Notice of Meeting
Polk City | Planning and Zoning Commission (P&Z)
****
June 15, 2020 | 6:00 pm
Due to Covid-19 P&Z Commission will meet via ZOOM
Public Meeting participation is via phone only
Call in local 515-329-8019
Toll-Free 833-329-8019
Participant Code 593054
Public can also provide comments directly to support@polkcityia.gov
***any comments received before the time of the meeting will be made a part of the public hearing**
****
Tentative Meeting Agenda

Dennis Dietz | Chair

Krista Bowersox | Pro Tem

P&Z Commission Members: Ron Hankins | Deanna Triplett | Doug Ohlfest | Justin Vogel | Doug Sires

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of P&Z Commission Meeting minutes for May 18, 2020
5. Consider recommendation to Council to re-approve the Final Plat for Deer Haven Plat 3
6. Kwik Star
    a. Consider recommendation to Council to approve Kwik Trip #108 Preliminary Plat
    b. Consider recommendation to Council to approve Kwik Trip #108 Final Plat
    c. Consider recommendation to Council to approve Kwik Star Site Plan
7. Reports & Particulars

    Council Liaison, City Manager, Staff, and Commission
8. Adjourn until July 20, 2020

MEETING MINUTES
The City of Polk City
Planning and Zoning Commission
6:00 p.m., Monday, May 18, 2020

Polk City, Planning and Zoning Commission (P&Z) held a meeting at 6:00 p.m., on May 18, 2020 via ZOOM. The Agenda was posted at the City Hall office as required by law. **These tentative minutes reflect all action taken at the meeting.**

1. **Call to Order** | Chair Dietz called the meeting to order at 6:00 p.m.

2. **Roll Call** | Hankins, Triplett, Bowersox, Dietz, Ohlfest, Vogel, Sires | In attendance via ZOOM

3. **Approval of Agenda**
   MOTION: A motion was made by Ohlfest and seconded by Bowersox to approve the agenda.
   MOTION CARRIED UNANIMOUSLY

4. **Audience | No comments**

5. **Approval of Meeting Minutes**
   MOTION: A motion was made by Bowersox and seconded by Ohlfest to approve the April 20, 2020 meeting minutes.
   YES: Ohlfest, Vogel, Sires, Hankins, Triplett, Bowersox
   ABSTAIN: Dietz
   MOTION CARRIED

6. **Zunkel Estates Plat 1,** Vic Piagentini, AEC Engineer for Zunkel Estates Plat 1 reported details on this plat within 2 miles of Polk City. All City Engineering comments were addressed.
   a. **MOTION:** A motion was made by Ohlfest and seconded by Bowersox to recommend Council approval of the Preliminary Plat
      MOTION CARRIED UNANIMOUSLY
   b. **MOTION:** A motion was made by Ohlfest and seconded by Bowersox to recommend Council approval of the Final Plat
      MOTION CARRIED UNANIMOUSLY

7. **Big Creek Technology Campus Plat 4,** Paul Claussen with CEC reported details on the Preliminary and Final Plat. Commission discussed zoning and trail easement.
   a. **MOTION:** A motion was made by Hankins and Vogel by Bowersox to recommend Council approval of the Preliminary Plat subject to all engineering comments dated May 13, 2020 being satisfactorily addressed
      MOTION CARRIED UNANIMOUSLY
   b. **MOTION:** A motion was made by Hankins and seconded by Ohlfest to recommend Council approval of the Final Plat subject to all engineering comments dated May 14, 2020 being satisfactorily addressed
      MOTION CARRIED UNANIMOUSLY

8. **P&M Apparel Site Plan,** Mark Thiessen, Angelo Architectural Associates LLC, on behalf of Kay Ferin, P&M Owner presented the Site Plan for a new building located at the SW corner of W Bridge Rd and 5th Street. Kathleen Connor, City Engineering Representative commented on provisions for a sidewalk easement, lighting plan and storm water discharge. Dan Southwick, Bishop Engineering responded. Hankins expressed his desire to limit sidewalk deferments as much as possible because of the Community

Visioning Committee focusing on eliminating gaps. He also requested P&M reconsider installation of a bike rack in their parking lot. Hankins shared his concern regarding the single pitch roof and Commission discussed their thoughts and also discussed traffic patterns.

MOTION: A motion was made by Hankins and seconded by Sires to recommend Council approval of the P&M Apparel Site Plan subject to the Engineering comments dated May 13, 2020 being satisfactorily addressed

MOTION CARRIED UNANIMOUSLY

10. **Reports & Particulars –** Council Member Anderson reported hiccups at the Council meeting regarding the Snetselaar property, but he said he is confident it will be revisited at an upcoming Council meeting. Ohlfest asked for an update on HyVee and Kwik Star. City Manager Huisman said there was not an update to report on HyVee but Kwik Star has submitted plans and anticipates them moving forward at the June P&Z meeting.

11. **Adjournment**

MOTION: A motion was made by Ohlfest and seconded by Bowersox to adjourn at 6:44 p.m.

MOTION CARRIED UNANIMOUSLY

Next Meeting Date – Monday, June 15, 2020

Attest:

_____

Jenny Gibbons - City Clerk

FINAL PLAT REVIEW

Date: June 8, 2020
Project: Deer Haven Plat 3
Prepared by: Kathleen Connor
Project No.: 116.1046

GENERAL INFORMATION:

Applicant: Deer Haven Land Company LLC

Request: Approval of Final Plat

Location: East of the original town

Size: 5.43 Acres

Zoning: R-2 (Lots 1-4)

Parcels: 4 Residential Lots in R-2 District
Lot A for a park

PROJECT BACKGROUND:

The Preliminary Plat for Deer Haven Plat 3 was approved by City Council on February 27, 2017. The Construction Drawing were approved on June 12, 2017. The Final Plat for Deer Haven Plat 3 was approved by the Planning & Zoning Commission on October 16, 2017 at the same meeting the Final Plats for Deer Haven Pat 1 and Plat 2 were approved.

Some of the public improvements associated with this plat, including the water main extension along E. Broadway and grading on the northwest portion of the plat, were completed in early 2018. The developer subsequently decided to put the project on hold due to a lack of buyers, so the remaining grading, tree removals and utility service lines were not installed. However, the developer recently completed the tree removals and grading and is now working on installing services.

Since the Final Plat and legal documents were not presented to City Council for approval in a timely fashion following P&Z's approval, the Commission's recommendation is considered null and void. Since construction is nearing completion, the developer now requests P&Z approval of the Final Plat and plans to submit the Final Plat and legal documents to City Council for approval within 60 days after the P&Z meeting.

PROJECT DESCTIPTION:

The public improvements associated with this plat includes water main extension, along with water services and sanitary sewer services constructed to serve lots within this plat. The existing 10' wide recreational trail on Lot A was constructed with the Deer Haven Plat 1 improvements. No changes were made to E Broadway paving, although the ditch was defined on the north side of the street.

The parkland dedication for Deer Haven Plats 1, 2 and 3 was met in part by the paving of a 10' recreational trail extending along E. Broadway, beginning at the developer's northwest property line just northwest of the cemetery, extending down E. Broadway, then crossing into Deer Haven on the north side of the street, then running across Outlot 'X" and the rear yards of Lots 1-7 of Plat 1 to its point of termination at the Crossroads on the Lakes property line. The remainder of the parkland obligation includes dedication of Lot A to the City for use as a park.

REVIEW COMMENTS:

A. **Final Plat**.

All review comments were addressed on Submittal #3.

B. **Legal Documents**. Prior to City Council consideration of this Final Plat, all legal documents, shall be reviewed and approved by the City Attorney prior to this item being placed on the Council agenda. These documents include:

1. *Record of Lot Tie Agreements* permanently tying Outlot Y to Lot 3 and permanently tying Outlot Z to Lot 4.
2. *Easement documents* for all public and private easements, revised per the City Attorney's comments, and signed by the developer. These easements include:
    a. Recreational Trail Easement
    b. Ponding Easement
    c. Buffer Easement
    d. Public Utility Easement
3. *Permanent Site Separation Waiver Agreement and Easement* covering Lots 1-4 since all lots are located within 1,000 feet of the property line of the City of Polk City's property containing the equalization basins operated by the WRA.
4. *Sidewalk Performance Bond* covering installation of sidewalks on Lots 1-4 within three years of final plat approval.
5. *Platting legal documents* including Title Opinion, Consent to Plat, and Certificate of Treasurer.
6. A *Warrantee Deed* for dedication of Lot A along with Groundwater Hazard Statement.
7. A *contract* for installation of street lights, unless the street lights are in place prior to Council approval of the Final Plat.

B. **Public Improvements Acceptance.** Prior to Council approval of the Final Plat, the public improvements will need to be *accepted by City Council*. Construction will therefore need to be completed and all punch list items generated from the future walk-thru will need to be addressed. The developer's contractors will need to provide *four-year Maintenance bonds* for the public improvements prior to acceptance.

Street lights must either be installed or a copy of the signed *contract with MidAmerican Energy* covering installation of the underground electrical distribution system and streetlights must be provided prior to acceptance.

Prior to acceptance of the public improvements, the developer's engineer will need to provide as-built *Record Drawings*; including spot elevations in the roadside ditch at each property line, verification of the platform for the future recreational trail along Broadway, verification of the platform for the future trail along the east side of Lot 4, verification of the building pads were established, and verification of ditch grading along E. Broadway; all in accordance with the approved construction drawings. The *Land Surveyor's certification* will need to be provided stating that all property corners have been set. The Service Located table will need to be provided by the contractor dimensioning all service stubs from the nearest lot corner.

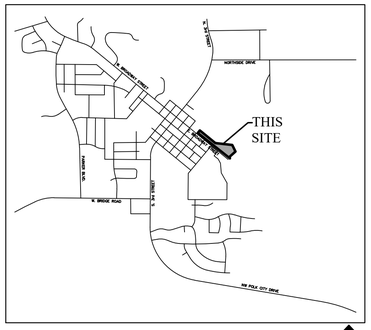
RECOMMENDATION:

Staff recommends P&Z approval of the Final Plat for Deer Haven Plat 3 subject to the following:

1. Prior City Council acceptance of the Public Improvements associated with this plat, including provision of 4-year Maintenance Bonds, signed contract with MidAmerican Energy, Record Drawings, Land Surveyor certification property corners are set, and service locates table.
2. Prior approval of all necessary legal documents by the City Attorney.
3. Payment in full to the City Clerk for all application, engineering review fees and reimbursement for street signs.

FINAL PLAT
DEER HAVEN PLAT 3

NOTES
1. LOT 'A' TO BE DEEDED TO THE CITY OF POLK CITY FOR A CITY PARK.
2. OUTLOTS 'Y' AND 'Z' TO BE DEEDED TO LOTS 3 AND 4 RESPECTIVELY.
3. DECKS WILL NOT BE ALLOWED TO ENCROACH INTO EASEMENTS.
4. HOME BUILDER AND PLUMBING CONTRACTOR SHALL VERIFY SANITARY SERVICE STUB-OUT ELEVATIONS PRIOR TO HOUSE CONSTRUCTION TO ENSURE BASEMENT FLOOR ELEVATIONS WILL PROVIDE ADEQUATE FALL IN SERVICE PIPE (2% MINIMUM).
5. A CULVERT SHALL BE REQUIRED FOR EACH DRIVEWAY, SIZED IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS AND APPROVED BY THE PUBLIC WORKS DIRECTOR.
6. EACH LOT SHALL BE ALLOWED ONLY ONE DRIVEWAY ONTO THE PUBLIC STREET.
7. ALL NEW DRIVEWAYS WILL BE PAVED.
8. NO PRINCIPAL STRUCTURES, ACCESSORY STRUCTURES, OR DRIVEWAYS SHALL BE PERMITTED IN THE 35' BUFFER EASEMENT, HOWEVER RECREATIONAL TRAILS ARE PERMITTED WITHIN SAID BUFFER EASEMENT.
9. ROOF DRAINS OR SUBDRAINS SHALL NOT BE PERMITTED WITHIN THE 35' BUFFER EASEMENTS ADJACENT TO USACE PROPERTY.
10. THE MINIMUM BASEMENT ELEVATION (M.B.E.) SHALL BE THE ELEVATION OF THE LOWEST FLOOR, INCLUDING BASEMENT.
11. AN ELEVATION CERTIFICATE WILL NEED TO BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ON ALL LOTS WITH A DESIGNATED M.B.E. TO DEMONSTRATE PROTECTION ELEVATION REQUIREMENTS HAVE BEEN MET.
12. A PETITION & WAIVER SHALL BE PROVIDED FOR POTENTIAL FUTURE CONSTRUCTION OF EITHER A 4-FT WIDE SIDEWALK OR 4-FT OF A 10-FT WIDE RECREATIONAL TRAIL IN FRONT OF EACH LOT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ON LOTS 1-4.
13. THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO REMOVE DRAINAGE OBSTRUCTION FROM PONDING EASEMENT AREAS.
14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EMBANKMENTS, INCLUDING REPAIR OF ANY DAMAGE DUE TO EROSION, WITHIN ALL EASEMENTS AND PRIVATE YARDS.
15. FOUNDATIONS FOR DWELLINGS ON LOTS 1-4 SHALL BE DESIGNED AND CERTIFIED BY A GEOTECHNICAL OR STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR LOTS UNLESS ALLENDER-BUTZKE PROVIDES DOCUMENTATION THAT IT IS NOT NECESSARY.
16. NO LOT WITHIN THIS PLAT SHALL BE PERMITTED TO HAVE AN INDIVIDUAL MAILBOX.
17. THE ADJACENT PROPERTY OWNER SHALL BE RESPONSIBLE FOR SNOW REMOVAL AND SIDEWALK REPAIR AT EACH CLUSTER MAILBOX.
18. 4-FOOT WIDE SIDEWALKS SHALL BE INSTALLED ON LOTS 1-4 WITH THE BUILDING PERMITS FOR EACH LOT. THE EDGE OF THE SIDEWALK CLOSEST TO THE STREET SHALL BE 7 FEET FROM THE RIGHT-OF-WAY LINE AND THE EDGE OF THE SIDEWALK CLOSEST TO THE DWELLING SHALL BE 11 FEET FROM THE RIGHT-OF-WAY LINE.
19. DRIVEWAYS FOR LOTS 1-4 SHALL BE DESIGNED AND CONSTRUCTED WITH ADA-COMPLIANT CROSS SLOPE TO ACCOMMODATE A 10-FOOT WIDE RECREATIONAL TRAIL WITHIN THE 15' RECREATIONAL TRAIL EASEMENT. THE EDGE OF THE TRAIL CLOSEST TO THE STREET SHALL BE 1 FOOT FROM THE RIGHT OF WAY LINE AND THE EDGE OF THE TRAIL CLOSEST TO THE DWELLING SHALL BE 11 FEET FROM THE RIGHT-OF-WAY LINE.



VICINITY SKETCH

NORTH
NO SCALE

SURVEYORS NOTES
1. LOT CORNERS SHALL BE SET PRIOR TO COUNCIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.
2. THIS PLAT BOUNDARY HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 10,000.
3. EACH LOT IN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 5,000.
4. BEARINGS BASED ON AN ASSUMED BEARING.
5. ELEVATIONS BASED OFF NAVD88 DATUM

MINIMUM BASEMENT ELEVATIONS

LOT #	M.B.E. - NAVD88
1	861.17
2	858.18
3	854.15
4	853.72

OWNER/APPLICANT
DEER HAVEN LAND COMPANY LLC
1444 NW 124TH CT.
CLIVE, IA 50325
CHRIS DAWSON 515-210-7515
CDAWSON@PLATINUMDEVELOPMENT.COM

ZONING
R-2 (LOTS 1-4)

LAND USE
EXISTING: VACANT
PROPOSED: SINGLE FAMILY RESIDENTIAL

SETBACKS
FRONT - 30'
REAR - 35'
SIDE - 8'

LEGAL DESCRIPTION
A tract of land located in Lots 5 and 7 of the Official Plat of the Northwest Fractional ¼ and the North ½ of the Southwest ¼ and in the West ½ of the Northeast ¼ all of which is in Section 1, Township 80 North, Range 25 West of the 5th P.M., Polk City, Polk County, Iowa. Said tract of land being more particularly described as follows:

Beginning at the Southeast Corner of said Lot 5, said point being on the Northerly Right-of-Way Line of E. Broadway Street as it is presently established; thence N51°30'07"W, 1303.31 feet along said Northerly Right-of-Way Line, to the Southwest Corner of said Lot 7; thence N38°29'53"E, 102.00 feet; thence S50°48'37"E, 640.00 feet; thence S83°42'18"E, 542.39 feet; thence S26°03'37"E, 235.25 feet; thence S49°06'11"W, 240.21 Feet; thence S00°24'14"W, 58.85 feet to the Point of Beginning

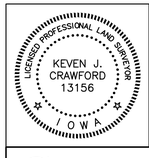
Said tract of land subject to all easements of record.

Said tract of land contains 5.43 acres more or less.

LEGEND

———	PLAT BOUNDARY
▲	SECTION CORNER
●	FOUND CORNER, AS NOTED
O	SET CORNER 5/8" I.R. W/ YELLOW CAP #13156
I.R.	IRON ROD
G.P.	GAS PIPE
D.	DEEDED DISTANCE
M.	MEASURED DISTANCE
R.	PREVIOUSLY RECORDED DISTANCE
P.U.E.	PUBLIC UTILITY EASEMENT
(3333)	ADDRESS
B.S.L.	BUILDING SETBACK LINE
M.O.E.	MINIMUM OPENING ELEVATION
M.P.E.	MINIMUM PROTECTION ELEVATION
N.R.	NOT RADIAL

CERTIFICATION



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, PLS IOWA LICENSE NO. 13156
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018

PAGES OR SHEETS COVERED BY THIS SEAL:
This sheet only

COOPER CRAWFORD
& ASSOCIATES, L.L.C.
CIVIL ENGINEERS
475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 9-29-2017
REVISIONS: 10-16-2017
06-04-2017
06-08-2017

SCALE: 1"=50'

APPROVED: --- INITIALED: --- AS-BUILT: ---

JOB NUMBER
CC
1843

FINAL PLAT
DEER HAVEN PLAT 3

SHEET
1 OF 1

IOWA ONE-CALL
800-292-8989
TOLL-FREE
CALL- BEFORE- YOU- DIG

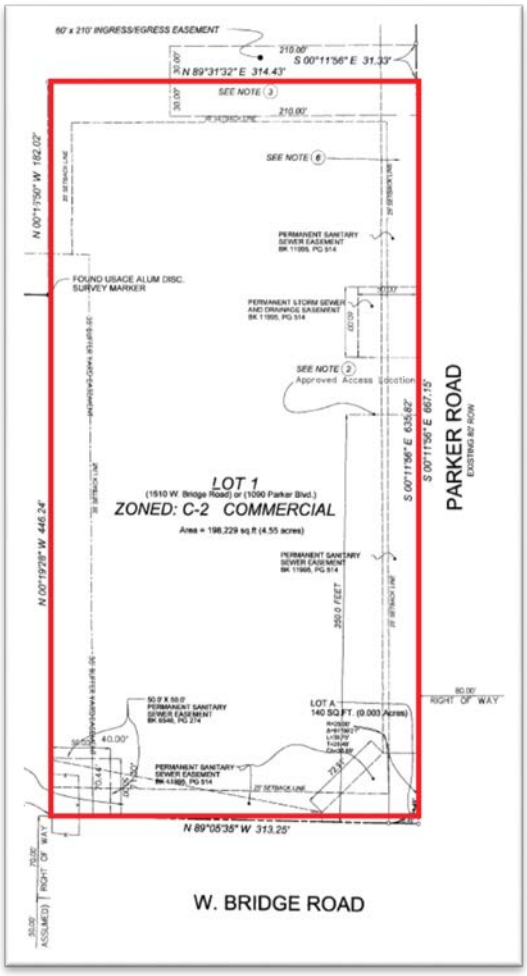
PRELIMINARY PLAT REVIEW

Date: June 9, 2020
Project: Kwik Trip 1089

Compiled by: Kathleen Connor, Planner
Project No.: 119.0816.01

GENERAL INFORMATION:

Applicant:	Kwik Trip, Inc.
Property Owner:	Polk City Venture, LLC
Requested Action:	Approval of Preliminary Plat
Location	Lot 1 of "Polk City Venture Plat 1"
Size:	4.41 acres
Zoning:	C-2
Proposed Use:	Convenience Store with Car Wash



BACKGROUND:

City Council approved the Final Plat for Polk City Venture in December of 2013. This two-lot plat subdivided the C-2 commercial property from the R-3 residential property for marketing purposes. The residential property was subsequently developed as Bridgeview Plat 1.

The 2013 Final Plat, as approved, placed certain restrictions on this property that impact commercial development, including:

- Access on Parker Blvd. is restricted to an approved location 350 feet north of W. Bridge Road.
- Parker Boulevard was constructed to accommodate dual left-turn lanes; with southbound left turns onto W. Bridge Road and northbound left turns into this lot 1. However, it is currently used only as a long southbound turn lane. Re-stripping of this turning lane, including gore striping to the north would need to be completed as a Site Plan improvement.
- Joint access will be permitted to this lot at the lift station's existing driveway on W. Bridge Road, provided the developer paves this access as a site plan improvement. It is further noted that this access will be right-in/right-out only access.

DESCRIPTION:

Kwik Trip is now planning to construct a new Kwik Star convenience store on this property. The developer's original intention was to subdivide this property into two lots, with the south lot developed with a Kwik Star and north lot reserved for future development by others. The developer's revised

concept calls for the Kwik Star to develop the entire property as one lot. Due the need for public improvements and easements associated with this development, the developer plans to plat the property prior to site plan approval.

The proposed public improvements associated with this plat include the following:

A. **Traffic Signal.** The Traffic Impact Study recommends installation of a traffic signal at the intersection of W. Bridge Road at Parker Blvd. the year Kwik Star opens. The design, construction, and Iowa DOT approval of this traffic signal will be the developer's responsibility in accordance with a Development Agreement as approved by City Council.

