traffic stops.



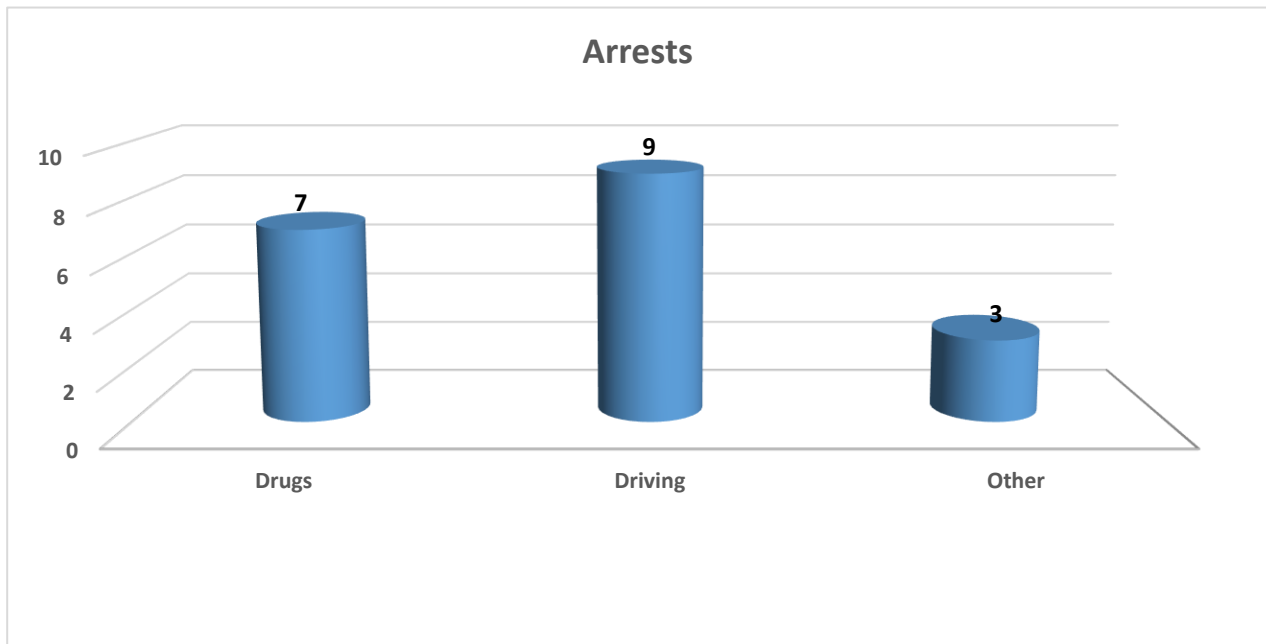
## Cases Made

The Police Department had **25** total cases during the month of May. **24** of the cases were investigative incident reports and **1** was a traffic crash. There is **1** active investigation from this month. There was a **50%** rate of cases cleared by arrest, for investigative cases in May.



## Arrests Made

The Police Department made **19** arrests and issued **9** citations and **49** warnings. Among those arrests, were **9** driving offenses, **4** were drug related offenses, and **3** were for other charges.



## Notable Incidents

On May 7<sup>th</sup>, a Polk City Police Officer was dispatched to a local construction site where a worker was reported to have been smoking marijuana while at work. An investigation revealed that the 29 year old male was in possession of about 3 grams of marijuana. He was charged with Possession of Marijuana.

On May 13<sup>th</sup>, a Polk City Police Officer conducted a traffic stop on a vehicle operated by a 24 year old male. The officer smelled the odor of marijuana emanating from the vehicle and an investigation resulted in the discovery of about a gram of marijuana rolled into a blunt that had been partially smoked. The male was charged with OWI-1<sup>st</sup> Offense (drug related) and Possession of Marijuana.

On May 29<sup>th</sup>, a Polk City Police Officer observed 2 motorcycles passing a car in a no-passing zone. The officer conducted a traffic stop on both motorcycles. One of motorcycles was operated by a 25 year old male who was found to have a barred driver's license. He was charged with Driving While License Barred.

On May 31<sup>st</sup>, a Polk City Police Officer was dispatched to the 300 block of Bennett Street for a report of a suspicious vehicle. The vehicle was located and found to be occupied by a 22 year old male and a 20 year old male. An investigation revealed that they had left Big Creek and decided to park on Bennett Street to smoke marijuana before continuing on their way. Approximately 2 grams of marijuana and some drug paraphernalia was recovered. Both males were charged with Possession of Marijuana.

## **In Service Training**

Officer Wilson recertified 2 officers on the use of the Taser X26P. All Polk City Police Officers are now current on their certifications for this tool.

## **Individual Officer Training**

Officer Delaney completed OC Spray (pepper spray) certification. This is a four hour class, concluding with the officer being directly sprayed in the face with the product. The training is designed to instruct officers on how, when and why to deploy OC spray and how to care for an offender after spraying them. In addition, the officer is exposed to the product so they understand the effectiveness of the product and to prepare them for the potential of an attacker using the product against them.

Officer Delaney completed another month of field training, which has been administered by Field Training Officer Lamfers. Officer Delaney is now taking online courses through the Iowa Law Enforcement Academy 40 hours a week.

**Training Hours: 8**

Lamfers	0
Untrauer	2
Aicher	2
Siepker	0
Wilson	0
Aswegan	0
Delaney	4

*\*In addition to monthly in-service training and scheduled external trainings, officers conduct monthly on-line training through Police Legal Science, which keeps officers up-to-date on current case law.*

**Canine Program**

Officer Aicher and Eudoris were deployed **7** times in May. Five deployments were for narcotics, one for a burglary alarm at a local business, and one for a track of a felony suspect who fled from officers.

On May 4<sup>th</sup>, Officer Aicher and K9 Eudoris were requested to assist Johnston Police Officers in locating a suspect who had been cutting off catalytic converters from numerous vehicles. The officers had located the subject, but he fled. K9 Eudoris tracked the suspect for almost a mile over various terrain. K9 Eudoris did not specifically locate the suspect, but indicated to officers the general area where the suspect may be hiding. The suspect was eventually located in this area by officers and was taken into custody. The theft of catalytic converters has been a Des Moines Metro-wide problem and one that has also affected Polk City.



On May 15<sup>th</sup>, Polk City Police Officers were dispatched to a residence for a report of a drug overdose. An investigation revealed that an 18 year old male had overdosed on lysergic acid diethylamide (LSD), commonly referred to as “acid”. A dosage unit of LSD was located at the scene. K9 Eudoris was deployed as a part of the investigation and as a result THC Wax (a highly concentrated form of THC) and drug paraphernalia were recovered from the scene. No charges were filed due to the medical emergency causing this incident to fall under the “Good Samaritan Immunity” Statute.

On May 21<sup>st</sup>, Officer Aicher and K9 Eudoris were requested by the Clive Police Department to assist them with a traffic stop. K9 Eudoris was deployed on the vehicle and alerted to the presence of the odor of narcotics. A search resulted in the seizure of a dangerous weapon, methamphetamine smoking pipes, a digital scale and 7 grams of marijuana. Charges on one of the occupants were filed by the Clive Police Department.

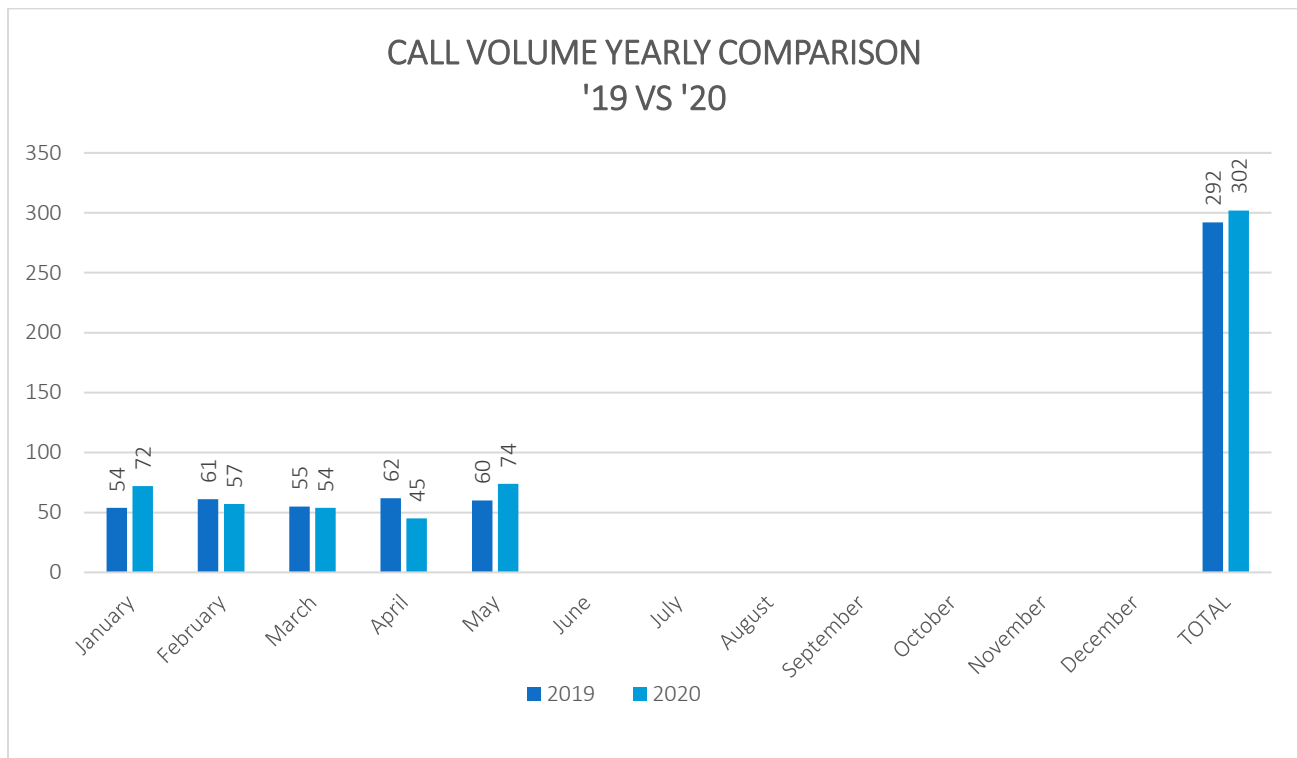


## City of Polk City, Iowa City Council Agenda Communication

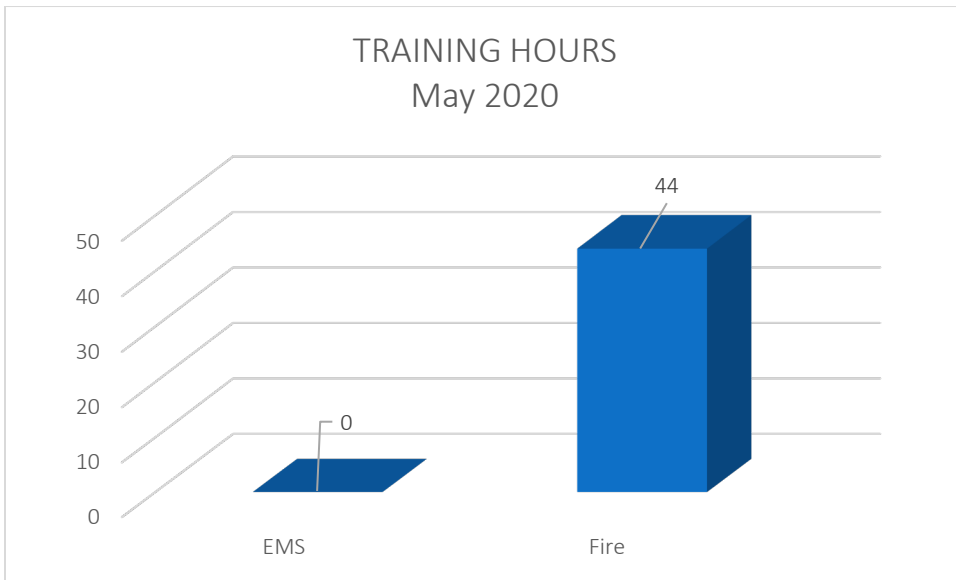
**Date:** June 22, 2020  
**To:** Mayor & City Council  
**From:** Jim Mitchell – Fire Chief  
**Subject:** May 2020 Monthly Report

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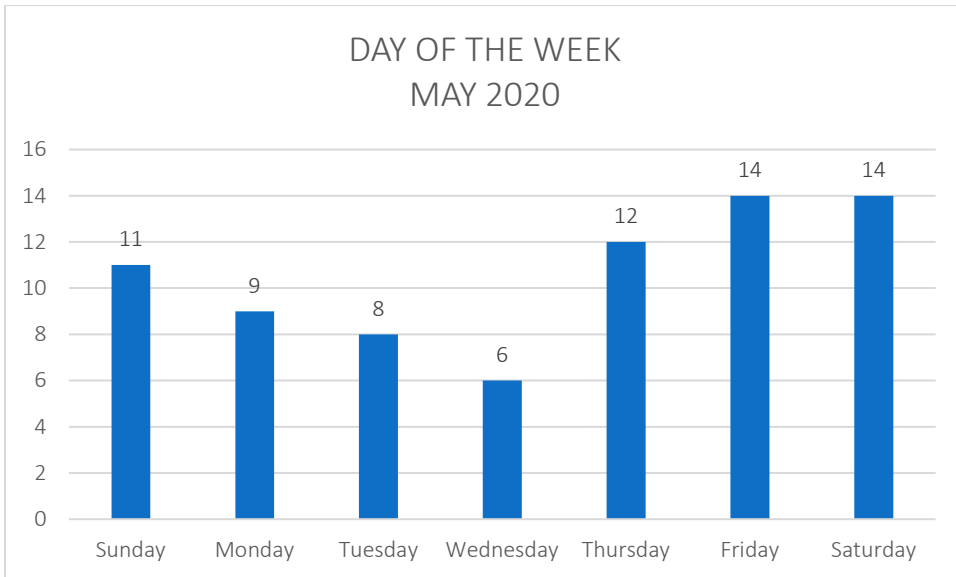
**BACKGROUND:** May 2020 provided 14 more calls for service than May 2019. PCFD had a total of 60 calls for service during May 2019 and 74 this year. We are currently slightly ahead of last year's total calls.



Due to the holiday, we only conducted 1 training and a department meeting in May. The topic included Self-Contained Breathing Apparatus (SCBA) donning, doffing, refilling the bottle and proper storage on the apparatus. The SCBA class was 2 hours. The SCBA training was conducted via Zoom.

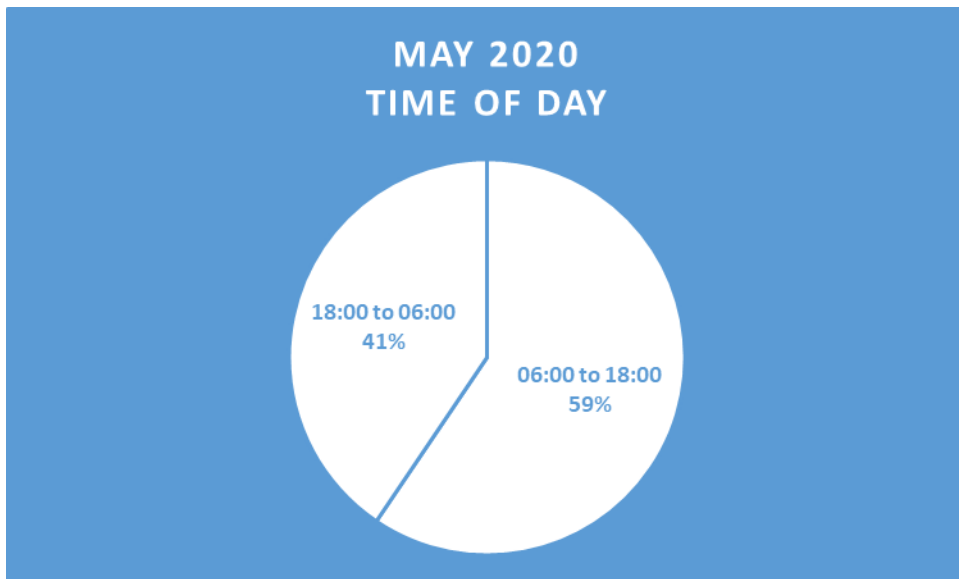


Friday's and Saturday's tied with an average of 14 calls in May:

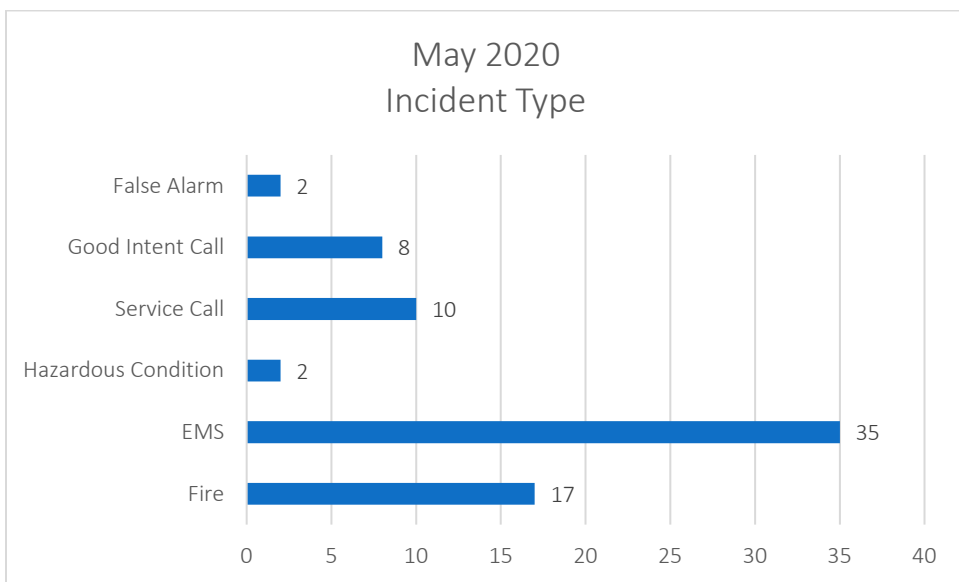


Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	TOTAL
11	9	8	6	12	14	14	74

We responded to 44 calls for service during the day shift, between 06:00 hours (6:00 AM) and 18:00 hours (6:00 PM) and 30 calls for service during the on-call hours, 18:00 hours (6:00 PM) to 06:00 hours (6:00 AM):



The “Incident Type” of calls was predominately EMS related with a total of 74 calls for service for May:



The month of May almost doubled from April. All fire and EMS departments in Polk County call volume increased in May.

We conducted a few Birthday Drive-by’s in May. We also conducted a pancake breakfast benefit to raise funds for the Methodist Church Grocery Bag for a Family program, which was a huge success!



## City of Polk City, Iowa City Council Agenda Communication

**Date:** June 22, 2020  
**To:** Mayor & City Council  
**From:** Jim Mitchell – Fire Chief  
**Subject:** FD Budget Amendment

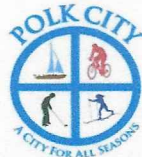
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**BACKGROUND:** The 2019/2020 budget provided the fire department with a line item for replacement of Self-Contained Breathing Apparatus (SCBA). The approved amount was \$102,000.00. This amount was not enough to replace all of the SCBA's we currently have, so we applied for 2 different grants hoping to provide the difference. The 2 grants were canceled due to the COVID-19 pandemic. In addition, a spending freeze was enacted to support any shortfalls the City might have experienced due to COVID-19. Therefore, we were not able to replace the SCBA's that expired in November 2019.

**ALTERNATIVES:** With the Council's approval, we could amend the budget for next Fiscal Year for the amount of \$102,000.00 and attempt to apply for the same grants and perhaps other grants to assure the replacement of the expired SCBA's. I would also like to investigate and evaluate utilizing a purchasing group to lessen the amount of the purchase.

**FINANCIAL CONSIDERATIONS:** The total cost to replace 14 SCBA's, 14 spare air bottles, 45 face masks, a "Rapid Intervention Team" pack, spare batteries and a battery charger is approximately \$129,445.00. We will need the \$102,000.00 as part of a match for most all of the grants we would like to submit application.

**RECOMMENDATION:** We are asking for the Council to approve to amend the budget for FY20/21 to include this purchase.



**CITY OF POLK CITY  
VOLUNTEER BOARDS & COMMISSIONS APPLICATION**

The City of Polk City has a variety of volunteer opportunities on boards and commissions for the following purposes:

- advise the City Council*
- hear and make decisions on appeals and variances*
- assist in the planning of parks, recreational programs, land use and zoning, and operations*
- assist in the promotion of educational, cultural, economic and general welfare of the public*
- assist in the promotion of performing and fine arts programming*
- assist with management of library services*

All board and commission members must be Polk City Residents. Applicants are appointed by the Mayor and confirmed by the City Council. Terms for the boards and commissions vary and are established by the Municipal Code. All meetings of the boards and commissions are open to the public and agendas are prepared and available for public viewing.

For more information, contact the City Clerk's Office by phone at 515-984-6233 or e-mail [support@polkcityia.gov](mailto:support@polkcityia.gov).

**APPLICANT INFORMATION**

Last Name <b>VanderLeest</b>	First <b>Lori</b>	MI <b>D</b>
Street Address <b>1201 NW Hugg Dr.</b>	City/State <b>Polk City</b>	Zip <b>50226</b>
Employer Name <b>North Polk CSD</b>	Job Title <b>Teacher</b>	Length of residency in Polk City <b>35 years</b>

**Please check the following Board or Commission you are interested in serving:**

<input type="radio"/> Library Board of Trustees	<input type="radio"/> Planning and Zoning Commission
<input type="radio"/> Park Commission	<input type="radio"/> Board of Adjustment
<input type="radio"/> Tree Board	<input checked="" type="radio"/> Other (please specify) <b>NCG</b>

**What knowledge and/or understanding of the Board/Commission do you have?**

The Neighborhood Citizens Group representative serves as a liaison between their neighborhood and the city.

**Please check the following areas of knowledge and/or expertise you possess:**

Financial Management	Land Use Planning
Community Groups	Engineering
Conflict Resolution	Other:

**What education, experiences or activities qualify you for this volunteer position?**

I have my Master's Degree in Elementary Education. I am a lifelong Polk City resident and my family is involved in city activities, we utilize parks, and support local businesses.



**Why do you wish to serve on the Board or Commission?**

I would like to serve as a communication link between my neighborhood and the city. I am interested in staying informed and up to date on changes happening within the city and as a lifelong city resident I would like to help towards the betterment of my community.

**Please indicate**

	yes	no
Would you be able to attend regularly scheduled meetings?	X	
Do you sell, contract or furnish supplies, material or labor to the City?		X
Have you ever been employed by the City?		X
Do you have any relatives working for the City?		X

**References**

Name Dan Gubbins 515-975-7998
Name Rachel Ackerman 563-349-0406
Name Michelle Capouch 515-210-5023

**Thank you for your interest in volunteering with the City of Polk City.**

If not selected, your application will be retained for one year. This application is a public document and as such can be viewed, reproduced or distributed to the public.

In applying for appointment, you understand the City Council may make inquiries in the community pertinent to your appointment.

**Signature and Title of Applicant:**

Joni VanderReest

Date: 05, 29, 20



## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** June 22 2020 City Council Meeting  
**To:** Mayor Jason Morse & City Council  
**From:** Jenny Gibbons, City Clerk

**Subject:** Appointment to the Neighborhood Citizen Group

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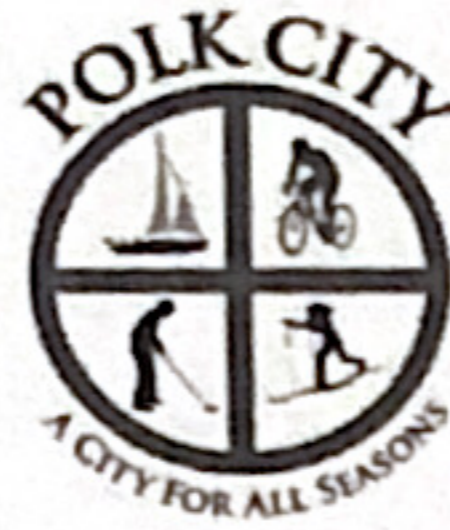
**BACKGROUND:** We have received 2 applications for the open position for District 3/Deer Haven & Original town on the Neighborhood Citizen Group, one from Kelli Matt and one from Alissa Mangae.

**ALTERNATIVES:** No alternatives, the Council needs to select one of the applicants

**FINANCIAL CONSIDERATIONS:** None

**RECOMMENDATION:** It is my recommendation that the Council discuss the applicants and select one based on the group's mission statement: *To facilitate civic engagement by providing a forum of communication and involvement between residents and the city leaders to unite our community.*





**CITY OF POLK CITY  
VOLUNTEER BOARDS & COMMISSIONS APPLICATION**

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- advise the City Council*
- hear and make decisions on appeals and variances*
- assist in the planning of parks, recreational programs, land use and zoning, and operations*
- assist in the promotion of educational, cultural, economic and general welfare of the public*
- assist in the promotion of performing and fine arts programming*
- assist with management of library services*

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**APPLICANT INFORMATION**

Last Name <b>Matt</b>	First <b>Kelli</b>	MI <b>A</b>
Street Address <b>301 Burton Dr.</b>	City/State <b>Polk City, IA</b>	Zip <b>50826</b>
Employer Name <b>N/A</b>	Job Title <b>N/A</b>	Length of residency in Polk City <b>2y</b>

**Please check the following Board or Commission you are interested in serving:**

<input type="radio"/> Library Board of Trustees	<input type="radio"/> Planning and Zoning Commission
<input type="radio"/> Park Commission	<input type="radio"/> Board of Adjustment
<input type="radio"/> Tree Board	<input checked="" type="radio"/> Other (please specify) <b>Dear Haven Representative</b>

**What knowledge and/or understanding of the Board/Commission do you have?**

**My knowledge of the board/commission is limited but I am interested in learning**

**Please check the following areas of knowledge and/or expertise you possess:**

<input type="checkbox"/> Financial Management	<input type="checkbox"/> Land Use Planning
<input type="checkbox"/> Community Groups	<input type="checkbox"/> Engineering
<input type="checkbox"/> Conflict Resolution	<input type="checkbox"/> Other:

**What education, experiences or activities qualify you for this volunteer position?**

**I currently run the Dear Haven Facebook page and distribute city and local information to our neighborhood.**



**Why do you wish to serve on the Board or Commission?**

I would like to be a voice from the Deer Haven Development to/from the city

**Please indicate**

	yes	no
Would you be able to attend regularly scheduled meetings?	✓	
Do you sell, contract or furnish supplies, material or labor to the City?		✓
Have you ever been employed by the City?		✓
Do you have any relatives working for the City?		✓

**References**

Name	Briggett DeVos	
Name	Alicia Dlouhy	641.400.1210
Name	Ashley Pearson	318.914.1835

**Thank you for your interest in volunteering with the City of Polk City.**

If not selected, your application will be retained for one year. This application is a public document and as such can be viewed, reproduced or distributed to the public.

In applying for appointment, you understand the City Council may make inquiries in the community pertinent to your appointment.





**CITY OF POLK CITY  
VOLUNTEER BOARDS & COMMISSIONS APPLICATION**

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- assist in the promotion of performing and fine arts programming*
- assist with management of library services*

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**APPLICANT INFORMATION**

Last Name Mangae	First Alissa	MI A
Street Address 313 Deer Haven St	City/State Polk City, IA	Zip 50226
Employer Name Holmes Murphy and Associates	Job Title Project Manager	Length of residency in Polk City 3 years

**Please check the following Board or Commission you are interested in serving:**

<input type="radio"/> Library Board of Trustees	<input type="radio"/> Planning and Zoning Commission
<input type="radio"/> Park Commission	<input type="radio"/> Board of Adjustment
<input type="radio"/> Tree Board	<input type="radio"/> Other (please specify Neighborhood Group(Deer Haven)

**What knowledge and/or understanding of the Board/Commission do you have?**

I spoke with Ashley Dillinger about this opportunity and am planning on staying in the home on Deer Haven for a very long time, and thought it would be great to service this neighborhood.

**Please check the following areas of knowledge and/or expertise you possess:**

Financial Management	Land Use Planning
Community Groups	Engineering
Conflict Resolution	Other:

**What education, experiences or activities qualify you for this volunteer position?**

I have a Bachelor's of Business Administration from the University of Iowa that I received in 2001. I am Planning on staying in Polk City indefinitely, and I purchased a new home on Deer Haven almost 2 years Ago. I am very interested to see how I can use my ideas and skills to help our neighborhood. I am very organized And am a project manager by profession.

**Why do you wish to serve on the Board or Commission?**

To help bring ideas and communicate information to our neighborhood
---

**Please indicate**

	<b>yes</b>	<b>no</b>
Would you be able to attend regularly scheduled meetings?	Yes	
Do you sell, contract or furnish supplies, material or labor to the City?	No	
Have you ever been employed by the City?	No	
Do you have any relatives working for the City?	No	

**References**

Name Robert Caster 515-210-4993
Name Sarha Koth 515-321-2873
Name Mike Hurt 515-314-8979

**Thank you for your interest in volunteering with the City of Polk City.**

If not selected, your application will be retained for one year. This application is a public document and as such can be viewed, reproduced or distributed to the public.

In applying for appointment, you understand the City Council may make inquiries in the community pertinent to your appointment.



## PRELIMINARY PLAT REVIEW

Date: June 18, 2020  
Project: Kwik Trip 1089

Compiled by: Kathleen Connor, Planner  
Project No.: 119.0816.01

### GENERAL INFORMATION:

<b>Applicant:</b>	Kwik Trip, Inc.
<b>Property Owner:</b>	Polk City Venture, LLC
<b>Requested Action:</b>	Approval of Preliminary Plat
<b>Location</b>	Lot 1 of "Polk City Venture Plat 1"
<b>Size:</b>	4.41 acres
<b>Zoning:</b>	C-2
<b>Proposed Use:</b>	Convenience Store with Car Wash

### BACKGROUND:

City Council approved the Final Plat for Polk City Venture in December of 2013. This two-lot plat subdivided the C-2 commercial property from the R-3 residential property for marketing purposes. The residential area was subsequently developed as Bridgeview Plat 1.

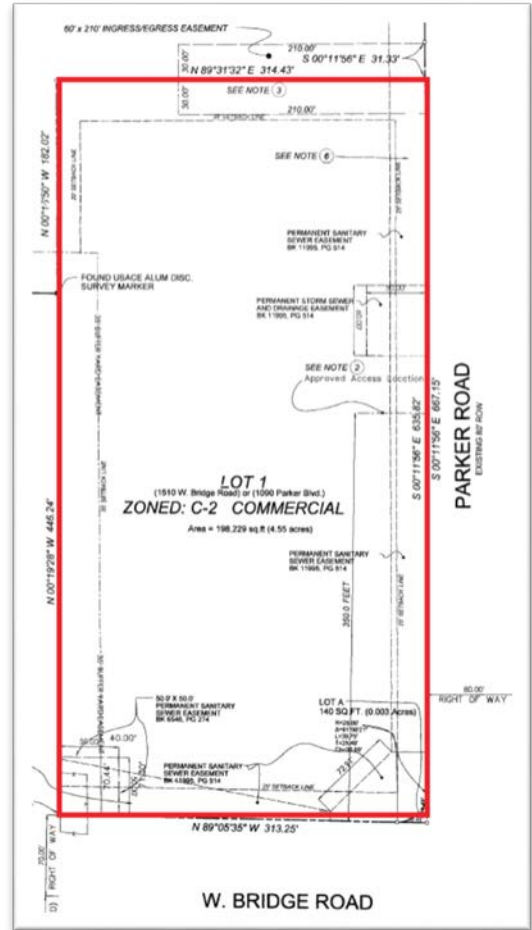
The 2013 Final Plat, as approved, placed certain restrictions on this property that impact commercial development:

- Access on Parker Blvd. is restricted to an approved location 350 feet north of W. Bridge Road.
- Parker Boulevard was constructed to accommodate dual left-turn lanes; with southbound left turns onto W. Bridge Road and northbound left turns into this lot. However, it is currently used only as a long southbound turn lane. Re-stripping of this turning lane, including gore striping to the north would need to be completed as a Site Plan improvement.
- Joint access will be permitted to this lot at the lift station's existing driveway on W. Bridge Road, provided the developer paves this access as a site plan improvement. It is further noted that this access will be right-in/right-out only access.

P&Z reviewed this Preliminary Plat at their June 15<sup>th</sup> meeting and recommend Council approval.

### DESCRIPTION:

Kwik Trip is now planning to construct a new Kwik Star convenience store on this property. The developer's original intention was to subdivide this property into two lots, with the south lot developed with a Kwik Star and north lot reserved for future development by others. The developer's revised



concept calls for the Kwik Star to develop the entire property as one lot. Due the need for public improvements and easements associated with this development, the developer plans to plat the property prior to site plan approval.

The proposed public improvements associated with this plat include the following:

- A. **Traffic Signal.** The Traffic Impact Study recommends installation of a traffic signal at the intersection of W. Bridge Road at Parker Blvd. the year Kwik Star opens. The design, construction, and Iowa DOT approval of this traffic signal will be the developer's responsibility in accordance with a Development Agreement as approved by City Council.
- B. **Parker Blvd Improvements.** The south right-in/right out access on Parker Blvd necessitates a 4-foot wide median on Parker Blvd to ensure there are no northbound left turns into the Kwik Star site from Parker Blvd. Additional improvements on Parker Blvd. include pavement widening to accommodate the median, pavement markings including crosswalk, and ADA-compliant ramps on both sides of the intersection, and reconstruction of the 4' sidewalk along Parker Blvd.
- C. **W. Bridge Road Improvements.** A westbound, right-turn lane will need to be provided at the proposed entrance on W. Bridge Road. Additional improvements include a median on W. Bridge Road to restrict eastbound left turns into the Kwik Star site, pavement markings, and a 10' wide recreational trail along the frontage of the property.
- D. **Edgewater Drive Improvements.** Since this development will not utilize the driveway approach from Edgewater Drive, this approach will need to be replaced with a long sweep curb.
- E. **Storm Sewers.** A public storm sewer will be constructed to convey runoff from the existing culvert beneath Parker Blvd to the west property line. A second public storm sewer will encapsulate the ditch on the north side of W. Bridge Road.

**REVIEW COMMENTS:**

Submittal #4 addressed all of staff's review comments.

**RECOMMENDATION:**

P&Z and staff recommends Council approval of the Preliminary Plat for Kwik Trip 1089, subject to the following:

1. Payment in full of all fees to the City Clerk.

**RESOLUTION NO. 2020-74**

**A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR  
KWIK TRIP 1089**

---

**WHEREAS**, Thomas Land Surveying, L.L.C.; on behalf of Polk City Venture, L.L.C. and Kwik Trip, Inc. has submitted a Preliminary Plat for Kwik Trip 1089; and

**WHEREAS**, on June 15, 2020 the Polk City Planning and Zoning Commission met and recommended approval of the Preliminary Plat for Kwik Trip 1089, subject to completion of the City Engineer's review comments and recommendations being satisfactorily addressed; and

**WHEREAS**, the City Engineer has reviewed the Preliminary Plat and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Preliminary Plat.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and deems it appropriate to approve the Preliminary Plat for Kwik Trip 1089.

**PASSED AND APPROVED** the 22nd day June 2020.

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Jason Morse, Mayor

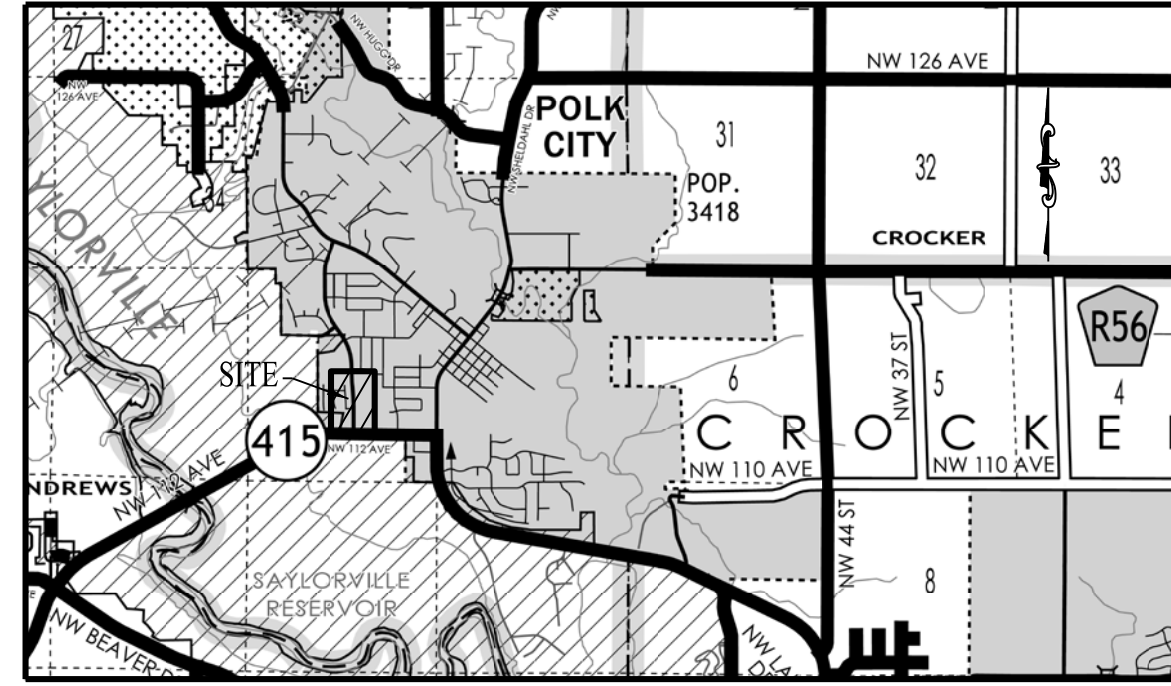
ATTEST:

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Jenny Gibbons, City Clerk



VICINITY MAP



LEGEND

- ▲ FOUND SECTION CORNER
- FOUND 2" IR W/YELLOW CAP #4640
- FOUND 2" IR W/YELLOW CAP #19710
- SET 2" IR W/BLE CAP #19968
- UTILITY POLE
- ⊕ TRAFFIC SIGN
- ⊕ MAIL BOX
- GRADE FLOW ARROW
- PIPE FLOW ARROW
- S.W.F.E. SURFACE WATER FLOWAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- EXISTING CONTOUR
- PROPERTY LINE
- SECTION LINE
- CENTERLINE
- FENCE LINE
- ELECTRIC LINE
- TELEPHONE LINE
- GAS MAIN
- WATER MAIN
- SANITARY SEWER
- TREE LINE

0' 1" = 1 MILE  
SCALE: 1" = 1 MILE

KWIK TRIP 1089  
PRELIMINARY PLAT

LEGAL DESCRIPTION:

ALL OF LOT 1 IN POLK CITY VENTURE, AN OFFICIAL PLAT, EXCEPT LOT 'B' OF BRIDGEVIEW PLAT 1, AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA.

BENCHMARK DATA:

BURY BOLT ON HYDRANT APPROX. 2' EAST OF SIDEWALK ON THE EAST SIDE OF PARKER BLVD.  
EAST SIDE OF PROPOSED SITE.  
NAVD88 ELEVATION=908.39  
IOWA STATE PLANE SOUTH COORDINATE SYSTEM  
N=7,552,177.01  
E=18,497,647.87

INDEX LEGEND

COUNTY: POLK  
LOCATION: PART OF LOT 1 IN POLK CITY VENTURE, POLK CITY SE1/4, SEC.02-80-25  
SURVEY FOR OWNER: POLK CITY VENTURE LLC  
707 SKOKIE BLVD, STE 190  
NORTHBROOK, IL 60062-2857  
REQUESTOR: KWIK TRIP INC.  
CONTACT: KRISTINE RIDDLE  
P.O. BOX 2107  
LA CROSSE, WI 54602-2107  
(609) 781-8988  
SURVEYOR AND SURVEY COMPANY:  
MATT THOMAS, P.S.  
THOMAS LAND SURVEYING, LLC  
6230 90th AVENUE, INDIANOLA, IA 50125  
RETURN TO AND PREPARED BY:  
MATT THOMAS, 6230 90th AVENUE,  
INDIANOLA, IOWA 50125  
(515) 494-6663  
DATE OF SURVEY: 08-01-2019 THRU 08-23-2019

SITE INFORMATION

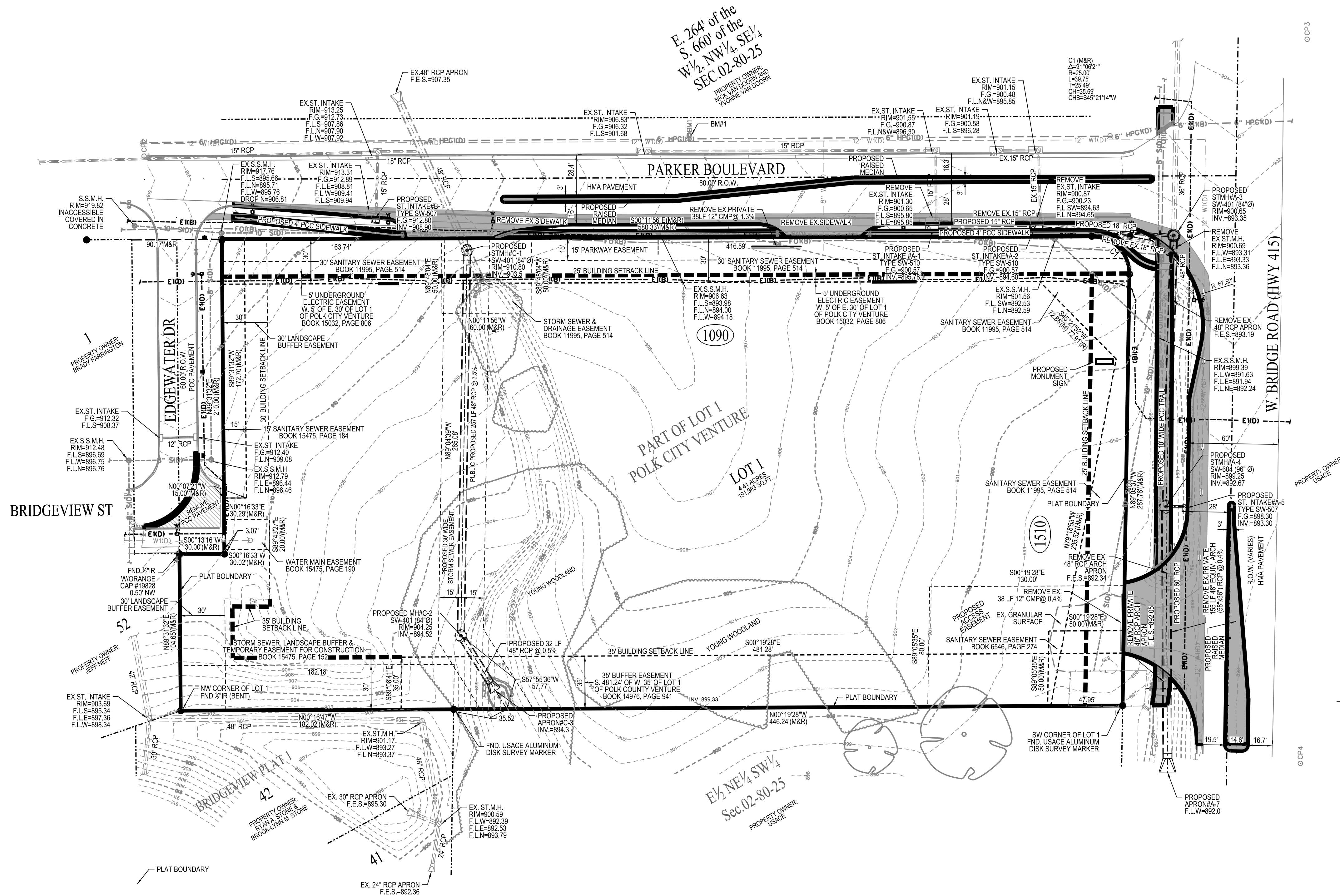
OWNER:  
POLK CITY VENTURE LLC  
707 SKOKIE BLVD, STE 190  
NORTHBROOK, IL 60062-2857  
CURRENT ZONING: C-2 COMMERCIAL DISTRICT  
BUILDING HEIGHT LIMIT: 4 STORIES OR 60'  
MINIMUM LOT AREA: NONE  
MINIMUM FRONT YARD DEPTH: 25'  
MINIMUM SIDE YARD DEPTH: NONE  
MINIMUM REAR YARD DEPTH: 35'  
WATER: CITY OF POLK CITY  
WASTEWATER TREATMENT: PUBLIC SANITARY SEWER - CITY OF POLK CITY  
FEMA FIRM MAP: FLOOD ZONE X -  
COMMUNITY PANEL NO. 19153C0040F, FEBRUARY 1, 2019

SUBMITTAL DATES:

- 1st SUBMITTAL: 08-26-2019
- 2nd SUBMITTAL: 04-28-2020
- 3rd SUBMITTAL: 04-29-2020
- 4th SUBMITTAL: 06-08-2020

NOTES:

1. CONSTRUCTION SCHEDULE TO BEGIN WORK IN SPRING OF 2021.
2. DEVELOPER WILL BE RESPONSIBLE FOR A TEMPORARY TRAFFIC SIGNAL AT THE INTERSECTION OF W. BRIDGE RD. AT PARK BLVD. UNTIL A PERMANENT TRAFFIC SIGNAL CAN BE INSTALLED.
3. DEVELOPER WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF A TRAFFIC SIGNAL AT THE INTERSECTION OF W. BRIDGE RD. AT PARK BLVD. IN ACCORDANCE WITH A DEVELOPMENT AGREEMENT AS APPROVED BY THE CITY COUNCIL.
4. DEVELOPER WILL BE RESPONSIBLE FOR A 4-FOOT WIDE MEDIAN WILL BE REQUIRED ON PARKER BLVD. TO ENSURE THERE ARE NO NORTHBOUND LEFT TURNS INTO THE KWIK STAR SITE FROM PARKER BLVD. PAVEMENT WIDENING TO ACCOMMODATE THE MEDIAN, PAVEMENT MARKINGS INCLUDING A CROSSWALK AND ADA-COMPLIANT RAMPS FOR A 10-FOOT RECREATIONAL TRAIL ON BOTH SIDES ON THE INTERSECTION ARE ALSO THE RESPONSIBILITY OF THE DEVELOPER.
5. DEVELOPER WILL BE RESPONSIBLE FOR A WESTBOUND RIGHT TURN LANE ON W. BRIDGE RD. AT THE PROPOSED DRIVEWAY.
6. DEVELOPER WILL BE RESPONSIBLE FOR A 4-FOOT WIDE MEDIAN WILL BE REQUIRED ON W. BRIDGE RD. TO ENSURE THERE ARE NO EASTBOUND LEFT TURNS INTO THE KWIK STAR SITE NEAR THE CITY LIGHT STATION.
7. DEVELOPER WILL BE RESPONSIBLE FOR REMOVING THE DRIVEWAY APPROACH FROM EDGEWATER DRIVE AND REPLACING WITH A CURB AND GUTTER SECTION.
8. PAVEMENT MARKINGS WILL BE SUBJECT TO APPROVAL OF THE CONSTRUCTION DRAWINGS.
9. DEVELOPER WILL REMOVE EXISTING DRAINAGE STRUCTURES ALONG THE NORTH SIDE OF W. BRIDGE RD. AND CONSTRUCT A PUBLIC STORM SEWER IN ITS PLACE.
10. DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT A PUBLIC STORM SEWER FROM THE EXISTING CULVERT BENEATH PARKER BLVD. ACROSS THE PROPOSED LOT TO THE POINT OF DISCHARGE NEAR THE USAGE PROPERTY.
11. DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT A 10-FOOT WIDE TRAIL ALONG THE NORTH SIDE OF W. BRIDGE RD. ADJACENT TO THEIR PROPERTY. ADDITIONAL OFF-SITE TRAILS MAY BE NECESSARY AS PART OF A DEVELOPMENT AGREEMENT TO COMPLETE THE TRAIL SYSTEM AND PROVIDE IMPROVED PEDESTRIAN/BIKER ACCESS TO KWIK STAR.
12. WATER SUPPLY AND WASTEWATER DISPOSAL SHALL BE PROVIDED BY THE CITY OF POLK CITY.





## FINAL PLAT REVIEW

Date: June 18, 2020  
Project: Kwik Trip 1089

Compiled by: Kathleen Connor, Planner  
Project No.: 119.0816.01

### GENERAL INFORMATION:

Applicant: Kwik Trip, Inc.  
Request: Approval of Final Plat  
Location: Lot 1 of Polk City Venture Plat 1  
Size: 4.41 acres  
Zoning: C-2



### DESCRIPTION:

Kwik Trip is now planning to construct a new Kwik Star convenience store on the subject property. Due to the need for public improvements and easements associated with this development, the developer plans to plat the property prior to site plan approval.

The developer has submitted the Preliminary Plat, Construction Drawings for Public Improvements, and Final Plat for this property. The Preliminary Plat and Construction Drawings for Public Improvements will need to be approved prior to, or concurrently with, the Final Plat. The related Site Plan for Kwik Star will be presented to Council approval after the Final Plat has been approved.

### FINAL PLAT REVIEW COMMENTS:

- A. **Final Plat.** Submittal #6 addresses all review comments.
- B. **Legal Documents.** All legal documents, shall be provided for review and approval by the City Attorney prior to this item being placed on the Council agenda. These documents include:
  1. *Development Agreement* regarding the terms for splitting the cost of the traffic signal and potentially some additional offsite trails.
  2. *Easement documents* for proposed easements shown on the Final Plat, revised per the City Attorney's comments, as follows:
    - a. 30' Public Storm Sewer Easement
    - b. 30' Landscape Buffer Easement.
    - c. 15' Parkway Easement
    - d. Lift Station Access Easement
  3. *Subdivision Bond* covering the cost of all public improvements, including traffic signal.

4. *Platting legal documents* including but not limited to Title Opinion, Consent to Plat, and Certificate of Treasurer.

**C. Public Improvements Acceptance.** It is our understanding the developer would like to proceed with Final Plat approval at this time in order to move forward with Site Plan approval. Since construction of the required public improvements are expected to be completed concurrently with the construction of the private site plan improvements, the developer will need to provide a Subdivision Bond covering the cost of the public improvements depicted on the construction drawings.

The public improvements shall be completed prior to a Certificate of Occupancy being issued for the convenience store, with the possible exception of the traffic signal in which case a temporary traffic signal will be installed prior to opening. Prior to City Council acceptance of these public improvements, construction will need to be completed and all punch list items generated from the future walk-thru will need to be addressed.

The developer should be aware that the public improvements require construction observation by the City Engineer. The developer will be responsible for fees associated with this service. In addition, the developer's contractors will need to provide four-year Maintenance bonds for the public improvements prior to City Council acceptance. The developer's engineer will need to provide as-built Record Drawings prior to acceptance.

### **RECOMMENDATION:**

Based on approval of all legal documents by the City Attorney; P&Z and staff recommend City Council approval of the Final Plat for Kwik Trip 1089, subject to the following:

1. Prior City Council approval of the Preliminary Plat and Construction Drawings for Kwik Trip #1089, including paving improvements, public storm sewers, and traffic signal.
2. Provision of a recorded copy of the Final Plat; including all legal documents, easements, and Development Agreement; prior to issuance of a Building Permit for any structure on Lot 1 of Kwik Trip 1089.
3. Approval by Iowa DOT of a permit for the traffic control device and related improvements on W. Bridge Road prior to issuance of a Building Permit for any structure on Lot 1 of Kwik Trip 1089.
4. Provision of an executed copy of the purchase order for traffic signal poles and equipment and a copy of the contract for their installation prior to issuance of the Building Permit for any structure on Lot 1 of Kwik Trip 1089.
5. City Council acceptance of the Public Improvements prior to issuance of a permanent or temporary Certificate of Occupancy for this Kwik Star; provided however, if the traffic signal equipment or poles has not been delivered in a timely fashion, a temporary signal shall be operational prior to the opening of the convenience store on Lot 1 of Kwik Trip 1089.
6. Payment in full of all fees and professional billings.

**RESOLUTION NO. 2020-75**

**A RESOLUTION APPROVING THE FINAL PLAT FOR  
KWIK TRIP 1089 INCLUDING EASEMENTS AND PERFORMANCE BOND**

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**WHEREAS**, Thomas Land Surveying, L.L.C.; on behalf of Polk City Venture, L.L.C. and Kwik Trip, Inc.; has submitted a Final Plat, including easements, performance bond, and legal documents for Kwik Trip 1089; and

**WHEREAS**, on June 22, 2020, the City Council approved the Preliminary Plat for Kwik Trip 1089; and

**WHEREAS**, on June 22, 2020, the City Council approved the Construction Drawings for Public Improvements for Kwik Star #1089 covering pavement widening and median islands on Parker Boulevard and W. Bridge Road, a right-turn lane on W. Bridge Road, public storm sewers, a recreational trail along the frontage of W. Bridge Road, and traffic signals at the intersection of Parker Boulevard and W. Bridge Road., subject to all City Engineer's review comments being addressed prior to the Final Plat being released for recordation; and

**WHEREAS**, on June 15, 2020, the Polk City Planning and Zoning Commission met and recommended approval of the Final Plat for Kwik Trip 1089, subject to completion of the City Engineer's review comments and recommendations being satisfactorily addressed; and

**WHEREAS**, the developer has provided a performance bond as surety for completion of the public improvements included on said Construction Drawings for Public Improvements for Kwik Star #1089 in the amount of \$982,429.12; and

**WHEREAS**, no Building Permits shall be issued for any structure on Lot 1 of Kwik Trip 1089 until such time as all necessary Iowa DOT permits have been obtained and the traffic signal equipment and poles have been ordered; and

**WHEREAS**, no permanent Certificates of Occupancy shall be issued for any structure on Lot 1 of Kwik Trip 1089 until the public improvements have been accepted by City Council provided that a temporary Certificate of Occupancy may be issued if the traffic signal equipment and/or poles were not delivered in a timely fashion and a temporary signal is operational prior to the opening of the convenience store; and

**WHEREAS**, the City Engineer and City Attorney have reviewed the Final Plat and all necessary legal documents including easements and performance bond and find all documents to be in order and therefore recommend approval of said Final Plat.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission, City Attorney and City Engineer and deems it appropriate to approve the Final Plat, including Easements and Performance Bond for Kwik Trip 1089 subject to the following:

- A. Provision of a recorded copy of the Final Plat; including all legal documents, easements, and Development Agreement to the City Clerk prior to issuance of a Building Permit for any structure on Lot 1 of Kwik Trip 1089.
- B. Approval by Iowa DOT of all necessary permits for the traffic control device and work-related improvements on W. Bridge Road (Hwy 415) prior to issuance of a Building Permit for any structure on Lot 1 of Kwik Trip 1089.
- C. Provision of an executed copy of the purchase order for traffic signal poles and equipment and a copy of the contract for their installation to the City Clerk prior to issuance of the Building Permit for any structure on Lot 1 of Kwik Trip 1089.
- D. City Council acceptance of the Public Improvements prior to issuance of a permanent or temporary Certificate of Occupancy for this Kwik Star; provided however, if the traffic signal equipment or poles has not been delivered in a timely fashion, a temporary signal shall be operational prior to the opening of the convenience store on Lot 1 of Kwik Trip 1089.

**PASSED AND APPROVED** the 22nd day of June 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk



# KWIK TRIP 1089 FINAL PLAT

## INDEX LEGEND

COUNTY: POLK  
LOCATION: PART OF LOT 1 IN POLK CITY VENTURE, POLK CITY SE¼, SEC.02-T80N-R25W

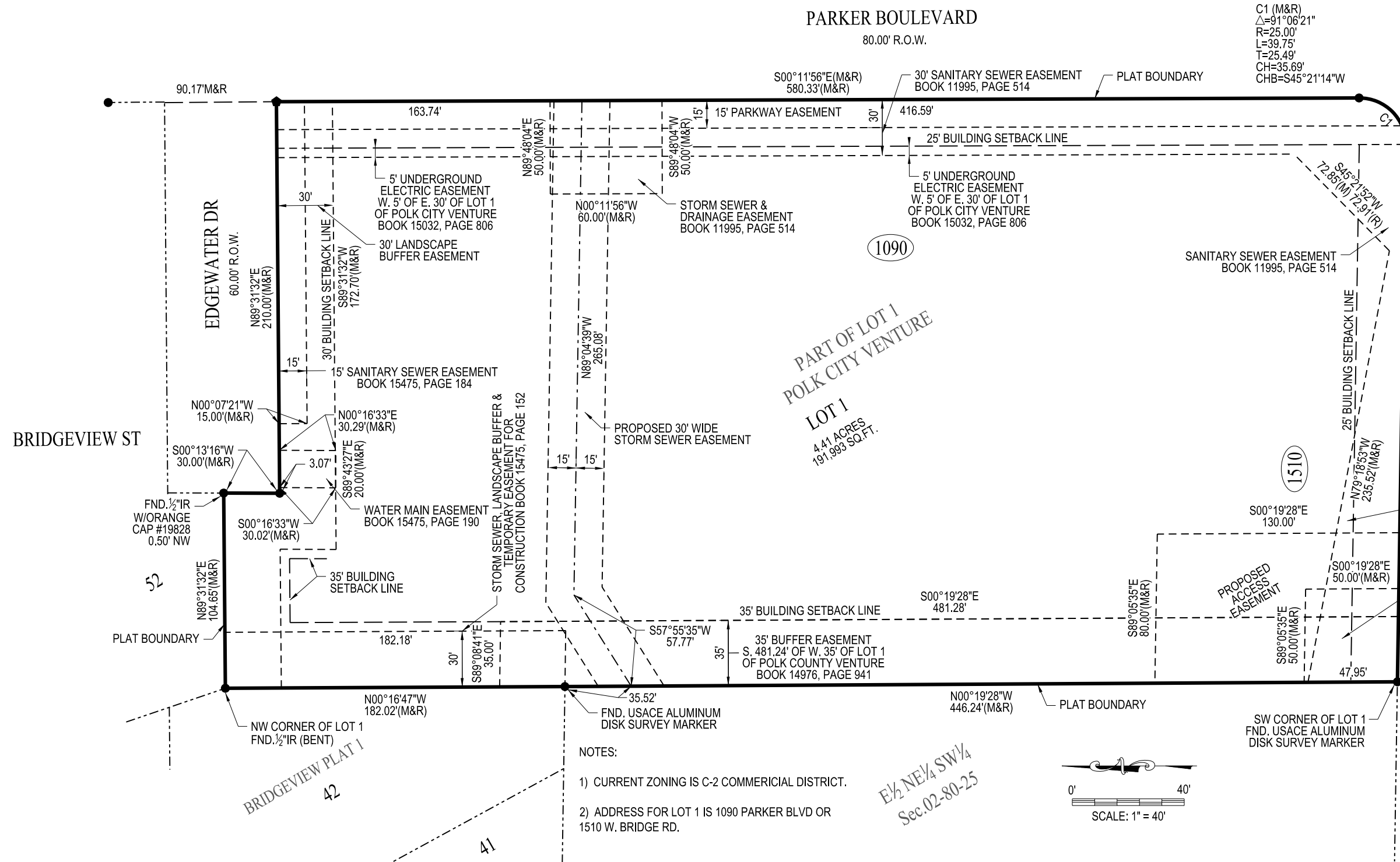
SURVEY FOR OWNER: POLK CITY VENTURE LLC  
707 SKOKIE BLVD. STE 190  
NORTHBROOK, IL 60062-2857

REQUESTOR: KWIK TRIP INC.  
CONTACT: KRISTINE RIDDLE  
P.O. BOX 2107  
LA CROSSE, WI 54602-2107  
(608) 781-8988

SURVEYOR AND SURVEY COMPANY:  
MATT THOMAS, PLS  
THOMAS LAND SURVEYING, LLC  
6230 90th AVENUE, INDIANOLA, IA 50125

RETURN TO AND PREPARED BY:  
MATT THOMAS, 6230 90th AVENUE,  
INDIANOLA, IOWA 50125  
(515) 494-6663

DATE OF SURVEY: 08-01-2019 THRU 08-23-2019



PART OF LOT 1  
POLK CITY VENTURE  
**LOT 1**  
4.41 ACRES  
191,993 SQ.FT.

- NOTES:
- 1) CURRENT ZONING IS C-2 COMMERCIAL DISTRICT.
  - 2) ADDRESS FOR LOT 1 IS 1090 PARKER BLVD OR 1510 W. BRIDGE RD.

LEGEND	
▲	FOUND SECTION CORNER
●	FOUND 1/2"IR W/YELLOW CAP #4640
■	FOUND 1/2"IR W/YELLOW CAP #19710
○	SET 1/4"IR W/BLUE CAP #19968
---	PROPERTY LINE
----	SECTION LINE

LEGAL DESCRIPTION:  
ALL OF LOT 1 IN POLK CITY VENTURE, AN OFFICIAL PLAT, EXCEPT LOT "B" OF BRIDGEVIEW PLAT 1, AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA.

**TLS**  
THOMAS  
LAND  
SURVEYING, LLC  
6230 90th AVENUE  
INDIANOLA, IA 50125  
TELE.: 515.494.6663



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: *Matthew J. Thomas* Date: 06-08-2020  
Name: (Printed or typed) Matthew J. Thomas  
License Number: 19968  
My license renewal date is December 31, 2021.  
Pages or sheets covered by this seal: THIS SHEET

<b>KWIK TRIP 1089 FINAL PLAT</b>				
REQUESTED BY TITLE HOLDER: POLK CITY VENTURE LLC				
PROJECT NUMBER	19085	COUNTY	DATE DRAWN	YEAR
		POLK	06-08-2020	2020
				SHEET NO.
				1

## **CONSTRUCTION DRAWINGS REVIEW**

Date: June 15, 2020  
Prepared by: John Haldeman, P.E.  
Justin Jackson, P.E.  
Travis Thornburgh, E.I.

Project: Kwik Star #1089  
Public Improvements  
Project No.: 119.0816.01

### **REVIEW COMMENTS:**

Pursuant to our review of Submittal #3 of the Construction Drawings and Storm Water Management Plan, we offer the following comments.

#### **General:**

1. Provide response letter noting how each of the following comments was addressed.
2. Remove the Alta Survey/existing site survey from the public improvements plan set and Drawing Index. Provide benchmarks, horizontal datum, and vertical datum information elsewhere in the plan set.
3. Remove surveyor contact information from title sheet.
4. Add to sheet P.7 general notes, two weeks prior to any work in DOT ROW, Contractor to notify City, Snyder & Associates, Developer, DOT District Office and Iowa DOT 511 Center of construction schedule including timeframe and traffic control details of all operations that will require traffic control placed in DOT ROW.
5. Provide Traffic Control Plan for review and include in plan set.

#### **Storm Sewers:**

6. Provide design information for scour basin with the SWMP.
7. Clearly identify all flared end sections (aprons) that will be removed when storm sewer is extended.
8. Note that apron guards shall be provided for all storm sewer aprons.
9. Revise storm sewer plans to accommodate all comments from DOT.

#### **Paving and Roadway:**

10. Stop line shall be 24" width with a separation from adjacent crosswalk line of 4'.
11. Add note to remove any pavement markings extending towards the center of the intersection past the proposed stop line markings.
12. Paint raised median noses with yellow pavement marking paint.
13. Arrow pavement markings shall be placed with 40' clearance from stop line.
14. Remove ONLY pavement marking from Parker Blvd southbound right turn lane.
15. Parker Blvd place northern set of arrow pavement markings 50' from start of the left turn lane.



16. Remove existing street light pole in northwest quadrant on Bridge Rd.
17. Move relocated street light in the northwest quadrant on Parker Blvd from its existing location 10' north and 5' from edge of proposed curb.

**Traffic Signal:**

18. N.1 - Verify signal quantities on sheet N.1. There are discrepancies between quantities and layout equipment.
19. N.1 – Delete traffic signal pole foundation detail in SUDAS detail list. Keep footing detail in N.5.
20. N.1 - Add quantity and note to add GPS antenna receiver to provide time of day to controller at proposed cabinet at Parker Blvd and existing cabinet at 3<sup>rd</sup> St.
21. N.1 – Controller shall be Naztec ATC.
22. N.2 - Identify ROW line in all quadrants.
23. N.2 – Poles #2 & #3 should be placed at 10' from edge of roadway on the north side of the trail. Provide an operable space for pushbutton access as per ADA requirements.
24. N.3 – Pole #2 make pedestal pole with 2'x3' footing.
25. N.3- 2" conduit to pole #3.
26. N.3 – 2-LUM to cabinet and pole #1.
27. N.3 – Detectors #41 & #81 note to have 4 turns in detector summary table.
28. N.4 – Eliminate phases in Traffic Phasing and Color Sequence not utilized.
29. N.4 – Include phase 3+8 in Traffic Phasing and Color Sequence .
30. N.4 – Provide clearance timings calculations.
31. N.4 – Walk time 7 seconds.
32. N.5 – Detail #2 show 2' clearance to from top of conduit to top of finished grade.

**NOTE:**

Review of the construction drawings and storm water management plan by Snyder & Associates as the City Engineer is for general conformance with Polk City's Subdivision Ordinance and SUDAS only. The developer's engineer is solely responsible for their design and ensuring its full compliance with all applicable code requirements and permits.

**RESOLUTION NO. 2020-76**

**A RESOLUTION APPROVING THE CONSTRUCTION DRAWINGS FOR PUBLIC IMPROVMENTS FOR KWIK TRIP 1089**

---

**WHEREAS**, on behalf of Kwik Trip, Inc., Sunde Engineering, PLLC and Kimley-Horn and Associates, Inc. have submitted the construction drawings for public improvements associated with Kwik Trip 1089 Final Plat and the site plan for Kwik Star; said plans include pavement widening and median islands on Parker Boulevard and W. Bridge Road, a right-turn lane on W. Bridge Road, public storm sewers, a recreational trail along the frontage of W. Bridge Road, and traffic signals at the intersection of Parker Boulevard and W. Bridge Road; and

**WHEREAS**, on June 22, 2020, the City Council approved the Preliminary Plat for Kwik Trip 1089; and

**WHEREAS**, the City Engineer has reviewed the Construction Drawings for public improvements and find them to be in substantial conformance with Polk City Subdivision Regulations and SUDAS provided all engineering review comments enumerated in Snyder & Associates' memo dated June 18, 2020 are satisfactorily addressed; and

**WHEREAS**, Kwik Trip, Inc. shall be responsible for obtaining all necessary permits for construction, including but not limited to applicable Iowa Department of Transportation's permits including ROW permit and Traffic Control Device permit, the Iowa DNR permits for water main and sanitary sewer construction, and the NPDES Storm Water Discharge permit; and

**WHEREAS**, the City Engineer recommends approval of the Construction Drawings for Public Improvements associated with Kwik Trip 1089 Final Plat and the site plan for Kwik Star subject to all review comments being satisfactorily addressed and subject to all permits being approved prior to a Building Permit being issued for any building on Kwik Trip 1089.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the City Engineer sand deems it appropriate to approve the Construction Drawings for Public Improvements associated with Kwik Trip 1089 Final Plat and the site plan for Kwik Star subject to all necessary permits being approved prior to a Building Permit being issued for any building on Kwik Trip 1089. City Council further resolves to authorize the City Manager to sign the application forms for said permits on behalf of the City of Polk City.

**PASSED AND APPROVED** the 22nd day of June 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk



## SITE PLAN REVIEW

Date: June 16, 2020  
Project: Kwik Star

Compiled by: Kathleen Connor, Planner  
Project No.: 119.0816.01

### GENERAL INFORMATION:

<b>Applicant:</b>	Kwik Trip, Inc.
<b>Property Owner:</b>	Polk City Venture LLC
<b>Requested Action:</b>	Approval of Site Plan
<b>Location</b>	Lot 1; Kwik Trip 1089 Plat 1
<b>Size:</b>	4.41 acres
<b>Zoning:</b>	C-2
<b>Propose Use:</b>	Convenience Store with car wash



### PROJECT DESCRIPTION:

Kwik Trip proposes construction of a new Kwik Star convenience store on Lot 1 of Kwik Trip 1089 plat. The building will be approximately 7,298 SF in size. The building will be faced primarily with brick. A detached car wash with one bay, approximately 1,620 sf in size, will be constructed on the north side of the property. A canopy is proposed to cover 16 gasoline-pumping stalls and two diesel-pumping stalls.