B. **Parker Blvd Improvements.** The south right-in/right out access on Parker Blvd necessitates a 4-foot wide median on Parker Blvd to ensure there are no northbound left turns into the Kwik Star site from Parker Blvd. Additional improvements on Parker Blvd. include pavement widening to accommodate the median, pavement markings including crosswalk, and ADA-compliant ramps on both sides of the intersection, and reconstruction of the 4' sidewalk along Parker Blvd.

C. **W. Bridge Road Improvements.** A westbound, right-turn lane will need to be provided at the proposed entrance on W. Bridge Road. Additional improvements include a median on W. Bridge Road to restrict eastbound left turns into the Kwik Star site, pavement markings, and a 10' wide recreational trail along the frontage of the property.

D. **Edgewater Drive Improvements.** Since this development will not utilize the driveway approach from Edgewater Drive, this approach will need to be replaced with a long sweep curb.

E. **Storm Sewers.** A public storm sewer will be constructed to convey runoff from the existing culvert beneath Parker Blvd to the west property line. A second public storm sewer will encapsulate the ditch on the north side of W. Bridge Road.

REVIEW COMMENTS:

Pursuant to review of Submittal #3 by City staff including City Engineer, we offer the following:

1. The narrative information will need to include the anticipated development schedule with start and completion dates for the construction of all public improvements.

RECOMMENDATION:

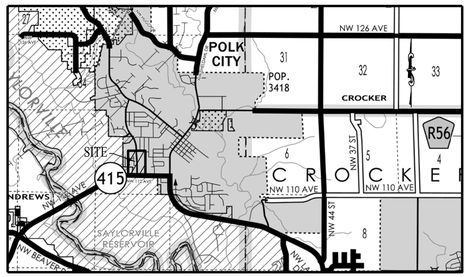
Based on the satisfactory resolution of each of the foregoing review comments, staff recommends P&Z approval of the Preliminary Plat for Kwik Trip 1089, subject to the following:

1. All staff review comments and P&Z recommendations, if any, shall be satisfactorily addressed prior to this Preliminary Plat being placed on the Council agenda for consideration.

2. Payment in full of all fees to the City Clerk.

KWIK TRIP 1089
PRELIMINARY PLAT

VICINITY MAP



LEGEND

- FOUND SECTION CORNER
- FOUND ⅞"IR W/YELLOW CAP #4640
- FOUND ⅞"IR W/YELLOW CAP #19710
- SET ⅞"IR W/BLUE CAP #19968
- UTILITY POLE
- TRAFFIC SIGN
- MAIL BOX
- GRADE FLOW ARROW
- PIPE FLOW ARROW
- S.W.F.E. SURFACE WATER FLOWAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- EXISTING CONTOUR
- PROPERTY LINE
- SECTION LINE
- CENTERLINE
- FENCE LINE
- ELECTRIC LINE
- TELEPHONE LINE
- GAS MAIN
- WATER MAIN
- SANITARY SEWER
- TREE LINE

LEGAL DESCRIPTION:

ALL OF LOT 1 IN POLK CITY VENTURE, AN OFFICIAL PLAT, EXCEPT LOT "B" OF BRIDGEVIEW PLAT 1, AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA.

BENCHMARK DATA:
BURY BOLT ON HYDRANT APPROX. 2' EAST OF SIDEWALK ON THE EAST SIDE OF PARKER BLVD.
EAST SIDE OF PROPOSED SITE.
NAVD88 ELEVATION=908.39
IOWA STATE PLANE SOUTH COORDINATE SYSTEM
N=7,552,177.01
E=18,497,647.87

INDEX LEGEND

COUNTY: POLK
LOCATION: PART OF LOT 1 IN POLK CITY VENTURE, POLK CITY
SE¼, SEC.02-T80N-R25W

SURVEY FOR OWNER: POLK CITY VENTURE LLC
707 SKOKIE BLVD, STE 190
NORTHBROOK, IL 60062-2857

REQUESTOR: KWIK TRIP INC.
CONTACT: KRISTINE RIDDLE
P.O. BOX 2107
LA CROSSE, WI 54602-2107
(608) 781-8988

SURVEYOR AND SURVEY COMPANY:
MATT THOMAS, PLS
THOMAS LAND SURVEYING, LLC
6230 90th AVENUE, INDIANOLA, IA 50125

RETURN TO AND PREPARED BY:
MATT THOMAS, 6230 90th AVENUE,
INDIANOLA, IOWA 50125
(515) 494-6663

DATE OF SURVEY: 08-01-2019 THRU 08-23-2019

SITE INFORMATION

OWNER:
POLK CITY VENTURE LLC
707 SKOKIE BLVD, STE 190
NORTHBROOK, IL 60062-2857

CURRENT ZONING: C-2 COMMERICIAL DISTRICT

BUILDING HEIGHT LIMIT: 4 STORIES OR 60'
MINIMUM LOT AREA: NONE
MINIMUM LOT WIDTH: NONE
MINIMUM FRONT YARD DEPTH: 25'
MINIMUM SIDE YARD DEPTH: NONE
MINIMUM REAR YARD DEPTH: 35'

WATER: CITY OF POLK CITY

WASTEWATER TREATMENT: PUBLIC SANITARY SEWER - CITY OF POLK CITY

FEMA FIRM MAP: FLOOD ZONE X -
COMMUNITY PANEL NO. 19153C0040F, FEBRUARY 1, 2019

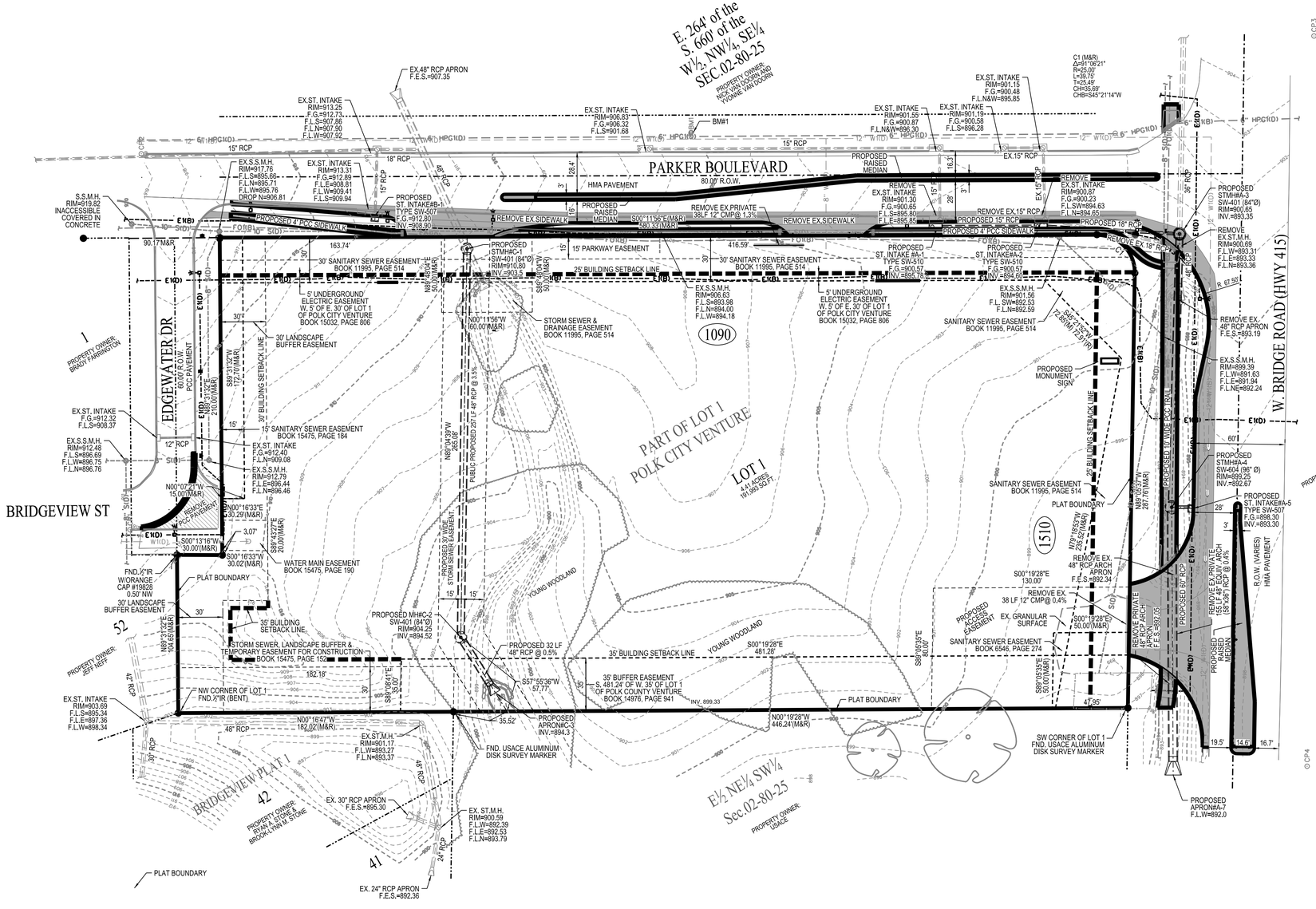
SUBMITTAL DATES:

1st SUBMITTAL: 08-26-2019

2nd SUBMITTAL: 04-28-2020

3rd SUBMITTAL: 04-29-2020

4th SUBMITTAL: 06-08-2020



NOTES:

1. CONSTRUCTION SCHEDULE TO BEGIN WORK IN SPRING OF 2021.

2. DEVELOPER WILL BE RESPONSIBLE FOR A TEMPORARY TRAFFIC SIGNAL AT THE INTERSECTION OF W. BRIDGE RD. AT PARK BLVD. UNTIL A PERMANENT TRAFFIC SIGNAL CAN BE INSTALLED.

3. DEVELOPER WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF A TRAFFIC SIGNAL AT THE INTERSECTION OF W. BRIDGE RD. AT PARK BLVD. IN ACCORDANCE WITH A DEVELOPMENT AGREEMENT AS APPROVED BY THE CITY COUNCIL.

4. DEVELOPER WILL BE RESPONSIBLE FOR A 4-FOOT WIDE MEDIAN WILL BE REQUIRED ON PARKER BLVD. TO ENSURE THERE ARE NO NORTHBOUND LEFT TURNS INTO THE KWIK STAR SITE FROM PARKER BLVD. PAVEMENT WIDENING TO ACCOMODATE THE MEDIAN, PAVEMENT MARKINGS INCLUDING A CROSSWALK AND ADA-COMPLIANT RAMPS FOR A 10-FOOT RECREATIONAL TRAIL ON BOTH SIDES ON THE INTERSECTION ARE ALSO THE RESPONSIBILITY OF THE DEVELOPER.

5. DEVELOPER WILL BE RESPONSIBLE FOR A WESTBOUND RIGHT TURN LANE ON W. BRIDGE RD. AT THE PROPOSED DRIVEWAY.

6. DEVELOPER WILL BE RESPONSIBLE FOR A 4-FOOT WIDE MEDIAN WILL BE REQUIRED ON W. BRIDGE RD. TO ENSURE THERE ARE NO EASTBOUND LEFT TURNS INTO THE KWIK STAR SITE NEAR THE CITY LIFT STATION..

7. DEVELOPER WILL BE RESPONSIBLE FOR REMOVING THE DRIVEWAY APPROACH FROM EDGEWATER DRIVE AND REPLACING WITH A CURB AND GUTTER SECTION.

8. PAVEMENT MARKINGS WILL BE SUBJECT TO APPROVAL OF THE CONSTRUCTION DRAWINGS.

9. DEVELOPER WILL REMOVE EXISTING DRAINAGE STRUCTURES ALONG THE NORTH SIDE OF W. BRIDE RD. AND CONSTRUCT A PUBLIC STORM SEWER IN ITS PLACE.

10. DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT A PUBLIC STORM SEWER FROM THE EXISTING CULVERT BENEATH PARKER BLVD. ACROSS THE PROPOSED LOT TO THE POINT OF DISCHARGE NEAR THE USACE PROPERTY.

11. DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT A 10-FOOT WIDE TRAIL ALONG THE NORTH SIDE OF W. BRIDGE RD. ADJACENT TO THEIR PROPERTY. ADDITIONAL OFFSITE TRAILS MAY BE NECESSARY AS PART OF A DEVELOPMENT AGREEMENT TO COMPLETE THE TRAIL SYSTEM AND PROVIDE IMPROVED PEDESTRIAN/BIKE ACCESS TO KWIK STAR.

12. WATER SUPPLY AND WASTEWATER DISPOSAL SHALL BE PROVIDED BY THE CITY OF POLK CITY.

TLS
THOMAS LAND SURVEYING, LLC
6230 90th AVENUE
INDIANOLA, IA 50125
TELE.: 515.494.6663

LICENSED PROFESSIONAL LAND SURVEYOR
MATTHEW J. THOMAS
19968
STATE OF IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: Date: 06-08-2020
Name: (Printed or typed) Matthew J. Thomas
License Number: 19968
My license renewal date is December 31, 2021
Pages or sheets covered by this seal: THIS SHEET

KWIK TRIP 1089
PRELIMINARY PLAT

REQUESTED BY TITLE HOLDER:
POLK CITY VENTURE LLC

PROJECT NUMBER	COUNTY	DATE DRAWN	YEAR	SHEET NO.
19085	POLK	06-08-2020	2020	1

FINAL PLAT REVIEW

Date: June 9, 2020
Project: Kwik Trip 1089

Compiled by: Kathleen Connor, Planner
Project No.: 119.0816.01

GENERAL INFORMATION:

Applicant: Kwik Trip, Inc.

Request: Approval of Final Plat

Location: Lot 1 of Polk City Venture Plat 1

Size: 4.41 acres

Zoning: C-2

DESCRIPTION:

Kwik Trip is now planning to construct a new Kwik Star convenience store on the subject property. Due the need for public improvements and easements associated with this development, the developer plans to plat the property prior to site plan approval.

The developer has submitted the Preliminary Plat, Construction Drawings for Public Improvements, and Final Plat for this property. The Preliminary Plat and Construction Drawings for Public Improvements will need to be approved prior to, or concurrently with, the Final Plat. The related Site Plan for Kwik Star will be presented to Council approval after the Final Plat has been approved.

FINAL PLAT REVIEW COMMENTS:

A. **Final Plat**. Based on our review of Submittal #3, we offer the following comments:

1. Provide legal descriptions for all proposed easements for review prior to this item being placed on the Council agenda. These descriptions will need to be attached to the respective easement document for review by the City Attorney.

B. **Legal Documents**. All legal documents, shall be provided for review and approval by the City Attorney prior to this item being placed on the Council agenda. These documents include:

1. *Development Agreement* regarding the terms for splitting the cost of the traffic signal and potentially some additional offsite trails.
2. *Easement documents* for proposed easements shown on the Final Plat, revised per the City Attorney's comments, as follows:
    a. 30' Public Storm Sewer Easement
    b. 30' Landscape Buffer Easement.
    c. 15' Parkway Easement

d. Lift Station Access Easement

3. *Subdivision Bond* covering the cost of all public improvements, including traffic signal.
4. *Platting legal documents* including but not limited to Title Opinion, Consent to Plat, and Certificate of Treasurer.

C. **Public Improvements Acceptance.** It is our understanding the developer would like to proceed with Final Plat approval at this time in order to move forward with Site Plan approval. Since construction of the required public improvements are expected to be completed concurrently with the construction of the private site plan improvements, the developer will need to provide a Subdivision Bond covering the cost of the public improvements depicted on the construction drawings.

The public improvements shall be completed prior to a Certificate of Occupancy being issued for the convenience store. Prior to City Council acceptance of these public improvements, construction will need to be completed and all punch list items generated from the future walk-thru will need to be addressed.

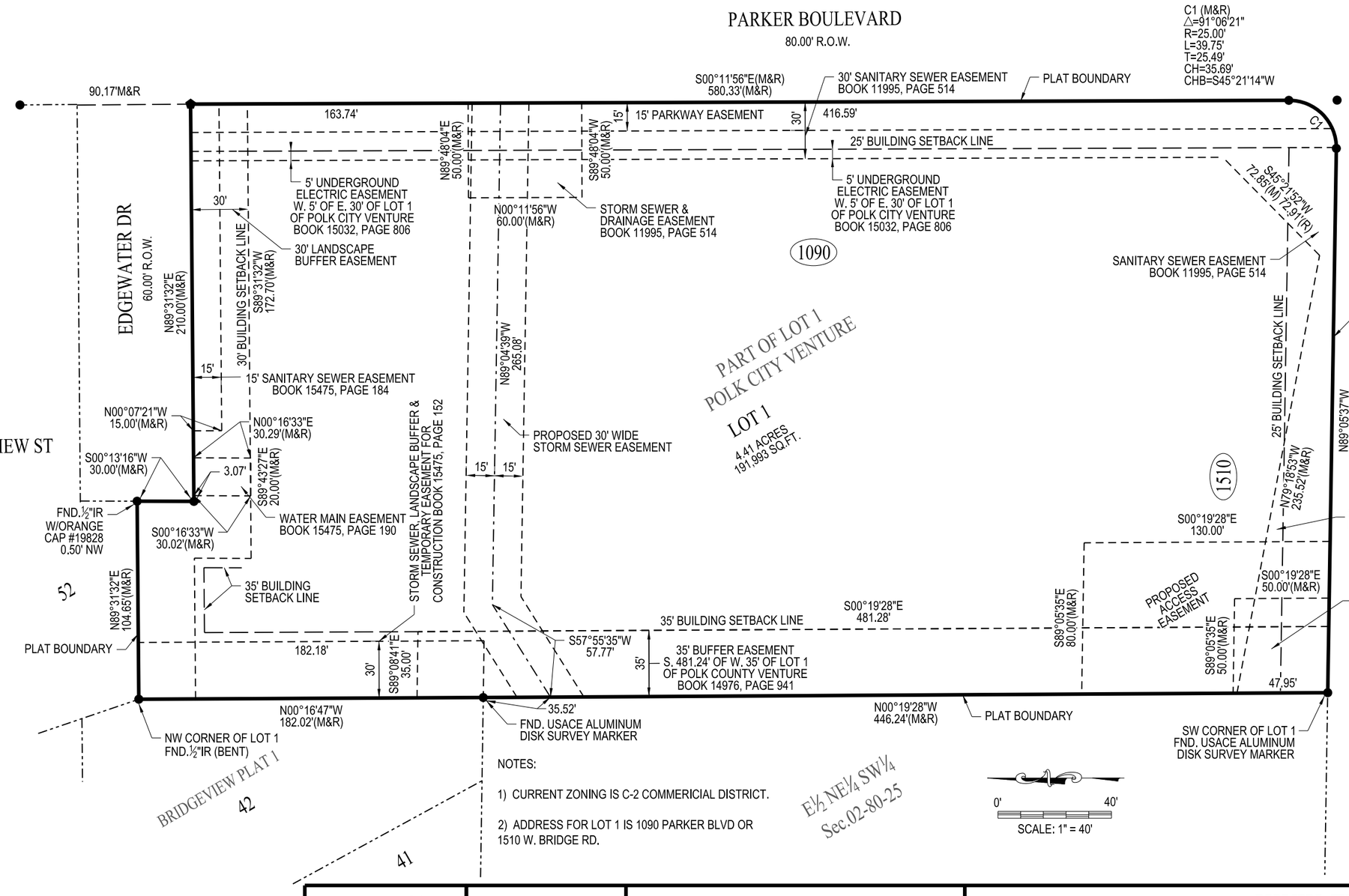
The developer should be aware that the public improvements require construction observation by the City Engineer. The developer will be responsible for fees associated with this service. In addition, the developer's contractors will need to provide four-year *Maintenance bonds* for the public improvements prior to City Council acceptance. The developer's engineer will need to provide as-built Record Drawings prior to acceptance.

RECOMMENDATION:

Based on the satisfactory resolution of the foregoing review comments, staff recommend P&Z approval of the Final Plat for Kwik Trip 1089, subject to the following items. Prior City Council approval of the Construction Drawings for Public Improvements.

1. Prior City Council approval of the Development Agreement regarding the traffic signal.
2. Prior City Council approval of the Construction Drawings for Kwik Trip#1089, including paving improvements, public storm sewers, and traffic signal.
3. Prior City Attorney approval of all easements, bonds, and platting documents for execution by City Council in conjunction with Final Plat approval.
4. Provision of a recorded copy of all legal documents and easements prior to issuance of a Building Permit for the Kwik Star site plan.
5. Approval by Iowa DOT of a permit for the traffic control device and related improvements on W. Bridge Road prior to issuance of a Building Permit for any structure on Lot 1 of Kwik Trip 1089.
6. City Council acceptance of the Public Improvements prior to issuance of a permanent or temporary Certificate of Occupancy for any structure on Lot 1 of Kwik Trip 1089.
7. Payment in full of all fees and professional billings.

KWIK TRIP 1089
FINAL PLAT



INDEX LEGEND

COUNTY: POLK
LOCATION: PART OF LOT 1 IN POLK CITY VENTURE, POLK CITY SE¼, SEC.02-T80N-R25W

SURVEY FOR OWNER: POLK CITY VENTURE LLC
707 SKOKIE BLVD. STE 190
NORTHBROOK, IL 60062-2857

REQUESTOR: KWIK TRIP INC.
CONTACT: KRISTINE RIDDLE
P.O. BOX 2107
LA CROSSE, WI 54602-2107
(608) 781-8988

SURVEYOR AND SURVEY COMPANY:
MATT THOMAS, PLS
THOMAS LAND SURVEYING, LLC
6230 90th AVENUE, INDIANOLA, IA 50125

RETURN TO AND PREPARED BY:
MATT THOMAS, 6230 90th AVENUE,
INDIANOLA, IOWA 50125
(515) 494-6663

DATE OF SURVEY: 08-01-2019 THRU 08-23-2019

LEGEND

- ▲ FOUND SECTION CORNER
- ● FOUND ½"IR W/YELLOW CAP #4640
- ■ FOUND ½"IR W/YELLOW CAP #19710
- ○ SET ⅝"IR W/BLUE CAP #19968
- PROPERTY LINE
- SECTION LINE

NOTES:

1) CURRENT ZONING IS C-2 COMMERICIAL DISTRICT.