Access to the site will be from both E. Bridge Road and Parker Boulevard. Public improvements including traffic signal, turning lanes, medians, and storm sewers were shown on the Preliminary Plat for Kwik Trip 1089 and are detailed on the Construction Drawings.

Building signs for the C-store, car wash and canopy signs together total less than the 177 square feet allowed, with no canopy sign larger than 13.87 square feet. The red fascia on the C-store and the red vinyl stripe on the canopy will not be lit.

Water service, including an additional hydrant, will be extended to the building. The building will not be sprinklered. Sanitary sewer construction will include a grease separator. The impact of this development on the existing pumps at the city's lift station is being evaluated. Detention will be provided in a basin in front of the facility.

Street trees will be planted at approximately 40' on center along W. Bridge Road and Parker Blvd. A 30' wide buffer with 6' tall white vinyl screening fence will be installed along the north property line.

A 10' wide recreational trail will be paved along W Bridge Road and the 4' wide sidewalk along Parker Blvd. will be completed. A picnic table area will be provided along Parker Blvd. A bike rack will be added on the south side of the parking lot in reasonable proximity to the recreational trail.

**STAFF REVIEW COMMENTS:**

Submittal #5 addressed all staff review comments.

**RECOMMENDATION:**

P&Z and staff recommend Council approval of the Site Plan for Kwik Star, subject to the following:

1. City Council approval of the Preliminary Plat, Construction Drawings for Public Improvements, and Final Plat for Kwik Trip 1089 prior to approval of this Site Plan.
2. Provision of an executed copy of the purchase order for traffic signal poles and equipment and a copy of the contract for their installation prior to issuance of the Building Permit for Kwik Star.
3. City Council acceptance of the Public Improvements prior to issuance of a permanent or temporary Certificate of Occupancy for this Kwik Star; provided however, if the traffic signal equipment or poles has not been delivered in a timely fashion, a temporary signal shall be operational prior to the opening of the C-store.
4. Recordation of the Final Plat and required platting documents prior to issuance of a Building Permit for this Kwik Star.
5. Payment in full of all fees and professional billings.

**RESOLUTION NO. 2020-77**

**A RESOLUTION APPROVING THE SITE PLAN  
FOR KWIK STAR**

---

**WHEREAS**, Thomas Land Surveying, L.L.C.; on behalf of Polk City Venture, L.L.C. and Kwik Trip, Inc. has submitted a Site Plan for their proposed building to be located at the northwest corner of Parker Boulevard and W. Bridge Road on Lot 1 of Kwik Trip 1089 Plat 1, Polk City, Iowa; and

**WHEREAS**, on June 15, 2020, the Polk City Planning and Zoning Commission met and recommended approval of the Site Plan for Kwik Star, subject to all review comments being satisfactorily addressed; and

**WHEREAS**, the City Engineer has reviewed the Site Plan and accompanying documents and recommends its approval subject to the following:

1. Provision of an executed copy of the purchase order for traffic signal poles and equipment and a copy of the contract for their installation prior to issuance of the Building Permit for Kwik Star.
2. City Council acceptance of the Public Improvements prior to issuance of a permanent or temporary Certificate of Occupancy for this Kwik Star; provided however, if the traffic signal equipment or poles has not been delivered in a timely fashion, a temporary signal shall be operational prior to the opening of the C-store.
3. Recordation of the Final Plat and required platting documents prior to issuance of a Building Permit for this Kwik Star.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission and City Engineer and deems it appropriate to approve the Site Plan for Kwik Star subject to the provisions listed above.

**PASSED AND APPROVED** the 22nd day of June 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk





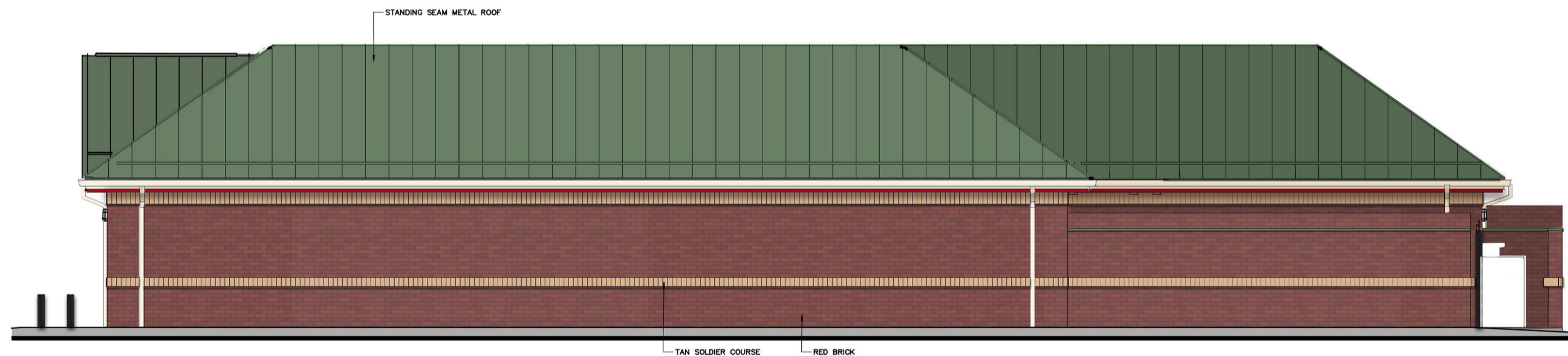
**1 FRONT ELEVATION**  
 $\frac{1}{4}'' = 1'-0''$

STANDING SEAM METAL ROOF  
 ALMOND FASCIA  
 RED FASCIA  
 TAN SOLDIER COURSE  
 RED BRICK  
 TAN STUCCO  
 STANDING SEAM METAL ROOF



**2 LEFT ELEVATION**  
 $\frac{3}{16}'' = 1'-0''$

TAN SOLDIER COURSE  
 RED BRICK



**3 REAR ELEVATION**  
 $\frac{3}{16}'' = 1'-0''$

TAN SOLDIER COURSE  
 RED BRICK



**4 RIGHT ELEVATION**  
 $\frac{3}{16}'' = 1'-0''$

TAN SOLDIER COURSE  
 RED BRICK  
 TAN STUCCO

NOTE; RED FASCIA SHALL NOT BE LIT

**VANTAGE**  
 ARCHITECTS, INC.

750 N. Third Street  
 La Crosse, WI 54601  
 Ph (608) 784-2729  
 Fax (608) 784-2826



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1628 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960





1 FRONT ELEVATION



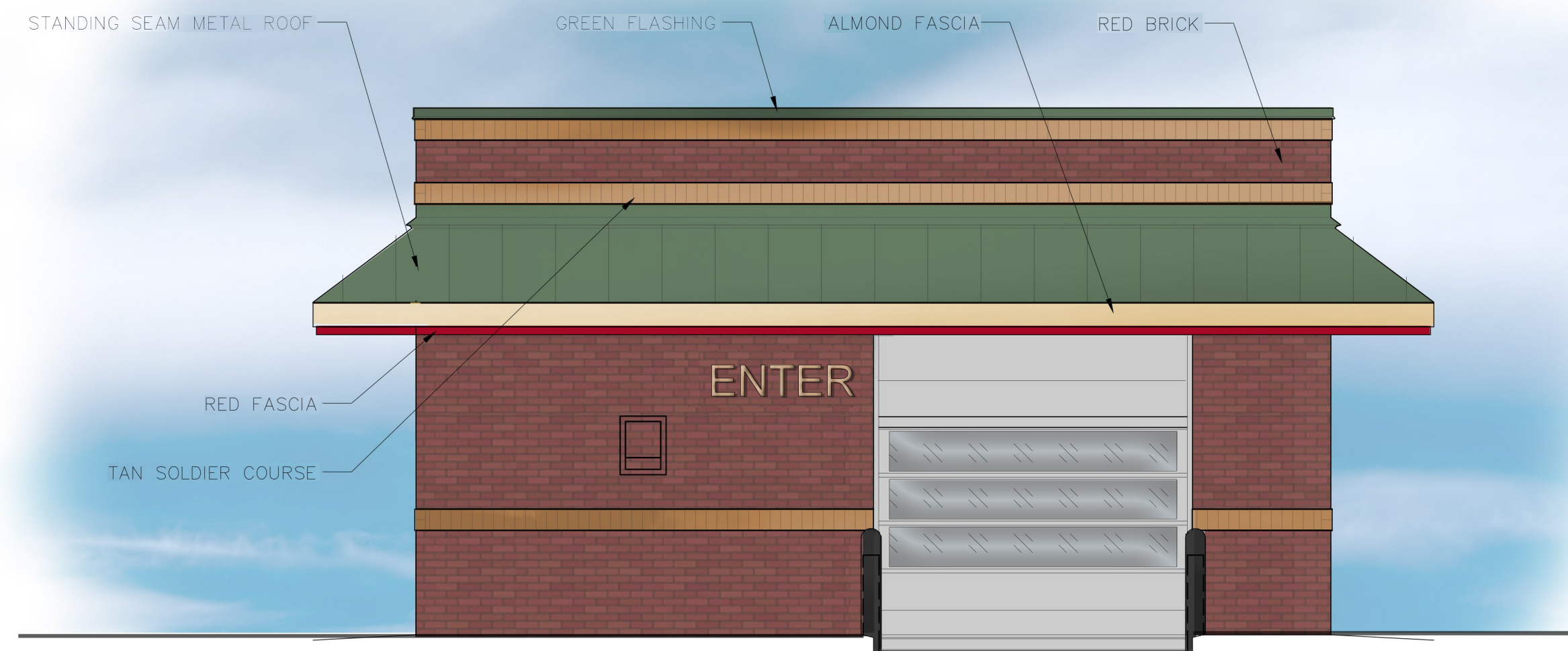
2 SIDE ELEVATION



KWIK TRIP, Inc.  
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 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
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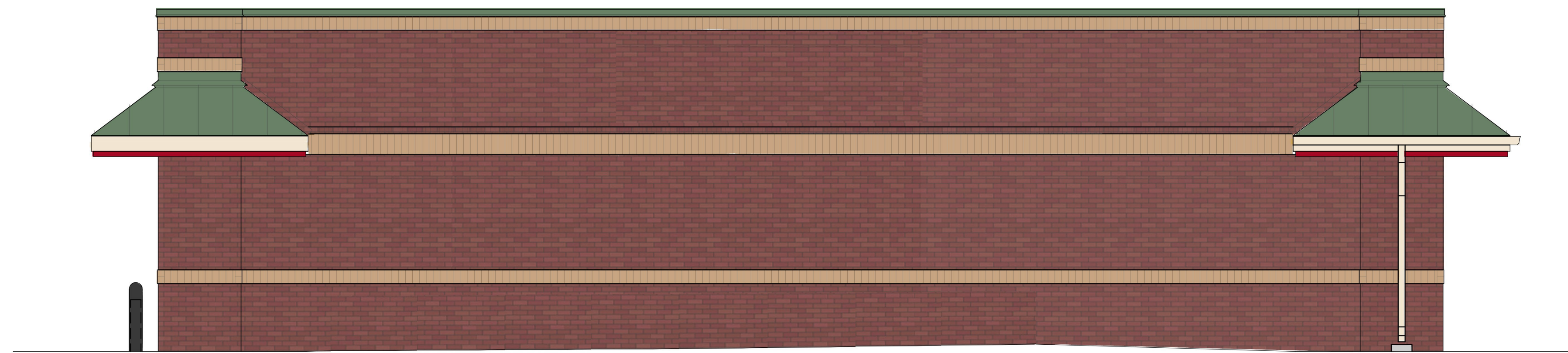
12 MPD





**1 EAST ELEVATION**  
1/4" = 1'-0"

**\*NOTE: RED FASCIA SHALL BE NOT LIT**  
\*All Air Dryers will be installed inside of building



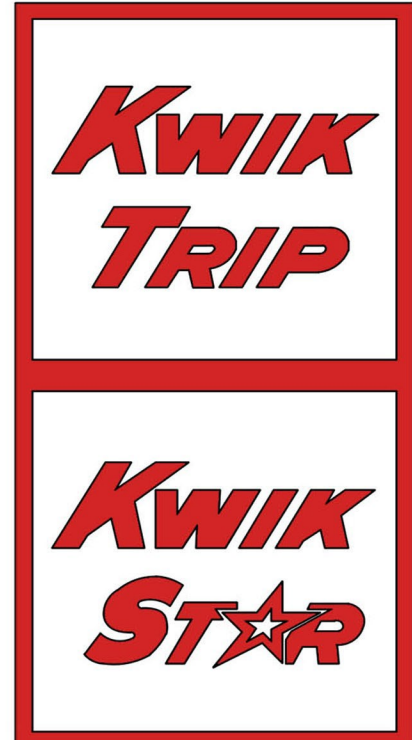
**2 NORTH ELEVATION**  
1/4" = 1'-0"



**3 WEST ELEVATION**  
1/4" = 1'-0"



**4 SOUTH ELEVATION**  
1/4" = 1'-0"



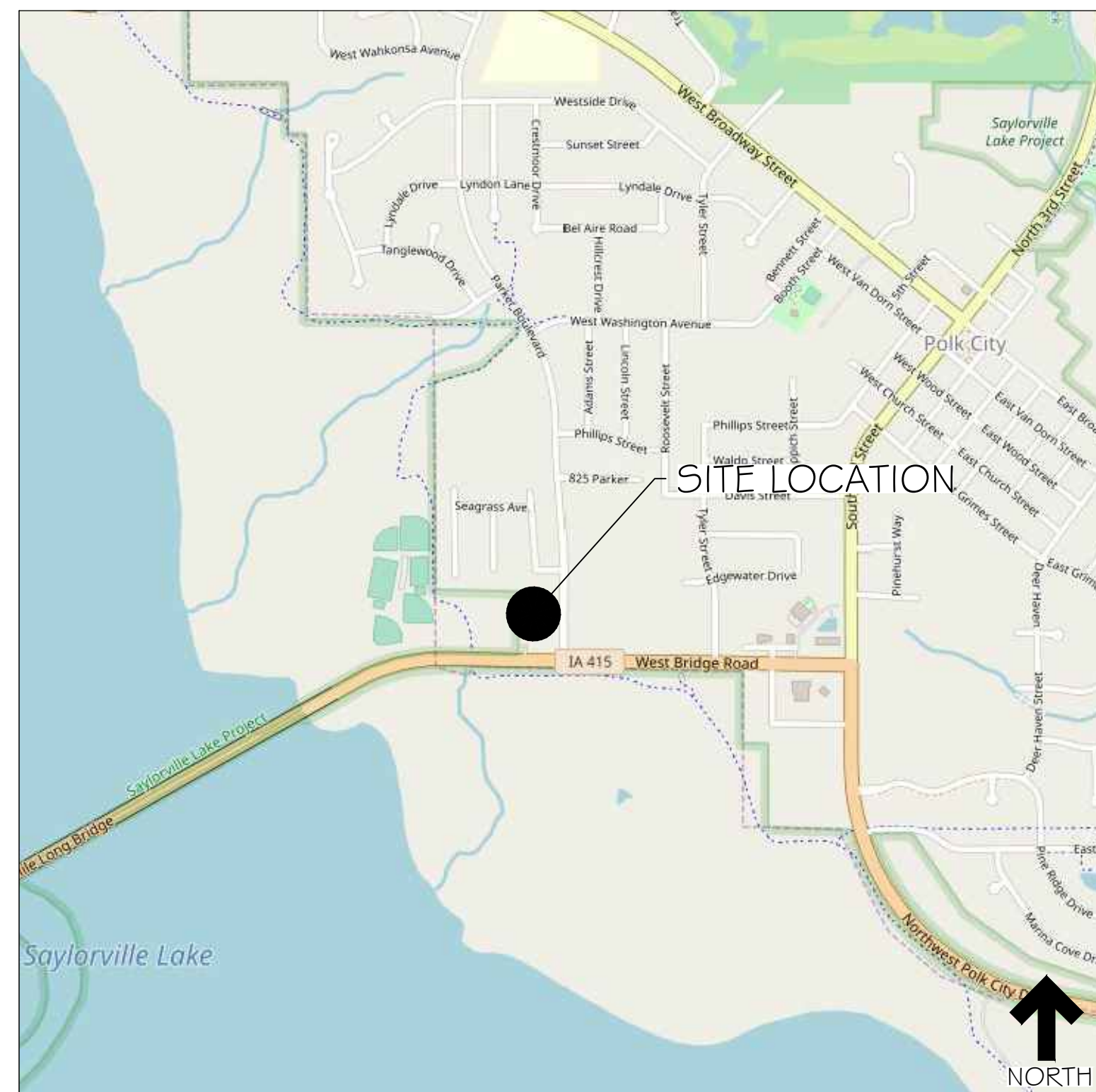
KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



# SITE IMPROVEMENT PLANS FOR:

KWIK STAR #1089  
POLK CITY, IA

SITE LOCATION MAP:



SITE AERIAL MAP:



DRAWING INDEX	
T 1	TITLE SHEET
SP0	SITE CIRCULATION PLAN
SP1	SITE DIMENSION PLAN
SP1.1	SITE KEYNOTE PLAN
SP2	GRADE PLAN
SP3	STORM SEWER PLAN
SP3.1	STORM SEWER NOTES & DETAILS
SP4	UTILITY PLAN
SP4.1	UTILITY NOTES
SP5	SITE PLAN DETAILS
SP6	SITE PLAN DETAILS
SP7	SUDAS SITE PLAN DETAILS
L1	LANDSCAPE PLAN
E1	PHOTOMETRIC SITE PLAN

**NOTES:**

-TEMPORARY OR PERMANENT POSTER-STYLE SIGNS ADVERTISING PRODUCTS OR SALES SHALL NOT BE MOUNTED TO THE EXTERIOR WALLS OF THE C-STORE OR CAR WASH BUILDINGS, FENCES, TRASH ENCLOSURE, GASOLINE CANOPY SUPPORTS, OR SIMILAR EXTERIOR LOCATIONS.

-TEMPORARY OR PERMANENT SIGNS DISPLAYED UNDER THE PUMP CANOPIES OR ON PUMP DISPENSERS SHALL HAVE LETTERS NO TALLER THAN 4 INCHES AND EACH SIGN SHALL HAVE A TOTAL SIGN AREA NO GREATER THAN 2 SQUARE FEET.

-A RAPID-ENTRY LOCK BOX SHALL BE INSTALLED ON THE BUILDING, WITH THE MODEL AND LOCATION ARE SUBJECT TO THE APPROVAL OF THE FIRE CHIEF.

-CAR WASH WILL BE OPERABLE BETWEEN THE HOURS OF 7AM AND 10PM IN ACCORDANCE WITH POLK CITY NOISE CONTROL ORDINANCE.

**PROPERTY DESCRIPTION:**  
LOT 1 OF KWIK TRIP 1089, IN POLK CITY VENTURE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA.

**AREA SUMMARY:**  
4.41 ACRES (191,933 S.F.)

**ZONING:**  
C-2 COMMERCIAL DISTRICT

**OUTDOOR MERCHANDISE:**  
There shall be no outdoor sales or storage on site, other than the outdoor merchandising area, ice merchandiser, propane exchange, firewood merchandising area, and screened delivery 'tote' storage shown on the approved site plan.

**KWIK  
TRIP**

**KWIK  
STAR**

**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

TITLE SHEET

CONVENIENCE STORE 1089

POLK CITY, IOWA

**OWNER:**  
KWIK TRIP INC.  
1626 OAK STREET  
LA CROSSE, WI 54602  
SCOTT ZIETLOW  
(608) 793-5933  
SJZietlow@kwiktrip.com

**SITE PLANNER:**  
INSITES SITE PLANNING  
3030 HARBOR LN N, SUITE 131  
PLYMOUTH, MN 55447  
BOB MUELLER  
763-383-8400  
Bob@insitesinc.net

**CIVIL ENGINEER:**  
SUNDE ENGINEERING  
10830 NESBITT AVE SOUTH  
BLOOMINGTON, MN 55437  
(952) 881-3344

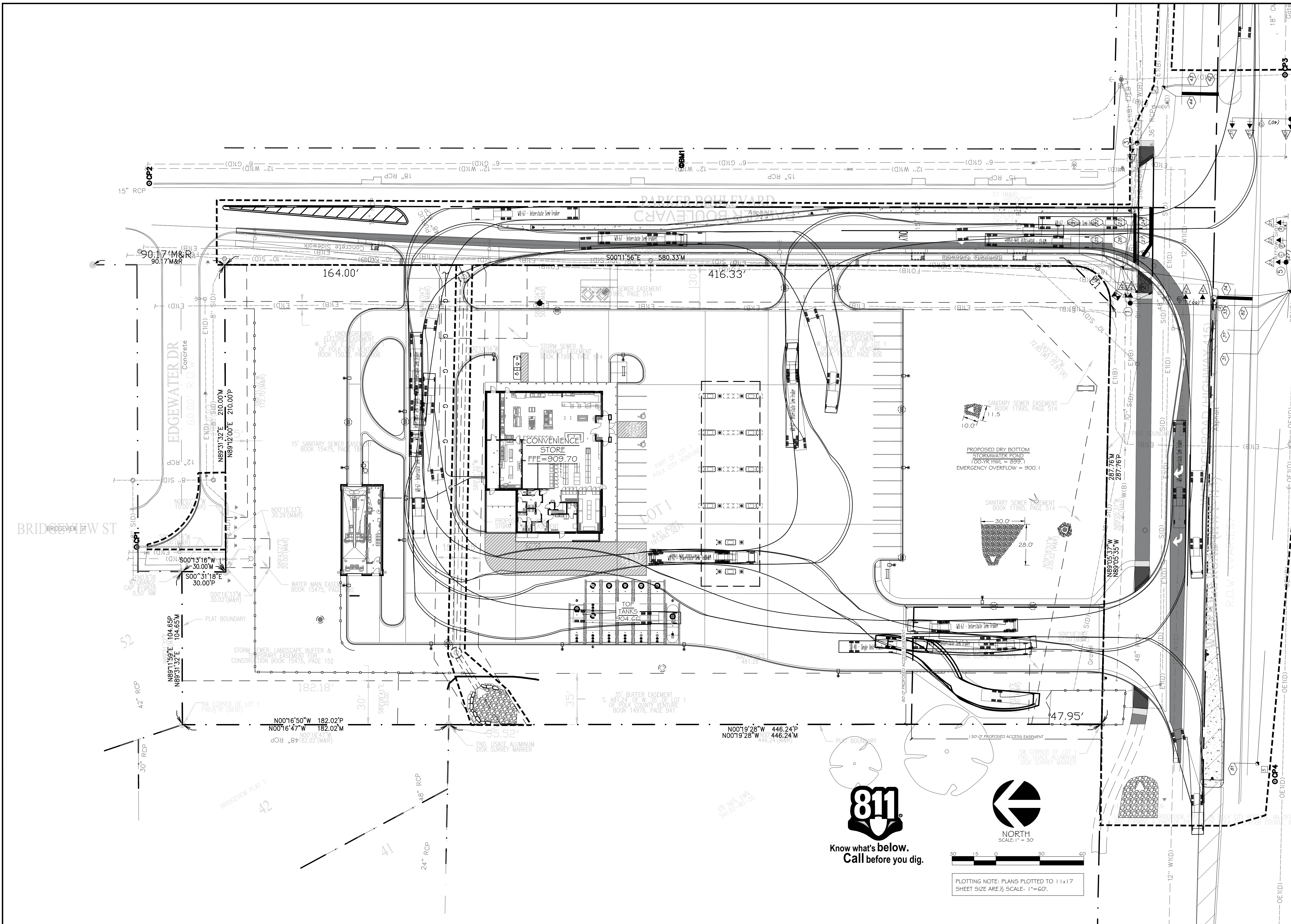
**ARCHITECT:**  
VANTAGE ARCHITECTS  
750 3RD ST N, SUITE F  
LA CROSSE, WI 54601  
(608) 784-2729

**SURVEYOR:**  
SNYDER & ASSOCIATES  
2727 S.W. SNYDER BLVD.  
ANKENY, IA 50023  
(515) 964-2020

NO.	DATE	DESCRIPTION
1	19AUG19	SUBMITTAL
2	23SEP19	COMMENTS
3	22NOV19	SITE SHIFT/ APPROACHES
4	06JAN20	SUBMITTAL
5	23JAN20	CANOPY LAYOUT
6	25FEB20	COMMENTS
7	15MAR20	SIGN LOCATION
8	03JUN20	COMMENTS
9	10JUN20	9JUN20 COMMENTS

DRAWN BY	GRAPHIC
SCALE	
PROJ. NO.	191089
DATE	26JULY2019
SHEET	T1





**Kwik Trip**

**Kwik Star**

**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**INSITES**  
 SITE PLANNING LANDSCAPE ARCHITECTURE  
 3131 Fernbrook Lane North, STE 260  
 Plymouth Minnesota 55447  
 763.383.8400  
 fax 763.383.8400

Robert J. Mueller  
 00377  
 JUNE 2020

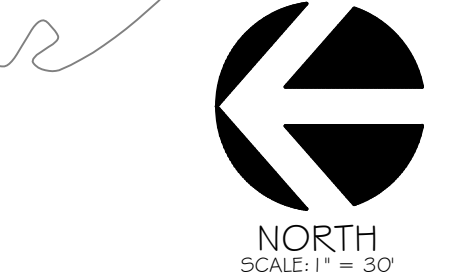
**SITE CIRCULATION PLAN**

**CONVENIENCE STORE 1089**

**POLK CITY, IOWA**

NO.	DATE	DESCRIPTION
19AUG19		SUBMITTAL
23SEP19		COMMENTS
22NOV19		SITE SHIFT APPROACHES
02JAN20		SUBMITTAL
23JAN20		CANOPY LAYOUT
25FEB20		COMMENTS
15MAR20		SIGN LOCATION
03JUN20		COMMENTS
10JUN20		9/20/20 COMMENTS

DRAWN BY: \_\_\_\_\_ GRAPHIC: \_\_\_\_\_  
 PROJ. NO.: 191089  
 DATE: 26JULY2019  
 SHEET: **SP0**



PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2 SCALE. 1"=60'.

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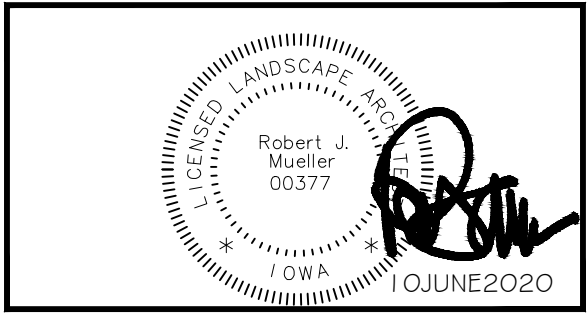


# Kwik Trip

# Kwik Star

**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

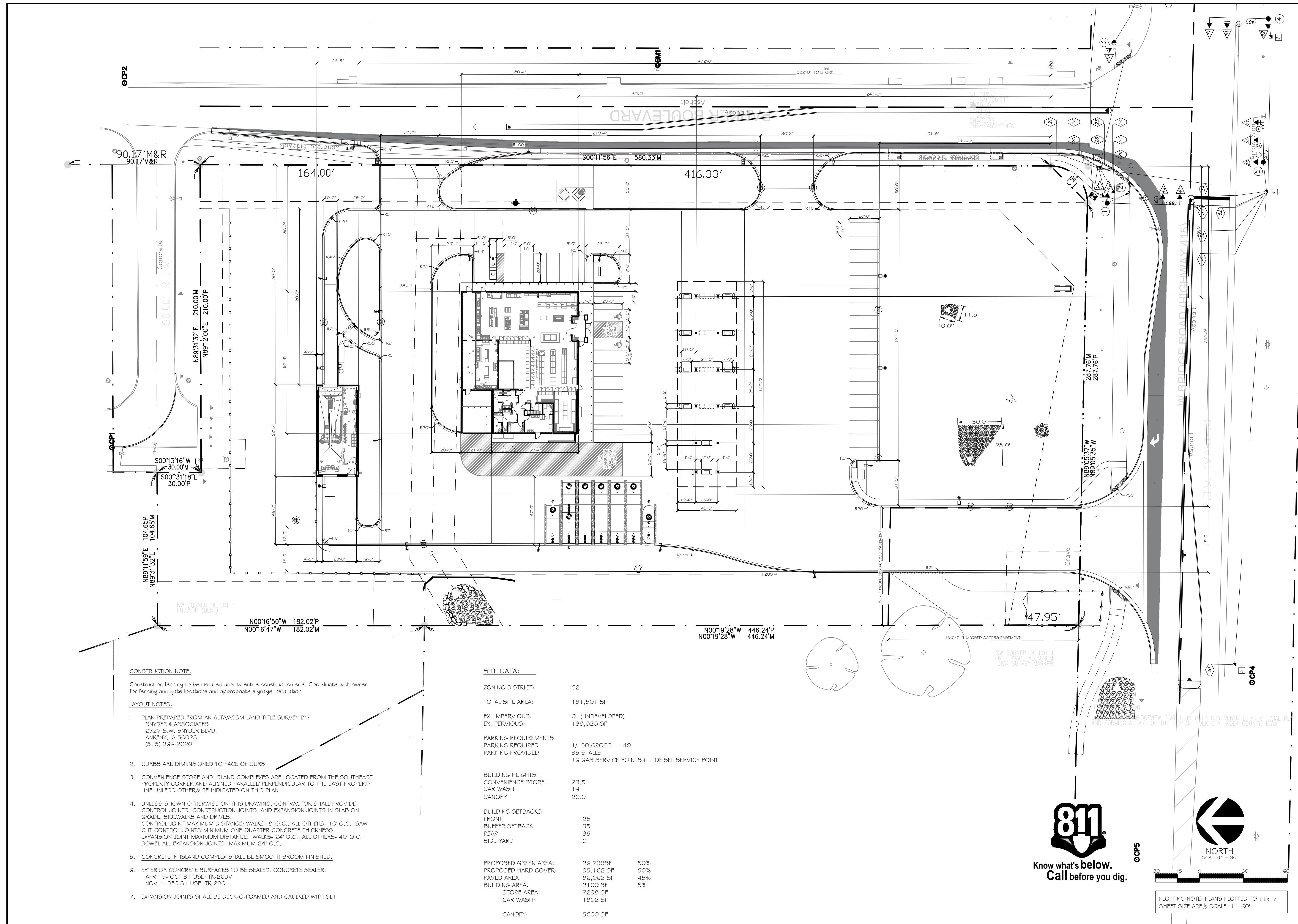
**INSITES**  
 SITE PLANNING LANDSCAPE ARCHITECTURE  
 3131 Fernbrook Lane North, STE 260  
 Plymouth Minnesota 55447  
 763.383.8400  
 Fax 763.383.8400



**SITE DIMENSION PLAN**  
**CONVENIENCE STORE 1089**  
**POLK CITY, IOWA**

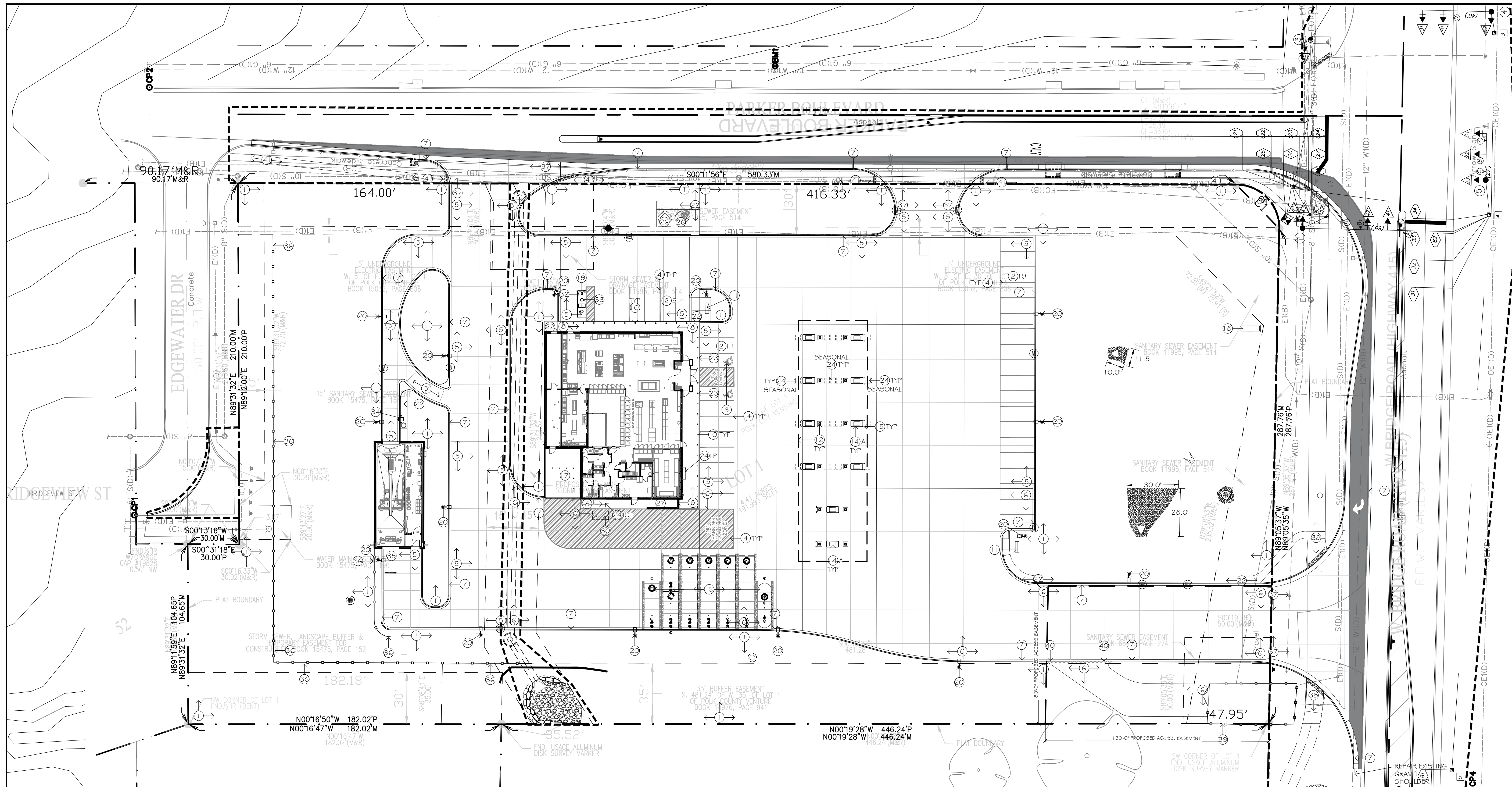
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20	09/11/19	SUBMITTAL
21	10/15/19	COMMENTS
22	11/19/19	SITE SHIFT APPROACHES
23	01/20/20	SUBMITTAL
24	02/10/20	CANOPY LAYOUT
25	02/20/20	COMMENTS
26	03/02/20	SIGN LOCATION
27	03/10/20	COMMENTS
28	06/10/20	COMMENTS

DRAWN BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_ GRAPHIC  
 PROJ. NO.: 191089  
 DATE: 26JULY2019  
 SHEET: **SP1**



INSITES 19.01.18 PM 5:21





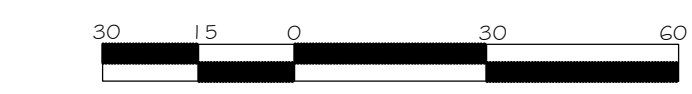
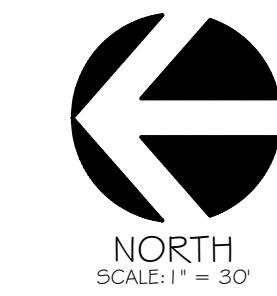
**SITE PLAN KEYNOTES**

1. LANDSCAPE AREA. SEE SHEET L.1.
2. OFF-STREET PARKING STALLS STRIPING - 4' WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT. SPACES PROVIDED:  
(1) 6 MULTI-FUEL SERVICE POINTS  
(2) DIESEL POINTS  
(3) 9'-0" X 20'-0" (MIN.) GENERAL PARKING  
(2) 8'-0" X 20'-0" ACCESSIBLE PARKING WITH  
(1) 11'-0" X 20'-0" LOADING ZONE  
(2) 11'-0" X 20'-0" STALLS AT VACUUM
3. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
4. 4' WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- BLUE, ALL OTHERS- YELLOW.
5. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR, 3' O.C. CONCRETE SEALER: TK-26UV
6. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR, 3' O.C. CONCRETE SEALER: TK-26UV
7. B6-12 CONCRETE CURB AND GUTTER PER DETAIL 11/SP5.
8. 6" INTEGRAL CONCRETE CURB WALK. SEE DETAIL 7/SP5 FOR NON-FLUSH SECTIONS. CONCRETE SEALER: TK-26UV

9. STORM STRUCTURE. SEE SHEETS SP2-SP4.1, SP6 FOR FURTHER STORM SEWER INFORMATION.
10. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 9/SP5.
11. 8 STALL BIKE RACK WITH 4" CONCRETE PAD (BRP 300 TRADITIONAL BIKE RACK-SINGLE SIDE PORTABLE SURFACE MOUNT ENDS FUSION COATINGS - A DIVISION OF RTM INC. TO BE PROVIDED BY OWNER)
12. 40'-0" X 140'-0" DISPENSER ISLAND CANOPY (5600 SF). VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
13. 24'-0" X 50'-0" COMMERCIAL DIESEL DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
14. CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER.  
A. 3'-6" X 7'-0"  
B. 3'-6" X 8'-0"
15. 36" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 8/SP5.
16. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS.
17. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
18. KWIK TRIP TRADEMARK SIGN (VERIFY LOCATION WITH SIGN PERMIT)
19. "FREE AIR" COMPRESSOR. PROVIDE SIGNAGE PER OWNER.

20. SITE AREA LIGHT WITH CONCRETE BASE PER DETAIL 12/SP5.
21. PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY W/ IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION.
22. 4" DEPTH CONCRETE WALK PER DETAIL 3/SP5
23. HC PVC COLLAR SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60" HT.
24. OUTDOOR MERCHANDISING AREA
25. 84" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 6/SP5.
26. PICNIC TABLE PER OWNER. PROVIDE 1 HC. ACCESS TABLE SPACE. PROVIDE TRASH CONTAINER PER OWNER.
27. EXTERIOR DELIVERY TOTE STORAGE WITH SCREEN WALL
28. ELECTRICAL TRANSFORMER
29. ELECTRIC CAR CHARGER
30. GREASE INTERCEPTOR
31. POLE-MOUNTED AREA CAMERA WITH CONCRETE BASE PER DETAIL 12/SP5
32. CONCRETE CURB ISLAND
33. VACUUM PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 2/SP5.
34. CAR WASH KEY PADY CONTROLLER. PROVIDE TRASH CONTAINER
35. 6" CONCRETE PAD WITH SNOW MELT PER MECHANICAL PLANS

36. 6' HT SCREEN FENCE
37. APPROACH PER SUDAS
38. BIKE PATH
39. LIFT STATION FENCE- BLACK POWDER-COATED STEEL WITH MATCHING 12" WIDE DOUBLE-LEAF GATE INSTALLED BY OWNER, MAINTAINED BY CITY. COORDINATE WITH CITY PUBLIC WORKS
40. MOUNTABLE CONCRETE CURB
41. PUBLIC SIDEWALK PER SUDAS



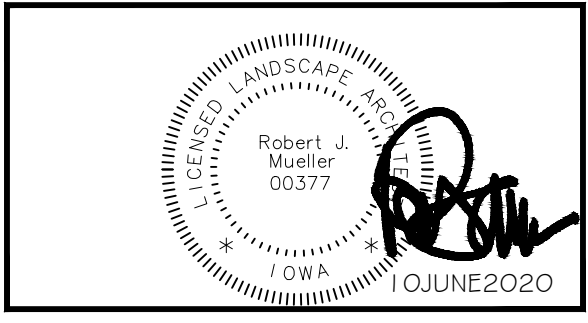
PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE- 1"=60'.

**Kwik Trip**

**Kwik Star**

**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**INSITES**  
SITE PLANNING LANDSCAPE ARCHITECTURE  
3131 Fernbrook Lane North, STE 260  
Plymouth Minnesota 55447  
763.383.8400  
Fax: 763.383.8400



**SITE KEYNOTE PLAN**

**CONVENIENCE STORE 1089**

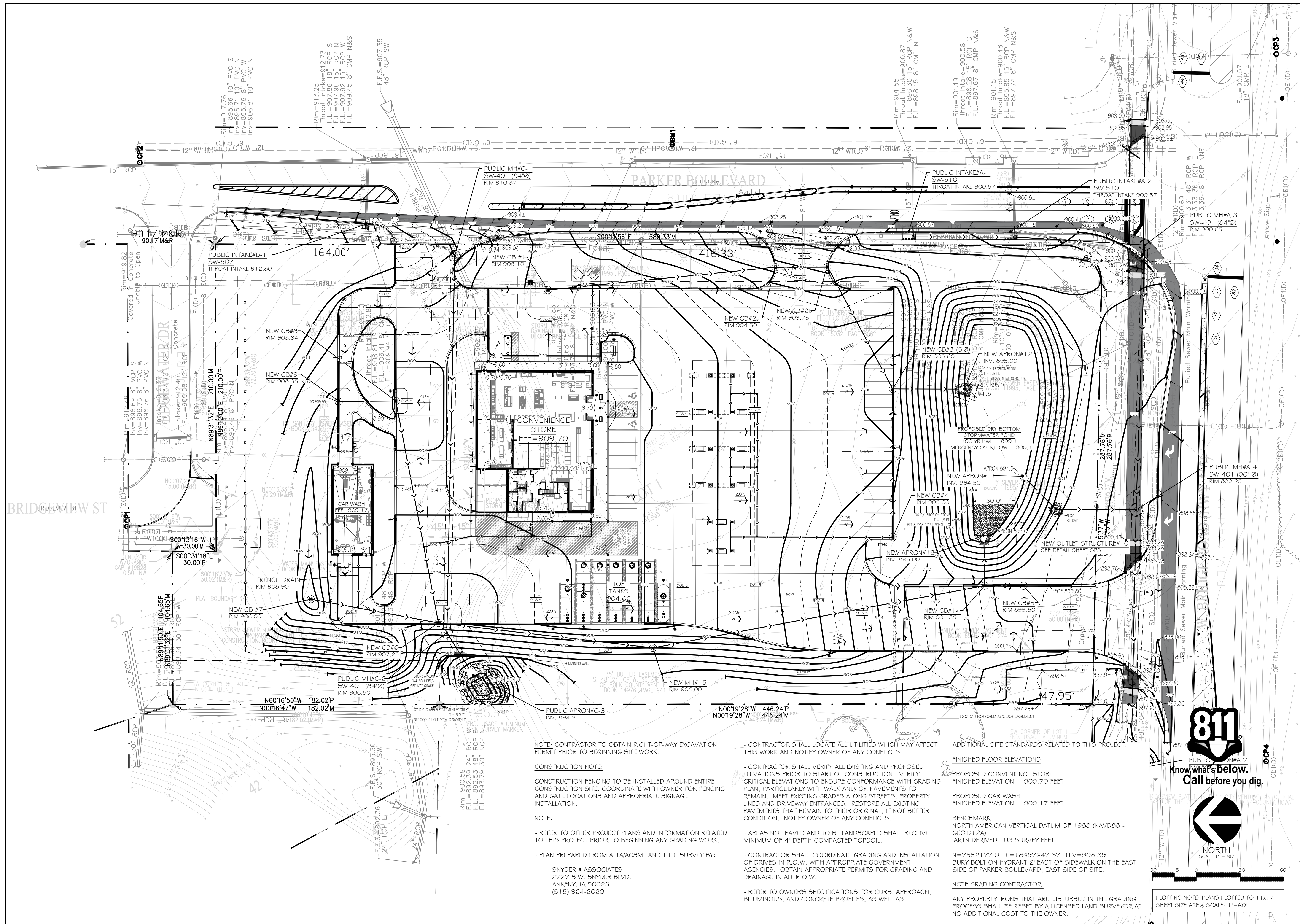
**POLK CITY, IOWA**

NO.	DATE	DESCRIPTION
19	12/21/19	SUBMITTAL
20	1/15/20	COMMENTS
21	2/11/20	SITE SHIFT APPROACHES
22	2/11/20	SUBMITTAL
23	2/11/20	CANOPY LAYOUT
24	2/11/20	COMMENTS
25	2/11/20	SIGN LOCATION
26	2/11/20	COMMENTS
27	2/11/20	COMMENTS

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PROJ. NO.: 191089  
DATE: 26JULY2019  
SHEET: **SP1.1**

INSITES 19.07.18 PM 5:2





NOTE: CONTRACTOR TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION NOTE:  
CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

NOTE:  
- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.  
- PLAN PREPARED FROM ALTA/ACSM LAND TITLE SURVEY BY:  
SNYDER & ASSOCIATES  
2727 S.W. SNYDER BLVD.  
ANKENY, IA 50023  
(515) 964-2020

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS

ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT:

FINISHED FLOOR ELEVATIONS  
PROPOSED CONVENIENCE STORE  
FINISHED ELEVATION = 909.70 FEET  
PROPOSED CAR WASH  
FINISHED ELEVATION = 909.17 FEET

BENCHMARK  
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)  
IARTN DERIVED - U5 SURVEY FEET

NOTE GRADING CONTRACTOR:  
ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

**811**  
Know what's below.  
Call before you dig.

**NORTH**  
SCALE: 1" = 30'

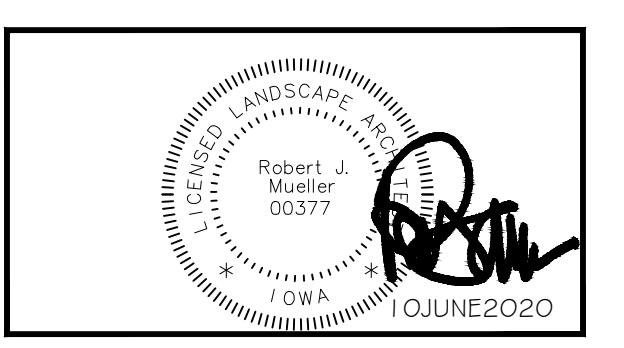
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**Kwik TRIP**

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3131 Fernbrook Lane North, STE 260  
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Fax: 763.383.8400



**GRADE PLAN**

**CONVENIENCE STORE 1089**

**POLK CITY, IOWA**

NO.	DATE	DESCRIPTION
19	02/19/21	SUBMITTAL COMMENTS
20	03/19/21	SITE SHIFT APPROACHES
21	04/19/21	SUBMITTAL COMMENTS
22	05/19/21	CANOPY LAYOUT
23	06/19/21	COMMENTS
24	07/19/21	SIGN LOCATION
25	08/19/21	COMMENTS
26	09/19/21	COMMENTS

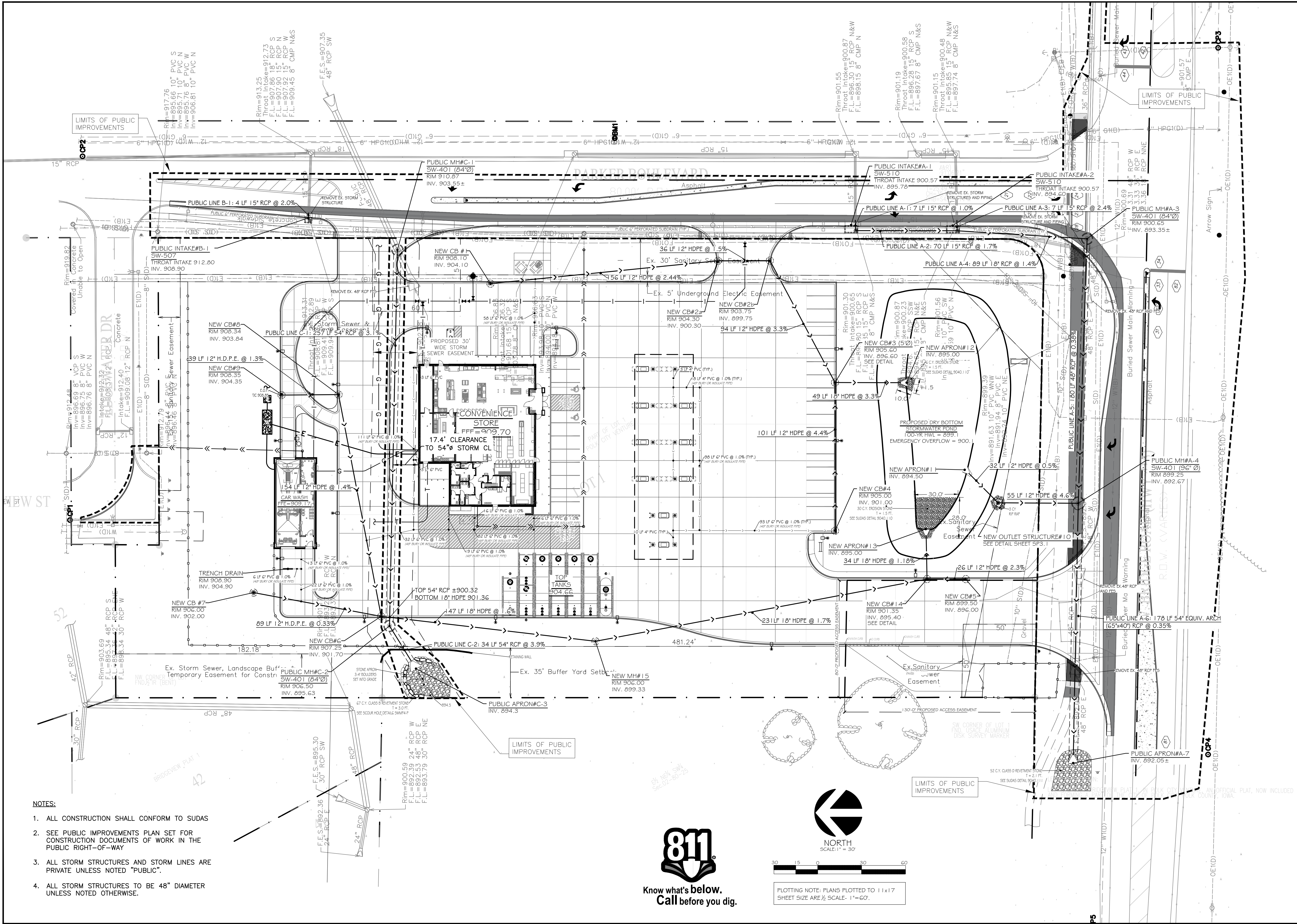
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PROJ. NO.: 191089

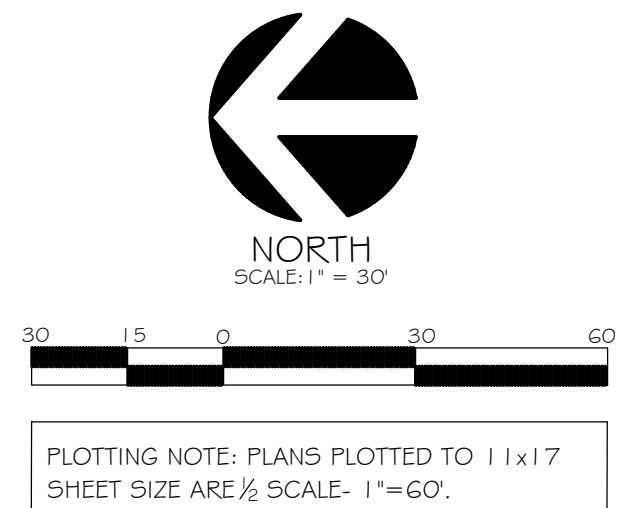
DATE: 26JULY2019

SHEET: **SP2**





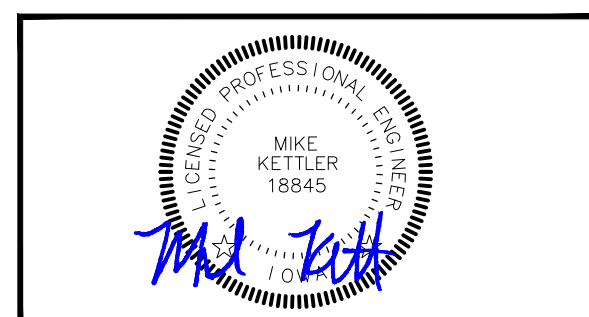
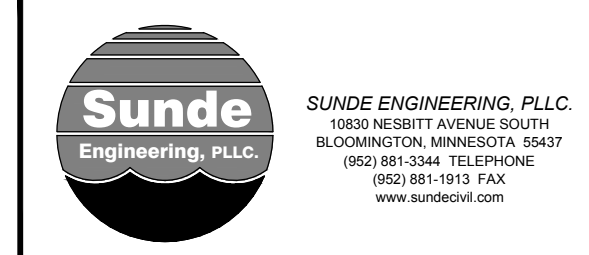
- NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO SUDAS
  2. SEE PUBLIC IMPROVEMENTS PLAN SET FOR CONSTRUCTION DOCUMENTS OF WORK IN THE PUBLIC RIGHT-OF-WAY
  3. ALL STORM STRUCTURES AND STORM LINES ARE PRIVATE UNLESS NOTED "PUBLIC".
  4. ALL STORM STRUCTURES TO BE 48" DIAMETER UNLESS NOTED OTHERWISE.



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 FAX (608) 781-8960



**STORM SEWER PLAN**  
**CONVENIENCE STORE 1089**  
 POLK CITY, IOWA

NO.	DATE	DESCRIPTION
19AUG19	19AUG19	SUBMITTAL
23SEP19	23SEP19	COMMENTS
22NOV19	22NOV19	SITE SHIRT APPROACHES
02JAN20	02JAN20	SUBMITTAL
23JAN20	23JAN20	CANOPY LAYOUT
25FEB20	25FEB20	COMMENTS
18MAR20	18MAR20	SIGN LOCATION
03JUN20	03JUN20	COMMENTS
10JUN20	10JUN20	COMMENTS

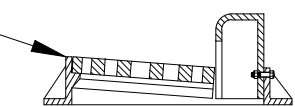
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 PROJ. NO.: 191089  
 DATE: 26JULY2019  
 SHEET: **SP3**

ISSUES 19-018 REV 5/2



**STORM DRAINAGE :**

- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches. See SUDAS Std. SW-401 for circular storm sewer manholes and SUDAS Std. SW-502 for circular single grate intake catchbasins.
- Install catchbasin castings with specified top elevation at the front rim.
- All joints and connections in the storm sewer system shall be gastight or watertight. Joints between concrete structures and piping shall be made with mechanical joints. Use approved resilient rubber seals or waterstop gaskets in order to make watertight connections to manholes, catchbasins, and other structures in conformance with ASTM C923 or as otherwise permitted by the local authority. Cement mortar joints are permitted only for repairs or connections to existing lines having such joints, or unless otherwise permitted by the administrative authority.
- The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.
- PVC Pipe (Outside of the Building):** Use solid-core, SDR-35, ASTM D3034 Polyvinyl Chloride (PVC) Pipe for designated PVC storm sewer services 4 to 15-inches in diameter outside of the building. Use solid-core, SDR-35, ASTM F679 Polyvinyl Chloride (PVC) pipe for designated PVC storm sewer services 18 to 27-inches in diameter outside of the building. Joints for all storm sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement in accordance with Uniform Plumbing Code (UPC), part 605.13.2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.
- Cleanouts:** Install cleanouts on all roof drains. Cleanouts shall be installed at every wye, sweep, and bend. Install cleanouts on all storm sewer services in accordance with UPC part 719.0 and 1101.12. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 10-inches and under in size. Cleanouts shall be of the same nominal size as the pipes they serve. Install a meter box frame and solid lid (Neenah R-1914-A, or approved equal) over all cleanouts. Provide cleanouts at the base of the roof leader connections at the gas island pump stations.
- Fittings:** Provide directional fittings for the storm piping serving the gas island pump stations. All changes in direction of flow in drain piping shall be made by the appropriate use of 45 degree wyes, long or short sweep quarter bends, sixth, eighth, or sixteenth bends, or by a combination of these or other equivalent fittings.
- RCP:** Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C76, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Joints shall be made up of concrete surfaces with a groove on the spigot for an O-ring rubber gasket (also referred to as a confined O-ring type joint) in accordance with ASTM C361. These joints are normally used in gravity sewers where exceptional tightness is required. This type of joint provides excellent inherent water tightness in both the straight and deflected position and meets all the joint requirements of ASTM C443.
- RC Aprons:** Install a reinforced concrete apron on the free end of all daylighted RCP storm sewer pipes. Tie the last three sections (including apron) of all daylighted RCP storm sewer with a minimum of two tie bolt fasteners per joint. This requirement applies to both upstream and downstream pipe inlets and outlets. For concrete culverts, tie all joints. Ties to be used only to hold the pipe sections together, not for pulling the sections tight. Nuts and washers are not required on inside of 675 mm (27 inch) or less diameter pipes.
- Grates on horizontal pipes:** Install safety-trash grates on all horizontal inlets/outlets greater than 6 inches in diameter. The grates shall be placed so that the rods or bars are not more than 3 inches downstream of the inlet/outlet. Rods or bars shall be spaced so that the openings do not permit the passage of a 6-inch sphere.



- Testing:** Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated in accordance with UPC part 1109.0. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
- Draintile:** Perforated under-drains shall be slotted single wall corrugated HDPE. Install draintile with high permittivity circular knit polymeric filament filter sock per ASTM D6707-01.
- Use SUDAS Std. SW-604 Type 5 ditch stool grate and frame, or approved equal, on CB #7.
- Use SUDAS Std. SW-603 Type R casting with curb inlet grate, or approved equal, on CB#1, CB#2a, CB#2b, CB#3, CB#4, CB#5, CB#6, CB#8, CB#9, and CB#14. Casting shall include the "NO DUMPING, DRAINS TO RIVER," environmental notice.
- Use SUDAS Std. SW-602 casting with self-sealing, solid, Type E lid, or approved equal, on all storm sewer maintenance holes. Covers shall bear the "Storm Sewer" label.
- Use Zurn Z886 trench drain model 8606N with black acid resistant epoxy coated ductile grate - Class C for proposed trench drain.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.
- The minimum depth of cover for building and canopy roof drain leaders without insulation is 3 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
- Line ponds with 2' thick impervious clay liner per detail.
- Clean sediment and debris from sewers, sumps and stormwater basins prior to final owner acceptance.
- Televise all existing lines prior to connection.
- Provide a final storm water management report that will serve to verify that the intent of the approved storm water management design has been met. The report shall include record drawings, measurements, and photographic evidence of the as-built storm water management system. The report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Fittings:** Provide directional fittings for the storm piping serving the gas island pump stations. All changes in direction of flow in drain piping shall be made by the appropriate use of 45 degree wyes, long or short sweep quarter bends, sixth, eighth, or sixteenth bends, or by a combination of these or other equivalent fittings.
- Install finger drains at each and every proposed catchbasin (see detail). Finger drains around catch basin inlets shall not be installed below the crown of the storm drain piping.

**HDPE REQUIREMENTS :**

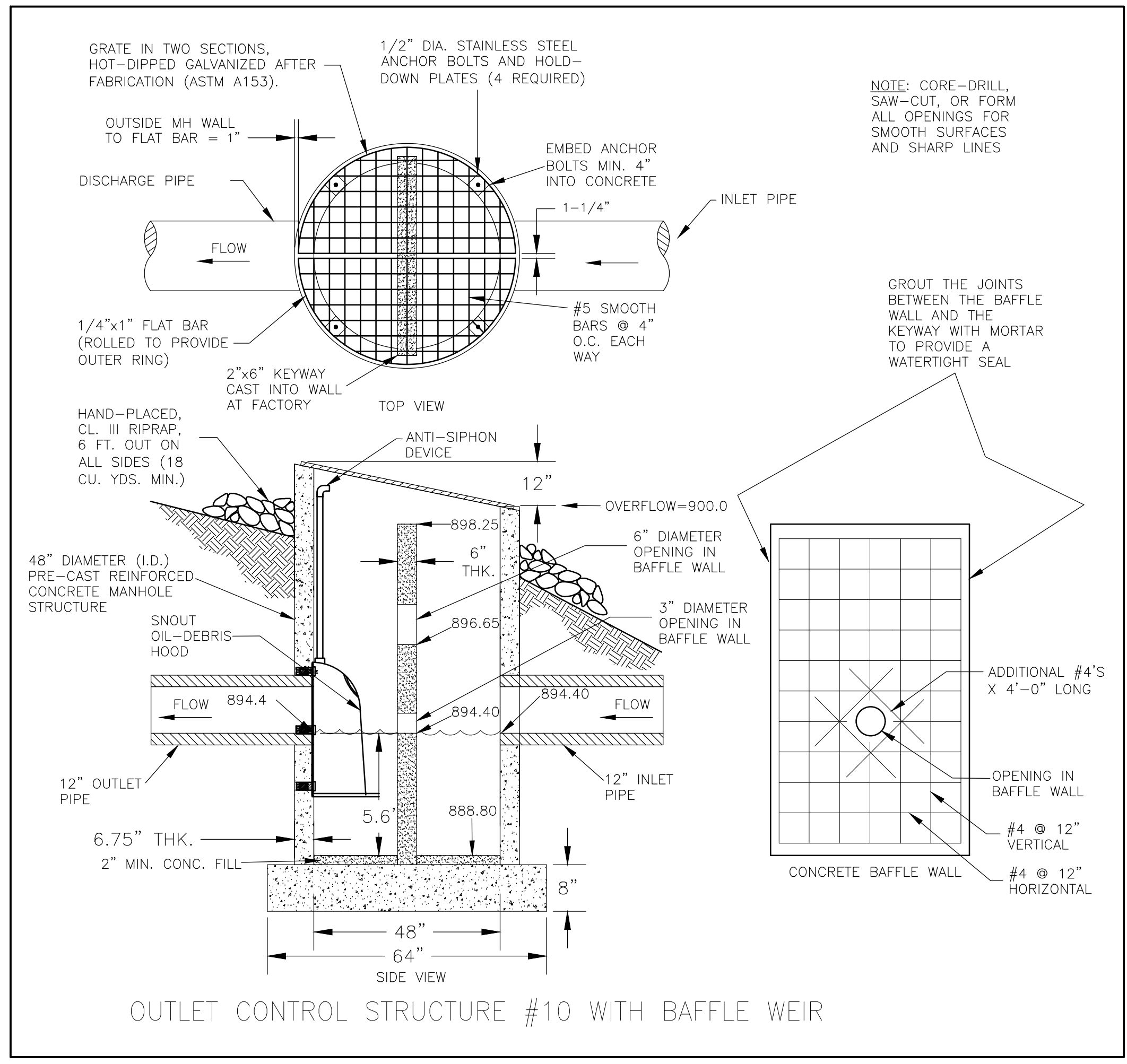
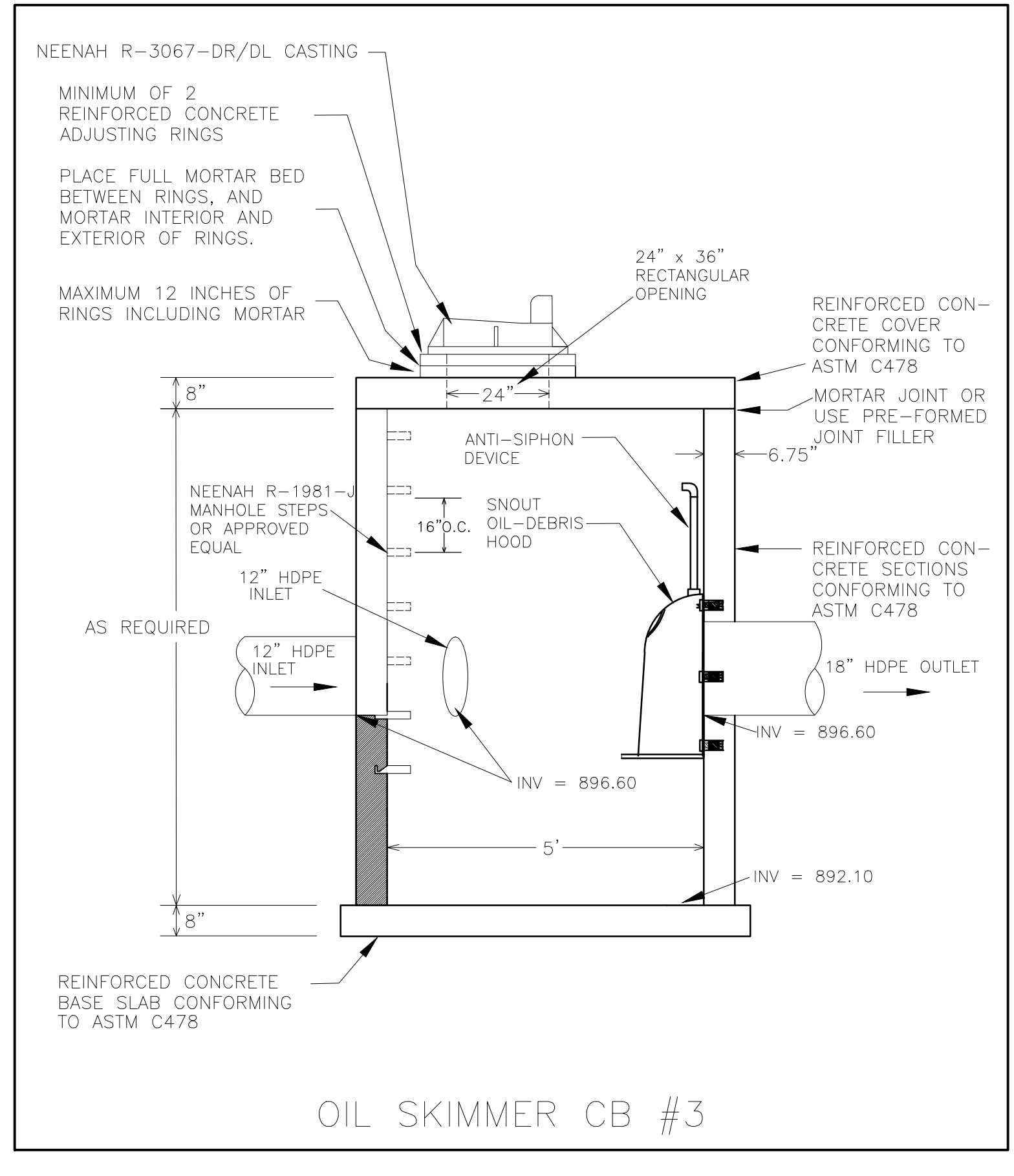
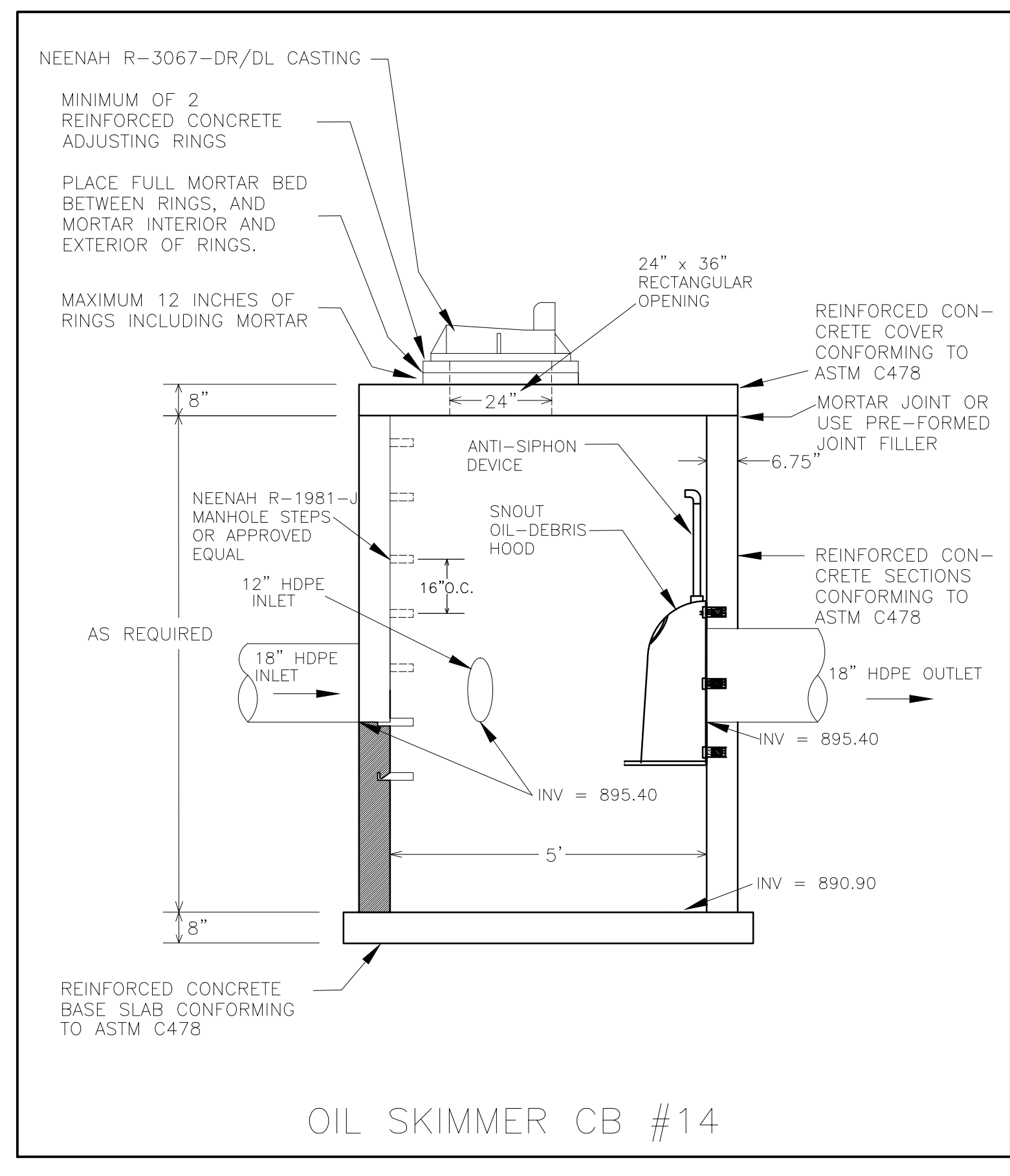
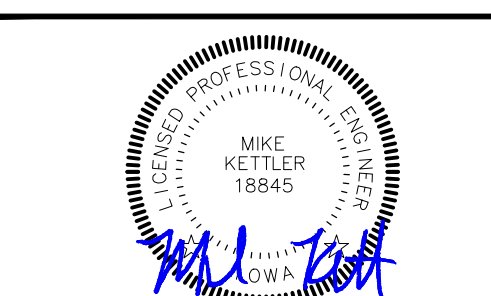
- Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan. High-density polyethylene (HDPE) storm sewers must meet ASTM F714.
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter. Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 (virgin PE material) for pipe sizes 12-inch to 60-inch diameter.
- All fittings must comply with ASTM Standard D3212.
- Water-tight joints must be used at all connections (including structures) in conformance with ASTM F2510.**
- HDPE pipe connections into all concrete structures must be made with water tight materials utilizing Nyoplast "Manhole Adaptors" along with Press-Seal or Kor-N-Seal "Watertight Connector", Cast-A-Seal "Precast Watertight Connector", or approved equals. Where the alignment precludes the use of the above approved watertight methods, Conseal 231 WaterStop sealant, or approved equal will only be allowed as approved by the Administrative Authority.
- All HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water-tight joints.
- Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.