2) ADDRESS FOR LOT 1 IS 1090 PARKER BLVD OR 1510 W. BRIDGE RD.

LEGAL DESCRIPTION:

ALL OF LOT 1 IN POLK CITY VENTURE, AN OFFICIAL PLAT, EXCEPT LOT "B" OF BRIDGEVIEW PLAT 1, AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA.

TLS
THOMAS
LAND
SURVEYING, LLC

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INDIANOLA, IA 50125
TELE.: 515.494.6663

LICENSED PROFESSIONAL LAND SURVEYOR
MATTHEW J. THOMAS
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STATE OF IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: Matthew J. Thomas Date: 06-08-2020
Name: (Printed or typed) Matthew J. Thomas
License Number: 19968
My license renewal date is December 31, 2021.
Pages or sheets covered by this seal: THIS SHEET

KWIK TRIP 1089
FINAL PLAT

REQUESTED BY TITLE HOLDER:
POLK CITY VENTURE LLC

PROJECT NUMBER	COUNTY	DATE DRAWN	YEAR	SHEET NO.
19085	POLK	06-08-2020	2020	1

SITE PLAN REVIEW

Date: June 11, 2020
Project: Kwik Star

Compiled by: Kathleen Connor, Planner
Project No.: 119.0816.01

GENERAL INFORMATION:

Applicant:	Kwik Trip, Inc.
Property Owner:	Polk City Venture LLC
Requested Action:	Approval of Site Plan
Location	Lot 1; Kwik Trip 1089 Plat 1
Size:	4.41 acres
Zoning:	C-2
Propose Use:	Convenience Store with car wash

PROJECT DESCRIPTION:

Kwik Trip proposes construction of a new Kwik Star convenience store on Lot 1 of Kwik Trip 1089 plat. The building will be approximately 7,298 SF in size. The building will be faced primarily with brick. A detached car wash with one bay, approximately 1,620 sf in size ,will be constructed on the north side of the property. A canopy is proposed to cover 16 gasoline-pumping stalls and two diesel-pumping stalls.

Access to the site will be from both E. Bridge Road and Parker Boulevard. Public improvements including traffic signal, turning lanes, medians, and storm sewers were shown on the Preliminary Plat for Kwik Trip 1089 and are detailed on the Construction Drawings.

Building signs for the C-store, car wash and canopy signs together total less than the 177 square feet allowed, with no canopy sign larger than 13.87 square feet. The red fascia on the C-store and the red vinyl stripe on the canopy will not be lit.

Water service, including an additional hydrant, will be extended to the building. The building will not be sprinklered. Sanitary sewer construction will include a grease separator. The impact of this development on the existing pumps at the city's lift station is being evaluated. Detention will be provided in a basin in front of the facility.

Street trees will be planted at approximately 40' on center along W. Bridge Road and Parker Blvd. A 30' wide buffer with 6' tall white vinyl screening fence will be installed along the north property line.

A 10' wide recreational trail will be paved along W Bridge Road and the 4' wide sidewalk along Parker Blvd. will be completed. A picnic table area will be provided along Parker Blvd. A bike rack will be added on the south side of the parking lot in reasonable proximity to the recreational trail.

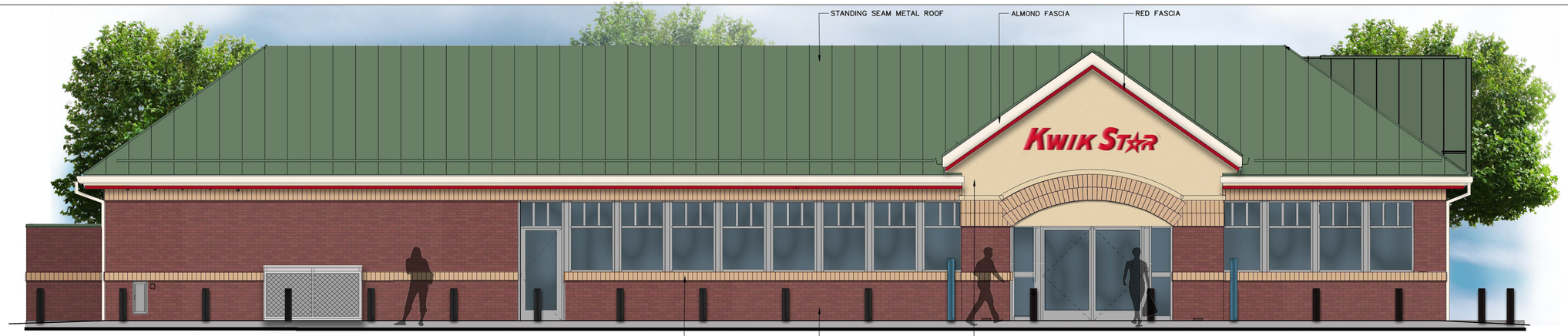
STAFF REVIEW COMMENTS:

Submittal #5 addressed all staff review comments.

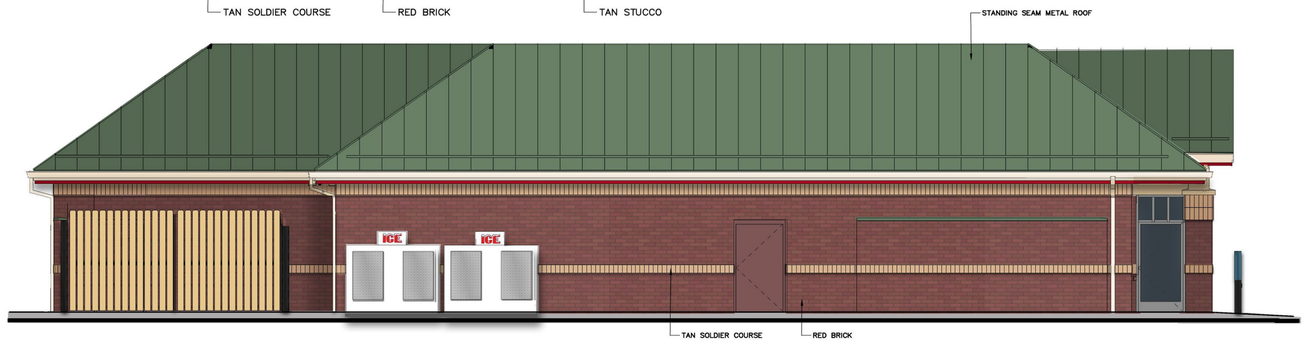
RECOMMENDATION:

Staff recommends P&Z approval of the Site Plan for Kwik Star, subject to the following:

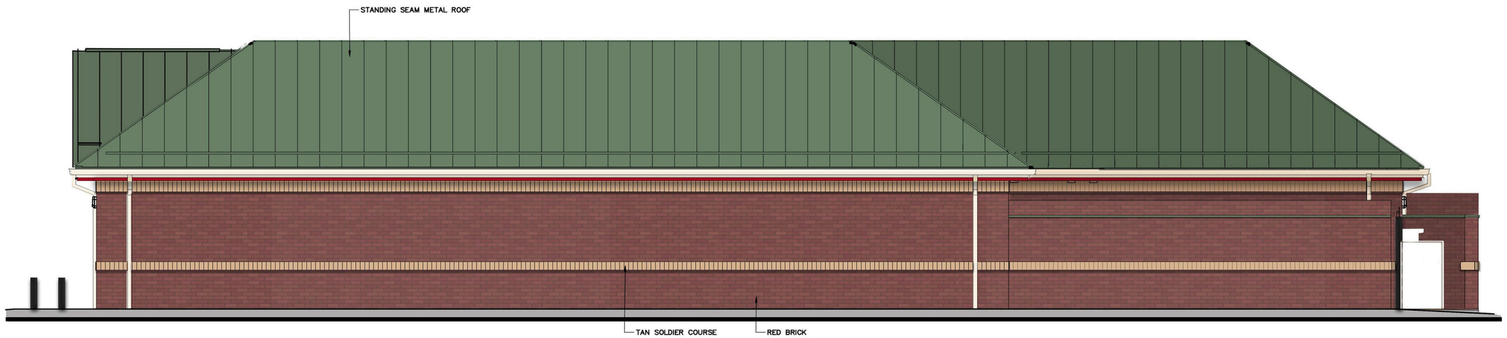
1. P&Z comments, if any, shall be addressed prior to the Site Plan being placed on the Council agenda.
2. City Council approval of the Preliminary Plat, Construction Drawings for Public Improvements, and Final Plat for Kwik Trip 1089 prior to approval of this Site Plan.
3. City Council acceptance of the Public Improvements prior to issuance of a permanent or temporary Certificate of Occupancy for this Kwik Star.
4. Recordation of the Final Plat and required platting documents prior to issuance of a Building Permit for this Kwik Star.
5. Payment in full of all fees and professional billings.



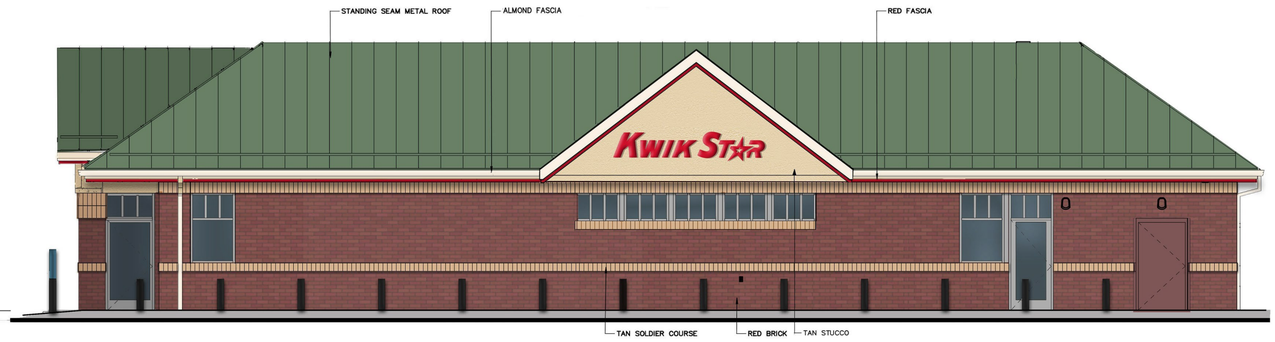
1 **FRONT ELEVATION**
1/4" = 1'-0"



2 **LEFT ELEVATION**
3/16" = 1'-0"



3 **REAR ELEVATION**
3/16" = 1'-0"



4 **RIGHT ELEVATION**
3/16" = 1'-0"

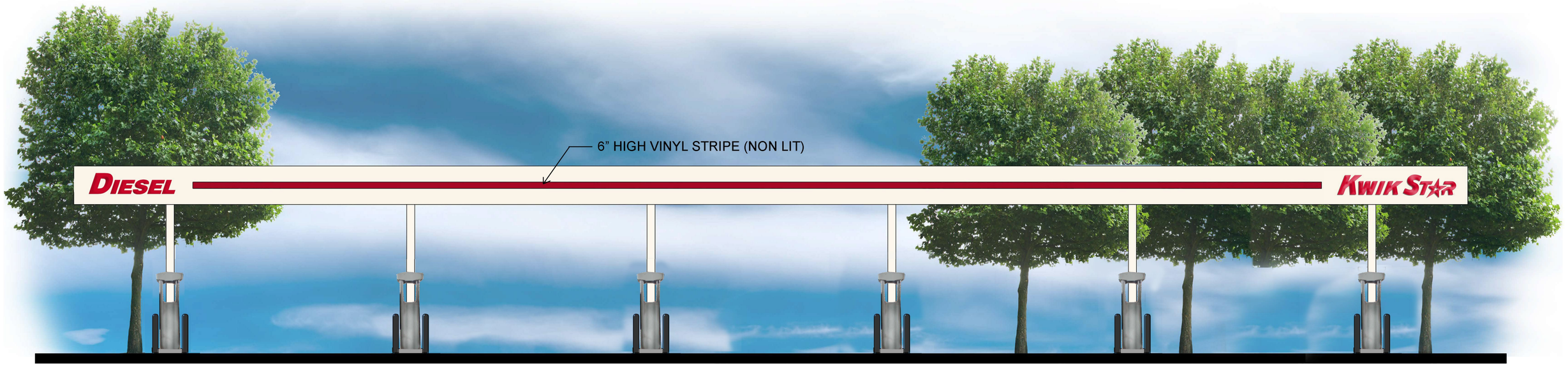
NOTE; RED FASCIA SHALL NOT BE LIT

VANTAGE ARCHITECTS INC
750 N. Third Street La Crosse, WI 54601
Ph (608) 784-2729 Fax (608) 784-2826

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



1 **FRONT ELEVATION**

2 **SIDE ELEVATION**

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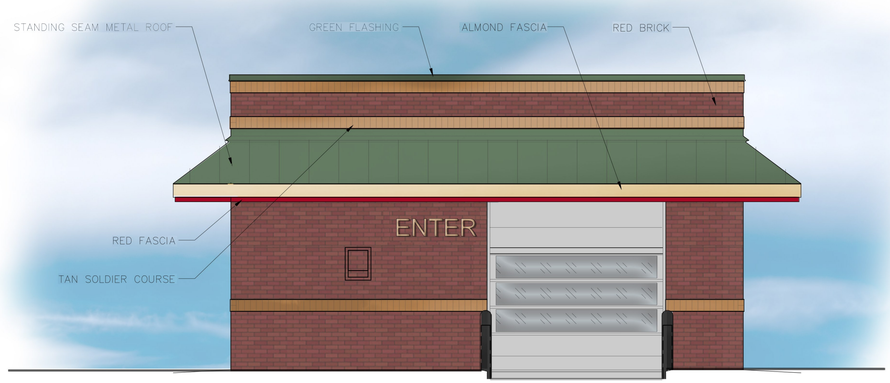
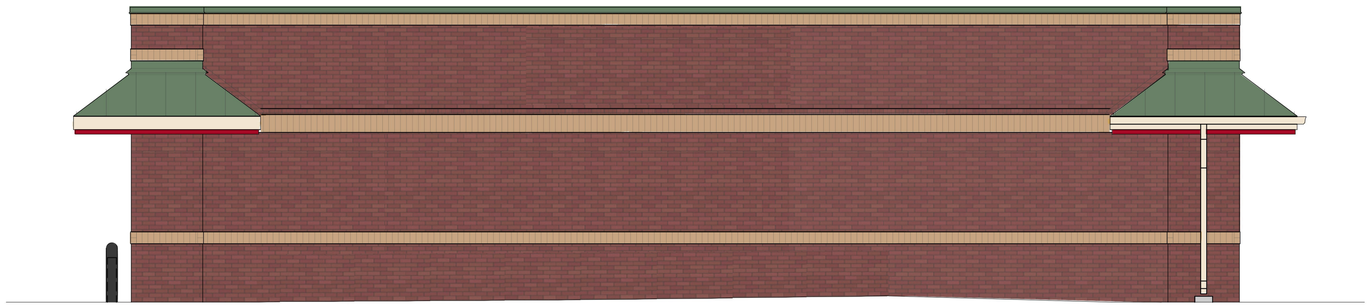
12 MPD



1 **EAST ELEVATION**
1/4" = 1'-0"

***NOTE: RED FASCIA SHALL BE NOT LIT**

*All Air Dryers will be installed inside of building



2 **NORTH ELEVATION**
1/4" = 1'-0"

3 **WEST ELEVATION**
1/4" = 1'-0"

4 **SOUTH ELEVATION**
1/4" = 1'-0"

VANTAGE ARCHITECTS INC
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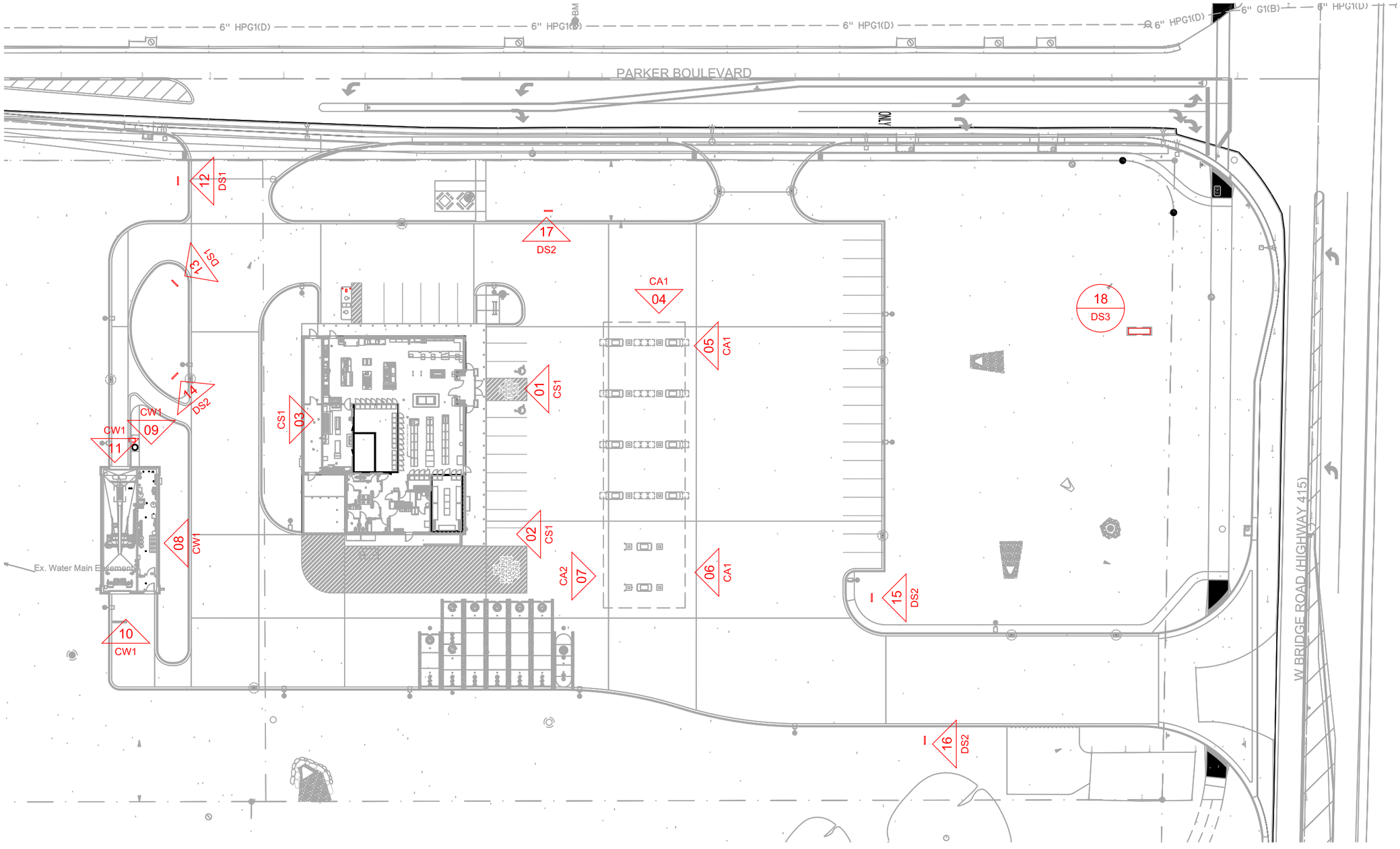

*NOTE:
TEMPORARY OR PERMANENT POSTER-STYLE SIGNS ADVERTISING PRODUCT OR SALES SHALL NOT BE MOUNTED TO THE EXTERIOR WALLS OF C-STORE OR CARWASH BUILDINGS, FENCES, TRASH ENCLOSURE, GASOLINE CANOPY SUPPORTS OR SIMILAR EXTERIOR LOCATIONS

TEMPORARY OR PERMANENT SIGNS DISPLAYED UNDER THE PUMP CANOPIES OR ON PUMP DISPENSERS SHALL HAVE LETTERS NO TALLER THAN 4 INCHES AND EACH SIGN SHALL HAVE A TOTAL SIGN AREA NO GREATER THAN 2 SQUARE FEET

SITE PLAN
1" = 50'-0"

PROPOSED SIGNS:
#01 18 LED KWIK STAR BUILDING LETTERS
#02 CARWASH DIRECTIONAL BUILDING SIGN
#03 18" LED KWIK STAR BUILDING LETTERS
#04 18" LED KWIK STAR CANOPY LETTERS
#05 18" LED KWIK STAR CANOPY LETTERS
#06 18" LED DIESEL CANOPY SIGN
#07 18" LED DIESEL CANOPY SIGN
#08 18" LED CARWASH BUILDING LETTERS
#09 CARWASH ENTER
#10 CARWASH EXIT
#11 CARWASH INFORMATIONAL SIGN
#12 DRIVEWAY DIRECTIONAL
#13 DRIVEWAY DIRECTIONAL
#14 DRIVEWAY DIRECTIONAL
#15 DRIVEWAY DIRECTIONAL
#16 DRIVEWAY DIRECTIONAL
#17 DRIVEWAY DIRECTIONAL
#18 FREESTANDING MONUMENT SIGN