ALL CONSTRUCTION SHALL CONFORM TO SUDAS

**KWIK TRIP**

**KWIK STAR**

**KWIK TRIP, Inc.**  
**P.O. BOX 2107**  
**1626 OAK STREET**  
**LACROSSE, WI 54602-2107**  
**PH. (608) 781-8988**  
**FAX (608) 781-8960**



**STORM NOTES AND DETAILS**

**CONVENIENCE STORE 1089**

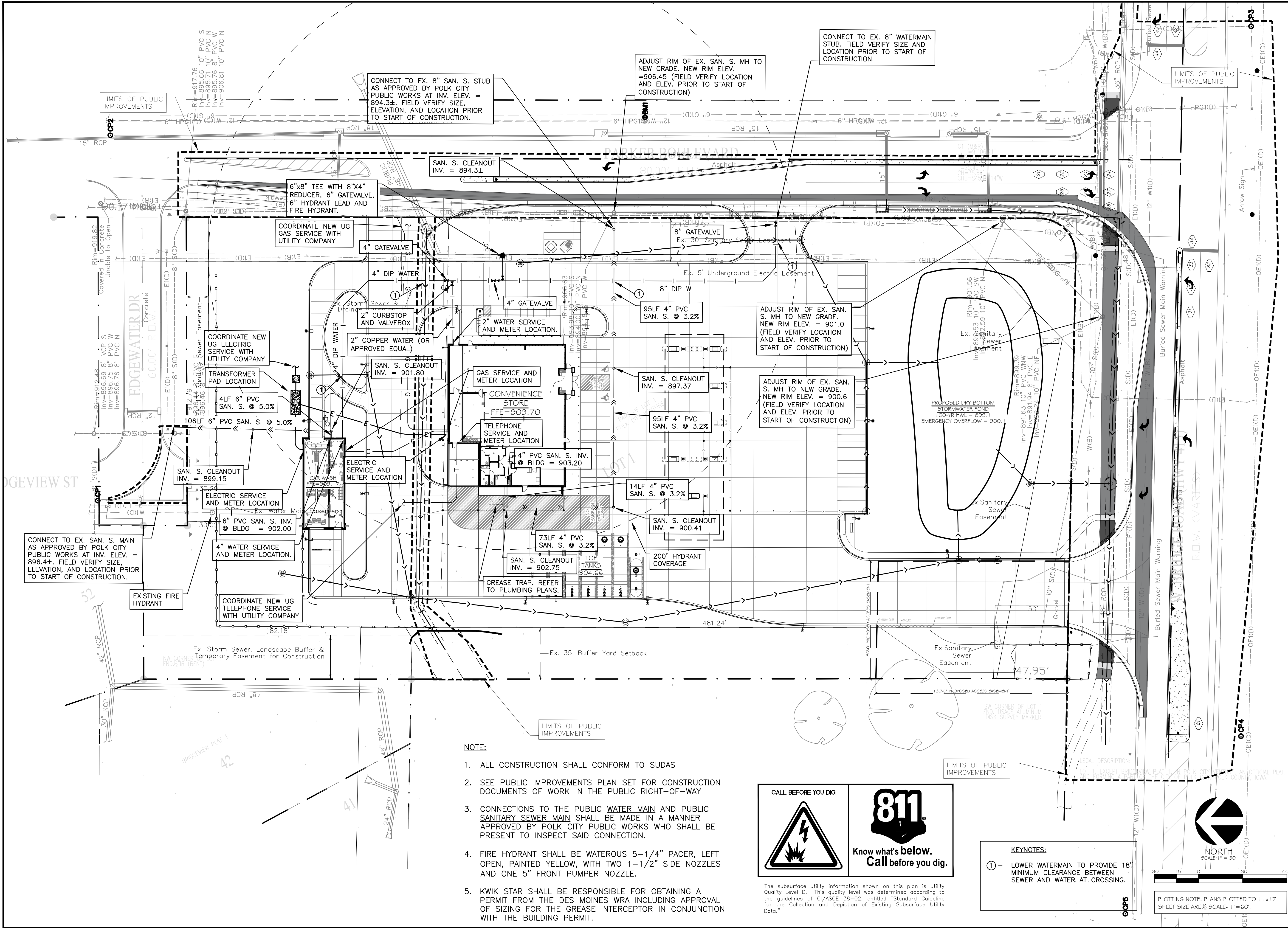
**POLK CITY, IOWA**

NO.	DATE	DESCRIPTION
19	AUG19	SUBMITTAL
23	SEP19	COMMENTS
22	NOV19	SITE SHIRT APPROACHES
06	JAN20	SUBMITTAL
23	JAN20	CANOPY LAYOUT
25	FEB20	COMMENTS
15	MAR20	SIGN LOCATION
03	JUN20	COMMENTS
10	JUN20	SUNING COMMENTS

DRAWN BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_ GRAPHIC  
 PROJ. NO.: 191089  
 DATE: 26JULY2019  
 SHEET: **SP3.1**

SHEET 19 OF 18 REV 5/2





- NOTE:**
1. ALL CONSTRUCTION SHALL CONFORM TO SUDAS
  2. SEE PUBLIC IMPROVEMENTS PLAN SET FOR CONSTRUCTION DOCUMENTS OF WORK IN THE PUBLIC RIGHT-OF-WAY
  3. CONNECTIONS TO THE PUBLIC WATER MAIN AND PUBLIC SANITARY SEWER MAIN SHALL BE MADE IN A MANNER APPROVED BY POLK CITY PUBLIC WORKS WHO SHALL BE PRESENT TO INSPECT SAID CONNECTION.
  4. FIRE HYDRANT SHALL BE WATEROUS 5-1/4" PACER, LEFT OPEN, PAINTED YELLOW, WITH TWO 1-1/2" SIDE NOZZLES AND ONE 5" FRONT PUMPER NOZZLE.
  5. KWIK STAR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE DES MOINES WRA INCLUDING APPROVAL OF SIZING FOR THE GREASE INTERCEPTOR IN CONJUNCTION WITH THE BUILDING PERMIT.



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

**KEYNOTES:**  
 ① - LOWER WATERMAIN TO PROVIDE 18" MINIMUM CLEARANCE BETWEEN SEWER AND WATER AT CROSSING.

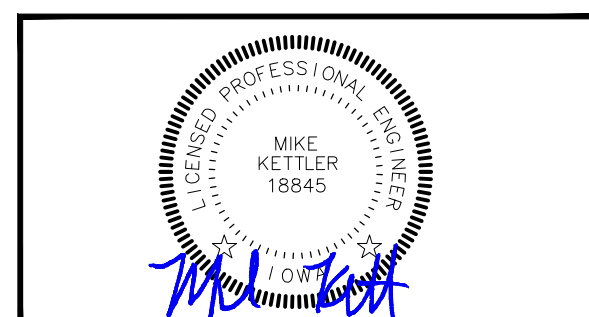
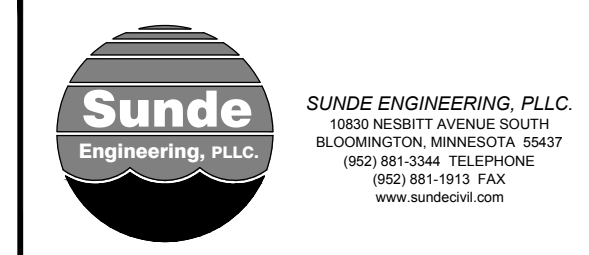


PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1"=60'.

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**UTILITY PLAN**  
**CONVENIENCE STORE 1089**  
**POLK CITY, IOWA**

NO.	DATE	DESCRIPTION
19AUG19	19AUG19	SUBMITTAL
23SEP19	23SEP19	COMMENTS
22NOV19	22NOV19	SITE SHIRT APPROACHES
06JAN20	06JAN20	SUBMITTAL
23JAN20	23JAN20	CANOPY LAYOUT
25FEB20	25FEB20	COMMENTS
18MAR20	18MAR20	SIGN LOCATION
03JUN20	03JUN20	COMMENTS
10JUN20	10JUN20	COMMENTS

DRAWN BY: \_\_\_\_\_ SCALE: GRAPHIC  
 PROJ. NO.: 191089  
 DATE: 26JULY2019  
 SHEET: **SP4**

INSITES 19-018 PW 5/2



**GENERAL :**

- Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Snyder and Associates, Inc. dated 7/3/19. The Engineer is not responsible for inaccuracies related to the survey information.
- Perform all construction work in accordance with State and Local requirements.
- Comply with all applicable local, state, and federal safety regulations. Comply with the work safety practices specified by the Occupational Safety and Health Administration (OSHA). OSHA prohibits entry into "confined spaces," such as manholes and inlets (see 29 CFR Section 1910.146), without undertaking certain specific practices and procedures. Bench or slope sidewalks in order to provide safe working conditions and stability for the placement of engineered fill. Perform excavations in accordance with the requirements of O.S.H.A., 29 CFR, Part 1926, Subpart P, Excavations. The Contractor is responsible for naming the "Competent Individual" in accordance with CFR 1926.6. Sloping or benching for excavations greater than 20 feet deep must be approved by a registered professional engineer (www.osha.gov).
- Safety is solely the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the Work.
- The Engineer shall have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work. The Engineer's review shall not constitute approval of safety precautions or of any construction means, methods, techniques, sequences, or procedures.
- Examine all local conditions at the site, and assume responsibility as to the grades, contours, and the character of the earth, existing conditions, and other items that may be encountered during excavation work above or below the existing grades. Review the drawings, specifications, and geotechnical report covering this work and become familiar with the anticipated site conditions.
- Refer to the architectural plans for building and stoop dimensions, site layout and dimensions, pavement sections and details, striping, and other site features.
- A licensed surveyor shall perform construction staking. The Contractor shall provide and be responsible for the staking. Verify all plan and detail dimensions prior to construction staking. Stake the limits of walkways and curbing prior to valvebox, maintenance hole, and catchbasin installation. Adjust valvebox and maintenance hole locations in order to avoid conflicts with curb and gutter. Adjust catchbasin locations in order to align properly with curb and gutter.
- Provide temporary fences, barricades, coverings, and other protections in order to preserve existing items to remain, and to prevent injury or damage to person or property.
- Provide all traffic control required in order to construct the proposed improvements. Traffic control design and associated government approvals are the responsibility of the Contractor. Comply with local authorities, the latest version of the Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD), and the Iowa Department of Transportation Office of Design Design Manual. If the temporary traffic control zone affects the movement of pedestrians, provide adequate temporary pedestrian access and walkways. If the temporary traffic control zone affects an accessible and detectable pedestrian facility, maintain accessibility and detectability along the alternate pedestrian route in accordance with the provisions for pedestrian and worker safety contained in Part 6 of the MUTCD.
- Connect to existing sanitary sewer MH's by coredrilling. Connect to existing storm sewer MH's by either sawcutting or coredrilling. Use saws or drills that provide water to the blade. Meet all City standards and specifications for the connection. Reconstruct inverts after installation. Use water stop gaskets in order to provide watertight seals when penetrating a structure wall with a pipe. Take measurements before beginning construction to ensure that service connections do not cut into maintenance access structure joints or pipe barrel joints.
- Completely remove existing concrete and masonry structures that are located within the proposed building and future building expansion areas. All other existing existing sewer and watermain pipes that are to be abandoned shall either be removed, or completely filled with sand or lean mix grout.
- Testing and Inspections:** Coordinate testing and inspection with the State Health Department or the City Public Works Department. No drawings or plumbing work may be covered prior to completing the required tests and inspections.
- Coordinate building utility connection locations at 2 ft. out from the proposed building with the interior Plumbing Contractor prior to construction. Verify water and sewer service connection locations, sizes, and elevations with the Mechanical Engineer prior to construction. Coordinate construction and connections with the Mechanical Contractor.
- The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data" by the FHA.
- The locations of existing utilities shown on this plan are from record information. The Engineer does not guarantee that all existing utilities are shown or, if shown, exist in the locations indicated on the plan. It is the Contractor's responsibility to ascertain the final vertical and horizontal location of all existing utilities (including water and sewer lines and appurtenances). Notify the Engineer of any discrepancies.
- The Contractor is solely responsible for all utility locates. Contact utility companies for locations of all public and private utilities within the work area prior to beginning construction. Contact Iowa One Call at 1-800-292-6999 for exact locations of existing utilities at least 72 hours (not including weekends and holidays) before beginning any construction. Obtain ticket number and meet with representatives of the various utilities at the site. Provide the Owner with the ticket number information. One Call is a free service that locates municipal and utility company lines, but does not locate private utility lines. Use an independent locator service or other means in order to obtain locations of private utility lines including, but not limited to, underground electric cables, telephone, TV, and lawn sprinkler lines.
- Pathole to verify the positions of existing underground facilities at a sufficient number of locations in order to assure that no conflict with the proposed work exists and that sufficient clearance is available.
- Where existing gas, electric, cable, or telephone utilities conflict with the Work, coordinate the abandonment, relocation, offset, or support of the existing utilities with the appropriate local utility companies. Coordinate new gas meter and gas line installation, electric meter and electric service installation, cable service, and telephone service installation with the local utility companies.
- When working near existing telephone or electric poles, brace the poles for support. When working around existing underground utilities that become exposed, provide sufficient support in order to prevent excessive stress on the existing piping. The location and preservation of existing underground utilities is solely the responsibility of the Contractor.
- Temporary support systems are the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the temporary support systems. Temporary support systems include, but are not limited to, shoring, sheeting, bracing, anchorages, excavation support walls, directional boring, auger jacking, soil stabilization, and other methods of protecting existing improvements.
- Arrange for and secure suitable disposal areas off-site. Dispose of all excess soil, waste material, debris, and all materials not designated for salvage. Waste material and debris includes trees, stumps, pipe, concrete, asphaltic concrete, cans, or other waste material from the construction operations. Obtain the rights to any waste area for disposal of unsuitable or surplus material either shown or not shown on the plans. All work in disposing of such material shall be considered incidental to the work. All disposal must conform to applicable solid waste disposal permit regulations. Obtain all necessary permits at no cost to the Owner.
- Store and protect existing site features that need to be removed and replaced in connection with the Work. Replace damaged or stolen site features at no additional cost to the Owner.
- Straight line saw-cut existing bituminous or concrete surfacing at the perimeter of pavement removal areas. Use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system. Tack and match all connections to existing bituminous pavement.

- Relocate overhead power, telephone, and cable lines as required. Seal and report any existing unused on-site wells and septic systems.
- All materials required for this work shall be new material conforming to the requirements for class, kind, grade, size, quality, and other details specified herein or as shown on the Plans. Do not use recycled or salvaged aggregate, asphaltic pavement, crushed concrete, or scrap shingles. Unless otherwise indicated, the Contractor shall furnish all required materials and labor in order to perform the construction in accordance with the construction documents, specifications, and regulatory agencies.
- Reconstruct driveways and patch street to match existing pavement section and grade. Sod right-of-way. Restore the public right-of-way at temporary construction entrance locations. Replace any concrete curb and gutter, bituminous pavement, sidewalk, or vegetative cover damaged by the construction activity. Restore damaged turf with sod within the public right-of-way. The work area shown is general and may need to be adjusted in the field.
- Cut turf edges in order to allow for a uniform straight edge at locations where new sod meets existing turf. No jagged or uneven edges are allowed. Remove topsoil as required at joints between existing and new turf in order to allow the surface of the new sod to be flush with the existing.
- Document existing conditions (photographs, video, field survey, etc.) in order to enable restoration to match existing conditions and in order to ensure that restored areas have positive drainage similar to existing conditions.
- Provide positive drainage away from buildings at all times. Provide and maintain temporary drainage throughout construction until the permanent drainage system and structures are in place and operational. Install temporary ditches, piping, pumps, or other means as necessary in order to ensure proper drainage at all times. Provide low points at building pads or roadways with positive outfalls. Do not block drainage from or direct excess drainage to adjacent property.
- Protect all structures and landscaping not labeled for demolition from damage during construction. Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property. Provide building surveys and seismic monitoring in locations where demolition, excavation, underpinning, pile driving, compacting, or similar work is to be performed adjacent to or in the vicinity of existing structures. Return any on-site or off-site areas disturbed directly or indirectly due to construction to a condition equal to or better than the existing condition.
- Protect sub grades from damage by surface water runoff.
- Full design strength is not available in bituminous pavement areas until the final lift of asphalt is compacted into place. Protect pavement areas from overloading by delivery trucks, construction equipment, and other vehicles.
- When sawing or drilling concrete or masonry, use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system.
- Adjust all public and private structures including curb stops, valve boxes, maintenance hole castings, catchbasin castings, cleanout covers, and similar items to finished grade. Comply with the requirements of each structure's owner. Structures being reset in paved areas must meet the owner's requirements for traffic loading.
- 2% maximum slope in all directions in handicapped accessible parking areas. 2% maximum cross slope and 5% maximum longitudinal slope on all sidewalks.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing up grade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
- Obtain and pay for all permits, tests, inspections, etc. required by agencies that have jurisdiction over the project including the NPDES permit from the State. The Contractor is responsible for all bonds, letters of credit, or cash sureties related to the work. Execute and inspect work in accordance with all local and state codes, rules, ordinances, or regulations pertaining to the particular type of work involved.
- Measure pipe lengths from center-of-structure to center-of-structure, or to the end of aprons.
- Obtain permits from the City for work in the public right-of-way.
- Refer to the geotechnical report by the Soils Engineer for dewatering requirements.
- Test boring data shown on the plans were accumulated for designing and estimating purposes. Their appearance on the plan does not constitute a guarantee that conditions other than those indicated will not be encountered.
- The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.
- Insulate utility lines at locations indicated on the plans. Provide a minimum insulation thickness of 4 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam Highload 40 Polystyrene insulation. Individual insulation board dimensions typically measure 4' wide by 8' long by 2" thk.
- Construct sanitary sewer, watermain, and storm sewer utilities in accordance with State and City requirements.
- These plans, prepared by Sunde Engineering, PLLC, do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents, or representatives in the performance of the work. The seal of Sunde Engineering's registered professional engineer hereon does not extend to any such safety systems that may nor or hereafter be incorporated into these plans. The construction contractor shall prepare or obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations.
- Existing utilities shown on this plan are located as accurately as possible. However, the Engineer does not guarantee that all utilities are shown, or if shown are in the exact locations indicated on the plan. It is the Contractor's responsibility to ascertain the final vertical and horizontal location of all existing utilities (including municipal water and sewer lines and appurtenances) and to notify the owners of the utilities a minimum of 48 working hours before starting construction in a given area, requesting location in the field, as exact as possible, of all utilities which may be affected by the construction.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install Rhino TrView Flex Test Stations, or approved equal, at each surface location.
- See architectural for building waterproofing and foundation drainage.
- Place #3 rebar at 3' on center in all 6" thick concrete pavement locations. Place #4 rebar at 4' on center in all 8" thick concrete pavement locations.
- Place #4 x 2'-0" tie bar at 3' on center in all concrete curb and gutter.
- Record as-built information as construction progresses or at appropriate construction intervals. Secure and deliver to the Owner as-built information showing locations, top, and invert elevations of maintenance holes, catchbasins, cleanouts, inlet and outlet pipes, valves, hydrants, and related structures. Location ties shall be to permanent landmarks or buildings.
- Test reports required for project close-out include, but are not limited to: density test reports, bacteriological tests on the water system, pressure tests on the water system, leak tests on the sewer system, and deflection tests on all HDPE pipe.

**WATER DISTRIBUTION SYSTEM :**

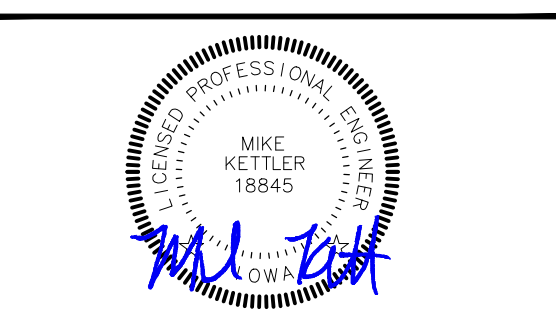
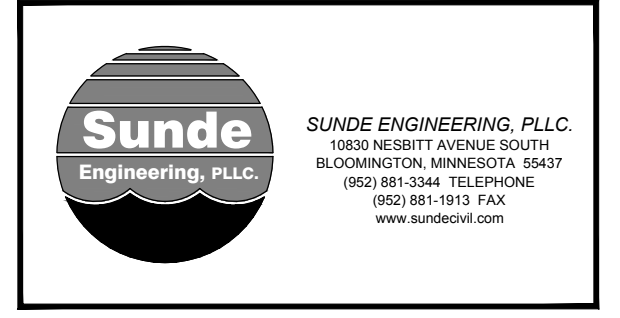
- Bring all site utilities to 2' outside of the building line with the exception of the water service. Extend water service into the building and up to the flange for the water meter.
- Separation of Water and Sewer:** Construct sewer and water services in accordance with Uniform Plumbing Code (UPC) parts 720.0 and 721.0. Provide a minimum horizontal separation of 10 feet between all water and sewer lines, including manholes, catch basins, storm sewer, sanitary sewer, drainline, or other potential sources for contamination. Measure the separation distance from the outer edge of the pipe to the outer edge of the contamination source (outer edge of structures, piping, etc.) At water and sewer crossings, the bottom of the water pipe located within ten feet of the point of crossing must be at least 12-inches above the top of the sewer. When this is not feasible, the sewer pipe material must be approved for use inside of or within a building in accordance with the requirements of UPC part 701.0. No joints or connections are allowed on the water line within 10-feet of the crossing.
- Watermain Depth:** Maintain 6-feet of cover over the top of the water lines to the finished grade. Verify elevation of proposed and existing water lines at all utility crossings. Install the water lines at greater depths in order to clear storm sewers, sanitary sewers, or other utilities as required. Include costs to lower water lines in the base bid.
- Disinfection:** Disinfect all completed watermains in accordance with AWWA Standard C651. If the tablet or continuous feed methods are used, disinfect using water that contains at least 50 ppm of available chlorine in accordance with UPC part 609.9. Do not use the tablet method on solvent-welded plastic or on screwed-joint steel pipe because of the danger of fire or explosion from the reaction of the joint compounds with the calcium hypochlorite. Retain the treated water in the pipeline for at least 24 hours. Measure the chlorine residual at the end of the 24 hour period. The free chlorine residual must be at least 10 mg/l measured at any point in the line. Measurement of the chlorine concentration at regular intervals shall be in accordance with Standard Methods, AWWA M-12, or using appropriate chlorine test kits.
- Testing:** Pressure test and perform bacteriological tests on all water lines under the supervision of the City Public Works Department. Notify the City at least 24 working hours prior to any testing. Pressure test the water system in accordance with the UPC part 609.4. Pressurize the waterline to a water pressure of 1034-kPa (150-psi) gauge pressure (measured at the point of lowest elevation) by means of a pump connected to the pipe in a satisfactory manner. Do not add water to the watermain in order to maintain the required pressure during the water main pressure testing. The test section of pipe shall withstand the test without leaking for a period of not less than 15 minutes.
- All water supply piping connected to municipal water main must have a 150 psi minimum pressure rating.
- Copper water services must meet ASTM B88 and be type K soft temper or type L soft temper (see UPC part 604.0.) with compression fit connections.
- Ductile iron pipe (DIP) water services must comply with AWWA C151/ANSI A21.51 or AWWA C115/ANSI A21.15 (See UPC part 604.0.). Use Thickness Class 52 DIP with push-on joints. Use petroleum resistant gaskets, Nitrile (NBR), or approved equal. Use only ANSI 304 stainless steel bolts and nuts on all watermain fittings, valves, and hydrants. The exterior of ductile iron pipe shall be coated with a layer of arc-sprayed zinc per ISO 8179. The interior cement mortar lining shall be applied without asphalt seal coating. Polyethylene encasement is required on all ductile iron pipe. Use V-Bio Enhanced Polyethylene Encasement or approved equal.
- Use mechanical joint restraint devices for joint restraint on all watermain bends having a vertical or horizontal deflection of 22-1/2 degrees or greater, all valves, stubs, extensions, tees, crosses, plugs, all hydrant valves, and all hydrants in accordance with City requirements. Use "Series 1100 Megalug" manufactured by EBA Iron Inc., Eastland, Texas, or approved equal, installed in accordance with manufacturer's recommendations for restraint on Ductile Iron Pipe. Restraining devices are to have epoxy coating or approved equivalent. Restraining device hardware shall be ANSI 304 stainless steel, or approved equivalent.
- Watermain Valves:** At all valve locations which require a 12" or smaller valve, install gate valves which are of the compression resilient seated (CRS) type. Use American Flow Control's Series 2500 Ductile Iron Resilient Wedge Gate Valve, or approved equal. Gate valves shall conform to AWWA C509. Install cast iron valve boxes conforming to ASTM A48 at each valve location. Valve boxes shall be the three-piece type with 5-1/4" shafts. Use Tyler 6860-G with No. 6 base, or equivalent. Valve boxes shall have at least 6" of adjustment above and below finished grade. Drop covers on valve boxes shall be round and bear the word "WATER" cast on the top. Use Tyler 6860-G "Stayout" covers with extended skirt, or equivalent. All valve hardware shall be ANSI 304 stainless steel, or approved equivalent.
- Curb Valves and Boxes:** Use Mueller H-10334 extension type curb box with Minneapolis pattern base, or approved equal, at all 2" through 2" curb stop locations. Stationary rod is required on all curb stops. Use Mueller Company Mark II Oriseal No. H-15154N curb stop, or approved equal, and stainless steel stem rod.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install blue Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.
- Threaded hose connections including hose bibbs and hydrants must include a back flow prevention device in accordance with UPC part 603.0.
- All newly installed or replacement pipes, pipe fittings, plumbing fittings and fixtures, including backflow preventers, that are installed on potable water systems or systems that are designed to distribute water for potable use, are required to meet the Reduction of Lead in Drinking Water Act, which establishes a maximum lead content of 0.25 percent by weighted average of the wetted surfaces. See UPC part 604.11.
- Fire hydrant shall be Waterous 5-1/4" Pacer, left open, painted yellow, with two 1-1/2" side nozzles and one 5" front pumper nozzle. Fire hydrants shall be in accordance with the requirements of the local municipality. Do not connect hydrant drains to sanitary sewers or storm sewers. Do not locate hydrants within 10 feet of sanitary sewers or storm sewers. When placing fire hydrants in locations where the groundwater table is less than 8 feet below the ground surface, plug the hydrant drain holes and equip the hydrants with a tag stating the need for pumping after use. Maintain a 3-foot clear space around the circumference of all fire hydrants. All hydrant hardware shall be ANSI 304 stainless steel, or approved equivalent.
- FINAL HYDRANT FLUSHING.** Perform all final flushing in accordance with SUDAS Standard Specifications, Division 5, Section 5030, Part 3.04.  
A.Flush pipe using potable water until chlorine residual equals that of the existing potable water system.  
B.Dispose of chlorinated water to prevent damage to the environment. Dechlorinate highly chlorinated water from testing before releasing into the ground or sewers. Obtain Jurisdiction approval prior to flushing activities.  
B.1.Check with the local sewer department for the conditions of disposal to the sanitary sewer.  
B.2.Chlorine residual of water being disposed will be neutralized by treating with one of the chemicals listed in Table 5030.02 in accordance with SUDAS, Division 5, Section 5030, Part 3.04.

**SANITARY SEWER :**

- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes conforming to ASTM C478, furnished with precast bases. Sanitary sewer maintenance holes shall be supplied with pre-formed inverts and flexible neoprene sleeve connections for all lateral lines 375 mm (15 inches) in diameter or less, unless otherwise indicated. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches. See SUDAS Standard SW-301 for circular sanitary sewer MHs.
- All joints and connections in the sewer system shall be gastight or watertight. Joints between concrete structures and piping shall be made with mechanical joints (resilient rubber seal/boot and clamp) in conformance with ASTM C923, ASTM C654, or as otherwise permitted by the local authority. Cement mortar joints are not allowed unless otherwise permitted by the administrative authority.
- The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.
- Pipe:** Use solid-core, Schedule 40, ASTM D2665 Polyvinyl Chloride (PVC) Plastic Pipe for all designated PVC sanitary sewer services outside of the building. Services for all sanitary sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement in accordance with Uniform Plumbing Code (UPC) part 605.13.2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.
- Cleanouts:** Install cleanouts on all sanitary sewer services in accordance with UPC part 719.0 and 1101.12. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 4-inch and over in size. Cleanouts shall be of the same nominal size as the pipes they serve. Include frost sleeves and concrete frame and pipe support. Install a meter box frame and solid lid (Neenah R-1914-A, or approved equal) over all cleanouts.
- Testing:** Pressure test all sanitary sewer lines in accordance with the UPC parts 712.0 and 723.0. Test all flexible sanitary sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
- Install flexible watertight frame/chimney seals on all sanitary sewer maintenance holes in order to seal the outside of the chimney from the cast iron frame down to the cone. The seal shall be a continuous seamless band made of high quality EPDM (Ethylene Propylene Diene Monomer) rubber with a minimum thickness of 65 mils. Use Internal/External Adapter Seal as manufactured by Adaptor, Inc. (www.adaptorinc.com/wp-content/uploads/2019/04/ADAP\_IEManholeSeal.pdf), Infi-Shield Uni-band one piece molded sealing system as manufactured by Sealing Systems, Inc. (www.sisealingsystems.com), or approved equal.
- Use SUDAS Standard SW-601 casting with self-sealing, solid, Type A lid, or approved equal, on all sanitary sewer maintenance holes. Covers shall bear the "Sanitary Sewer" label.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.
- The minimum depth of cover for sanitary sewer without insulation is 5 feet. Insulate sanitary sewer services at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 4 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam Highload 40 Polystyrene Insulation. Individual insulation board dimensions typically measure 4' wide by 8' long by 2" thk.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing up grade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
- All saddle tee or wye fittings must provide an integrally molded pipe stop in the branch for positive protection against service pipe insertion beyond the inside of the sewer main pipe wall.
- Televise all existing lines prior to connection.