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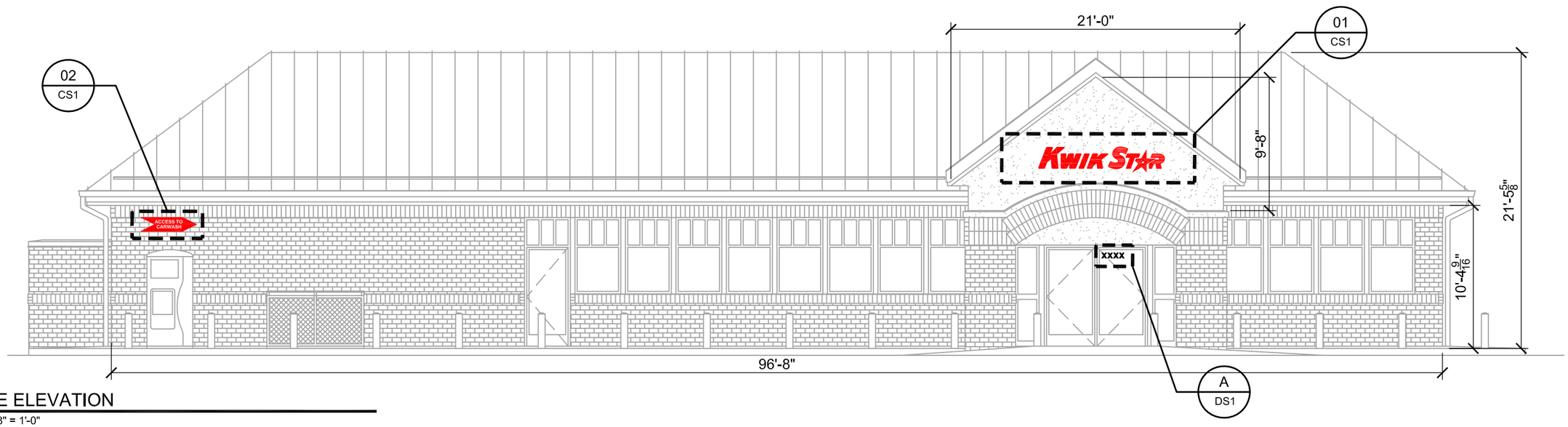
SITE PLAN

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

NW 112TH AVE
POLK CITY, IA

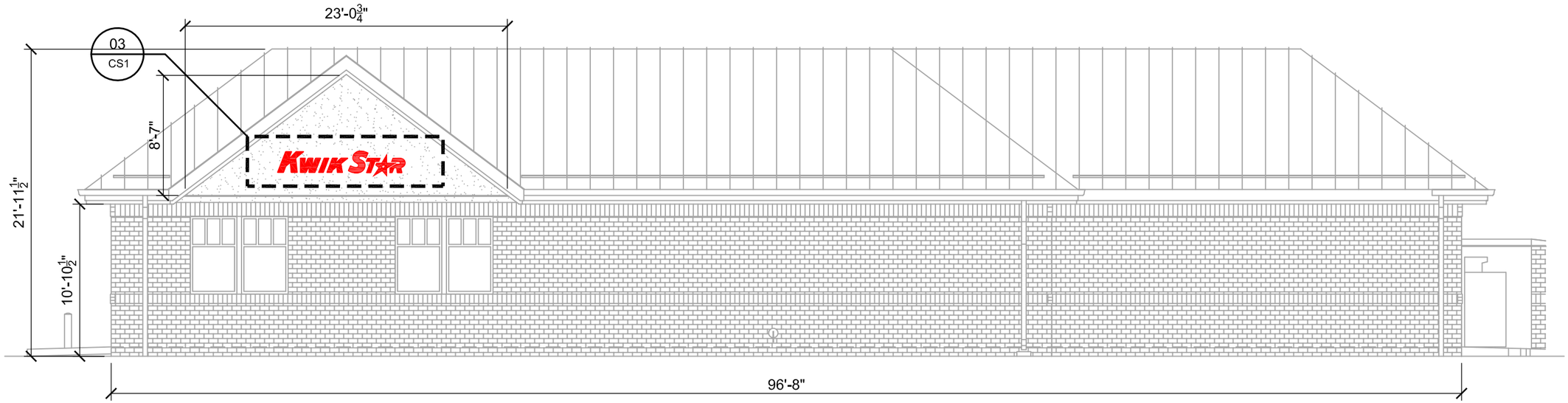
#	DATE	DESCRIPTION
1	2020/02/24	SITE REVISION
2	2020/04/29	SIGN UPDATE
3	2020/05/21	CITY COMMENTS

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	SP1



STORE ELEVATION

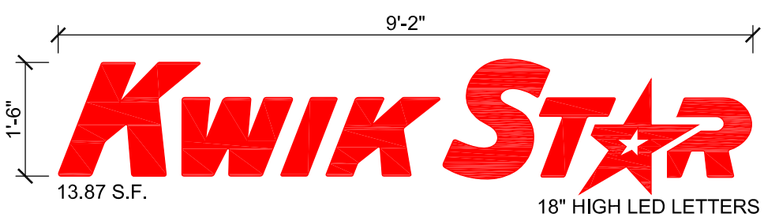
SCALE: 1/8" = 1'-0"



STORE ELEVATION

SCALE: 1/8" = 1'-0"

*NOTE: RED FASCIA SHALL NOT BE LIT



LOGO DETAIL - SIGNS #01 & #03

SCALE: 1/2" = 1'-0"

NON-LIT DIRECTIONAL SIGN
WHITE VINYL ON RED ALUMINUM
1'-0"H X 4'-0"W = 4.0 SQ FT

DIRECTIONAL SIGN #02

SCALE: 1/2" = 1'-0"

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CONVENIENCE STORE SIGNAGE

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

NW 112tTH AVE
POLK CITY, IA

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DRAWN BY	KMK
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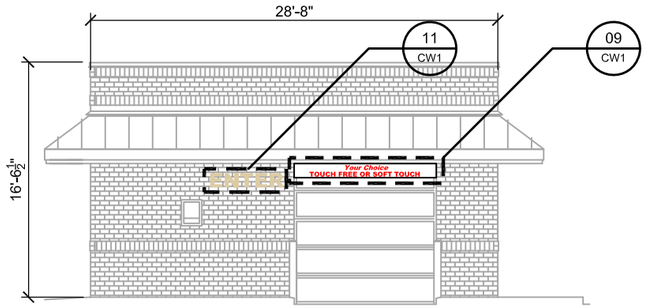
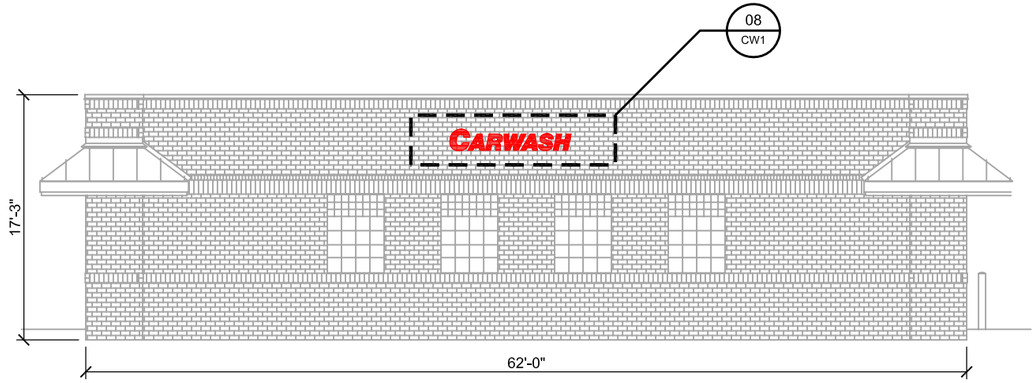
PROJ. NO.	0001
DATE	2019-08-06
SHEET	CS1



ENTER: 12" TALL X 48" LONG
DESERT SAND (TAN) LETTERS

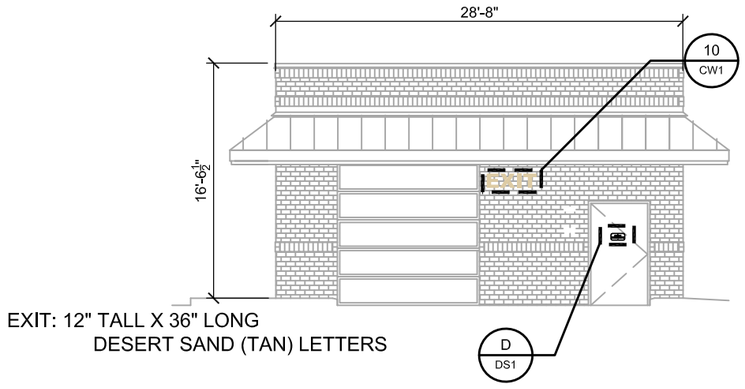
EAST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

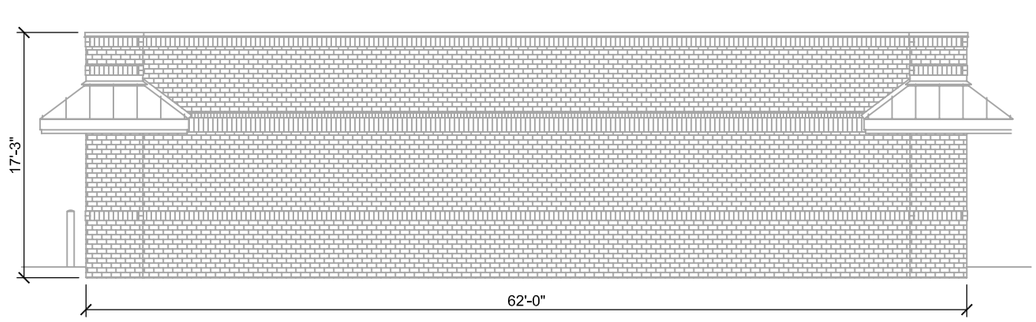
SCALE: 3/32" = 1'-0"



EXIT: 12" TALL X 36" LONG
DESERT SAND (TAN) LETTERS

WEST ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

*NOTE: RED FASCIA SHALL NOT BE LIT

LOGO DETAIL - SIGN #08

SCALE: 1/2" = 1'-0"

Your Choice
TOUCH FREE OR SOFT TOUCH

NON-LIT INFORMATIONAL SIGN
RED VINYL ON WHITE ALUMINUM
1'-0"H X 10'-0"W = 10.0 SQ FT

INFORMATIONAL SIGN #09

SCALE: 1/2" = 1'-0"

KWIK TRIP

KWIK STAR

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CARWASH SIGNAGE

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

NW 112TH AVE
POLK CITY, IA

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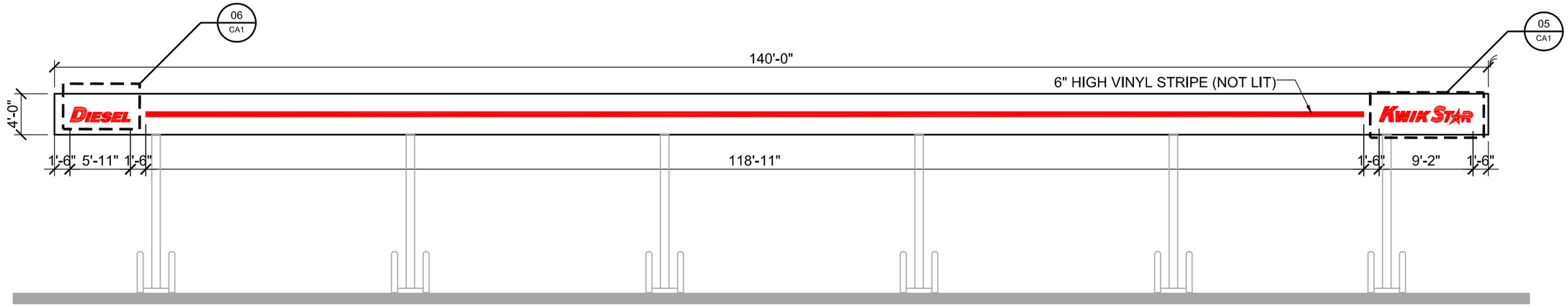
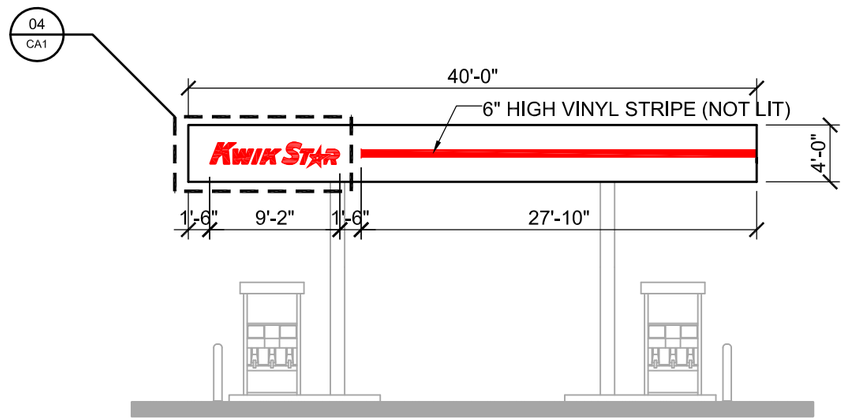
DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	CW1



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"

LOGO DETAIL - SIGNS #04 & #05

SCALE: 1/2" = 1'-0"

LOGO DETAIL - SIGN #06

SCALE: 1/2" = 1'-0"

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CANOPY SIGNAGE

CONVENIENCE STORE #1089
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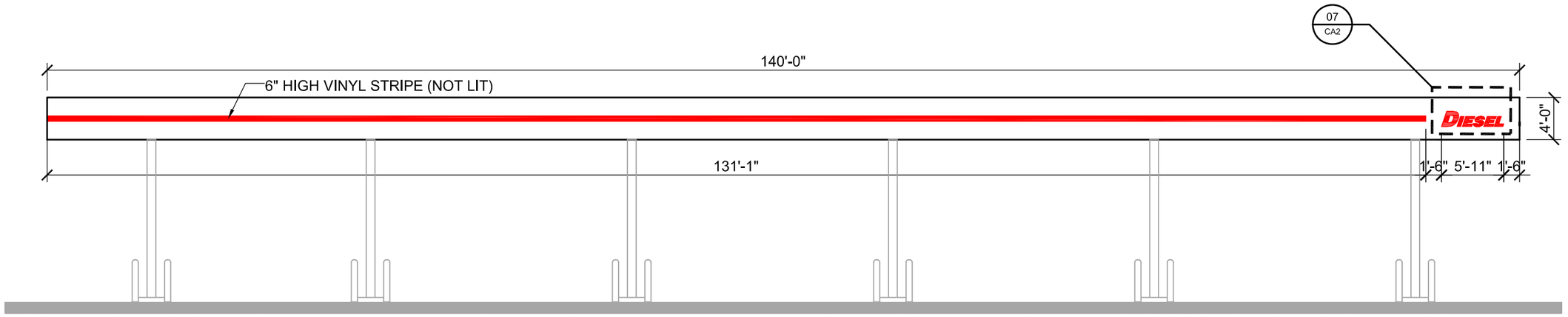
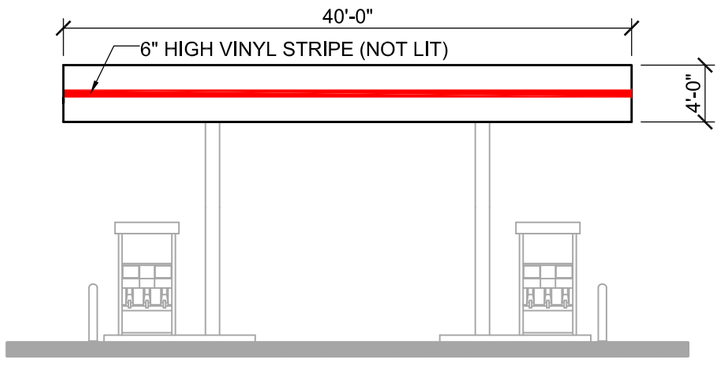
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	CA1



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"

LOGO DETAIL - SIGN #07

SCALE: 1/2" = 1'-0"

KWIK TRIP, Inc.
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LA CROSSE, WI 54602-2107
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FAX (608) 781-8960

CANOPY SIGNAGE

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

NW 112tTH AVE
POLK CITY, IA

#	DATE	DESCRIPTION
1	2020/02/24	SITE REVISION
2	2020/04/29	SIGN UPDATE
3	2020/05/21	CITY COMMENTS

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	CA2

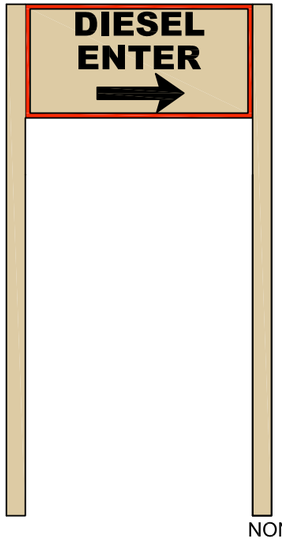
5" WHITE VINYL ADDRESS LETTERS
ON GLASS DOOR AS SHOWN ABOVE
(VERIFY ACTUAL NUMBERS WITH PROJECT MANAGER)

ADDRESS SIGN A

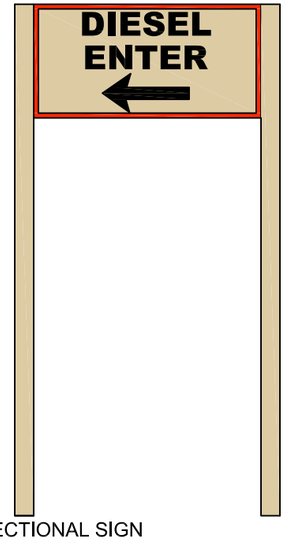
SCALE: 3/4" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN

NORTH SIDE



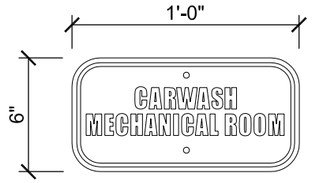
SOUTH SIDE



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-0"H X 2'-0"W X 4'-6"T= 2.00 SQ FT
TEXT IS TO BE NO GREATER THAN 4"

DIRECTIONAL SIGN #12

SCALE: 3/4" = 1'-0"



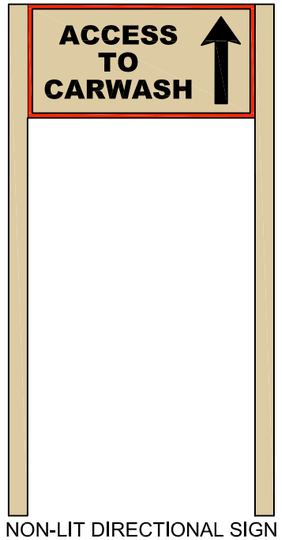
D

INFORMATIONAL SIGN D

SCALE: 3/4" = 1'-0"

SINGLE SIDED DIRECTIONAL SIGN

SOUTH SIDE



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-0"H X 2'-0"W X 4'-6"T= 2.00 SQ FT
TEXT IS TO BE NO GREATER THAN 4"

DIRECTIONAL SIGN #13

SCALE: 3/4" = 1'-0"

GENERAL SPECIFICATIONS

Ⓐ *ROOM SIGNS*
Qty: 3 total (different copy on each)
Size: per art
Material: white sign blank
Finish: cut vinyl

Install along with various signs for same site, crew to give to KT trim guys to install.

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

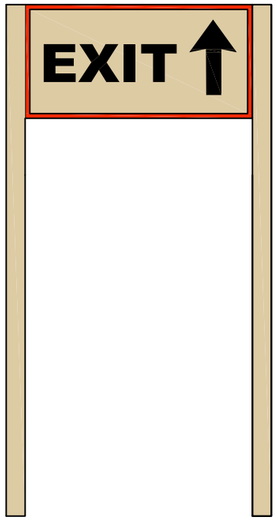
NW 112TH AVE
POLK CITY, IA

#	DATE	DESCRIPTION
1	2020/02/24	SITE REVISION
2	2020/04/29	SIGN UPDATE
3	2020/05/21	CITY COMMENTS

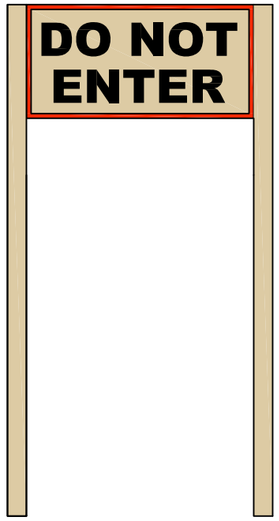
DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	DS1

DOUBLE SIDED DIRECTIONAL SIGN

NORTH SIDE



SOUTH SIDE



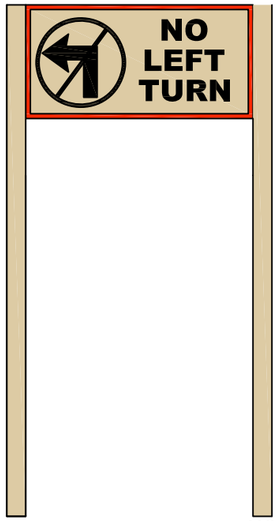
NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-0"H X 2'-0"W X 4'-6"T= 2.00 SQ FT
TEXT IS TO BE NO GREATER THAN 4"

DIRECTIONAL SIGN #14

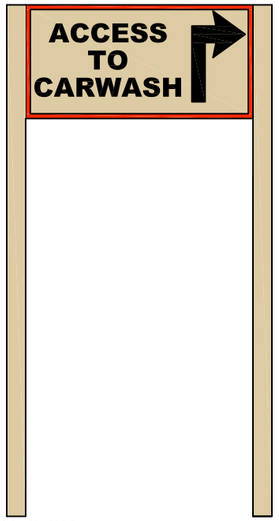
SCALE: 3/4" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN

NORTH SIDE



SOUTH SIDE



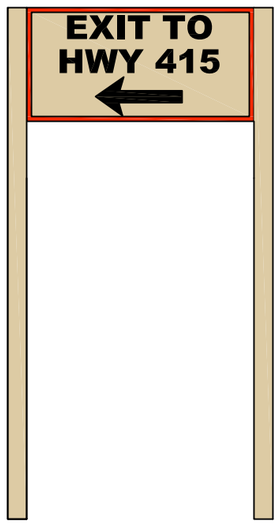
NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-0"H X 2'-0"W X 4'-6"T= 2.00 SQ FT
TEXT IS TO BE NO GREATER THAN 4"

DIRECTIONAL SIGN #16

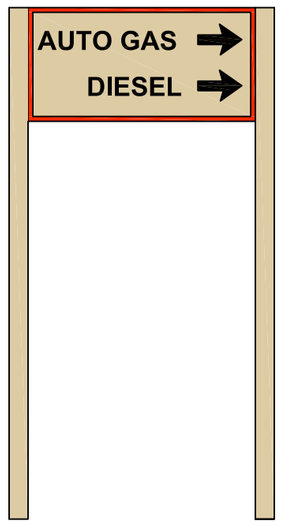
SCALE: 3/4" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN

NORTH SIDE



SOUTH SIDE



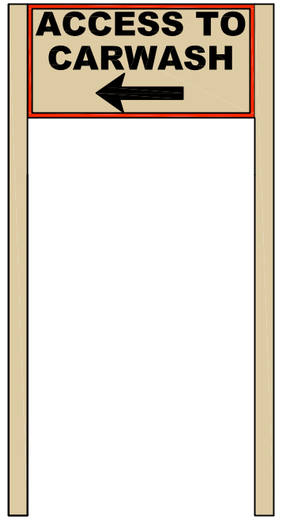
NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-0"H X 2'-0"W X 4'-6"T= 2.00 SQ FT
TEXT IS TO BE NO GREATER THAN 4"

DIRECTIONAL SIGN #15

SCALE: 3/4" = 1'-0"

SINGLE SIDED DIRECTIONAL SIGN

WEST SIDE



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-0"H X 2'-0"W X 4'-6"T= 2.00 SQ FT
TEXT IS TO BE NO GREATER THAN 4"

DIRECTIONAL SIGN #17

SCALE: 3/4" = 1'-0"

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

NW 112TH AVE
POLK CITY, IA

#	DATE	DESCRIPTION
1	2020/02/24	SITE REVISION
2	2020/04/29	SIGN UPDATE
3	2020/05/21	CITY COMMENTS

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	DS2

#18 KWIK STAR FREESTANDING MONUMENT SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO

KWIK TRIP

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FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #1089
W. SIDE DIESEL & ATTACHED CW

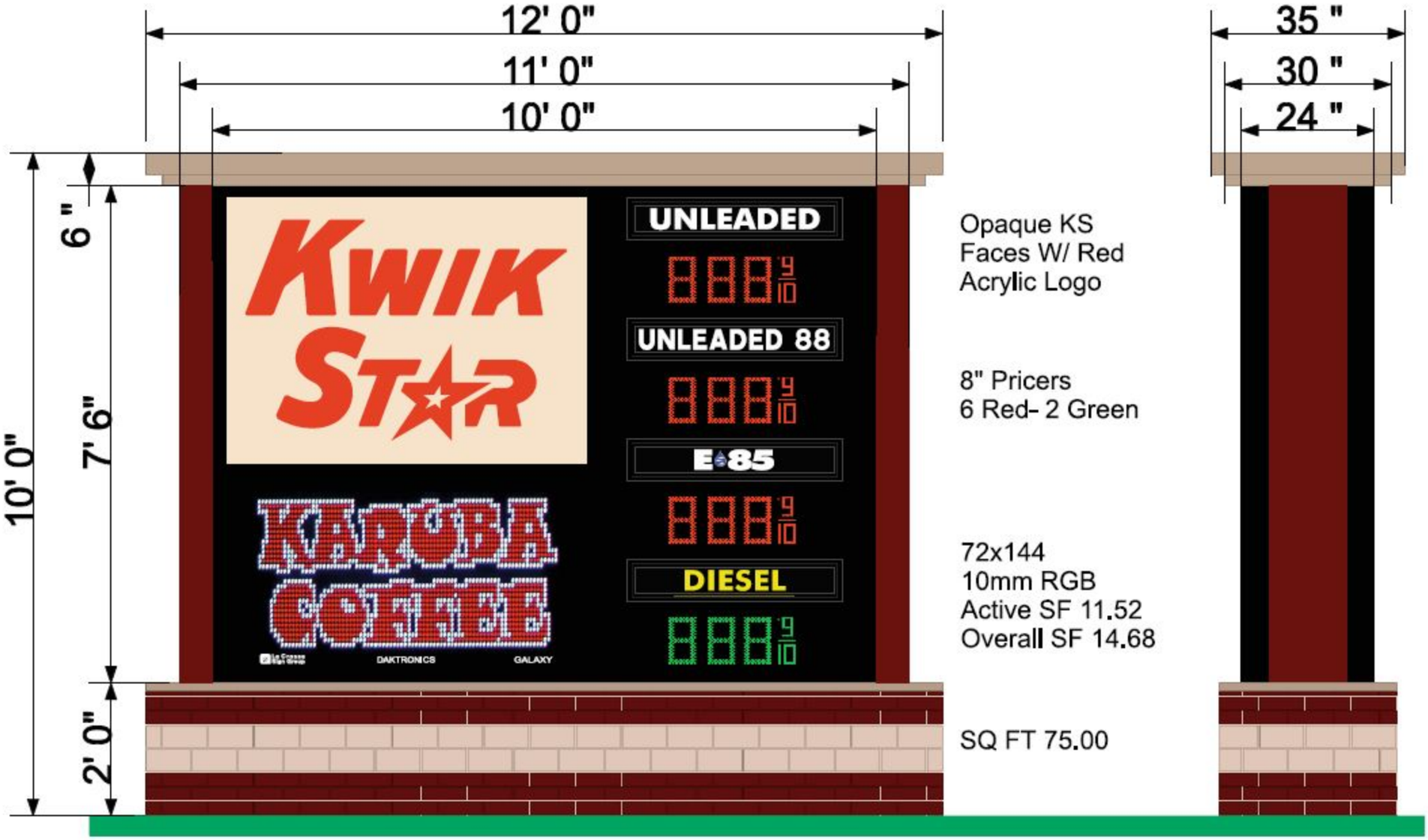
NW 112TH AVE
POLK CITY, IA

#	DATE	DESCRIPTION
1	2020/02/24	SITE REVISION

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-08-06
SHEET	DS3

NEW DOUBLE FACED MONUMENT

1089 Polk City, IA



Approved by:_____ Date:_____ Landlord:_____ Date:_____

lacrossesign.com

La Crosse Sign Group
1450 Oak Forest Drive • Onalaska, WI 54650 • 608-781-1450
2242 Mustang Way • Madison, WI 53718 • 608-222-5353
2502 Melby Street • Eau Claire, WI 54703 • 715-835-6189

DESIGN	SALES	FILE
Drawing by: Danielle Hadley	Job Name: Kwik Trip	Revision Number:
Sign Type: Monument	Job Address:	Job File Location:
Date Created: 10/7/2018		
Last Modified: 3/28/2019	Salesperson: Cindy Bluske	
Scale: 3/8" = 1' 0"	Job Number: 102023	

COLOR KEY

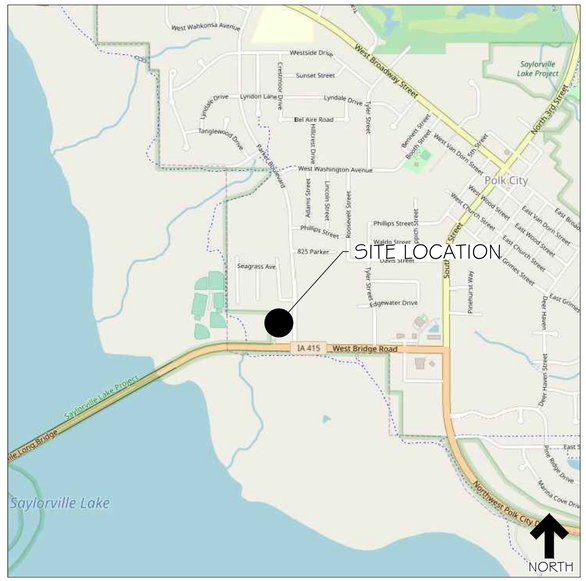
*COLORS ON SKETCH ARE ONLY A REPRESENTATION, ACTUAL COLOR OF FINISHED PRODUCT MAY DIFFER

1	PPG NA 208400	7	
2	Black S/G paint	8	
3	NA 208080 Beige	9	
4	#2283 Red Acrylic	10	
5	White of Acrylic	11	
6	Black (230-22)	12	

SITE IMPROVEMENT PLANS FOR:

KWIK STAR #1089
POLK CITY, IA

SITE LOCATION MAP:



SITE AERIAL MAP:

DRAWING INDEX	
T1	TITLE SHEET
SP0	SITE CIRCULATION PLAN
SP1	SITE DIMENSION PLAN
SP1.1	SITE KEYNOTE PLAN
SP2	GRADE PLAN
SP3	STORM SEWER PLAN
SP3.1	STORM SEWER NOTES & DETAILS
SP4	UTILITY PLAN
SP4.1	UTILITY NOTES
SP5	SITE PLAN DETAILS
SP6	SITE PLAN DETAILS
SP7	SUDAS SITE PLAN DETAILS
L1	LANDSCAPE PLAN
E1	PHOTOMETRIC SITE PLAN

PROPERTY DESCRIPTION:
LOT 1 OF KWIK TRIP 1089, IN POLK CITY VENTURE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA.

AREA SUMMARY:
4.41 ACRES (191,933 S.F.)

ZONING:
C-2 COMMERCIAL DISTRICT

OUTDOOR MERCHANIDSE:
There shall be no outdoor sales or storage on site, other than the outdoor merchandising area, ice merchandiser, propane exchange, firewood merchandising area, and screened delivery 'tote' storage shown on the approved site plan.

NOTES:

-TEMPORARY OR PERMANENT POSTER-STYLE SIGNS ADVERTISING PRODUCTS OR SALES SHALL NOT BE MOUNTED TO THE EXTERIOR WALLS OF THE C-STORE OR CAR WASH BUILDINGS, FENCES, TRASH ENCLOSURE, GASOLINE CANOPY SUPPORTS, OR SIMILAR EXTERIOR LOCATIONS.

-TEMPORARY OR PERMANENT SIGNS DISPLAYED UNDER THE PUMP CANOPIES OR ON PUMP DISPENSERS SHALL HAVE LETTERS NO TALLER THAN 4 INCHES AND EACH SIGN SHALL HAVE A TOTAL SIGN AREA NO GREATER THAN 2 SQUARE FEET.

-A RAPID-ENTRY LOCK BOX SHALL BE INSTALLED ON THE BUILDING,
WITH THE MODEL AND LOCATION ARE SUBJECT TO THE APPROVAL OF THE FIRE CHIEF.

-CAR WASH WILL BE OPERABLE BETWEEN THE HOURS OF 7AM AND 10PM IN ACCORDANCE WITH POLK CITY NOICE CONTROL ORDINANCE.

OWNER:
KWIK TRIP INC.
1626 OAK STREET
LA CROSSE, WI 54602
SCOTT ZIETLOW
(608)793-5933
SJZietlow@kwiktrip.com

SITE PLANNER:
INSITES SITE PLANNING
3030 HARBOR LN N, SUITE 131
PLYMOUTH, MN 55447
BOB MUELLER
763-383-8400
Bob@InsitesInc.net

CIVIL ENGINEER:
SUNDE ENGINEERING
10830 NESBITT AVE SOUTH
BLOOMINGTON, MN 55437
(952)881-3344

ARCHITECT:
VANTAGE ARCHITECTS
750 3RD ST N, SUITE F
LA CROSSE, WI 54601
(608)784-2729

SURVEYOR:
SNYDER & ASSOCIATES
2727 S.W. SNYDER BLVD.
ANKENY, IA 50023
(515) 964-2020

KWIK TRIP

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TITLE SHEET

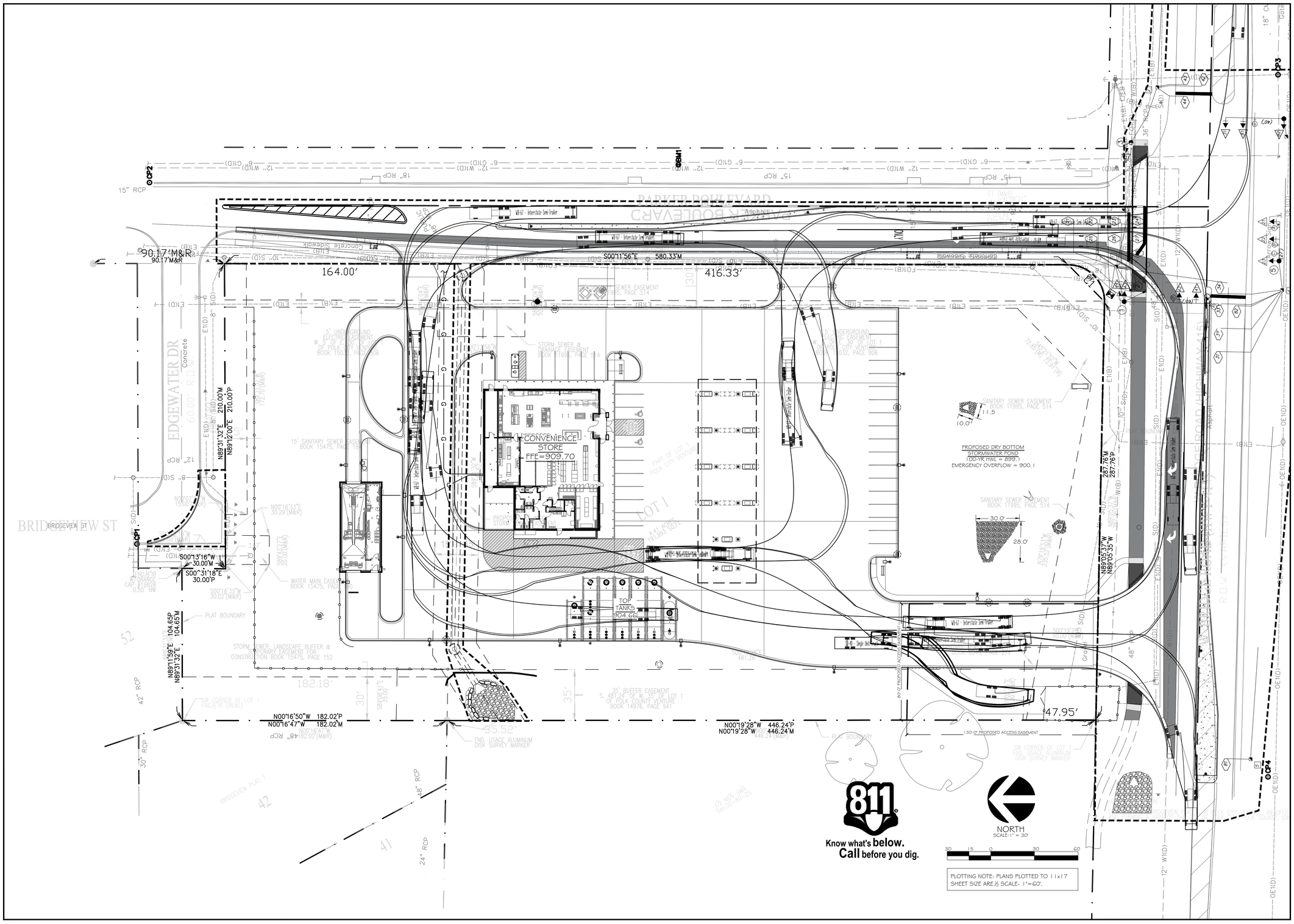
CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	16MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET **T1**

INSITES 19-018 PM S.Z.



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FAX (608) 781-8960

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3131 Fernbrook Lane North, STE 260
Plymouth Minnesota 55447
763.383.8400
fax 763.383.8440

LICENSED LANDSCAPE ARCHITECT
Robert J. Mueller
I OWA
00377
10JUNE2020

SITE CIRCULATION PLAN

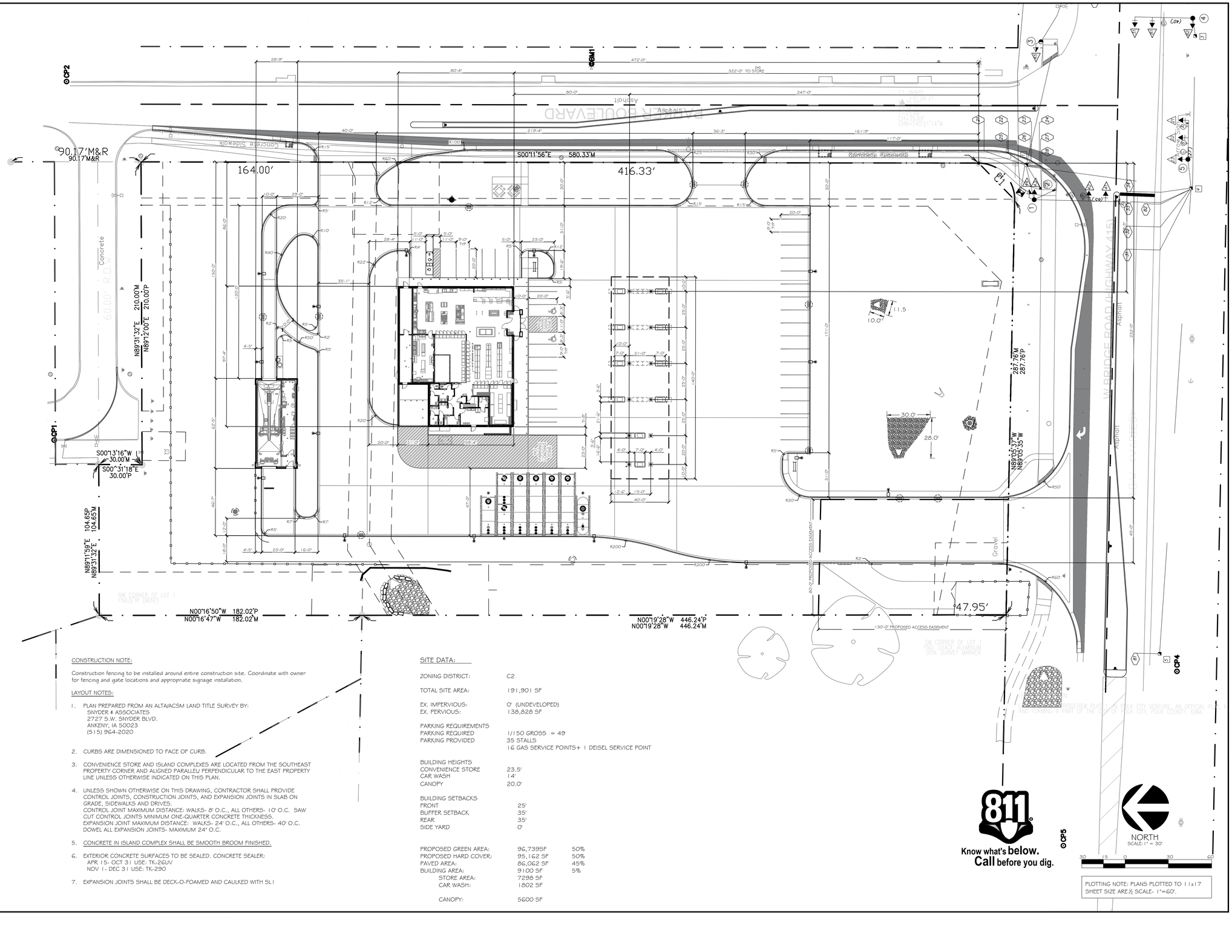
CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	18MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY	
SCALE	GRAPHIC
PROJ. NO.	191089
DATE	26JULY2019
SHEET	SP0

INSITES 19-01.8 PM S.Z.



CONSTRUCTION NOTE:

Construction fencing to be installed around entire construction site. Coordinate with owner for fencing and gate locations and appropriate signage installation.

LAYOUT NOTES:

1. PLAN PREPARED FROM AN ALTA/ACSM LAND TITLE SURVEY BY:
   SNYDER & ASSOCIATES
   2727 S.W. SNYDER BLVD.
   ANKENY, IA 50023
   (515) 964-2020

2. CURBS ARE DIMENSIONED TO FACE OF CURB.

3. CONVENIENCE STORE AND ISLAND COMPLEXES ARE LOCATED FROM THE SOUTHEAST PROPERTY CORNER AND ALIGNED PARALLEL/ PERPENDICULAR TO THE EAST PROPERTY LINE UNLESS OTHERWISE INDICATED ON THIS PLAN.

4. UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES.
   CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 10' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS.
   EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C.
   DOWEL ALL EXPANSION JOINTS- MAXIMUM 24" O.C.

5. CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH BROOM FINISHED.

6. EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER:
   APR 15- OCT 31 USE: TK-26UV
   NOV 1- DEC 31 USE: TK-290

7. EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SL1

SITE DATA:

ZONING DISTRICT:	C2	
TOTAL SITE AREA:	191,901 SF	
EX. IMPERVIOUS:	0' (UNDEVELOPED)	
EX. PERVIOUS:	138,828 SF	
PARKING REQUIREMENTS		
PARKING REQUIRED	1/150 GROSS = 49	
PARKING PROVIDED	35 STALLS 16 GAS SERVICE POINTS+ 1 DEISEL SERVICE POINT	
BUILDING HEIGHTS		
CONVENIENCE STORE	23.5'	
CAR WASH	14'	
CANOPY	20.0'	
BUILDING SETBACKS		
FRONT	25'	
BUFFER SETBACK	35'	
REAR	35'	
SIDE YARD	0'	
PROPOSED GREEN AREA:	96,739SF	50%
PROPOSED HARD COVER:	95,162 SF	50%
PAVED AREA:	86,062 SF	45%
BUILDING AREA:	9100 SF	5%
STORE AREA:	7298 SF	
CAR WASH:	1802 SF	
CANOPY:	5600 SF	

811 Know what's below. Call before you dig.

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE ½ SCALE- 1"=60'.