**KWIK TRIP, Inc.**  
**P.O. BOX 2107**  
**1626 OAK STREET**  
**LACROSSE, WI 54602-2107**  
**PH. (608) 781-8988**  
**FAX (608) 781-8960**



**UTILITY NOTES**

**CONVENIENCE STORE 1089**

**POLK CITY, IOWA**

NO.	DATE	DESCRIPTION
19	AUG 19	SUBMITTAL
23	SEP 19	COMMENTS
22	NOV 19	SITE SHEET APPROACHES
06	JAN 20	SUBMITTAL
23	JAN 20	CANOPY LAYOUT
25	FEB 20	COMMENTS
18	MAR 20	SIGN LOCATION
03	JUN 20	COMMENTS
10	JUN 20	SUNING COMMENTS

DRAWN BY	
SCALE	GRAPHIC
PROJ. NO.	191089
DATE	26 JULY 2019
SHEET	<b>SP4.1</b>

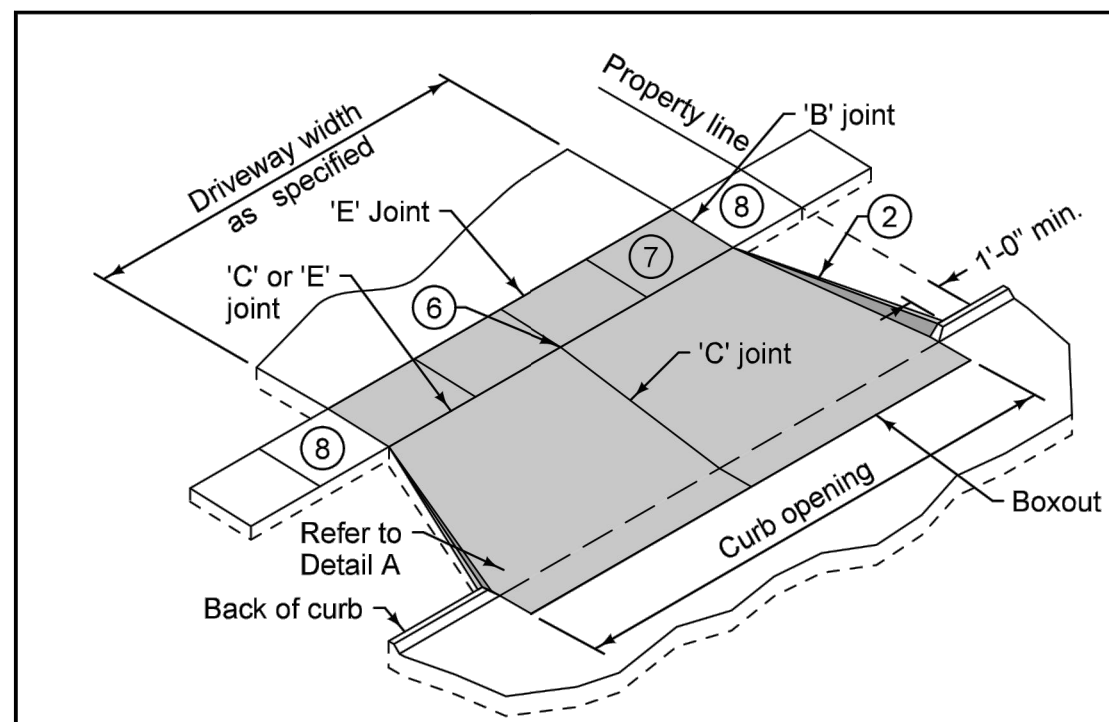
ALL CONSTRUCTION SHALL CONFORM TO SUDAS

ISSUES 19.01.18 P.15. SZ.

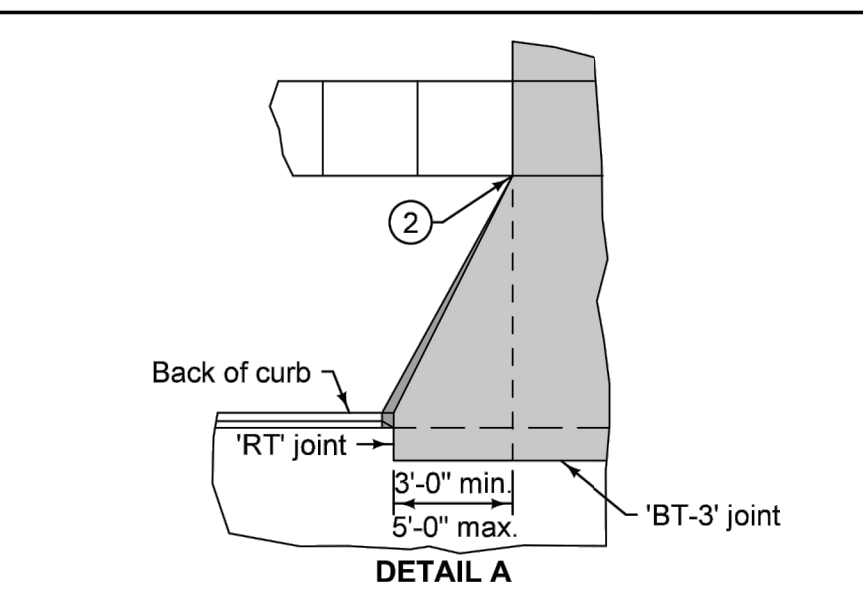




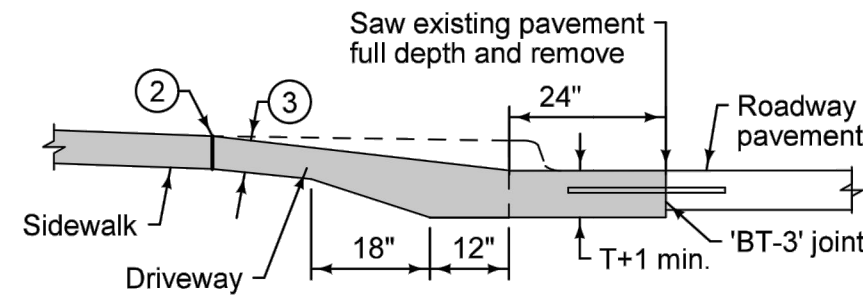




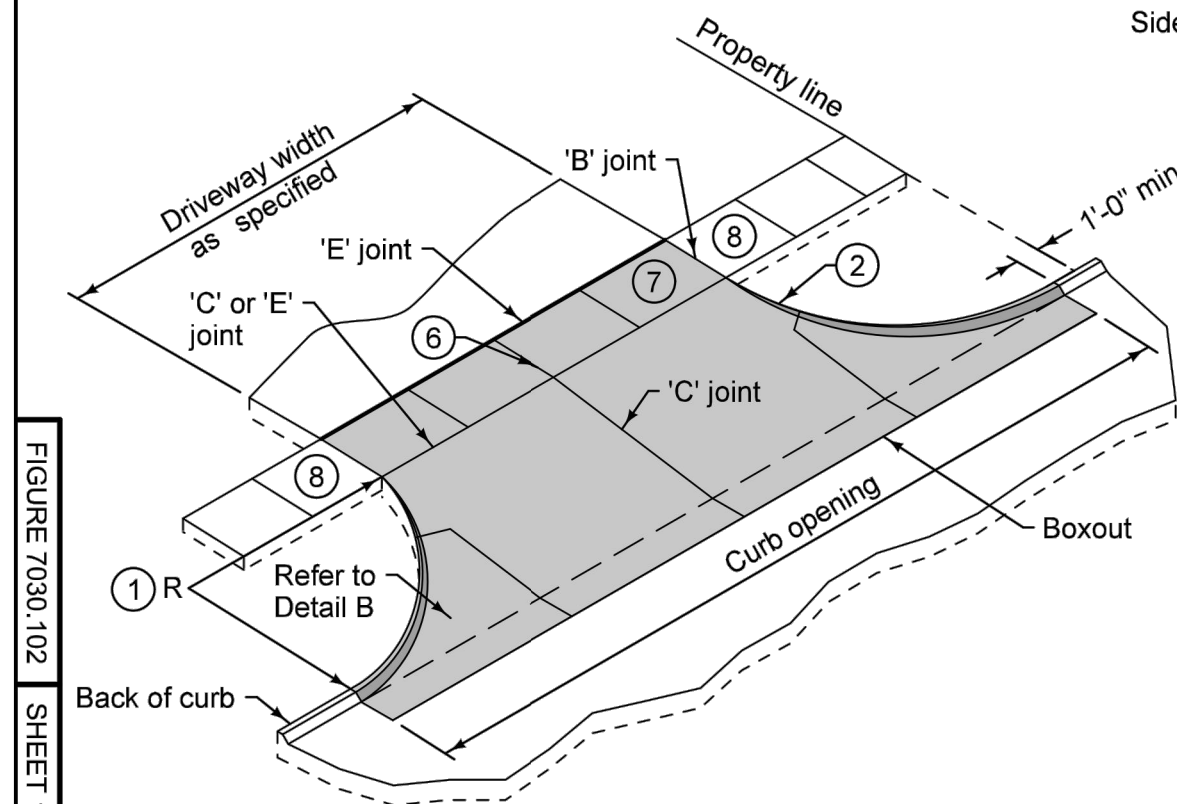
TYPE B WITH FLARES



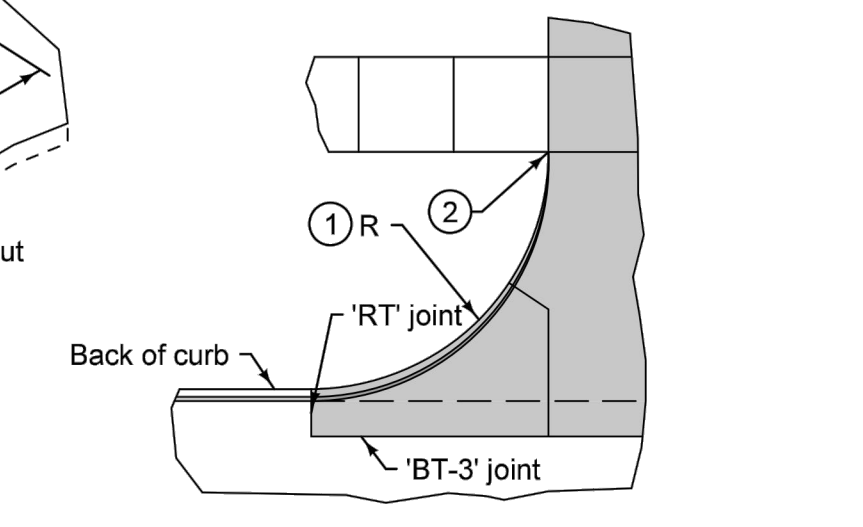
DETAIL A



SECTION A-A



TYPE B WITH RADII

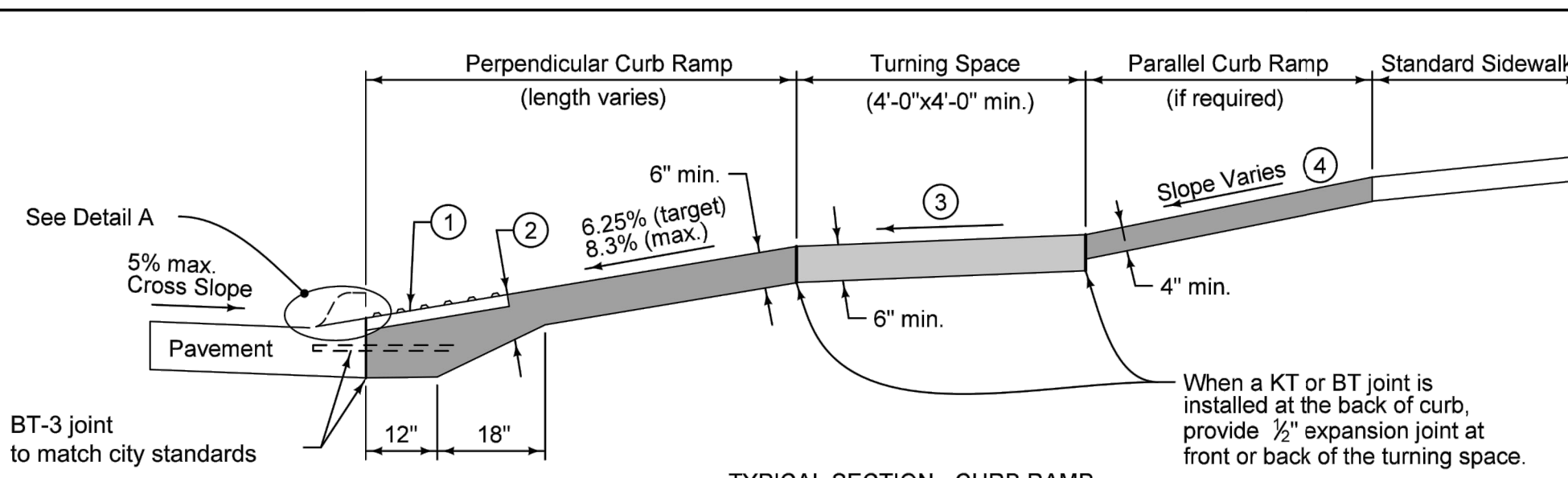


DETAIL B

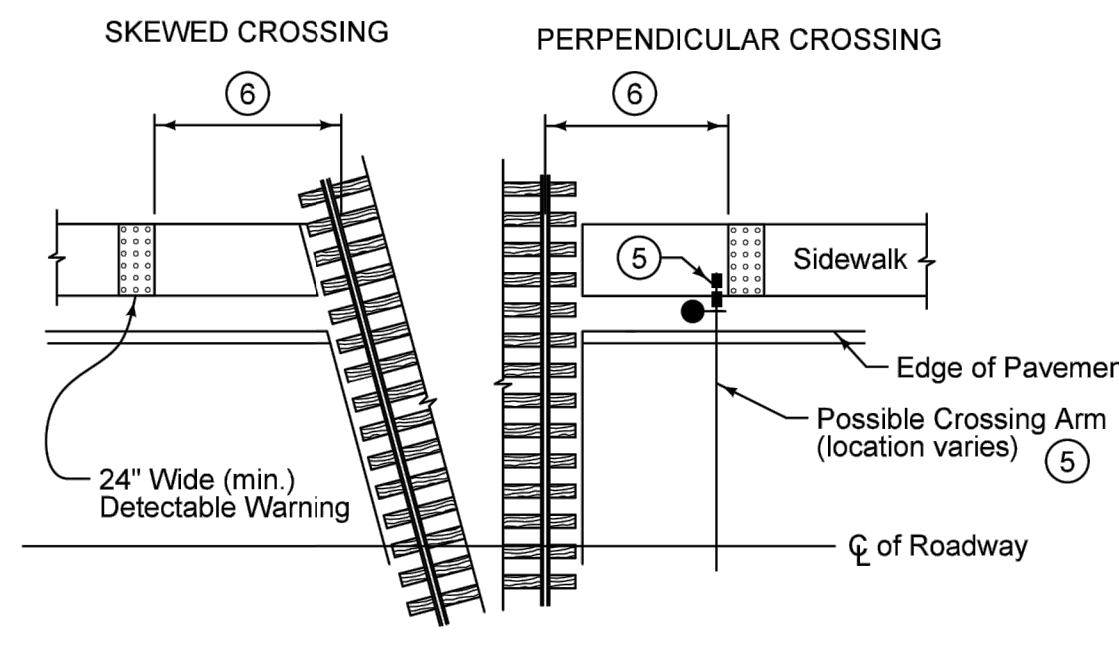
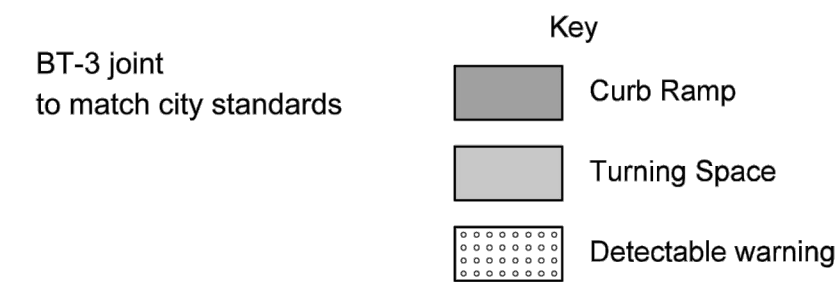
- 1 Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- 2 Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb cross sidewalk.
- 3 Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4 Sidewalk thickness through driveway to match thickness of driveway.
- 5 If longitudinal joint is located 48 inches or less from the back of curb, extend boxout to joint line. Full depth saw cut is still required.
- 6 For alleys, invert the pavement crown 2% toward the center of the alley.
- 7 Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- 8 If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If the elevation change requires a curb ramp, comply with Figures 7030.205; verify need for detectable warning panel with Engineer.

	REVISION	10-20-15
	2	7030.102
SUDAS Standard Specifications		
CONCRETE DRIVEWAY, TYPE B		

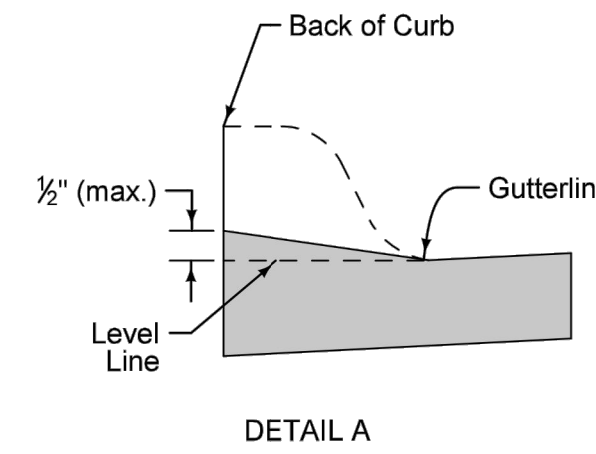
FIGURE 7030.102 SHEET 1 OF 1



TYPICAL SECTION - CURB RAMP



DETECTABLE WARNING LOCATION AT RAILROAD CROSSING

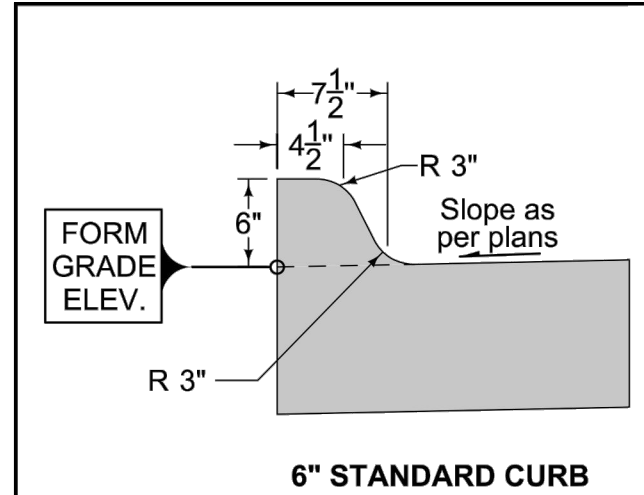


DETAIL A

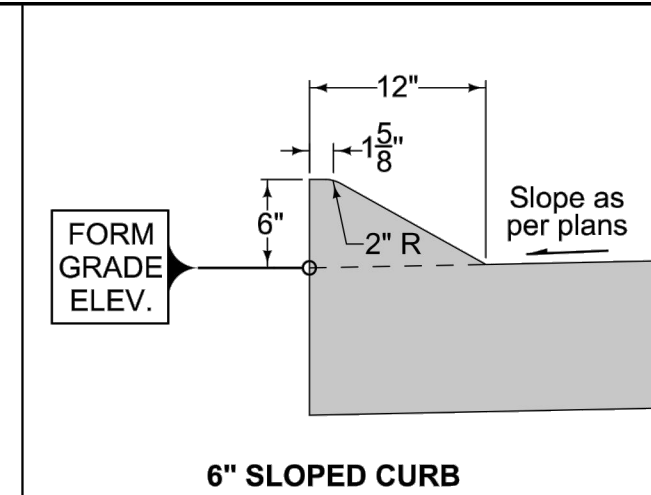
- 1 Provide a minimum 2 foot width of detectable warning surfaces in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curbs or flares.
- 2 Provide a minimum of 6 inches of concrete below the detectable warning panel.
- 3 Minimum 4 feet by 4 feet. Target cross slope of 1.5% with a maximum cross slope of 2.0%.
- 4 If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk.  
  
The length of the parallel ramp is not required to exceed 15 feet, regardless of the resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- 5 If crossing gate conflicts with location of detectable warning or if pedestrian crossing gate is provided, place detectable warning panel in advance of the crossing gate.
- 6 Locate front edge of detectable warning panel 12 to 15 feet from centerline of nearest rail. Orient truncated domes parallel to the direction of pedestrian travel.

	REVISION	10-20-15
	1	7030.205
SUDAS Standard Specifications		
GENERAL SIDEWALK AND CURB RAMP DETAILS		

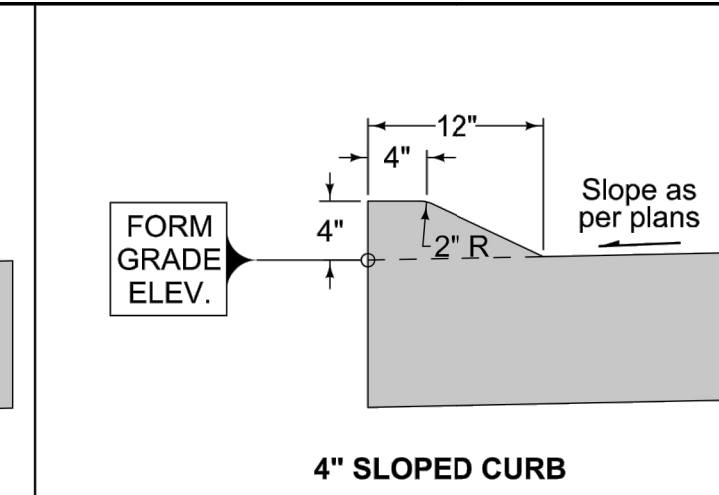
FIGURE 7030.205 SHEET 1 OF 1



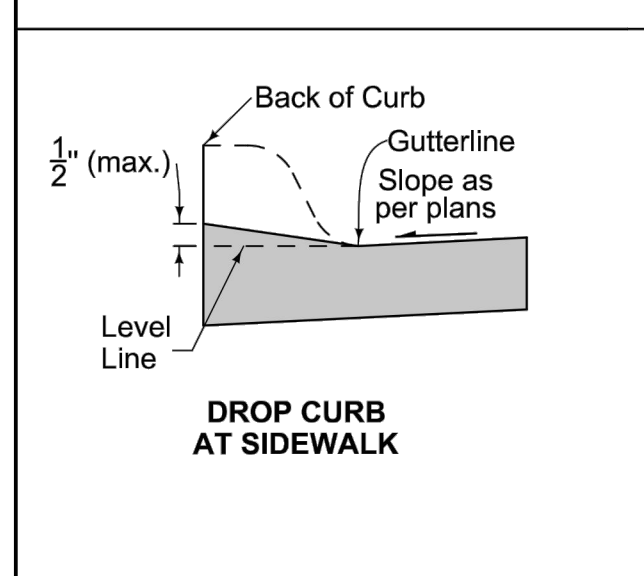
6" STANDARD CURB



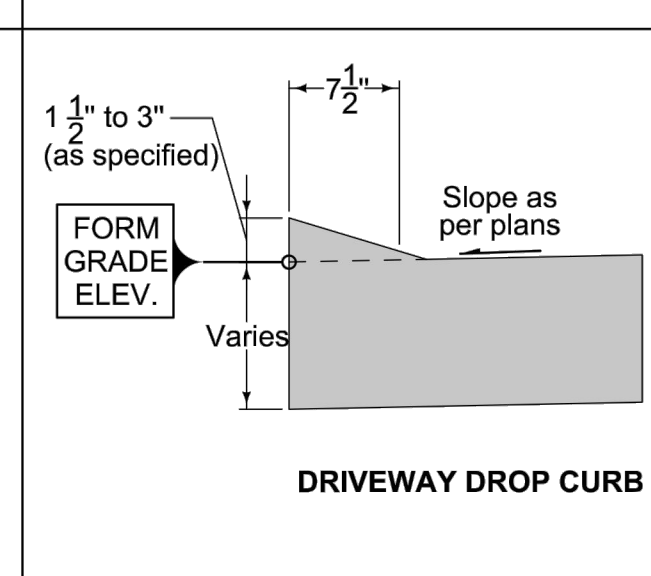
6" SLOPED CURB



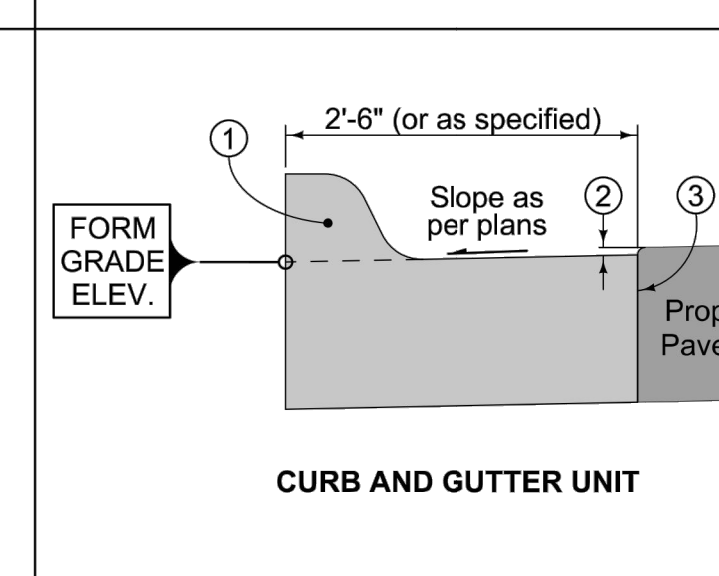
4" SLOPED CURB



DROP CURB AT SIDEWALK



DRIVEWAY DROP CURB



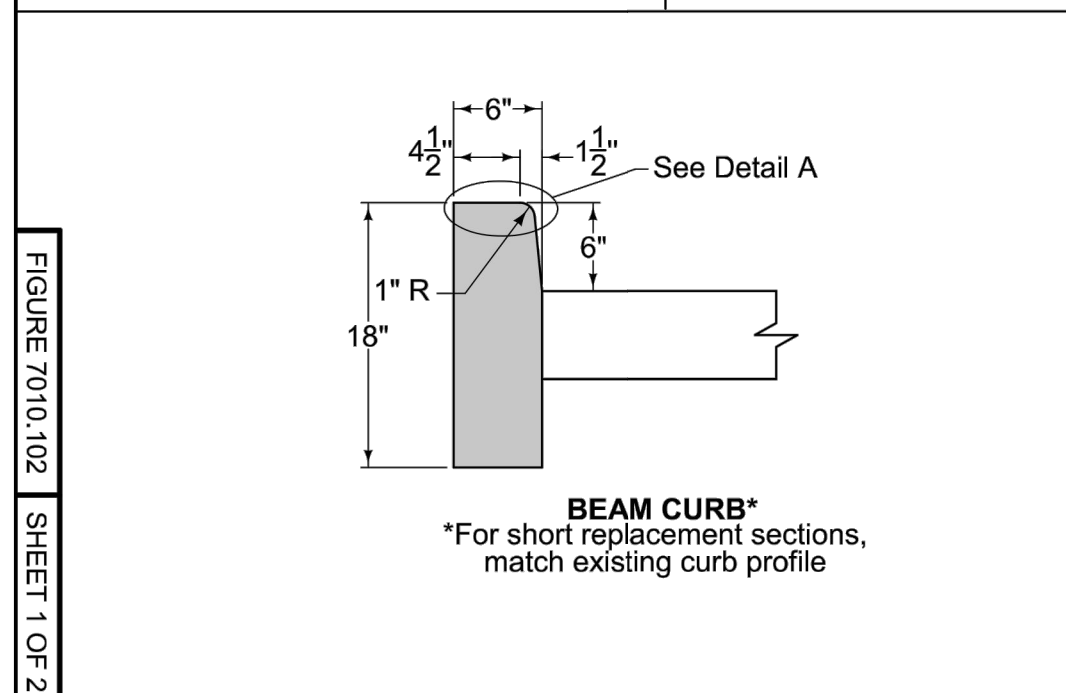
CURB AND GUTTER UNIT

For joint details, see PV-101.

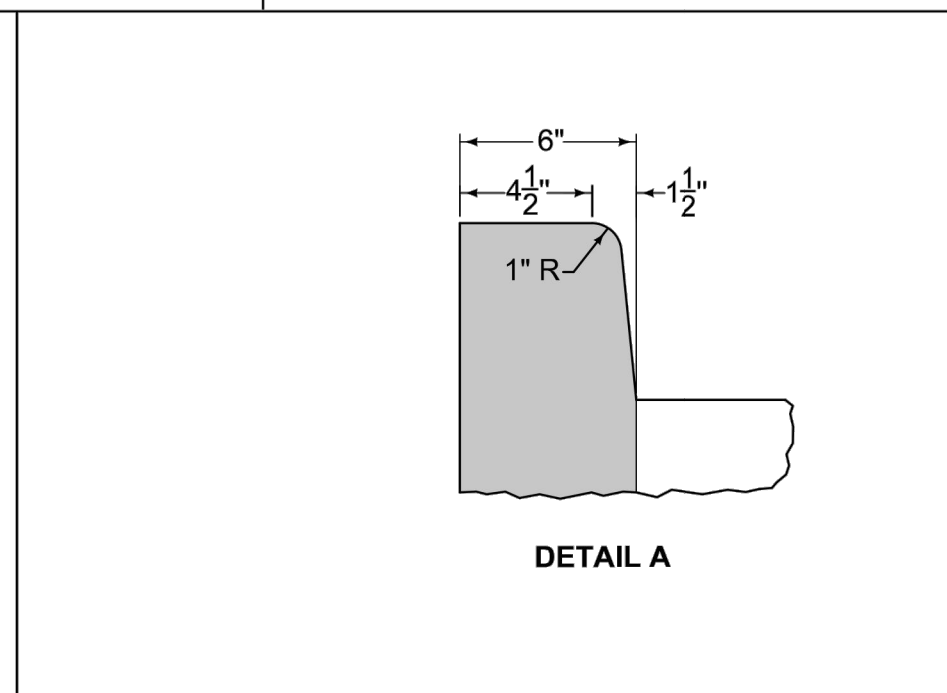
- 1 6" Standard Curb, 6" Sloped Curb, or 4" Sloped Curb as specified.
- 2 1/4" if Proposed Pavement is HMA. No elevation difference if Proposed Pavement is PCC.
- 3 'BT', 'KT', or 'L' joint if Proposed Pavement is PCC. 'B' joint if Proposed Pavement is HMA.