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LICENSED LANDSCAPE ARCHITECT
Robert J. Mueller
00377
IOWA
10JUNE2020

SITE DIMENSION PLAN

CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	19MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY

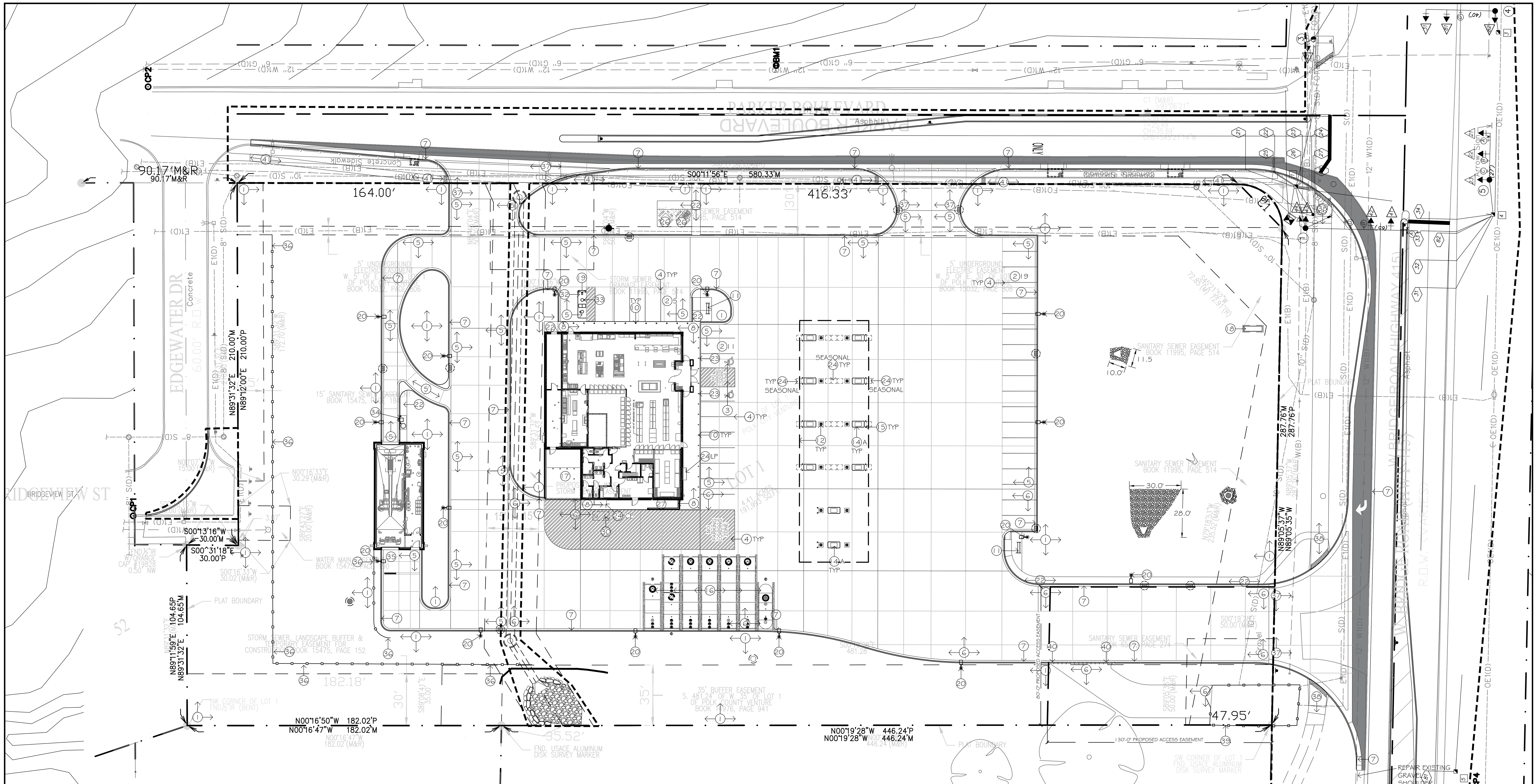
SCALE GRAPHIC

PROJ. NO. 191089

DATE 26JULY2019

SHEET **SP1**

INSITES 19-016 PM S.Z.



SITE PLAN KEYNOTES

1. LANDSCAPE AREA. SEE SHEET L1.
2. OFF-STREET PARKING STALLS
   STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT.
   SPACES PROVIDED
   (16) MULTI-FUEL SERVICE POINTS
   (2) DIESEL POINTS
   (33) 9'-0"x 20'-0"(MIN.) GENERAL PARKING
   (2) 8'-0"x 20'-0" ACCESSIBLE PARKING WITH
   (1) 11'-0"x 20'-0" LOADING ZONE
   (2) 11'-0"x 20'-0" STALLS AT VACUUM
3. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
4. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- BLUE, ALL OTHERS- YELLOW.
5. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR, 3' O.C. CONCRETE SEALER: TK-26UV
6. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR, 3' O.C. CONCRETE SEALER: TK-26UV
7. B6-12 CONCRETE CURB AND GUTTER PER DETAIL 11/SP5.
8. 6" INTEGRAL CONCRETE CURB/ WALK. SEE DETAIL 7/SP5 FOR NON-FLUSH SECTIONS. CONCRETE SEALER: TK-26UV
9. STORM STRUCTURE. SEE SHEETS SP2-SP4.1, SP6 FOR FURTHER STORM SEWER INFORMATION.
10. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 9/SP5.
11. 8 STALL BIKE RACK WITH 4" CONCRETE PAD
   (BRP 300 TRADITIONAL BIKE RACK-SINGLE SIDE
   PORTABLE/ SURFACE MOUNT ENDS
   FUSION COATINGS - A DIVISION OF RTM INC.
   TO BE PROVIDED BY OWNER)
12. 40'-0"x 140'-0" DISPENSER ISLAND CANOPY (5600 SF). VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
13. ~~24'-0"x 50'-0" COMMERCIAL DEISEL DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.~~
14. CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER.
   A. 3'-6"x 7'-0"
   ~~B. 3'-6"x 8'-0"~~
15. 36" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 8/SP5.
16. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS.
17. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
18. KWIK TRIP TRADEMARK SIGN (VERIFY LOCATION WITH SIGN PERMIT)
19. 'FREE AIR' COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
20. SITE AREA LIGHT WITH CONCRETE BASE PER DETAIL 12/SP5.
21. PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY W/ IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION.
22. 4" DEPTH CONCRETE WALK PER DETAIL 3/SP5
23. HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60" HT.
24. OUTDOOR MERCHANDISING AREA
25. 84" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAIL 6/SP5.
26. PICNIC TABLE PER OWNER. PROVIDE 1 HC. ACCESS TABLE SPACE. PROVIDE TRASH CONTAINER PER OWNER.
27. EXTERIOR DELIVERY 'TOTE' STORAGE WITH SCREEN WALL
28. ELECTRICAL TRANSFORMER
29. ELECTRIC CAR CHARGER
30. GREASE INTERCEPTOR
31. ~~POLE MOUNTED AREA CAMERA WITH CONCRETE BASE PER DETAIL 12/SP5~~
32. CONCRETE CURB ISLAND
33. VACUUM PER MANUFACTURE'S SPECIFICATIONS. SEE DETAIL 2/SP5.
34. CAR WASH KEY PAD/ CONTROLLER. PROVIDE TRASH CONTAINER
35. 6" CONCRETE PAD WITH SNOW MELT PER MECHANICAL PLANS
36. 6' HT SCREEN FENCE
37. APPROACH PER SUDAS
38. BIKE PATH
39. LIFT STATION FENCE- BLACK POWDER-COATED STEEL WITH MATCHING 12' WIDE DOUBLE-LEAF GATE INSTALLED BY OWNER, MAINTAINED BY CITY. COORDINATE WITH CITY PUBLIC WORKS
40. MOUNTABLE CONCRETE CURB
41. PUBLIC SIDEWALK PER SUDAS

Know what's below. Call before you dig.

NORTH
SCALE: 1" = 30'

30 15 0 30 60

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE ½ SCALE- 1"=60'.

KWIK TRIP

KWIK STAR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LACROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

INSITES
SITE PLANNING LANDSCAPE ARCHITECTURE
3131 Fernbrook Lane North, STE 260
Plymouth Minnesota 55447
763.383.8400
fax 763.383.8440

LICENSED LANDSCAPE ARCHITECT
Robert J. Mueller
00377
IOWA
10JUNE2020

SITE KEYNOTE PLAN

CONVENIENCE STORE 1089

--

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	18MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY	
SCALE	GRAPHIC
PROJ. NO.	191089
DATE	26JULY2019
SHEET	SP1.1

INSITES 19-018 PM S.Z.

NOTE: CONTRACTOR TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION NOTE:

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

NOTE:

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

- PLAN PREPARED FROM ALTA/ACSM LAND TITLE SURVEY BY:

SNYDER & ASSOCIATES
2727 S.W. SNYDER BLVD.
ANKENY, IA 50023
(515) 964-2020

- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/ OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

FINISHED FLOOR ELEVATIONS

PROPOSED CONVENIENCE STORE
FINISHED ELEVATION = 909.70 FEET

PROPOSED CAR WASH
FINISHED ELEVATION = 909.17 FEET

BENCHMARK
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

N=755217.01 E=1849764 7.87 ELEV=908.39
BURY BOLT ON HYDRANT 2' EAST OF SIDEWALK ON THE EAST SIDE OF PARKER BOULEVARD, EAST SIDE OF SITE.

NOTE GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

811 Know what's below. Call before you dig.

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PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE ½ SCALE- 1"=60'.

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Plymouth Minnesota 55447
763.383.8400
fax 763.383.8440

Robert J. Mueller 00377 IOWA
10JUNE2020

GRADE PLAN

CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
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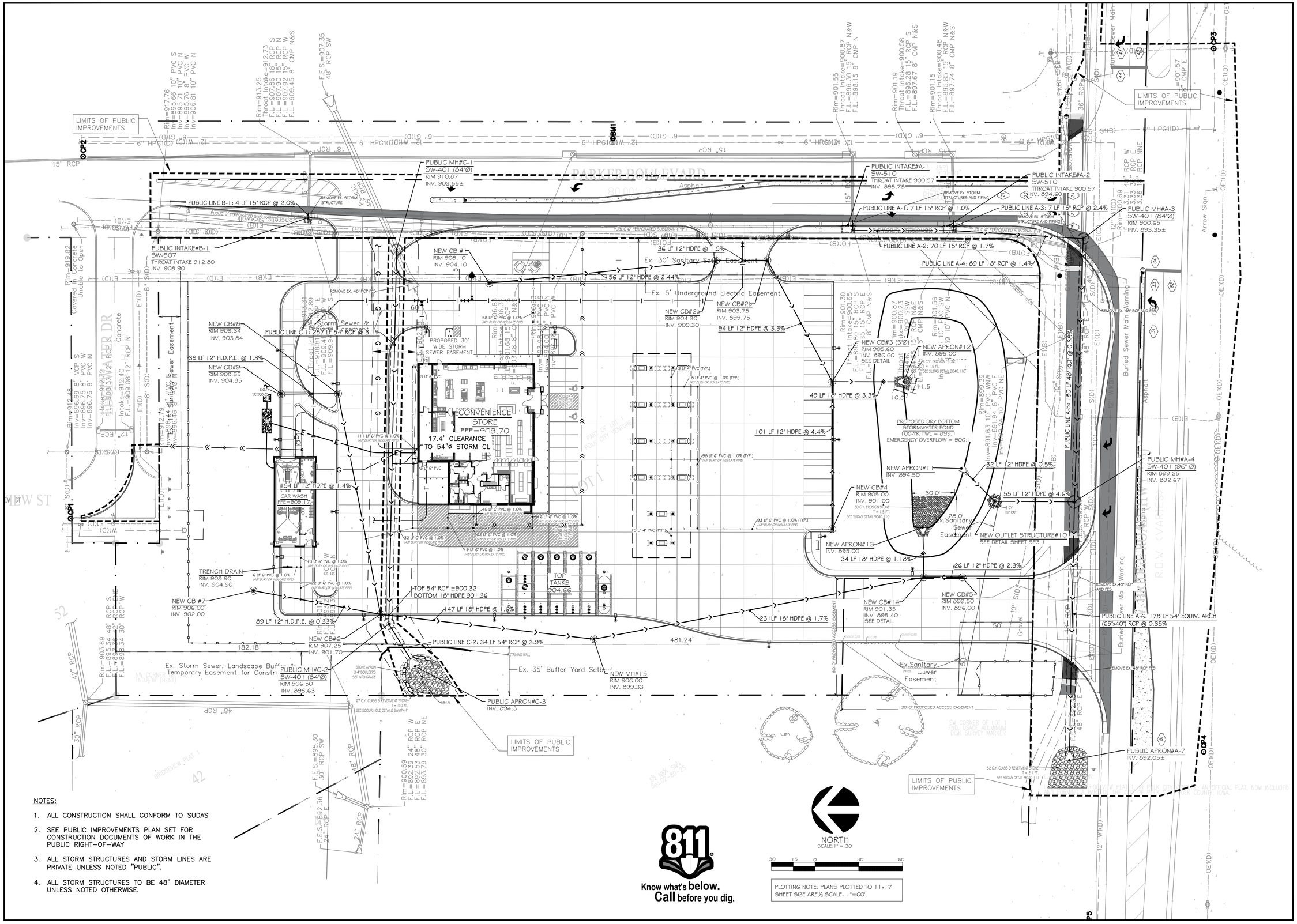
DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET SP2

INSITES 19-01.8 PM S.Z.



NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO SUDAS
2. SEE PUBLIC IMPROVEMENTS PLAN SET FOR CONSTRUCTION DOCUMENTS OF WORK IN THE PUBLIC RIGHT–OF–WAY
3. ALL STORM STRUCTURES AND STORM LINES ARE PRIVATE UNLESS NOTED "PUBLIC".
4. ALL STORM STRUCTURES TO BE 48" DIAMETER UNLESS NOTED OTHERWISE.

811 Know what's below. Call before you dig.

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(952) 881-3344 TELEPHONE
(952) 881-1913 FAX
www.sundecivil.com

MIKE KETTLER 18845 LICENSED PROFESSIONAL ENGINEER 10/18

STORM SEWER PLAN

CONVENIENCE STORE 1089

--- POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
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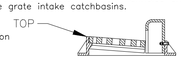
DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET **SP3**

INSITES 19-01.8 PM S.Z.

STORM DRAINAGE:

1. Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"–ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches. See SUDAS Std. SW–401 for circular storm sewer manholes and SUDAS Std. SW–502 for circular single grate intake catchbasins.

2. Install catchbasin castings with specified top elevation at the front rim.



3. All joints and connections in the storm sewer system shall be gastight or watertight. Joints between concrete structures and piping shall be made with mechanical joints. Use approved resilient rubber seals or waterstop gaskets in order to make watertight connections to manholes, catchbasins, and other structures in conformance with ASTM C923 or as otherwise permitted by the local authority. Cement mortar joints are permitted only for repairs or connections to existing lines having such joints, or unless otherwise permitted by the administrative authority.

4. The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.

5. PVC Pipe (Outside of the Building): Use solid–core, SDR–35, ASTM D3034 Polyvinyl Chloride (PVC) Pipe for designated PVC storm sewer services 4 to 15–inches in diameter outside of the building. Use solid–core, SDR–35, ASTM F679 Polyvinyl Chloride (PVC) pipe for designated PVC storm sewer services 18 to 27–inches in diameter outside of the building. Joints for all storm sewer shall have push–on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement in accordance with Uniform Plumbing Code (UPC), part 605.13.2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.

6. Cleanouts: Install cleanouts on all roof drains. Cleanouts shall be installed at every wye, sweep, and bend. Install cleanouts on all storm sewer services in accordance with UPC part 719.0 and 1101.12. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 10–inches and under in size. Cleanouts shall be of the same nominal size as the pipes they serve. Install a meter box frame and solid lid (Neenah R–1914–A, or approved equal) over all cleanouts. Provide cleanouts at the base of the roof leader connections at the gas island pump stations.

7. Fittings: Provide directional fittings for the storm piping serving the gas island pump stations. All changes in direction of flow in drain piping shall be made by the appropriate use of 45 degree wyes, long or short sweep quarter bends, sixth, eighth, or sixteenth bends, or by a combination of these or other equivalent fittings.

8. RCP: Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C76, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Joints shall be made up of concrete surfaces with a groove on the spigot for an O–ring rubber gasket (also referred to as a confined O–ring type joint) in accordance with ASTM C361. These joints are normally used in gravity sewers where exceptional tightness is required. This type of joint provides excellent inherent water tightness in both the straight and deflected position and meets all the joint requirements of ASTM C443.

9. RC Aprons: Install a reinforced concrete apron on the free end of all daylighted RCP storm sewer pipes. Tie the last three sections (including apron) of all daylighted RCP storm sewer with a minimum of two tie bolt fasteners per joint. This requirement applies to both upstream and downstream pipe inlets and outlets. For concrete culverts, tie all joints. Ties to be used only to hold the pipe sections together, not for pulling the sections tight. Nuts and washers are not required on inside of 675 mm (27 inch) or less diameter pipes.

10. Grates on horizontal pipes: Install safety–trash grates on all horizontal inlets/outlets greater than 6 inches in diameter. The grates shall be placed so that the rods or bars are not more than 3 inches downstream of the inlet/outlet. Rods or bars shall be spaced so that the openings do not permit the passage of a 6–inch sphere.

11. Testing: Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated in accordance with UPC part 1109.0. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.

12. Draintile: Perforated under–drains shall be slotted single wall corrugated HDPE. Install draintile with high permittivity circular knit polymeric filament filter sock per ASTM D6707–01.

13. Use SUDAS Std. SW–604 Type 5 ditch stool grate and frame, or approved equal, on CB #7.

14. Use SUDAS Std. SW–603 Type R casting with curb inlet grate, or approved equal, on CB#1, CB#2a, CB#2b, CB#3, CB#4, CB#5, CB#6, CB#8, CB#9, and CB#14. Casting shall include the "NO DUMPING. DRAINS TO RIVER." environmental notice.

15. Use SUDAS Std. SW–602 casting with self–sealing, solid, Type E lid, or approved equal, on all storm sewer maintenance holes. Covers shall bear the "Storm Sewer" label.

16. Use Zurn Z886 trench drain model 8606N with black acid resistant epoxy coated ductile grate – Class C for proposed trench drain.

17. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.

18. The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI–40 plastic foam insulation.

19. Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.

20. Line ponds with 2' thick impervious clay liner per detail.

21. Clean sediment and debris from sewers, sumps and stormwater basins prior to final owner acceptance.

22. Televise all existing lines prior to connection.

23. Provide a final storm water management report that will serve to verify that the intent of the approved storm water management design has been met. The report shall include record drawings, measurements, and photographic evidence of the as–built storm water management system. The report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.

24. Fittings: Provide directional fittings for the storm piping serving the gas island pump stations. All changes in direction of flow in drain piping shall be made by the appropriate use of 45 degree wyes, long or short sweep quarter bends, sixth, eighth, or sixteenth bends, or by a combination of these or other equivalent fittings.

25. Install finger drains at each and every proposed catchbasin (see detail). Finger drains around catch basin inlets shall not be installed below the crown of the storm drain piping.

HDPE REQUIREMENTS:

1. Install dual–wall, smooth interior, corrugated high–density polyethylene (HDPE) pipe at locations indicated on the plan. High–density polyethylene (HDPE) storm sewers must meet ASTM F714.

2. Dual–wall, smooth interior, corrugated high–density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4–inch to 10–inch diameter. Dual–wall, smooth interior, corrugated high–density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 (virgin PE material) for pipe sizes 12–inch to 60–inch diameter.

3. All fittings must comply with ASTM Standard D3212.

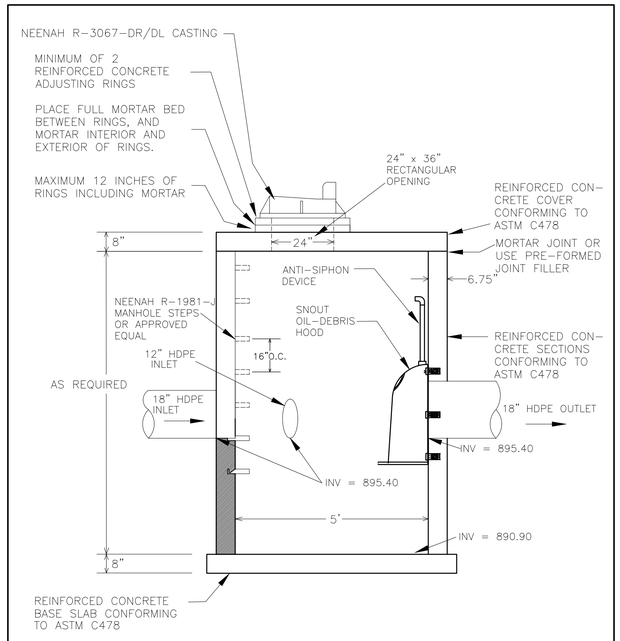
4. Water–tight joints must be used at all connections (including structures) in conformance with ASTM F2510.

5. HDPE pipe connections into all concrete structures must be made with water tight materials utilizing Nyoplast "Manhole Adaptors" along with Press–Seal or Kor–N–Seal "Watertight Connector", Cast–A–Seal "Precast Watertight Connector", or approved equals. Where the alignment precludes the use of the above approved watertight methods, Conseal 231 WaterStop sealant, or approved equal will only be allowed as approved by the Administrative Authority.