	REVISION	10-18-16
	4	PV-102
SUDAS Standard Specifications		
CONCRETE DRIVEWAY, TYPE B		

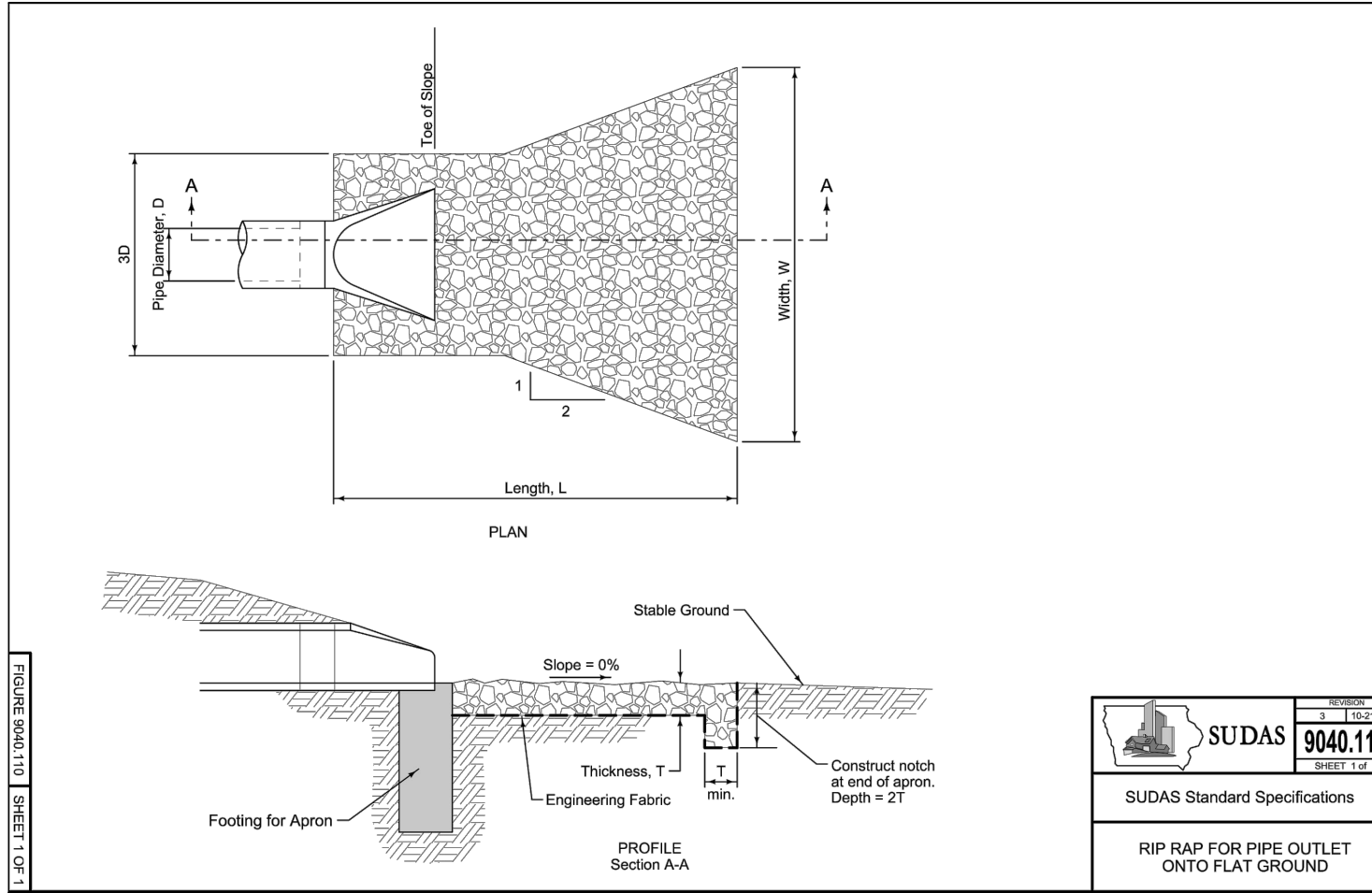
FIGURE 7010.102 SHEET 1 OF 2



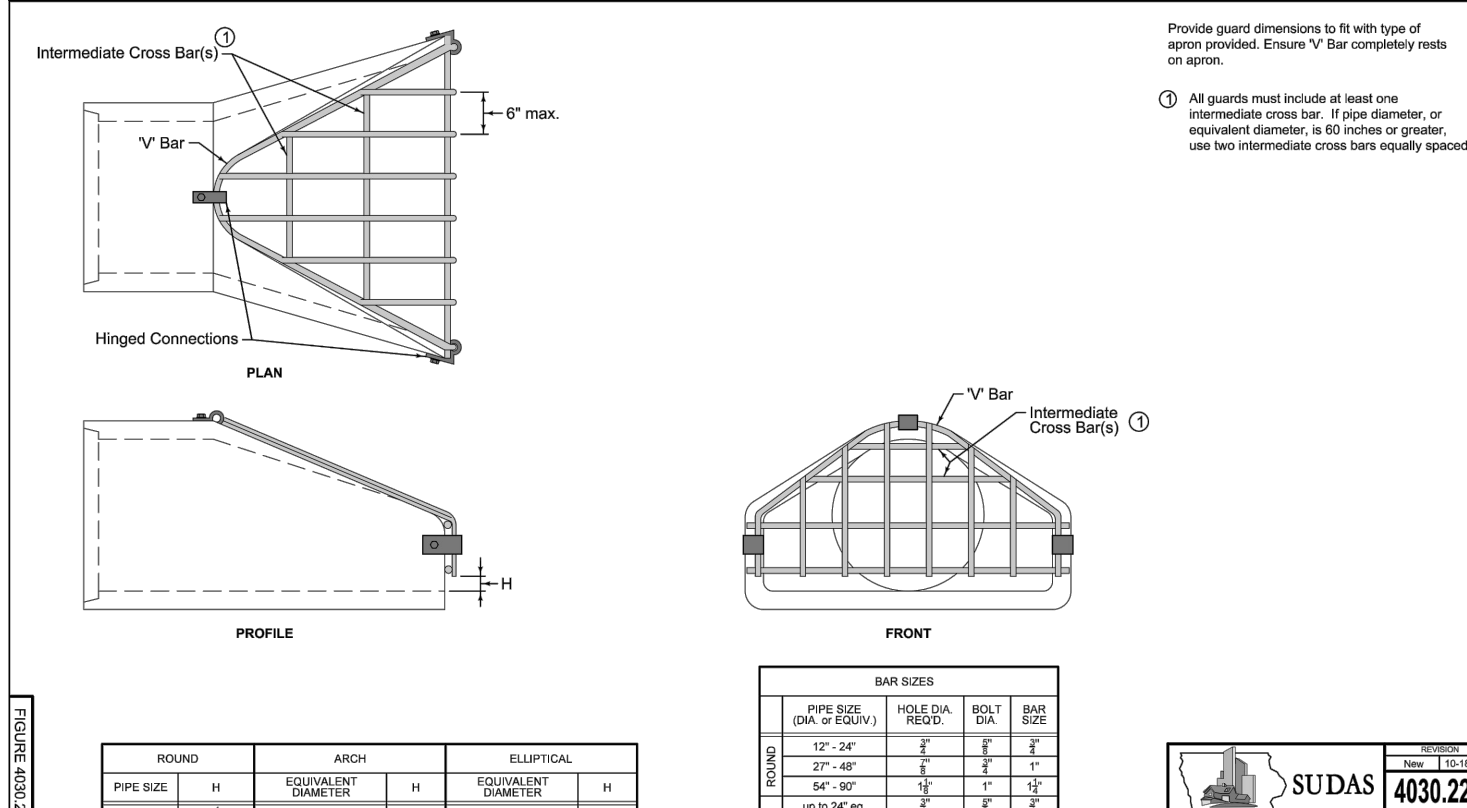
BEAM CURB\*  
\*For short replacement sections,  
match existing curb profile



DETAIL A



	REVISION	10-20-15
	1	9040.110
SUDAS Standard Specifications		
RIP-RAP FOR PIPE OUTLET ONTO FLAT GROUND		



	REVISION	10-20-15
	1	4030.224
SUDAS Standard Specifications		
CONCRETE PIPE APRON GUARD		

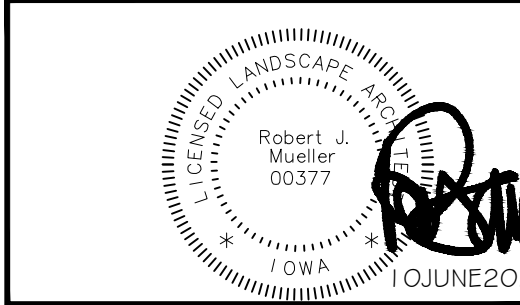
FIGURE 4030.224 SHEET 1 OF 1

**KWIK TRIP**

**KWIK STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**INSITES**  
SITE PLANNING LANDSCAPE ARCHITECTURE  
3131 Fernbrook Lane North, STE 260  
Plymouth Minnesota 55447  
763.383.8400  
Fax: 763.383.8400

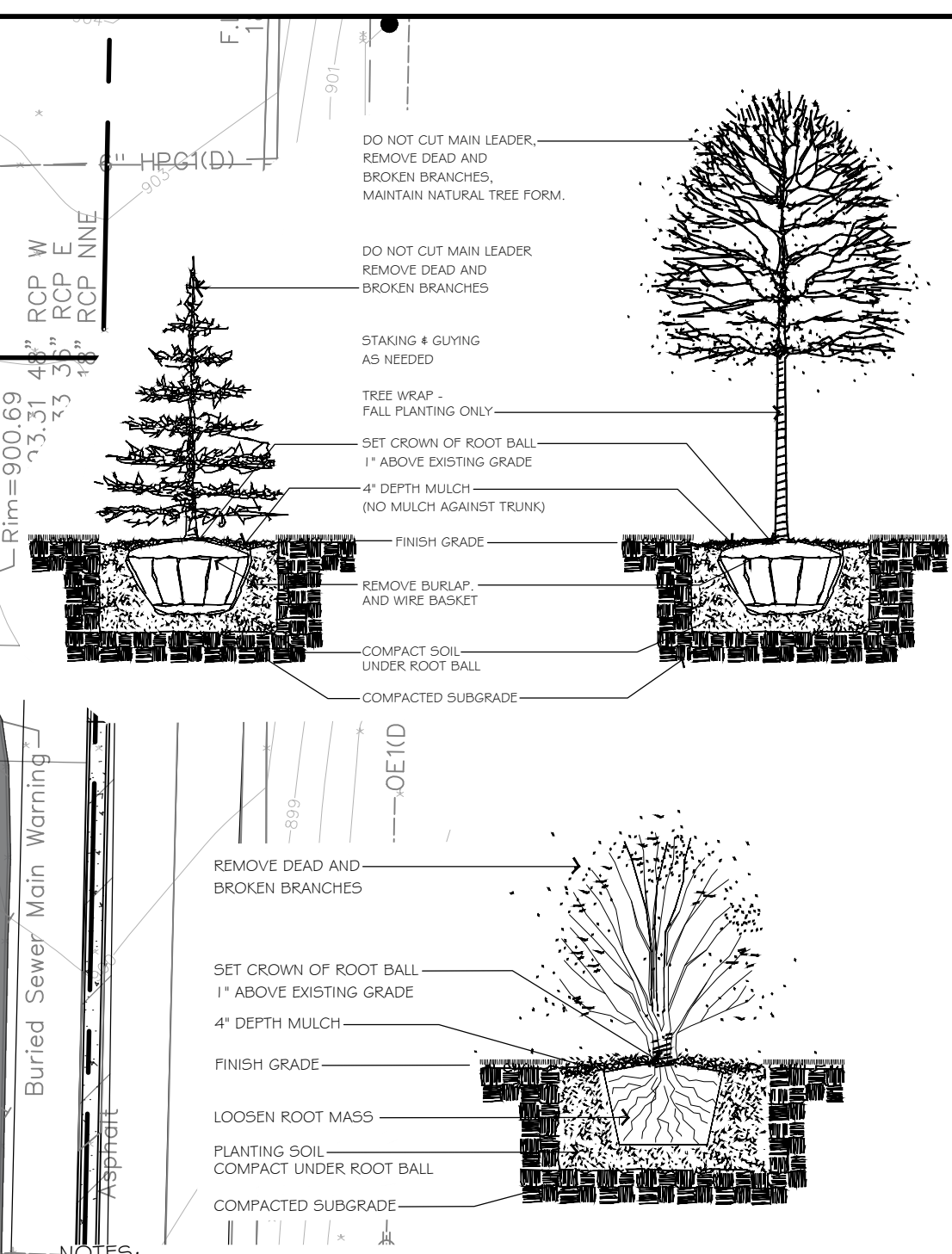
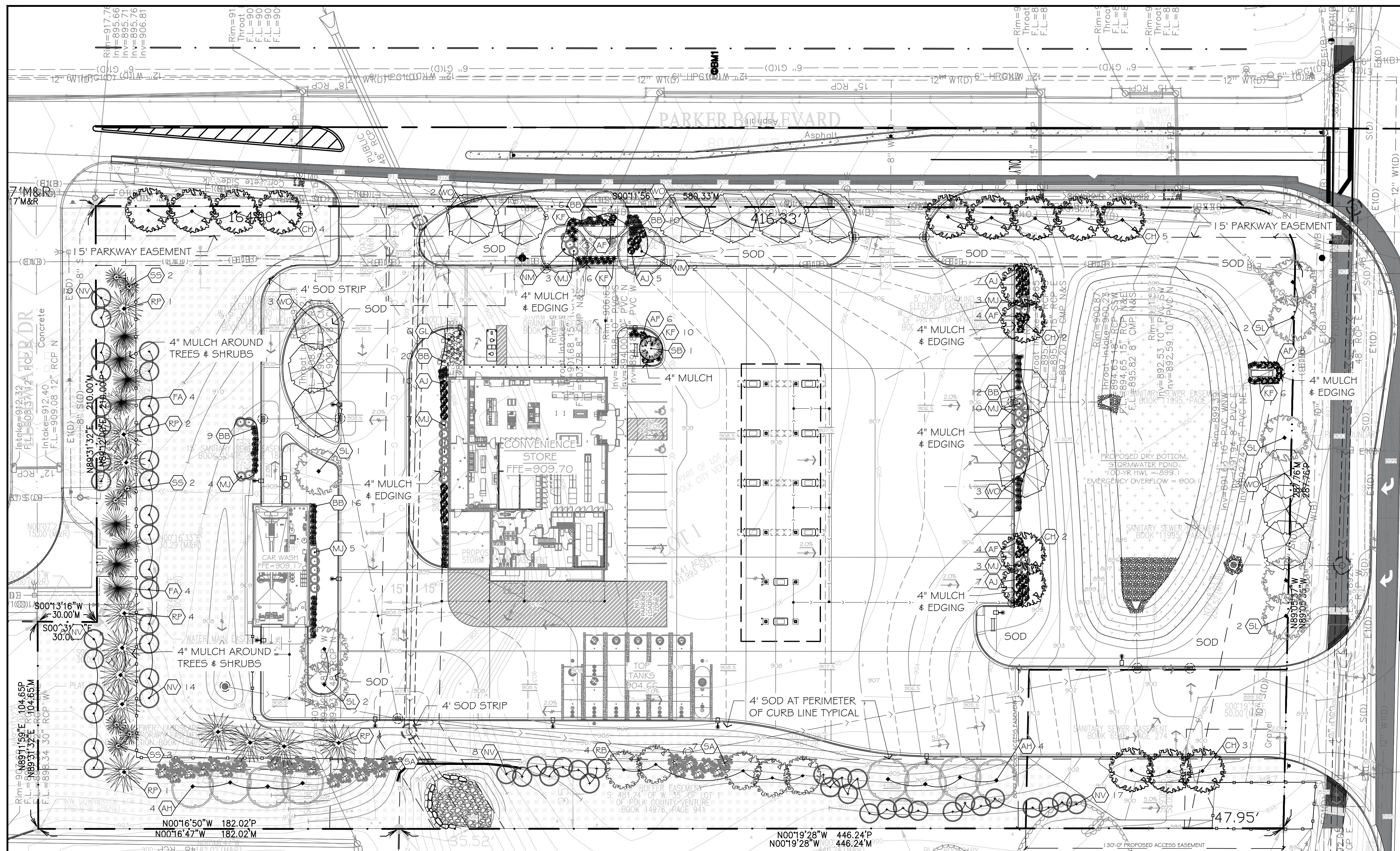


SUDAS SITE PLAN DETAILS  
CONVENIENCE STORE 1089  
POLK CITY, IOWA

NO.	DATE	DESCRIPTION
1	12/19/19	SUBMITTAL COMMENTS
2	2/3/20	SITE SHIFT APPROACHES
3	2/24/20	SUBMITTAL COMMENTS
4	2/24/20	CANOPY LAYOUT
5	2/25/20	COMMENTS
6	3/10/20	SIGN LOCATION
7	3/10/20	COMMENTS
8	6/10/20	COMMENTS

DRAWN BY: GRAPHIC  
PROJ. NO.: 191089  
DATE: 26JULY2019  
SHEET: SP7





- NOTES:**
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W.
  - LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY AFFECT HIS WORK
  - LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND COMPLETE HIS WORK PER OWNERS CONSTRUCTION SCHEDULE.
  - ALL PLANT MATERIALS SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME OR UPON REQUEST OF OWNER.
  - REPLACEMENT TOPSOIL SHALL BE CLEAN, FREE OF STONES, WEEDS, AND OTHER UNDESIRABLE DEBRIS.
  - PLANTING SOIL MIX (INCIDENTAL COST ITEM)
    - MIX 1 LB. 5-20-20 COMMERCIAL FERTILIZER PER CU. YD. TOPSOIL
    - THOROUGHLY MIX 1-PART SAND AND 1-PART PEAT MOSS WITH 5-PARTS FERTILIZER AND TOP SOIL.
  - USE PLANTING SOIL AT ALL LOCATIONS PER DETAILS THIS SHEET.
  - LANDSCAPE CONTRACTOR SHALL VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
  - SOD SHALL BE CULTURED WITH PREDOMINANTLY KENTUCKY BLUEGRASS SEED OF RECENT DISEASE RESISTANT INTRODUCTIONS. NO GUARANTEE ON SOD EXCEPT ANY SOD NOT SATISFACTORY AT TIME OF COMPLETION INSPECTION SHALL BE PROMPTLY REPLACED PRIOR TO COMPLETION OF JOB. STAKE SOD ON SLOPES 3:1 AND GREATER.
  - WHERE EXISTING CONCRETE/ ASPHALT AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 2' WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE EITHER HYDROMULCH OR DISKED STRAW DEPENDING ON SEED TYPE, APPLICATION, AND OWNER REQUEST.
  - LANDSCAPE CONTRACTOR TO INSTALL VALLEY VIEW, "BLACK DIAMOND" EDGING AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
  - ALL MULCH TO BE FINELY SHREDDED HARDWOOD ORGANIC BARK MULCH. NO DYED MULCHES, INSTALL 4" DEPTH. NO FILTER FABRIC BENEATH ORGANIC MULCHES, NO EDGING AROUND ALL TREES OUTSIDE SHRUB BEDS.
  - IF SPECIFIED, ALL GRAVEL MULCH SHALL BE 1" DIA. WASHED "RIVER ROCK".
  - INSTALL 4" DEPTH WITH APPROVED WEED FABRIC BARRIER IF INDICATED PLAN.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SYSTEM INSTALLATION PER SHEET 11. DESIGN SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND/OR PLANTINGS, FROM CURB TO CURB. R.O.W. SHOULD BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY. CARE SHOULD BE TAKEN IN VICINITY OF ALL WALKS AND DRIVES TO MINIMIZE OVER SPRAY. COORDINATE INSTALLATION OF ALL PVC SLEEVE UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
  - LANDSCAPE CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER AND DAILY AS DEEMED NECESSARY BY THE CITY.
  - GENERAL CONTRACTOR TO SWEEP PAVEMENT AREAS PRIOR TO TURN OVER TO OWNER.

# Kwik Trip

# Kwik Star

**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

## INSITES

LANDSCAPE ARCHITECTURE  
 3131 Fernbrook Lane North, STE 260  
 Plymouth Minnesota 55447  
 763.383.8400  
 Fax 763.383.8400

Robert J. Mueller  
 00377  
 JUNE 2020

PLANT MATERIAL		HEIGHT X WIDTH	SHRUBS				
OVERSTORY TREES			NV 57	#5 CONT	pot	MANHATTAN VIBURNUM Viburnum lentago	15' x 10'
CH	16	2.5' CAL.	SA 26	#5 CONT	pot	SWAMP AZALEA Rhododendron viscosum (L.) Torr.	5' x 7'
WO	15	2.5' CAL.	AJ 26	#3 CONT	pot	AMBER JUBILEE NINEBARK Physocarpus opulifolius 'Jefant'	5' x 4'
NM	3	2.5' CAL.	MJ 35	#3 CONT	pot	MANEY JUNIPER Juniperus chinensis 'Maney'	4' x 5'
SL	6	2.5' CAL.	AF 17	#3 CONT	pot	ARCTIC FIRE DOGWOOD Cornus stolonifera 'Farrow'	4' x 4'
AH	8	2.5' CAL.	GL 6	#3 CONT	pot	GRO-LOW FRAGRANT SUMAC Rhus aromatica 'Gro-Low'	2' x 7'
UNDERSTORY TREES			BB 61	#1 CONT	pot	BIG BLUESTEM Andropogon gerardi	5' x 6'
SB	1	1.5' CAL.	KF 32	#1 CONT	pot	KARL FORESTER FEATHER REED GRASS Calamagrostis x acutiflora 'Karl Forester'	4' x 30'
EVERGREEN TREES							
RP	12	10' HT				FALL SEEDING IS PREFERABLE (AUG. 20 TO OCT. 20). SPRING SEEDING SHOULD BE BETWEEN MARCH 15-MAY 15. NO SUMMER SEEDING.	
FA	8	5' HT					
SS	7	6' HT					

**LANDSCAPE REQUIREMENTS:**

-ZONE: C2  
 -15% GREENSPACE REQUIRED  
 -191,942 TOTAL SF = 28,791 GREENSPACE SF REQUIRED  
 98,704 PROVIDED

20 TREES REQUIRED # 60 SHRUBS REQUIRED  
 20 PROVIDED # 177 PROVIDED

-VEHICLE PAVEMENT AREA x 20% TOTAL SF / 700 = VPA TREES REQUIRED  
 76,947 SF x .20 = 15,390 / 700 = 22 TREES  
 23 PROVIDED

PARKER BLVD TREES: 15 REQUIRED/PROVIDED  
 W BRIDGE STREET TREES: 8 REQUIRED/PROVIDED

WEST PROPERTY BUFFER YARD  
 TYPE B  
 WIDTH= >25 FT  
 628 FT = 13 TREES # 51 SHRUBS REQUIRED  
 13 # 51 PROVIDED

811  
 Know what's below.  
 Call before you dig.

NORTH  
 SCALE: 1" = 30'

30 15 0 15 30 60

PLOTTING NOTE: PLANS PLOTTED TO 11x17  
 SHEET SIZE ARE 1/2 SCALE. 1"=60'.

### LANDSCAPE PLAN

## CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
19AUG19		SUBMITTAL
23SEP19		COMMENTS
22NOV19		SITE SHIFT APPROACHES
06JAN20		SUBMITTAL
23JAN20		CANOPY LAYOUT
25FEB20		COMMENTS
18MAR20		SIGN LOCATION
03JUN20		COMMENTS
10JUN20		9JUN20 COMMENTS

DRAWN BY: \_\_\_\_\_ SCALE: \_\_\_\_\_ GRAPHIC

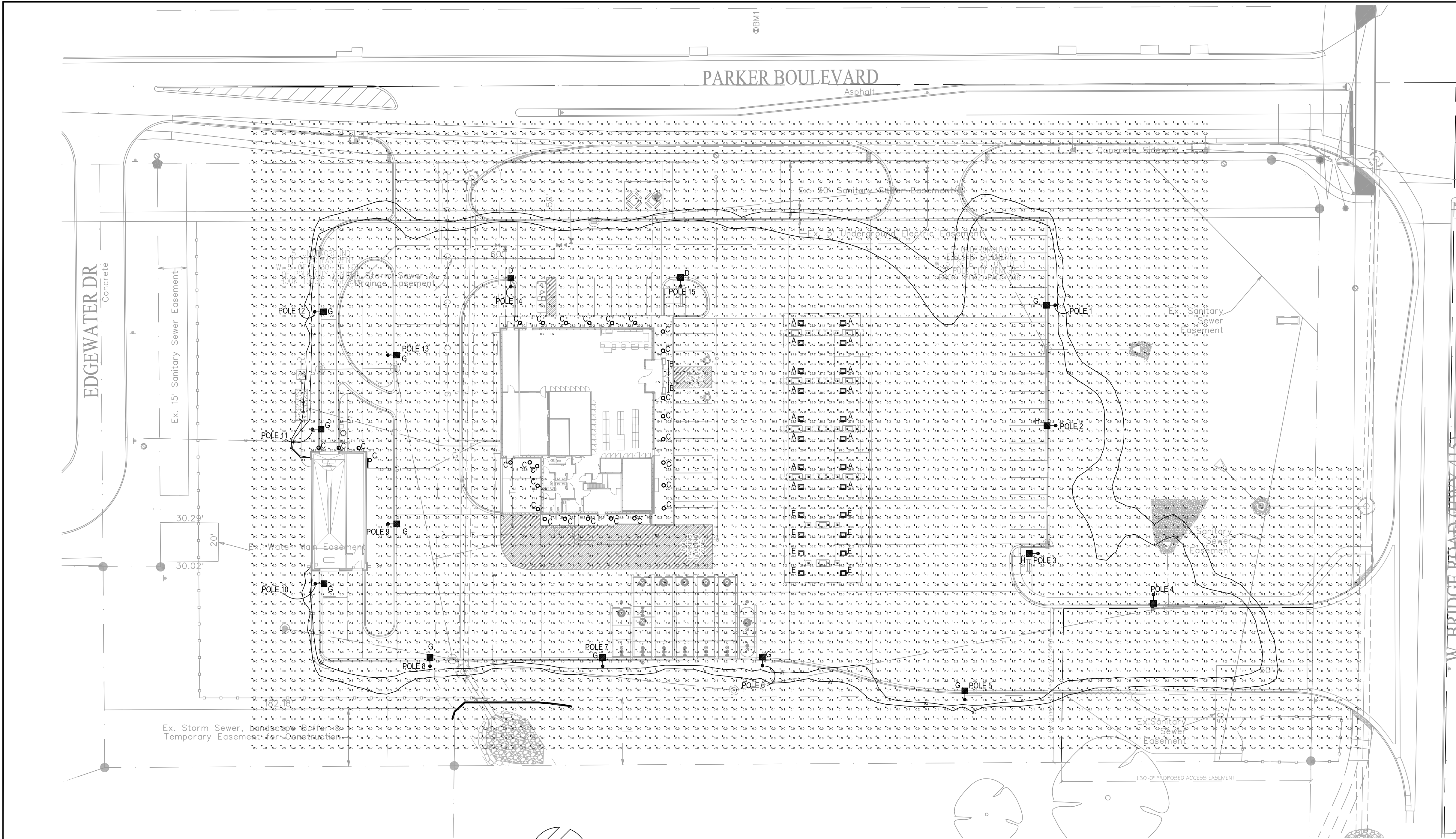
PROJ. NO. 191089

DATE 26JULY2019

SHEET **L1**

INSITES 19.01.18 PM 5:2





W. BRIDGE RD HWY 414

**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FUEL CANOPY	X	28.1 fc	33.7 fc	12.3 fc	2.71	2.11
OVERALL	+	2.4 fc	37.4 fc	0.0 fc	N/A	N/A

**NOTE:**  
FOOTCANDLE LEVELS SHOWN ARE CALCULATED AT GRADE LEVEL.

**FIXTURE QUANTITIES**

- A - 16
- B - 2
- C - 28
- D - 2
- E - 8
- F - 1
- G - 10
- H - 2

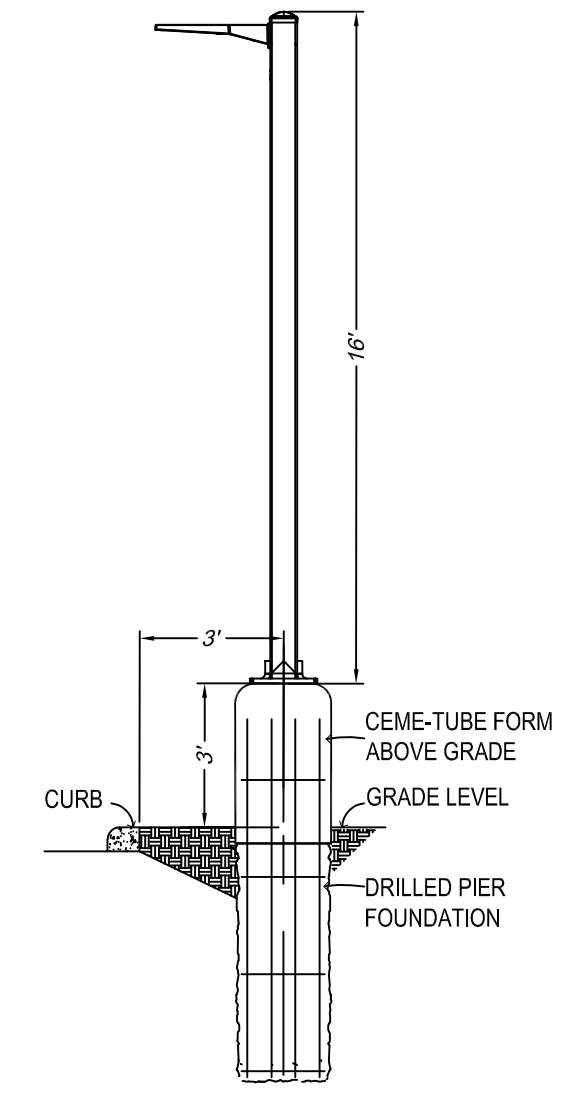
PROVIDE (15) 16' POLES.

**FIXTURE SYMBOLS:**

- A & E LED LIGHT MOUNTED UNDER FUEL CANOPY
- B LED STRIP LIGHT MOUNTED IN GABLE
- C RECESSED LED DOWNLIGHT
- D, F, G & H POLE MOUNTED LED FIXTURE

**FIXTURE TYPES:**

- A - LSI LIGHTING: CRUS-SC4-ED-HO-50-UE-DIM-WHT  
FIXTURE IS SHOWN DIMMED AT 50%  
MOUNTED UNDER GAS PORTION OF FUEL CANOPY
- B - LED STRIP LIGHT MOUNTED IN GABLE  
LITHONIA - TZL1N4L6
- C - RECESSED LED DOWNLIGHT  
GOTHAM EVO-35/30-8AR-WD-120-TRW
- D - LSI LIGHTING: SLM-LED-9L-SIL-2-UNV-50-70CRI-WHT
- E - LSI LIGHTING: CRUS-SC4-ED-HO-50-UE-DIM-BLK  
FIXTURE IS SHOWN DIMMED AT 50%  
MOUNTED UNDER DIESEL PORTION OF FUEL CANOPY
- F - LSI LIGHTING: SLM-LED-9L-SIL-3-UNV-50-70CRI-WHT
- G - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRI-WHT-L
- H - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRI-WHT



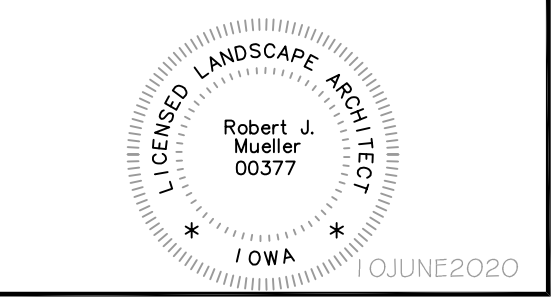
**LOT LIGHT ELEVATION DETAIL**  
NOT TO SCALE

**Kwik  
TRIP**

**Kwik  
STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LACROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**INSITES**  
SITE PLANNING LANDSCAPE ARCHITECTURE  
3131 FEARHUBER LANE N  
MORTON, WISCONSIN 53131  
PH. (262) 544-7547  
FAX (262) 544-7548



PHOTOMETRIC SITE PLAN

CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
1	10/19/18	SCHEMATIC
2	23/SEP/19	COMMENTS
3	22/NOV/19	SITE SHIFTS APPROACHES
4	02/JAN/20	SUBMITTER
5	23/JAN/20	CANOPY LAYOUT
6	25/FEB/20	COMMENTS
7	19/MAR/20	SIGN LOCATION
8	03/JUN/20	COMMENTS
9	10/JUN/20	SUJUNO COMMENTS

DRAWN BY	AMM
SCALE	GRAPHIC
PROJ. NO.	191089
DATE	26JULY2019
SHEET	E1

2019-0195.31  
**GR&EF**  
275 West Wisconsin Avenue, Suite 300  
Milwaukee, WI 53203  
414 / 259 1500  
414 / 259 0037 fax

INSITES 191089.PW.524

June 18, 2020

Polk City Iowa City Council

Honorable Mayor and Council Members

Re: Deer Haven Plat 3

We request waiver of the requirement to provide a bond to assure completion of the sidewalks in plat 3. At the time of sale of each lot the obligation to install sidewalks will be transferred to buyer/builder of each lot. We have a purchase agreement for lot 4, but the other 3 lots are uncommitted at this time. This sidewalk only serves these 4 lots and there is no development past these lots.

The primary purpose for completing plat 3 is to finalize the TIF Development Agreement dated August 14, 2017. That agreement will provide semi-annual payments by the City to Deer Haven Land Company. I propose those TIF payments will provide surety for remedy of any Deer Haven Land Company default of responsibility in the future.

Therefore, I respectfully request waiver of this requirement and approval of the Final Plat for Deer Haven Plat 3.

Thank you.

James Campney  
Representing Deer Haven Land Company  
13094 Cedar Crest Ln  
Clive Iowa, 50325  
515-240-1200



**FINAL PLAT REVIEW**

Date: June 18, 2020 Prepared by: Kathleen Connor  
Project: Deer Haven Plat 3 Project No.: 116.1046

**GENERAL INFORMATION:**

Applicant: Deer Haven Land Company LLC  
Request: Approval of Final Plat  
Location: East of the original town  
Size: 5.43 Acres  
Zoning: R-2 (Lots 1-4)  
Parcels: 4 Residential Lots in R-2 District  
Lot A for a park



**PROJECT BACKGROUND:**

The Preliminary Plat for Deer Haven Plat 3 was approved by City Council on February 27, 2017. The Construction Drawing were approved on June 12, 2017. The Final Plat for Deer Haven Plat 3 was approved by the Planning & Zoning Commission on October 16, 2017 at the same meeting the Final Plats for Deer Haven Pat 1 and Plat 2 were approved.

Some of the public improvements associated with this plat, including the water main extension along E. Broadway and grading on the northwest portion of the plat, were completed in early 2018. The developer subsequently decided to put the project on hold due to a lack of buyers, so the remaining grading, tree removals and utility service lines were not installed. However, the developer recently completed the tree removals and grading and is now working on installing services.

Since the Final Plat and legal documents were not presented to City Council for approval in a timely fashion following P&Z's approval, the Commission's recommendation is considered null and void. Since construction is nearing completion, the developer now requests P&Z approval of the Final Plat and plans to submit the Final Plat and legal documents to City Council for approval within 60 days after the P&Z meeting.

**PROJECT DESCPTION:**

The public improvements associated with this plat includes water main extension, along with water services and sanitary sewer services constructed to serve lots within this plat. The existing 10' wide recreational trail on Lot A was constructed with the Deer Haven Plat 1 improvements. No changes were made to E Broadway paving, although the ditch was defined on the north side of the street.

The parkland dedication for Deer Haven Plats 1, 2 and 3 was met in part by the paving of a 10' recreational trail extending along E. Broadway, beginning at the developer's northwest property line just northwest of the cemetery, extending down E. Broadway, then crossing into Deer Haven on the north side of the street, then running across Outlot 'X' and the rear yards of Lots 1-7 of Plat 1 to its point of termination at the Crossroads on the Lakes property line. The remainder of the parkland obligation includes dedication of Lot A to the City for use as a park.

**REVIEW COMMENTS:**

**A. Final Plat.**

Submittal # 6 addressed all review comments.

**B. Legal Documents.** We understand all legal documents have been approved by the City Attorney and shall be signed by the property owner and provided to the City Clerk prior to this item being placed on the Council agenda. These documents include:

1. *Record of Lot Tie Agreements* permanently tying Outlot Y to Lot 3 and permanently tying Outlot Z to Lot 4.
2. *Easement documents* for all public and private easements, revised per the City Attorney's comments, and signed by the developer. These easements include:
  - a. Recreational Trail Easement
  - b. Ponding Easement
  - c. Buffer Easement
  - d. Public Utility Easement
3. *Permanent Site Separation Waiver Agreement and Easement* covering Lots 1-4 since all lots are located within 1,000 feet of the property line of the City of Polk City's property containing the equalization basins operated by the WRA.
4. *Sidewalk Performance Bond* covering installation of sidewalks on Lots 1-4 within three years of final plat approval.
5. *Platting legal documents* including Title Opinion, Consent to Plat, and Certificate of Treasurer.
6. *A Warranty Deed* for dedication of Lot A along with Groundwater Hazard Statement.
7. *A signed contract* for installation of street lights by MidAmerican Energy.

**C. Public Improvements Acceptance.** Prior to Council approval of the Final Plat, the public improvements will need to be accepted by City Council. All punch list items generated from the June 16<sup>th</sup> walk-thru will need to be addressed, including replacement of the sidewalk at 930 Deer Haven Street. The developer's contractor has provided four-year Maintenance bonds for the public improvements prior to acceptance. The Service Locates table will need to be provided by the contractor dimensioning all service stubs from the nearest lot corner.

The developer's engineer has provided a driveway detail to confirm the as-built ditch grades will accommodate the 12" RCP driveway culverts with appropriate slopes on the driveways. This detail will be provided to the Building Inspector to ensure sidewalks are constructed in a uniform location and driveways have appropriate cross-slope for a future trail.

Since grass is not yet established, the Agreement to Complete will need to be signed by the developer who will need to provide a check to the City Clerk in an amount to cover the cost of re-seeding if necessary. The check will be returned once grass is established.

**RECOMMENDATION:**

Based on the satisfactory Resolution of the foregoing issues and approval of the City Attorney, P&Z and staff recommend City Council approval of the Final Plat for Deer Haven Plat 3 subject to the following:

1. Prior City Council acceptance of the Public Improvements associated with this plat.
2. Payment in full to the City Clerk for all application and engineering review fees.



**RESOLUTION NO. 2020-73**

**A RESOLUTION ACCEPTING THE PUBLIC IMPROVEMENTS AND  
APPROVING THE FINAL PLAT AND EASEMENTS FOR  
DEER HAVEN PLAT 3**

---

**WHEREAS**, the Deer Haven Land Company, LLC has submitted a Final Plat, including easements and legal documents for Deer Haven Plat 3; and

**WHEREAS**, on June 15, 2020, the Polk City Planning and Zoning Commission met and recommended approval of the Final Plat for Deer Haven Plat 3, subject to all review comments being satisfactorily addressed; and

**WHEREAS**, the public improvements associated with Deer Haven Plat 3 have been completed in substantial conformance with SUDAS and the approved construction drawings; and

**WHEREAS**, the City Engineer and City Attorney have reviewed the Final Plat and finds that all review comments have been satisfactorily addressed and therefore recommends approval of said Final Plat.

**NOW, THEREFORE, BE IT RESOLVED**, the City Council of the City of Polk City, Iowa hereby accepts the recommendations of the Planning and Zoning Commission and the City Engineer and the City Attorney and deems it appropriate to approve the Final Plat including Agreements, Easements and Warranty Deed for Deer Haven Plat 3.

**PASSED AND APPROVED** the 22nd day June 2020

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk

# FINAL PLAT DEER HAVEN PLAT 3

**OWNER/APPLICANT**  
DEER HAVEN LAND COMPANY LLC  
1444 NW 124TH CT.  
CLIVE, IA 50325  
CHRIS DAWSON 515-210-7515  
CDAWSON@PLATINUMDEVELOPMENT.COM

**ZONING**  
R-2 (LOTS 1-4)

**LAND USE**  
EXISTING: VACANT  
PROPOSED: SINGLE FAMILY RESIDENTIAL

**SETBACKS**  
FRONT - 30'  
REAR - 35'  
SIDE - 8'

**LEGAL DESCRIPTION**  
A tract of land located in Lots 5 and 7 of the Official Plat of the Northwest Fractional 1/4 and the North 1/2 of the Southwest 1/4 and in the West 1/2 of the Northeast 1/4 all of which is in Section 1, Township 80 North, Range 25 West of the 5th P.M., Polk City, Polk County, Iowa. Said tract of land being more particularly described as follows:

Beginning at the Southeast Corner of said Lot 5, said point being on the Northerly Right-of-Way Line of E. Broadway Street as it is presently established; thence N51°30'07"W, 1303.31 feet along said Northerly Right-of-Way Line, to the Southwest Corner of said Lot 7; thence N38°29'53"E, 102.00 feet; thence S50°48'37"E, 640.00 feet; thence S83°42'18"E, 542.39 feet; thence S26°03'37"E, 235.25 feet; thence S49°06'11"W, 240.21 feet; thence S00°24'14"W, 58.85 feet to the Point of Beginning

Said tract of land subject to all easements of record.

Said tract of land contains 5.43 acres more or less.

**LEGEND**

—	PLAT BOUNDARY
▲	SECTION CORNER
●	FOUND CORNER, AS NOTED
○	SET CORNER 5/8" I.R. W/ YELLOW CAP #13156
I.R.	IRON ROD
G.P.	GAS PIPE
D.	DEEDED DISTANCE
M.	MEASURED DISTANCE
R.	PREVIOUSLY RECORDED DISTANCE
P.U.E.	PUBLIC UTILITY EASEMENT
3333	ADDRESS
B.S.L.	BUILDING SETBACK LINE
M.O.E.	MINIMUM OPENING ELEVATION
M.P.E.	MINIMUM PROTECTION ELEVATION
N.R.	NOT RADIAL

**CERTIFICATION**

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, PLS. IOWA LICENSE NO. 13156  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018  
PAGES OR SHEETS COVERED BY THIS SEAL:  
This sheet only

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

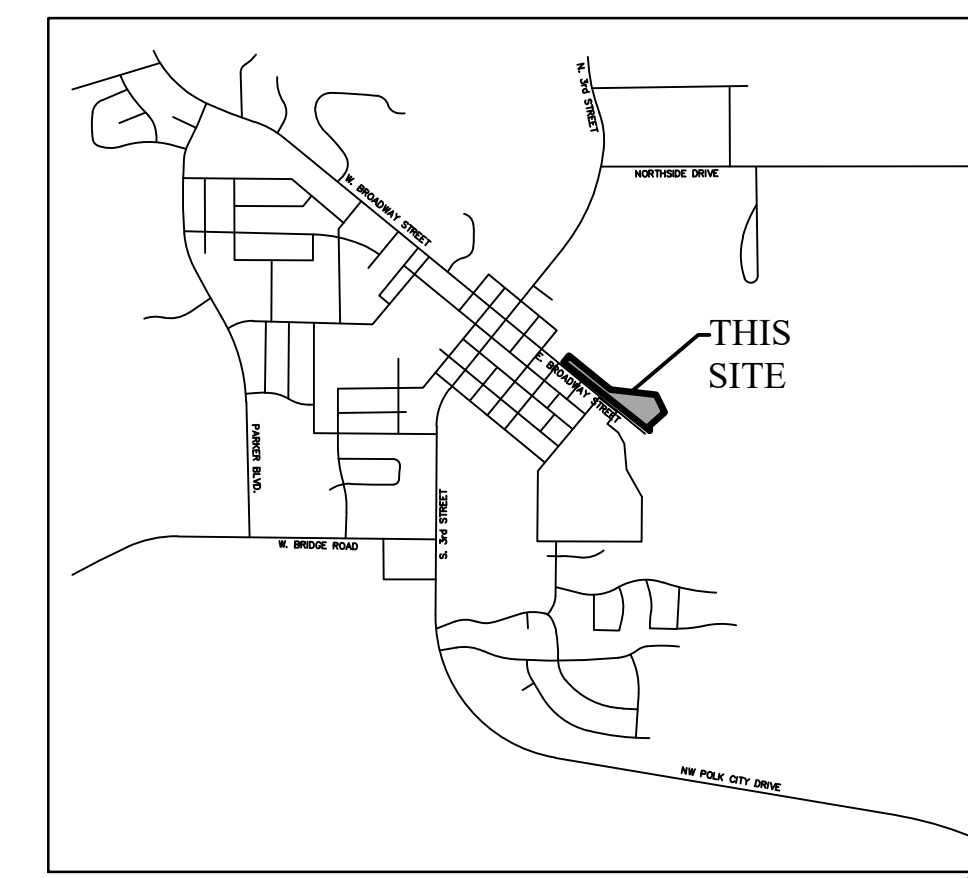
DATE: 9-29-2017  
REVISIONS: 10-16-2017  
06-04-2017  
06-08-2017

APPROVED: [Signature] INITIALS: --- AS-BUILT: ---

**FINAL PLAT  
DEER HAVEN PLAT 3**

**CC  
1843**

**SHEET  
1 OF 1**



VICINITY SKETCH

**SURVEYORS NOTES**

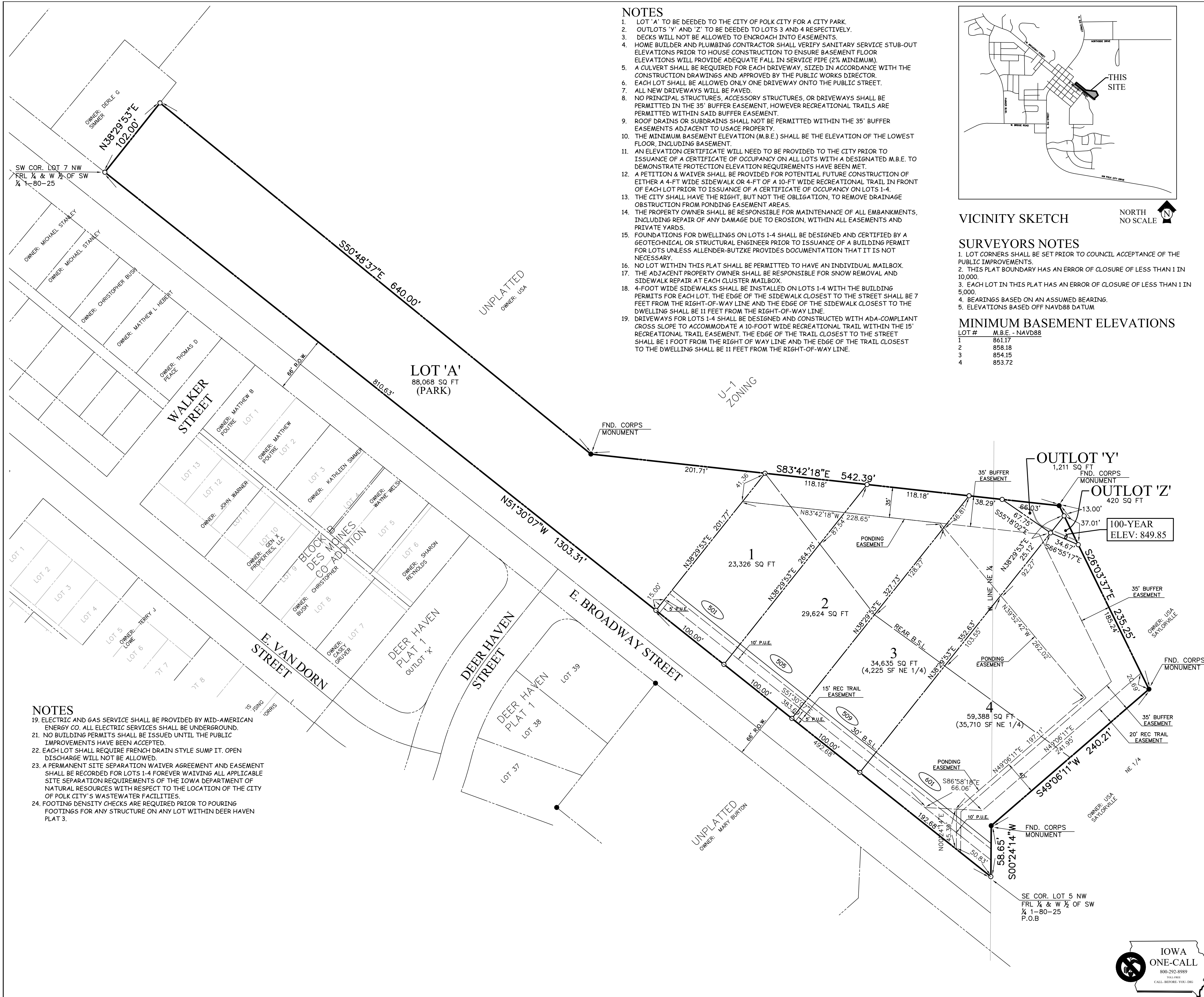
1. LOT CORNERS SHALL BE SET PRIOR TO COUNCIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.
2. THIS PLAT BOUNDARY HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 10,000.
3. EACH LOT IN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 5,000.
4. BEARINGS BASED ON AN ASSUMED BEARING.
5. ELEVATIONS BASED OFF NAVD88 DATUM

**MINIMUM BASEMENT ELEVATIONS**

LOT #	M.B.E. - NAVD88
1	861.17
2	858.18
3	854.15
4	853.72

**NOTES**

1. LOT 'A' TO BE DEEDED TO THE CITY OF POLK CITY FOR A CITY PARK.
2. OUTLOTS 'Y' AND 'Z' TO BE DEEDED TO LOTS 3 AND 4 RESPECTIVELY.
3. DECKS WILL NOT BE ALLOWED TO ENCRUGH INTO EASEMENTS.
4. HOME BUILDER AND PLUMBING CONTRACTOR SHALL VERIFY SANITARY SERVICE STUB-OUT ELEVATIONS PRIOR TO HOUSE CONSTRUCTION TO ENSURE BASEMENT FLOOR ELEVATIONS WILL PROVIDE ADEQUATE FALL IN SERVICE PIPE (2% MINIMUM).
5. A CULVERT SHALL BE REQUIRED FOR EACH DRIVEWAY, SIZED IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS AND APPROVED BY THE PUBLIC WORKS DIRECTOR.
6. EACH LOT SHALL BE ALLOWED ONLY ONE DRIVEWAY ONTO THE PUBLIC STREET.
7. ALL NEW DRIVEWAYS WILL BE PAVED.
8. NO PRINCIPAL STRUCTURES, ACCESSORY STRUCTURES, OR DRIVEWAYS SHALL BE PERMITTED IN THE 35' BUFFER EASEMENT, HOWEVER RECREATIONAL TRAILS ARE PERMITTED WITHIN SAID BUFFER EASEMENT.
9. ROOF DRAINS OR SUBDRAINS SHALL NOT BE PERMITTED WITHIN THE 35' BUFFER EASEMENTS ADJACENT TO USACE PROPERTY.
10. THE MINIMUM BASEMENT ELEVATION (M.B.E.) SHALL BE THE ELEVATION OF THE LOWEST FLOOR, INCLUDING BASEMENT.
11. AN ELEVATION CERTIFICATE WILL NEED TO BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ON ALL LOTS WITH A DESIGNATED M.B.E. TO DEMONSTRATE PROTECTION ELEVATION REQUIREMENTS HAVE BEEN MET.
12. A PETITION & WAIVER SHALL BE PROVIDED FOR POTENTIAL FUTURE CONSTRUCTION OF EITHER A 4-FT WIDE SIDEWALK OR 4-FT OF A 10-FT WIDE RECREATIONAL TRAIL IN FRONT OF EACH LOT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ON LOTS 1-4.
13. THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO REMOVE DRAINAGE OBSTRUCTION FROM PONDING EASEMENT AREAS.
14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EMBANKMENTS, INCLUDING REPAIR OF ANY DAMAGE DUE TO EROSION, WITHIN ALL EASEMENTS AND PRIVATE YARDS.
15. FOUNDATIONS FOR DWELLINGS ON LOTS 1-4 SHALL BE DESIGNED AND CERTIFIED BY A GEOTECHNICAL OR STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR LOTS UNLESS ALLENDER-BUTZKE PROVIDES DOCUMENTATION THAT IT IS NOT NECESSARY.
16. NO LOT WITHIN THIS PLAT SHALL BE PERMITTED TO HAVE AN INDIVIDUAL MAILBOX.
17. THE ADJACENT PROPERTY OWNER SHALL BE RESPONSIBLE FOR SNOW REMOVAL AND SIDEWALK REPAIR AT EACH CLUSTER MAILBOX.
18. 4-FOOT WIDE SIDEWALKS SHALL BE INSTALLED ON LOTS 1-4 WITH THE BUILDING PERMITS FOR EACH LOT. THE EDGE OF THE SIDEWALK CLOSEST TO THE STREET SHALL BE 7 FEET FROM THE RIGHT-OF-WAY LINE AND THE EDGE OF THE SIDEWALK CLOSEST TO THE DWELLING SHALL BE 11 FEET FROM THE RIGHT-OF-WAY LINE.
19. DRIVEWAYS FOR LOTS 1-4 SHALL BE DESIGNED AND CONSTRUCTED WITH ADA-COMPLIANT CROSS SLOPE TO ACCOMMODATE A 10-FOOT WIDE RECREATIONAL TRAIL WITHIN THE 15' RECREATIONAL TRAIL EASEMENT. THE EDGE OF THE TRAIL CLOSEST TO THE STREET SHALL BE 1 FOOT FROM THE RIGHT OF WAY LINE AND THE EDGE OF THE TRAIL CLOSEST TO THE DWELLING SHALL BE 11 FEET FROM THE RIGHT-OF-WAY LINE.



**NOTES**

19. ELECTRIC AND GAS SERVICE SHALL BE PROVIDED BY MID-AMERICAN ENERGY CO. ALL ELECTRIC SERVICES SHALL BE UNDERGROUND.
20. NO BUILDING PERMITS SHALL BE ISSUED UNTIL THE PUBLIC IMPROVEMENTS HAVE BEEN ACCEPTED.
21. EACH LOT SHALL REQUIRE FRENCH DRAIN STYLE SUMP IT. OPEN DISCHARGE WILL NOT BE ALLOWED.
22. A PERMANENT SITE SEPARATION WAIVER AGREEMENT AND EASEMENT SHALL BE RECORDED FOR LOTS 1-4 FOREVER WAIVING ALL APPLICABLE SITE SEPARATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES WITH RESPECT TO THE LOCATION OF THE CITY OF POLK CITY'S WASTEWATER FACILITIES.
23. FOOTING DENSITY CHECKS ARE REQUIRED PRIOR TO POURING FOOTINGS FOR ANY STRUCTURE ON ANY LOT WITHIN DEER HAVEN PLAT 3.







MINUTES TO RECEIVE BIDS AND SELL BONDS

511493-2

Polk City, Iowa

June 22, 2020

The City Council of the City of Polk City, Iowa, met on June 22, 2020, at 6 o'clock p.m., via ZOOM Polk City, Iowa.

The City Council met electronically via ZOOM which was accessible at the following:

**Public Participation available at 515-329-8019, code 593054**

The City Council is conducting this meeting electronically due to federal and state government recommendations in response to COVID-19 pandemic conditions. Electronic access information was included in the posted agenda of this public meeting.

The meeting was called to order by the Mayor, and the roll was called showing the following Council Members present and absent:

Present: \_\_\_\_\_

Absent: \_\_\_\_\_.

This being the time and place fixed by the City Council for the consideration of bids for the purchase of the City's General Obligation Street Improvement Bonds, Series 2020, the Mayor announced that bids had been received and canvassed on behalf of the City at the time and place fixed therefor.

The results of the bids were then read and the substance of such bids was noted in the minutes, as follows:

**Name and Address of Bidder**

**Final Bid (interest cost)**

**(Attached bid tabulation)**

After due consideration and discussion, Council Member \_\_\_\_\_ introduced the following resolution and moved its adoption, seconded by Council Member \_\_\_\_\_. The Mayor put the question upon the adoption of said resolution, and the roll being called, the following Council Members voted:

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_.

Whereupon, the Mayor declared the resolution duly adopted as hereinafter set out.

••••

At the conclusion of the meeting, and upon motion and vote, the City Council adjourned.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk



RESOLUTION NO. 2020-72

Resolution Awarding General Obligation Street Improvement Bonds, Series 2020

WHEREAS, the City of Polk City (the “City”), in Polk County, State of Iowa, pursuant to the provisions of Section 384.24A of the Code of Iowa, heretofore proposed to enter into a General Obligation Street Improvement Loan Agreement (the “Loan Agreement”) and to borrow money thereunder in a principal amount not to exceed \$2,600,000 for the purpose of paying the costs, to that extent, of constructing street and incidental sanitary sewer, water system and storm water drainage improvements; and acquiring and installing street lighting, signage and signalization, and has published notice of the proposed action and has held a hearing thereon on March 9, 2020; and

WHEREAS, a Preliminary Official Statement (the “P.O.S.”) has been prepared to facilitate the sale of \$1,750,000 General Obligation Street Improvement Bonds, Series 2020 (the “Bonds”) to be issued in evidence of the obligation of the City under the Loan Agreement, and the City Council has made provision for the approval of the P.O.S. and has authorized its use by PFM Financial Advisors LLC, as municipal financial advisor (the “Financial Advisor”) to the City and has otherwise made provision for the sale of the Bonds; and

WHEREAS, pursuant to advertisement of sale, bids for the purchase of the Bonds to be issued in evidence of the City’s obligation under the Loan Agreement were received and canvassed on behalf of the City and the substance of such bids noted in the minutes; and

WHEREAS, upon final consideration of all bids, the bid of \_\_\_\_\_, \_\_\_\_\_ (the “Purchaser”), is the best, such bid proposing the lowest interest cost to the City for the Bonds; and

NOW, THEREFORE, Be It Resolved by the City Council of the City of Polk City, Iowa, as follows:

Section 1. The bid of the Purchaser referred to in the preamble hereof is hereby accepted, and the Bonds are hereby awarded to the Purchaser at the price specified in such bid, together with accrued interest, if any.

Section 2. The form of agreement of sale (the “Sale Agreement”) of the Bonds to the Purchaser is hereby approved, and the Mayor and City Clerk are hereby authorized to execute the Sale Agreement for and on behalf of the City.

Section 3. Further action with respect to the approval of the Loan Agreement and the issuance of the Bonds is hereby adjourned to the City Council meeting to be held on July 13, 2020.

Section 4. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 5. This resolution shall be in full force and effect immediately upon its approval and adoption, as provided by law.

Passed and approved June 22, 2020.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk



**ATTESTATION CERTIFICATE**

STATE OF IOWA  
POLK COUNTY  
CITY OF POLK CITY

SS:

I, the undersigned, City Clerk of the City of Polk City, do hereby certify that as such City Clerk I have in my possession or have access to the complete corporate records of the City and of its City Council and officers and that I have carefully compared the transcript hereto attached with those corporate records and that the transcript hereto attached is a true, correct and complete copy of all the corporate records in relation to the sale of General Obligation Street Improvement Bonds, Series 2020 of the City evidencing the City's obligation under a certain Loan Agreement and that the transcript hereto attached contains a true, correct and complete statement of all the measures adopted and proceedings, acts and things had, done and performed up to the present time with respect thereto.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
City Clerk

**(Attach here a copy of the bid of the successful bidder.)**



**Date** June 15, 2020

**To:** Chelsea Huisman  
 City of Polk City  
 P.O. Box 426  
 Polk City, IA 50226-0426

**INVOICE SUMMARY - APRIL SERVICES**

Services from April 1, 2020 through April 30, 2020

**GENERAL ENGINEERING**

<u>2020 General Engineering</u>	119.0001	\$ 2,955.00
<i>Council Meetings, P&amp;Z meeting, and coordination with staff re: agendas, resolutions, minutes.</i>		
<u>Building and Development issues:</u>	119.0001	\$ 5,048.50
<i>Meetings and coordination with developers, engineers, building inspector, and staff regarding various potential and ongoing projects.</i>		
<u>Water Dept:</u>	119.0001	\$ 98.50
<i>Research as-builts for E. Vista Lake Ave. water main extension.</i>		
<u>Sanitary Sewer Dept:</u>	119.0001	\$ 197.00
<i>Research sanitary sewer connection fee for E. Southside Dr. sewer.</i>		
<u>Miscellaneous Projects:</u>	119.0001	\$ 1,703.00
<i>Projects include French drain sump pit requirements, detention basin maintenance, new grade ordinance, and GIS.</i>		

**SUBTOTAL** \$ 10,002.00

**CAPITAL IMPROVEMENT PROJECTS**

2019 Street Repair Project	119.0449	\$ 2,175.00
Subdivision Ordinance Update	119.0835	\$ 5,700.00
<b>SUBTOTAL</b>		<u><u>\$ 7,875.00</u></u>

**REIMBURSABLE DEVELOPMENT REVIEW PROJECTS**

Big Creek Tech Campus Plat 4: Prelim Plat, Const Dwgs, Final Plat, SWMP	120.0437	\$ 4,953.75
Big Creek Valley Plat 2: Construction Drawings	120.0340	\$ 2,884.50
Carlton Plat of Survey: Plat, ROW dedication, vacation	120.0379	\$ 1,000.00
Creekview Estates Plat 1: Construction Drawings, Change Orders	119.0842	\$ 1,294.00
Deer Haven Plat 3: Construction Observation; Final Plat	116.1046	\$ 1,000.00
Kwik Star: Site Plan, Prelim Plat, Final Plat, Traffic Impact Study	119.0816	\$ 1,900.00
Lakewoods Plat 2: SWMP review	119.1107	\$ 1,075.50
P & M Apparel: Site Plan, SWMP	120.0438	\$ 1,600.00
Peterson Plat of Survey: Plat, ROW dedication, easements	120.0278	\$ 200.00
Snetselaar/Lillskau: Rezoning and Concept Plan	119.1106	\$ 689.50
Twelve Oaks Plat 3: Construction Observation	115.0170	\$ 179.00
Whitetail Ridge Plat 2: Easement Vacation, Storm Sewer Easement	120.0383	\$ 1,742.50
<b>SUBTOTAL</b>		<u><u>\$ 18,518.75</u></u>

**TOTAL** \$ 36,395.75



**ORDINANCE NO. 2020-1100**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING 14.60 ACRES LOCATED ALONG NW44TH STREET, POLK CITY, IOWA, KNOWN AS SNETSELAAR & LILLSKAU PROPERTY FROM ZONING CLASSIFICATION OF A-1, AGRICULTURAL TO R-2A, TOWNHOME RESIDENTIAL DISTRICT**

---

**WHEREAS**, on the 20<sup>th</sup> day of April 2020, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

That part of Outlot X, WHITE PINE PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa; and that part of Lot 3, RED CEDAR PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa, and more particularly described as follows:

Commencing at the northwest corner of Lot 2, said WHITE PINE PRAIRIE PLAT 1; thence South 68 degrees 04 minutes West, a distance of 268 feet, to the Point of Beginning; thence South 00 degrees 34 minutes West, a distance of 1271 feet; thence southeasterly 68 feet along a curve to the right, not tangent to the last described line, having a radius of 600 feet, a delta angle of 06 degrees 30 minutes and a chord distance of 68 feet which bears South 61 degrees 57 minutes East; thence southeasterly 380 feet along a reverse curve to the left, tangent to the last described curve, having a radius of 700 feet, a delta angle of 31 degrees 08 minutes and a chord distance of 376 feet which bears South 74 degrees 16 minutes East; thence South 89 degrees 50 minutes East, tangent to the last described curve, a distance of 731 feet; thence South 00 degrees 10 minutes West, a distance of 166 feet; thence North 89 degrees 50 minutes West, a distance of 763 feet; thence North 82 degrees 50 minutes West, a distance of 280 feet; thence North 89 degrees 26 minutes West, a distance of 274 feet; thence North 00 degrees 35 minutes East, a distance of 311 feet; thence northwesterly 87 feet along a curve to the left, not tangent to the last described line, having a radius of 600 feet, a delta angle of 08 degrees 16 minutes and a chord distance of 86 feet which bears North 85 degrees 18 minutes West; thence North 89 degrees 26 minutes West, tangent to the last described curve, a distance of 74 feet; thence North 00 degrees 34 minutes West, a distance of 1131 feet; thence North 68 degrees 35 minutes East, a distance of 329 feet; thence South 21 degrees 25 minutes East, a distance of 40 feet, to the Point of Beginning.

Containing 14.60 acres, including 0.64 acres of road right-of-way.

be considered for rezoning 14.60 acres from Agricultural (A-1) to Townhome Residential District (R-2A); and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning the property described above from Agricultural (A-1) to Townhome Residential District (R-2A).

**Section 2:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2020.

---

Jason Morse, Mayor

ATTEST:

---

Jenny Gibbons, City Clerk

First Reading:

Second Reading:

Third Reading:

Date of Publication by posting



**ORDINANCE NO. 2020-1200**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF POLK CITY, IOWA, BY REZONING 34.16 ACRES LOCATED ALONG NW44TH STREET, POLK CITY, IOWA, KNOWN AS LILLSKAU PROPERTY FROM ZONING CLASSIFICATION OF A-1 AGRICULTURAL TO C-2 COMMERCIAL DISTRICT**

---

**WHEREAS**, on the 20<sup>th</sup> day of April 2020, the Planning and Zoning Commission of the City of Polk City, Iowa, recommended to the City Council that the property legally described as:

That part of Outlot X, WHITE PINE PRAIRIE PLAT 1, an official plat, located in Polk City, Polk County, Iowa, and more particularly described as follows:

Beginning at the southwest corner of Lot 2, of said WHITE PINE PRAIRIE PLAT 1; thence South 89 degrees 21 minutes East, a distance of 896 feet; thence South 00 degrees 10 minutes West, a distance of 1257 feet; thence North 89 degrees 50 minutes West, a distance of 731 feet; thence northwesterly 380 feet along a curve to the right, tangent to the last described line, having a radius of 700 feet, a delta angle of 31 degrees 08 minutes and a chord distance of 376 feet which bears North 74 degrees 16 minutes West; thence northwesterly 68 feet along a reverse curve to the left, tangent to the last described curve, having a radius of 600 feet, a delta angle of 06 degrees 30 minutes and a chord distance of 68 feet which bears North 61 degrees 57 minutes West; thence North 00 degrees 34 minutes East, not tangent to the last described curve, a distance of 1271 feet; thence North 68 degrees 35 minutes East, a distance of 252 feet; thence South 21 degrees 25 minutes East, a distance of 37 feet; thence South 00 degrees 10 minutes West, a distance of 240 feet, to the Point of Beginning. Containing 34.16 acres, including 1.67 acres of road right-of-way.

be considered for rezoning 34.16 acres from Agricultural (A-1) to Commercial District (C-2); and

**WHEREAS**, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF POLK CITY, IOWA:**

**Section 1:** That the Municipal Code of the City of Polk City, Iowa, be and is hereby amended by rezoning the property described above from Agricultural (A-1) to Commercial District (C-2) with the stipulation that a 50 feet wide buffer easement with Type "C" screening would be required on the northeast portion of the C-2 area, adjacent to Lots 1 and 2 of White Pine Prairie Plat 1, and must be installed with the initial phase of development of any portion of the C-2 commercial property.

**Section 2:** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 3:** This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**PASSED AND APPROVED** this \_\_\_\_\_ of \_\_\_\_\_ 2020.

\_\_\_\_\_  
Jason Morse, Mayor

ATTEST:

\_\_\_\_\_  
First Reading:  
Second Reading:  
Third Reading:  
Date of Publication by posting

Jenny Gibbons, City Clerk





## City of Polk City, Iowa

Coronavirus communication item

**Date:** June 22, 2020  
**To:** Mayor Morse & City Council  
**From:** Chelsea Huisman, City Manager  
**Subject:** COVID19-Reopening Plan

---

I wanted to provide some talking points for Monday's Council meeting discussion item Re-opening City Facilities and resuming in-person meetings.

Re-opening of City facilities: As of Monday, June 15, 2020 all staff is back at the office working. All city facilities are still closed to the public. Our target date for re-opening is July 6, 2020. However, I would like to just open City Hall back up, and not allow traffic at Police, Fire, or Public Works facility since there are no barriers between staff and the public. Since we do have the barrier at City Hall, if a customer needs assistance from one of those other departments, we can ask the appropriate department to come to City Hall to meet them.

These are my recommendations regarding reopening to the public:

1. Police and Fire will remain closed; if someone needs either of those departments, they will come to City Hall, so we have only one entry for the public
2. All chairs will be removed at City Hall in the Council Chambers
3. Our new window and door have been installed at City Hall, therefore, staff will be somewhat separated from the public
4. We will encourage people entering City Hall to wear masks
5. City Staff will be encouraged to wear masks if they are in contact with people-not required but strongly encouraged
6. Day-to-day Meetings will be encouraged to take place electronically as much as possible
7. Disinfecting daily-as we have been doing. This will remain very important to continue once we allow the public back into the building

The Library will coincide with re-opening the same time as City Hall; however, they will be allowing people in by appointment-only. This is a decision made by the Library Board.

### Boards/Commission Meetings:

If the Council wishes to go back to having in person meetings, I feel comfortable doing this with a few topics to be discussed:

1. Participants may still participate via zoom if they still wish to do so. Having in person meetings should not be mandatory

2. If we have in-person meetings, we will need to limit staff members presence. In order to remain 6 feet apart, we will not have the capability of having our full staff and Council present. My recommendation is that the Mayor and City Council receive first preference for being in-person, with just the City Clerk and City Manager present at the meeting, and then the rest of the staff calls in via zoom. We have worked out a possible scenario in the Council Chambers, and the most people we could have in the Chambers at once is 8.
3. City Hall would be the best place from a technology perspective. We discussed the Community Center, however, there is no projector, which we will need if some staff are still required to participate by zoom.
4. With a requirement of 6 feet apart, only 8 people could be present in the Council Chambers. This leaves no room for the public, and they also would have to participate by call-in.
5. The internet can not handle multiple people being on zoom at once, therefore if we go back to in-person meetings, Jenny or myself would have to run the only zoom call and we would project it. We would also need to limit the internet usage from those in person.
6. Only 3 Council members could sit at the dais, 2 people would sit at the table, and 3 people would sit where the audience typically sits.

I am looking forward to Monday night's discussion on this topic.



Chelsea,

I have obtained the measurements for both the Council Chambers and the Community Room. Utilizing the formula provided by the Governor's supplemental proclamation dated April 27, 2020, the following guide would be applicable for the Council Chambers and the Community Center:

**Council Chambers:**

23' across X 31' long = 713 sq. /ft.

713 sq./ft. divided by 50 = 14.26 divided by 2 = 7.13 people allowed maintaining 6' distancing.

I have provided a configuration of the Council Chambers meeting the 8 person capacity:



**Community Room:**

34.5' across X 37.5' long = 1,293.75 sq./ft.

1,293.75 divided by 50 = 25.875 divided by 2 = 12.9375 people allowed maintaining 6' distancing.

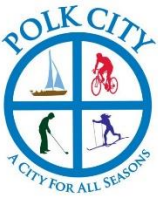
I have provided a configuration of the Community Center meeting the 13 person capacity:



If you have any questions regarding this information or would like me to provide more information, please feel free to contact me.

Jim Mitchell – Fire Chief





## City of Polk City, Iowa

### City Council Agenda Communication

**Date:** June 22, 2020 City Council Meeting  
**To:** Mayor & City Council  
**From:** Jason Thraen, Parks & Recreation Director

**Subject:** **Parks & Recreation Department Updates**

---

1. Polk City Farmers Market Update.
  - Special Events Permit (2020-0618) issued 6-18-2020
  - Market will run Thursdays, 4-7PM, July 2-September 10.
  - 20 vendors will be spaced throughout Town Square (5 per walkway).
  - No food trucks or live music for 2020.
  - Guidelines and hand sanitizer will be available at each walkway entrance (4 total).
  
2. Parks, playgrounds, and sports complex are all open.
  - Recommended guidelines for use have been posted at all parks.
  - Playgrounds will be disinfected weekly. Duration of this measure is TBD.
  - Baseball/softball field rentals are being handled by P&R department.