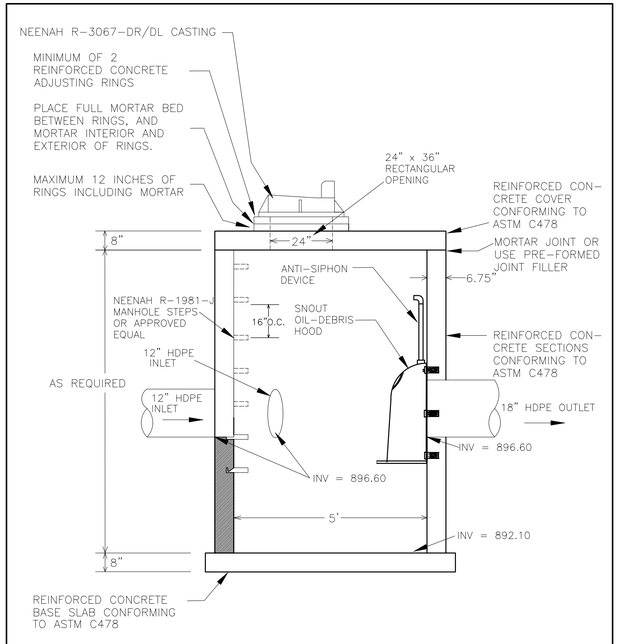
6. Lay all HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water–tight joints.

7. Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.

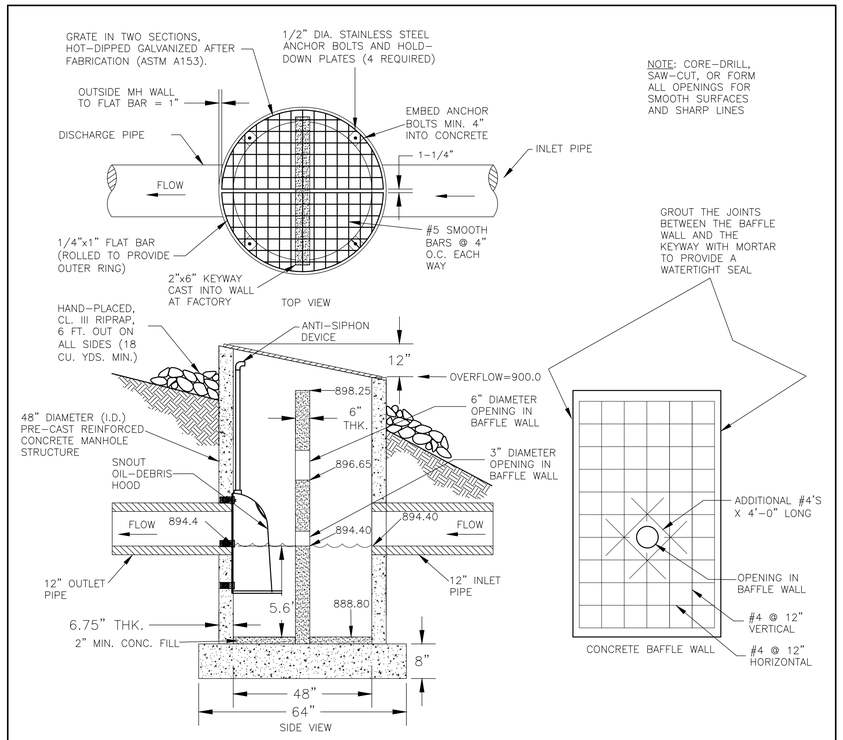
ALL CONSTRUCTION SHALL CONFORM TO SUDAS



OIL SKIMMER CB #14



OIL SKIMMER CB #3



OUTLET CONTROL STRUCTURE #10 WITH BAFFLE WEIR

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LACROSSE, WI 54602-2107
PH. (608) 781-8988
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SUNDE ENGINEERING, PLLC.
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(952) 881-3344 TELEPHONE
(952) 881-1913 FAX
www.sundeeivil.com

LICENSED PROFESSIONAL ENGINEER
MIKE KETTLER
18845
IOWA
2-28-21

STORM NOTES AND DETAILS

CONVENIENCE STORE 1089

--- POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
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DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET **SP3.1**

INSITES 19-018 PM S.Z.

CONNECT TO EX. 8" SAN. S. STUB AS APPROVED BY POLK CITY PUBLIC WORKS AT INV. ELEV. = 894.3±. FIELD VERIFY SIZE, ELEVATION, AND LOCATION PRIOR TO START OF CONSTRUCTION.

ADJUST RIM OF EX. SAN. S. MH TO NEW GRADE. NEW RIM ELEV. =906.45 (FIELD VERIFY LOCATION AND ELEV. PRIOR TO START OF CONSTRUCTION)

CONNECT TO EX. 8" WATERMAIN STUB. FIELD VERIFY SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION.

LIMITS OF PUBLIC IMPROVEMENTS

SAN. S. CLEANOUT INV. = 894.3±

6"x8" TEE WITH 8"X4" REDUCER, 6" GATEVALVE, 6" HYDRANT LEAD AND FIRE HYDRANT.

COORDINATE NEW UG GAS SERVICE WITH UTILITY COMPANY

4" GATEVALVE

8" GATEVALVE

4" DIP WATER

8" DIP W

95LF 4" PVC SAN. S. @ 3.2%

4" GATEVALVE

2" CURBSTOP AND VALVEBOX

2" WATER SERVICE AND METER LOCATION.

2" COPPER WATER (OR APPROVED EQUAL)

COORDINATE NEW UG ELECTRIC SERVICE WITH UTILITY COMPANY

TRANSFORMER PAD LOCATION

4LF 6" PVC SAN. S. @ 5.0%

106LF 6" PVC SAN. S. @ 5.0%

SAN. S. CLEANOUT INV. = 901.80

GAS SERVICE AND METER LOCATION

CONVENIENCE STORE
FFE=909.70

TELEPHONE SERVICE AND METER LOCATION

4" PVC SAN. S. INV. @ BLDG = 903.20

ELECTRIC SERVICE AND METER LOCATION

SAN. S. CLEANOUT INV. = 899.15

ELECTRIC SERVICE AND METER LOCATION

6" PVC SAN. S. INV. @ BLDG = 902.00

14LF 4" PVC SAN. S. @ 3.2%

SAN. S. CLEANOUT INV. = 900.41

CONNECT TO EX. SAN. S. MAIN AS APPROVED BY POLK CITY PUBLIC WORKS AT INV. ELEV. = 896.4±. FIELD VERIFY SIZE, ELEVATION, AND LOCATION PRIOR TO START OF CONSTRUCTION.

4" WATER SERVICE AND METER LOCATION.

73LF 4" PVC SAN. S. @ 3.2%

SAN. S. CLEANOUT INV. = 902.75

TOP TANK= 904.66

200' HYDRANT COVERAGE

GREASE TRAP. REFER TO PLUMBING PLANS.

EXISTING FIRE HYDRANT

COORDINATE NEW UG TELEPHONE SERVICE WITH UTILITY COMPANY

ADJUST RIM OF EX. SAN. S. MH TO NEW GRADE. NEW RIM ELEV. = 901.0 (FIELD VERIFY LOCATION AND ELEV. PRIOR TO START OF CONSTRUCTION)

ADJUST RIM OF EX. SAN. S. MH TO NEW GRADE. NEW RIM ELEV. = 900.6 (FIELD VERIFY LOCATION AND ELEV. PRIOR TO START OF CONSTRUCTION)

PROPOSED DRY BOTTOM STORMWATER POND
100-YR HWL = 899.1
EMERGENCY OVERFLOW = 900.

Ex. Storm Sewer & Drainage Easement

Ex. Sanitary Sewer Easement

Ex. 5' Underground Electric Easement

Ex. Water Main Easement

Ex. Storm Sewer, Landscape Buffer & Temporary Easement for Construction

Ex. 35' Buffer Yard Setback

Ex.Sanitary Sewer Easement

Ex.Sanitary Sewer Easement

LIMITS OF PUBLIC IMPROVEMENTS

LIMITS OF PUBLIC IMPROVEMENTS

LIMITS OF PUBLIC IMPROVEMENTS

Buried Sewer Main Warning

Arrow Sign

Asphalt

Gravel

481.24'

182.18'

47.95'

50'

30'-0" PROPOSED ACCESS EASEMENT

60'-0" PROPOSED ACCESS EASEMENT

EDGEWATER DR

BRIDGEVIEW PLAT 1

NW CORNER OF LOT 1 FND ½" IR (BENT)

SW CORNER OF LOT 1 FND. ¾"DIA. ALUMINUM DISK SURVEY MARKER

NOTE:

1. ALL CONSTRUCTION SHALL CONFORM TO SUDAS
2. SEE PUBLIC IMPROVEMENTS PLAN SET FOR CONSTRUCTION DOCUMENTS OF WORK IN THE PUBLIC RIGHT-OF-WAY
3. CONNECTIONS TO THE PUBLIC WATER MAIN AND PUBLIC SANITARY SEWER MAIN SHALL BE MADE IN A MANNER APPROVED BY POLK CITY PUBLIC WORKS WHO SHALL BE PRESENT TO INSPECT SAID CONNECTION.
4. FIRE HYDRANT SHALL BE WATEROUS 5-1/4" PACER, LEFT OPEN, PAINTED YELLOW, WITH TWO 1-1/2" SIDE NOZZLES AND ONE 5" FRONT PUMPER NOZZLE.
5. KWIK STAR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE DES MOINES WRA INCLUDING APPROVAL OF SIZING FOR THE GREASE INTERCEPTOR IN CONJUNCTION WITH THE BUILDING PERMIT.

CALL BEFORE YOU DIG

811 Know what's below. Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

KEYNOTES:

① – LOWER WATERMAIN TO PROVIDE 18" MINIMUM CLEARANCE BETWEEN SEWER AND WATER AT CROSSING.

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE ½ SCALE- 1"=60'.

NORTH
SCALE: 1" = 30'

30 15 0 30 60

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LICENSED PROFESSIONAL ENGINEER
MIKE KETTLER
18845
I/OWA

UTILITY PLAN

CONVENIENCE STORE 1089

POLK CITY, IOWA

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DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET SP4

INSITES 19-018 PM S.Z.

GENERAL:

1. Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Snyder and Associates, Inc. dated 7/3/19. The Engineer is not responsible for inaccuracies related to the survey information.

2. Perform all construction work in accordance with State and Local requirements.

3. Comply with all applicable local, state, and federal safety regulations. Comply with the work safety practices specified by the Occupational Safety and Health Administration (OSHA). OSHA prohibits entry into "confined spaces," such as manholes and inlets (see 29 CFR Section 1910.146), without undertaking certain specific practices and procedures. Bench or slope sidewalls in order to provide safe working conditions and stability for the placement of engineered fill. Perform excavations in accordance with the requirements of O.S.H.A. 29 CFR, Part 1926, Subpart P, Excavations. The Contractor is responsible for naming the "Competent Individual" in accordance with CFR 1926.6. Sloping or benching for excavations greater than 20 feet deep must be approved by a registered professional engineer (www.osha.gov).

4. Safety is solely the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the Work.

5. The Engineer shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work. The Engineer's review shall not constitute approval of safety precautions or of any construction means, methods, techniques, sequences, or procedures.

6. Examine all local conditions at the site, and assume responsibility as to the grades, contours, and the character of the earth, existing conditions, and other items that may be encountered during excavation work above or below the existing grades. Review the drawings, specifications, and geotechnical report covering this work and become familiar with the anticipated site conditions.

7. Refer to the architectural plans for building and stoop dimensions, site layout and dimensions, pavement sections and details, striping, and other site features.

8. A licensed surveyor shall perform construction staking. The Contractor shall provide and be responsible for the staking. Verify all plan and detail dimensions prior to construction staking. Stake the limits of walkways and curbing prior to valvebox, maintenance hole, and catchbasin installation. Adjust valvebox and maintenance hole locations in order to avoid conflicts with curb and gutter. Adjust catchbasin locations in order to align properly with curb and gutter.

9. Provide temporary fences, barricades, coverings, and other protections in order to preserve existing items to remain, and to prevent injury or damage to person or property.

10. Provide all traffic control required in order to construct the proposed improvements. Traffic control design and associated government approvals are the responsibility of the Contractor. Comply with local guidelines, the latest version of the Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD), and the Iowa Department of Transportation Office of Design Design Manual. If the temporary traffic control zone affects the movement of pedestrians, provide adequate temporary pedestrian access and walkways. If the temporary traffic control zone affects an accessible and detectable pedestrian facility, maintain accessibility and detectability along the alternate pedestrian route in accordance with the provisions for pedestrian and worker safety contained in Part 6 of the MUTCD.

11. Connect to existing sanitary sewer MH's by coredrilling. Connect to existing storm sewer MH's by either sawcutting or coredrilling. Use saws or drills that provide water to the blade. Meet all City standards and specifications for the the connection. Reconstruct inverts after installation. Use water stop gaskets in order to provide watertight seals when penetrating a structure wall with a pipe. Take measurements before beginning construction to ensure that service connections do not cut into maintenance access structure joints or pipe barrel joints.

12. Completely remove existing concrete and masonry structures that are located within the proposed building and future building expansion areas. All other existing existing sewer and watermain pipes that are to be abandoned shall either be removed, or completely filled with sand or lean mix grout.

13. Testing and Inspections: Coordinate testing and inspection with the State Health Department and the City Public Works Department. No drainage or plumbing work may be covered prior to completing the required tests and inspections.

14. Coordinate building utility connection locations at 2 ft. out from the proposed building with the interior Plumbing Contractor prior to construction. Verify water and sewer service locations, sizes, and elevations with the Mechanical Engineer prior to construction. Coordinate construction and connections with the Mechanical Contractor.

15. The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data" by the FHA.

16. The locations of existing utilities shown on this plan are from record information. The Engineer does not guarantee that all existing utilities are shown or, if shown, exist in the locations indicated on the plan. It is the Contractor's responsibility to ascertain the final vertical and horizontal location of all existing utilities (including water and sewer lines and appurtenances). Notify the Engineer of any discrepancies.

17. The Contractor is solely responsible for all utility locates. Contact utility companies for locations of all public and private utilities within the work area prior to beginning construction. Contact Iowa One Call at 1-800-292-8989 for exact locations of existing utilities at least 72 hours (not including weeks and holidays) before beginning any construction. Obtain ticket number and meet with representatives of the various utilities at the site. Provide the Owner with the ticket number information. One Call is a free service that locates municipal and utility company lines, but does not locate private utility lines. Use an independent locator service or other means in order to obtain locations of private utility lines including, but not limited to, underground electric cables, telephone, TV, and lawn sprinkler lines.

18. Pothole to verify the positions of existing underground facilities at a sufficient number of locations in order to assure that no conflict with the proposed work exists and that sufficient clearance is available.

19. Where existing gas, electric, cable, or telephone utilities conflict with the Work, coordinate the abandonment, relocation, offset, or support of the existing utilities with the appropriate local utility companies. Coordinate new gas meter and gas line installation, electric meter and electric service installation, cable service, and telephone service installation with the local utility companies.

20. When working near existing telephone or electric poles, brace the poles for support. When working around existing underground utilities that become exposed, provide sufficient support in order to prevent excessive stress on the existing piping. The location and preservation of existing underground utilities is solely the responsibility of the Contractor.

21. Temporary support systems are the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the temporary support systems. Temporary support systems include, but are not limited to, shoring, sheeting, bracing, anchorages, excavation support walls, directional boring, auger jacking, soil stabilization, and other methods of protecting existing improvements.

22. Arrange for and secure suitable disposal areas off-site. Dispose of all excess soil, waste material, debris, and all materials not designated for salvage. Waste material and debris includes trees, stumps, pipe, concrete, asphaltic concrete, cans, or other waste material from the construction operations. Obtain the rights to any waste area for disposal of unsuitable or surplus material either shown or not shown on the plans. All work in disposing of such material shall be considered incidental to the work. All disposal must conform to applicable solid waste disposal permit regulations. Obtain all necessary permits at no cost to the Owner.

23. Store and protect existing site features that need to be removed and replaced in connection with the Work. Replace damaged or stolen site features at no additional cost to the Owner.

24. Straight line saw-cut existing bituminous or concrete surfacing at the perimeter of pavement removal areas. Use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system. Tack and match all connections to existing bituminous pavement.

25. Relocate overhead power, telephone, and cable lines as required. Seal and report any existing unused on-site wells and septic systems.

26. All materials required for this work shall be new material conforming to the requirements for class, kind, grade, size, quality, and other details specified herein or as shown on the Plans. Do not use recycled or salvaged aggregate, asphaltic pavement, crushed concrete, or scrap shingles. Unless otherwise indicated, the Contractor shall furnish all required materials and labor in order to perform the construction in accordance with the construction documents, specifications, and regulatory agencies.

27. Reconstruct driveways and patch street to match existing pavement section and grade. Sod right-of-way. Restore the public right-of-way at temporary construction entrance locations. Replace any concrete curb and gutter, bituminous pavement, sidewalk, or vegetation cover damaged by the construction activity. Restore damaged turf with sod within the public right-of-way. The work area shown is general and may need to be adjusted in the field.

28. Cut turf edges in order to allow for a uniform straight edge at locations where new sod meets existing turf. No jagged or uneven edges are allowed. Remove topsoil as required at joints between existing and new turf in order to allow the surface of the new sod to be flush with the existing.

29. Document existing conditions (photographs, video, field survey, etc.) in order to enable restoration to match existing conditions and in order to ensure that restored areas have positive drainage similar to existing conditions.

30. Provide positive drainage away from buildings at all times. Provide and maintain temporary drainage throughout construction until the permanent drainage system and structures are in place and operational. Install temporary ditches, piping, pumps, or other means as necessary in order to insure proper drainage at all times. Provide low points at building pads or roadways with positive outfalls. Do not block drainage from or direct excess drainage to adjacent property.

31. Protect all structures and landscaping not labeled for demolition from damage during construction. Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property. Provide building surveys and seismic monitoring in locations where demolition, excavation, underpinning, pile driving, compacting, or similar work is to be performed adjacent to or in the vicinity of existing structures. Return any on-site or off-site areas disturbed directly or indirectly due to construction to a condition equal to or better than the existing condition.

32. Protect sub grades from damage by surface water runoff.

33. Full design strength is not available in bituminous pavement areas until the final lift of asphalt is compacted into place. Protect pavement areas from overloading by delivery trucks, construction equipment, and other vehicles.

34. Where sawing or drilling concrete or masonry, use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system.

35. Adjust all public and private structures including curb stops, valve boxes, maintenance hole castings, catchbasin castings, cleanout covers, and similar items to finished grade. Comply with the requirements of each structure's owner. Structures being reset in paved areas must meet the owner's requirements for traffic loading.

36. 2% maximum slope in all directions in handicapped accessible parking areas. 2% maximum cross slope and 5% maximum longitudinal slope on all sidewalks.

37. Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.

38. Obtain and pay for all permits, tests, inspections, etc. required by agencies that have jurisdiction over the project including the NPDES permit from the State. The Contractor is responsible for all bonds, letters of credit, or cash sureties related to the work. Execute and inspect work in accordance with all local and state codes, rules, ordinances, or regulations pertaining to the particular type of work involved.

39. Measure pipe lengths from center-of-structure to center-of-structure, or to the end of aprons.

40. Obtain permits from the City for work in the public right-of-way.

41. Refer to the geotechnical report by the Soils Engineer for dewatering requirements.

42. Test boring data shown on the plans were accumulated for designing and estimating purposes. Their appearance on the plan does not constitute a guarantee that conditions other than those indicated will not be encountered.

43. The minimum depth of cover for building and canopy roof drain leaders without insulation is 5 feet. Insulate roof drain leaders at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 2 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam HI-40 plastic foam insulation.

44. Insulate utility lines at locations indicated on the plans. Provide a minimum insulation thickness of 4 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam Highload 40 Polystyrene Insulation. Individual insulation board dimensions typically measure 4' wide by 8' long by 2" thk.

45. Construct sanitary sewer, watermain, and storm sewer utilities in accordance with State and City requirements.

46. These plans, prepared by Sunde Engineering, PLLC., do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents, or representatives in the performance of the work. The seal of Sunde Engineering's registered professional engineer hereon does not extend to any such safety systems that may nor or hereafter be incorporated into these plans. The construction contractor shall prepare or obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations.

47. Existing utilities shown on this plan are located as accurately as possible. However, the Engineer does not guarantee that all utilities are shown, or if shown are in the exact locations indicated on the plan. It is the Contractor's responsibility to ascertain the final vertical and horizontal location of all existing utilities (including municipal water and sewer lines and appurtenances) and to notify the owners of the utilities a minimum of 48 working hours before starting construction in a given area, requesting location in the field, as exact as possible, of all utilities which may be affected by the construction.

48. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install Rhino TriView Flex Test Stations, or approved equal, at each surface location.

49. See architectural for building waterproofing and foundation drainage.

50. Place #3 rebar at 3' on center in all 6" thick concrete pavement locations. Place #4 rebar at 4' on center in all 8" thick concrete pavement locations.

51. Place #4 x 2'-0" tie bar at 3' on center in all concrete curb and gutter.

52. Record as-built information as construction progresses or at appropriate construction intervals. Secure and deliver to the Owner as-built information showing locations, top, and invert elevations of maintenance holes, catchbasins, cleanouts, inlet and outlet pipes, valves, hydrants, and related structures. Location ties shall be to permanent landmarks or buildings.

53. Test reports required for project close-out include, but are not limited to: density test reports, bacteriological tests on the water system, pressure tests on the water system, leak tests on the sewer system, and deflection tests on all HDPE pipe.

WATER DISTRIBUTION SYSTEM:

1. Bring all site utilities to 2' outside of the building line with the exception of the water service. Extend water service into the building and up to the flange for the water meter.

2. Separation of Water and Sewer: Construct sewer and water services in accordance with Uniform Plumbing Code (UPC) parts 720.0 and 721.0. Provide a minimum horizontal separation of 10 feet between all water and sewer lines, including manholes, catch basins, storm sewer, sanitary sewer, draintile, or other potential sources for contamination. Measure the separation distance from the outer edge of the pipe to the outer edge of the contamination source (outer edge of structures, piping, etc.) At water and sewer crossings, the bottom of the water pipe located within ten feet of the point of crossing must be at least 12-inches above the top of the sewer. When this is not feasible, the sewer pipe material must be approved for use inside of or within a building in accordance with the requirements of UPC part 701.0. No joints or connections are allowed on the water line within 10-feet of the crossing.

3. Watermain Depth: Maintain 6-feet of cover over the top of the water lines to the finished grade. Verify elevation of proposed and existing water lines at all utility crossings. Install the water lines at greater depths in order to clear storm sewers, sanitary sewers, or other utilities as required. Include costs to lower water lines in the base bid.

4. Disinfection: Disinfect all completed watermains in accordance with AWWA Standard C651. If the tablet or continuous feed methods are used, disinfect using with water that contains at least 50 ppm of available chlorine in accordance with UPC part 609.9. Do not use the tablet method on solvent-welded plastic or on screwed-joint steel pipe because of the danger of fire or explosion from the reaction of the joint compounds with the calcium hypochlorite. Retain the treated water in the pipeline for at least 24 hours. Measure the chlorine residual at the end of the 24 hour period. The free chlorine residual must be at least 10 mg/l measured at any point in the line. Measurement of the chlorine concentration at regular intervals shall be in accordance with Standard Methods, AWWA M-12, or using appropriate chlorine test kits.

5. Testing: Pressure test and perform bacteriological tests on all water lines under the supervision of the City Public Works Department. Notify the City at least 24 working hours prior to any testing. Pressure test the water system in accordance with the UPC part 609.4. Pressurize the waterline to a water pressure of 1034-kPa (150-psi) gauge pressure (measured at the point of lowest elevation) by means of a pump connected to the pipe in a satisfactory manner. Do not add water to the watermain in order to maintain the required pressure during the water main pressure testing. The test section of pipe shall withstand the test without leaking for a period of not less than 15 minutes.

6. All water supply piping connected to municipal water main must have a 150 psi minimum pressure rating.

7. Copper water services must meet ASTM B88 and be type K soft temper or type L soft temper (see UPC part 604.0.) with compression fit connections.

8. Ductile iron pipe (DIP) water services must comply with AWWA C151/ANSI A21.51 or AWWA C115/ANSI A21.15 (See UPC part 604.0.). Use Thickness Class 52 DIP with push-on joints. Use petroleum resistant gaskets, Nitrile (NBR), or approved equal. Use only ANSI 304 stainless steel bolts and nuts on all watermain fittings, valves, and hydrants. The exterior of ductile iron pipe shall be coated with a layer of arc-sprayed zinc per ISO 8179. The interior cement mortar lining shall be applied without asphalt seal coating. Polyethylene encasement is required on all ductile iron pipe. Use V-Bio Enhanced Polyethylene Encasement or approved equal.

9. Use mechanical joint restraint devices for joint restraint on all watermain bends having a vertical or horizontal deflection of 22-1/2 degrees or greater, all valves, stubs, extensions, tees, crosses, plugs, all hydrant valves, and all hydrants in accordance with City requirements. Use "Series 1100 Megalug" manufactured by EBAA Iron Inc., Eastland, Texas, or approved equal, installed in accordance with manufacturer's recommendations for restraint on Ductile Iron Pipe. Restraining devices are to have epoxy coating or approved equivalent. Restraining device hardware shall be ANSI 304 stainless steel, or approved equivalent.

10. Watermain Valves: At all valve locations which require a 12" or smaller valve, install gate valves which are of the compression resilient seated (CRS) type. Use American Flow Control's Series 2500 Ductile Iron Resilient Wedge Gate Valve, or approved equal. Gate valves shall conform to AWWA C509. Install cast iron valve boxes conforming to ASTM A48 at each valve location. Valve boxes shall be the three-piece type with 5-1/4" shafts. Use Tyler 6860-G with No. 6 base, or equivalent. Valve boxes shall have at least 6" of adjustment above and below finished grade. Drop covers on valve boxes shall be round and bear the word "WATER" cast on the top. Use Tyler 6860-G "Stayput" covers with extended skirt, or equivalent. All valve hardware shall be ANSI 304 stainless steel, or approved equivalent.

11. Curb Valves and Boxes: Use Mueller H-10334 extension type curb box with Minneapolis pattern base, or approved equal, at all 2" through 2" curb stop locations. Stationary rod is required on all curb stops. Use Mueller Company Mark II Oriseal No. H-15154N curb stop, or approved equal, and stainless steel stem rod.

12. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install blue Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.

13. Threaded hose connections including hose bibbs and hydrants must include a back flow prevention device in accordance with UPC part 603.0.

14. All newly installed or replacement pipes, pipe fittings, plumbing fittings and fixtures, including backflow preventers, that are installed on potable water systems or systems that are designed to distribute water for potable use, are required to meet the Reduction of Lead in Drinking Water Act, which establishes a maximum lead content of 0.25 percent by weighted average of the wetted surfaces. See UPC part 604.11.

15. Fire hydrant shall be Waterous 5-1/4" Pacer, left open, painted yellow, with two 1-1/2" side nozzles and one 5" front pumper nozzle. Fire hydrants shall be in accordance with the requirements of the local municipality. Do not connect hydrant drains to sanitary sewers or storm sewers. Do not locate hydrants within 10 feet of sanitary sewers or storm sewers. When placing fire hydrants in locations where the groundwater table is less than 8 feet below the ground surface, plug the hydrant drain holes and equip the hydrants with a tag stating the need for pumping after use. Maintain a 3-foot clear space around the circumference of all fire hydrants. All hydrant hardware shall be ANSI 304 stainless steel, or approved equivalent.

16. FINAL HYDRANT FLUSHING. Perform all final flushing in accordance with SUDAS Standard Specifications, Division 5, Section 5030, Part 3.04.
   A. Flush pipe using potable water until chlorine residual equals that of the existing potable water system.
   B. Dispose of chlorinated water to prevent damage to the environment. Dechlorinate highly chlorinated water from testing before releasing into the ground or sewers. Obtain Jurisdiction approval prior to flushing activities.
      B.1. Check with the local sewer department for the conditions of disposal to the sanitary sewer.
      B.2. Chlorine residual of water being disposed will be neutralized by treating with one of the chemicals listed in Table 5030.02 in accordance with SUDAS, Division 5, Section 5030, Part 3.04.

SANITARY SEWER:

1. Unless otherwise indicated, use reinforced, precast, concrete maintenance holes conforming to ASTM C478, furnished with precast bases. Sanitary sewer maintenance holes shall be supplied with pre-formed inverts and flexible neoprene sleeve connections for all lateral lines 375 mm (15 inches) in diameter or less, unless otherwise indicated. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches. See SUDAS Standard SW-301 for circular sanitary sewer MHs.

2. All joints and connections in the sewer system shall be gastight or watertight. Joints between concrete structures and piping shall be made with mechanical joints (resilient rubber seal/boot and clamp) in conformance with ASTM C923, ASTM C654, or as otherwise permitted by the local authority. Cement mortar joints are not allowed unless otherwise permitted by the administrative authority.

3. The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.

4. Pipe: Use solid-core, Schedule 40, ASTM D2665 Polyvinyl Chloride (PVC) Plastic Pipe for all designated PVC sanitary sewer services outside of the building. Joints for all sanitary sewer shall have push-on joints with elastomeric gaskets. Use of solvent cement joints is allowed for building services. Solvent cement joints in PVC pipe must include use of a primer which is of contrasting color to the pipe and cement in accordance with Uniform Plumbing Code (UPC) part 605.13.2. Pipe with solvent cement joints shall be joined with PVC cement conforming to ASTM D2564. Lay all PVC pipe on a continuous granular bed. Installation must comply with ASTM D2321.

5. Cleanouts: Install cleanouts on all sanitary sewer services in accordance with UPC part 719.0 and 1101.12. The distance between cleanouts in horizontal piping shall not exceed 100 feet for pipes 4-inch and over in size. Cleanouts shall be of the same nominal size as the pipes they serve. Include frost sleeves and concrete frame and pipe support. Install a meter box frame and solid lid (Neenah R-1914-A, or approved equal) over all cleanouts.

6. Testing: Pressure test all sanitary sewer lines in accordance with the UPC parts 712.0 and 723.0. Test all flexible sanitary sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.

7. Install flexible watertight frame/chimney seals on all sanitary sewer maintenance holes in order to seal the outside of the chimney from the cast iron frame down to the cone. The seal shall be a continuous seamless band made of high quality EPDM (Ethylene Propylene Diene Monomer) rubber with a minimum thickness of 65 mils. Use Internal/External Adapter Seal as manufactured by Adaptor, Inc. (www.adaptorinc.com/wp-content/uploads/2019/04/ADAP_IEManholeSeal.pdf), Infi-Shield Uni-band one piece molded sealing system as manufactured bySealing Systems, Inc. (www.ssisealingsystems.com), or approved equal.

8. Use SUDAS Standard SW-601 casting with self-sealing, solid, type A lid, or approved equal, on all sanitary sewer maintenance holes. Covers shall bear the "Sanitary Sewer" label.

9. Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TriView Flex Test Stations, or approved equal, with black caps at each surface location.

10. The minimum depth of cover for sanitary sewer without insulation is 5 feet. Insulate sanitary sewer services at locations where the depth of cover is less than 5 feet. Provide a minimum insulation thickness of 4 inches. The insulation must be at least 4 feet wide and centered on the pipe. Install the insulation boards 6 inches above the tops of the pipes on mechanically compacted and leveled pipe bedding material. Use high density, closed cell, rigid board material equivalent to DOW Styrofoam Highload 40 Polystyrene Insulation. Individual insulation board dimensions typically measure 4' wide by 8' long by 2" thk.

11. Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.

12. All saddle tee or wye fittings must provide an integrally molded pipe stop in the branch for positive protection against service pipe insertion beyond the inside of the sewer main pipe wall.

13. Televise all existing lines prior to connection.

ALL CONSTRUCTION SHALL CONFORM TO SUDAS

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KWIK STAR

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UTILITY NOTES

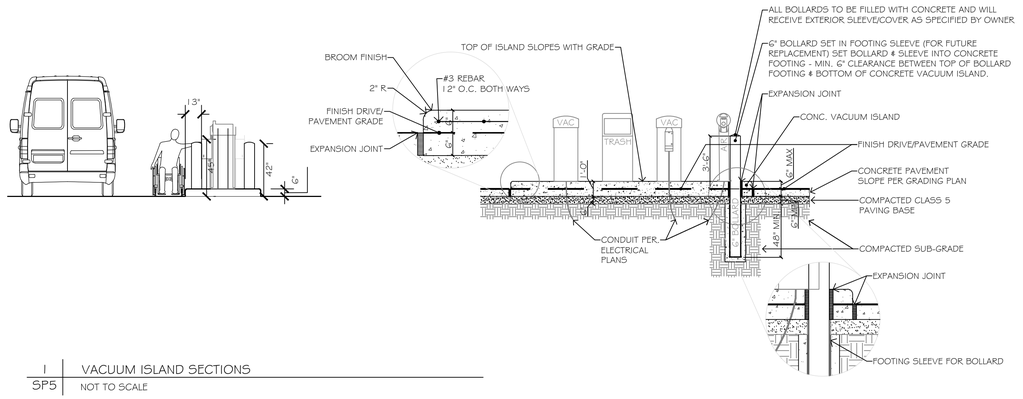
CONVENIENCE STORE 1089

POLK CITY, IOWA

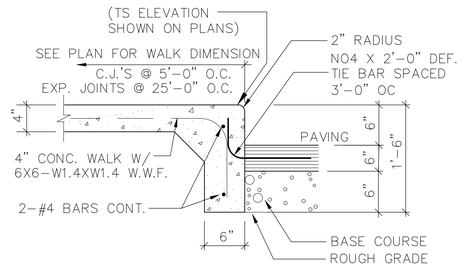
NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	18MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET **SP4.1**

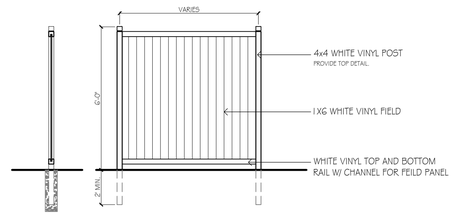
INSITES 19-018 PM S.Z.



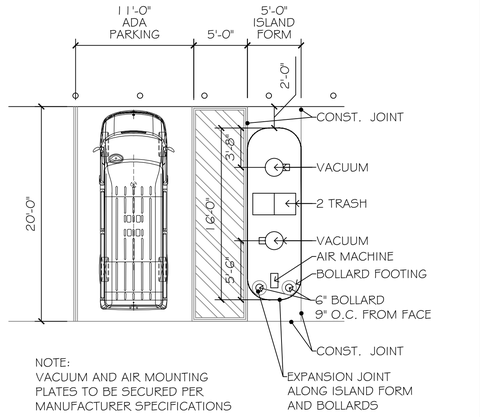
1 SP5 | VACUUM ISLAND SECTIONS
NOT TO SCALE



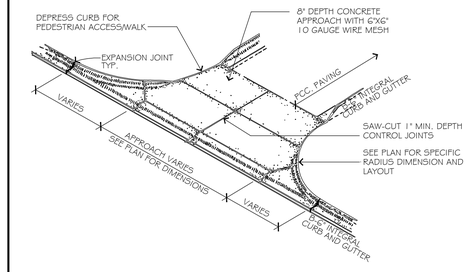
7 SP5 | SIDEWALK/ CURB DETAIL
NOT TO SCALE



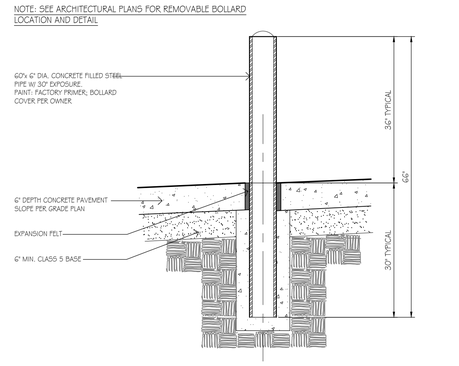
10 SP5 | 6' HT. SOLID VINYL PANEL SCREEN FENCE
SCALE - 1/4"= 1'-0"



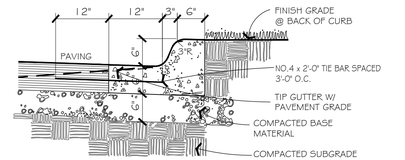
2 SP5 | VACUUM ISLAND PLAN
NOT TO SCALE



5 SP5 | CONCRETE APPROACH DETAIL
NOT TO SCALE

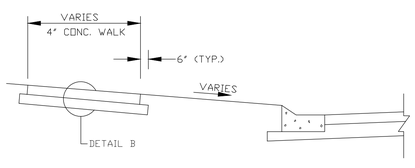


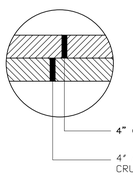
8 SP5 | 66" x 6" DIAMETER PIPE BOLLARD
SCALE - 3/8" = 1'-0"



BG-12 CURB AND GUTTER

11 SP5 | CONCRETE CURB DETAIL
SCALE - 3/4" = 1'-0"



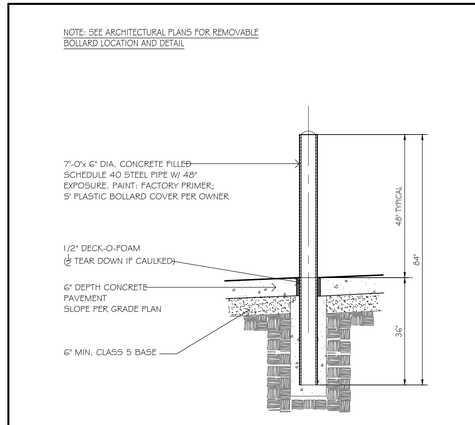


DETAIL B

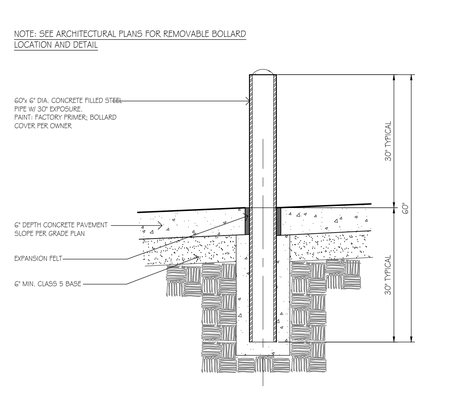
NOTES:

1. 8" THICK CONCRETE SIDEWALK AT ALL DRIVEWAYS
2. PLACE PEDESTRIAN CURB RAMPS AT ALL INTERSECTIONS.
3. PROVIDE EXPANSION JOINT MATERIAL AT MAX. 60 FOOT SPACING.
4. PROVIDE EXPANSION JOINT MATERIAL ALONG BOTH EDGES OF WALK, WHERE WALK IS CONTAINED BETWEEN FIXED OBJECTS.

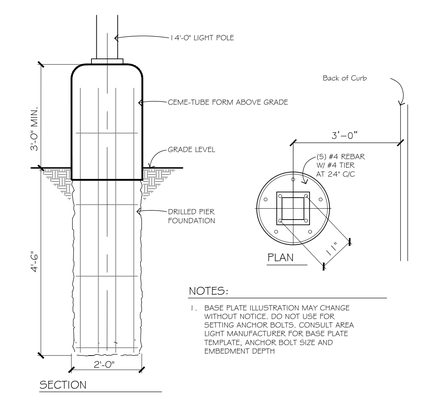
3 SP5 | CONCRETE WALK/ PAD DETAIL
NOT TO SCALE



6 SP5 | 84" X 6" DIAMETER PIPE BOLLARD
SCALE - 1/2"= 1'-0"



9 SP5 | 60"x 6" DIAMETER PIPE BOLLARD
SCALE - 3/8" = 1'-0"



NOTES:

1. BASE PLATE ILLUSTRATION MAY CHANGE WITHOUT NOTICE. DO NOT USE FOR SETTING ANCHOR BOLTS. CONSULT AREA LIGHT MANUFACTURER FOR BASE PLATE TEMPLATE, ANCHOR BOLT SIZE AND EMBEDMENT DEPTH

12 SP5 | ROUND AREALIGHT FOUNDATION
SCALE - 1/2"= 1'-0"

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Plymouth Minnesota 55447
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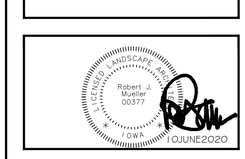
fax 763.383.8440



SITE PLAN DETAILS

CONVENIENCE STORE 1089

POLK CITY, IOWA

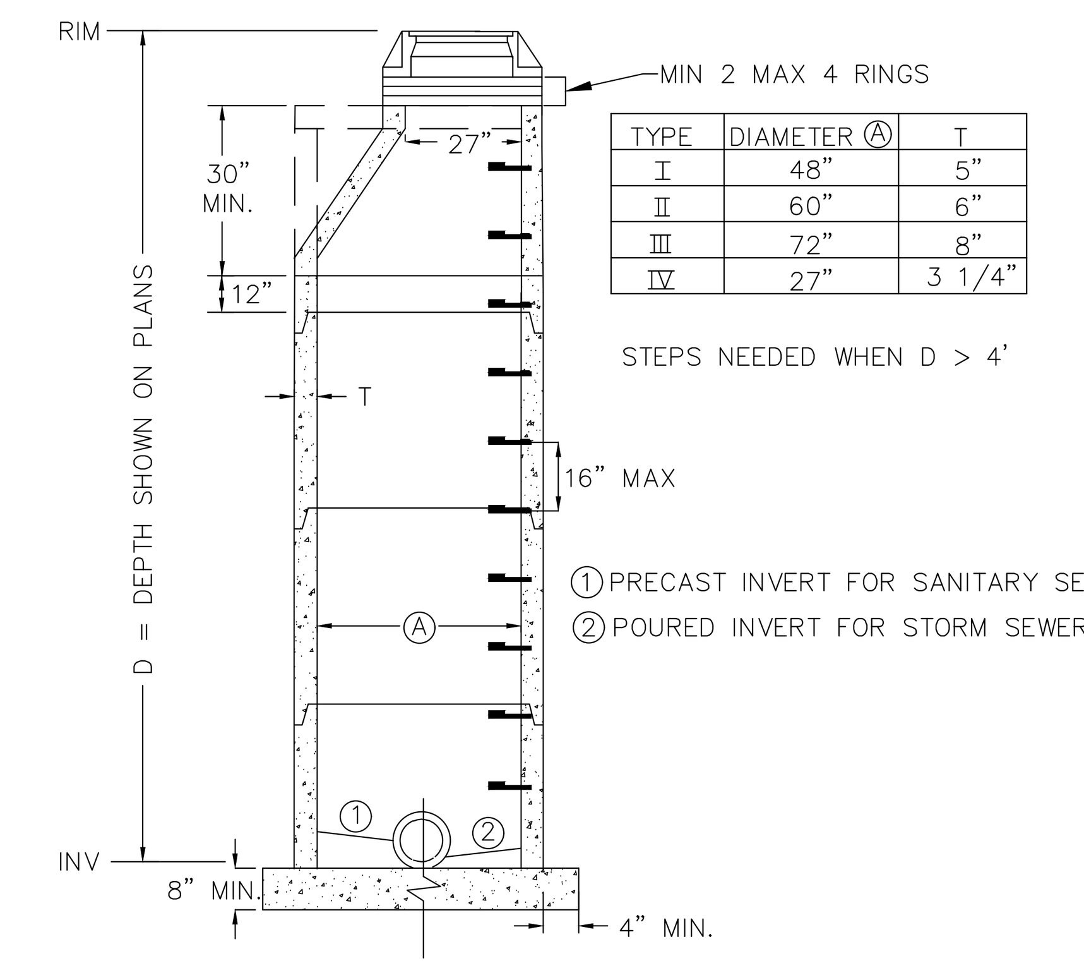
NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	19MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	03JUN20 COMMENTS

DRAWN BY	
SCALE	GRAPHIC
PROJ. NO.	191089
DATE	26JULY2019
SHEET	**SP5**

INSITES 19-018 PM S.Z.

1
SP6

5
SP6

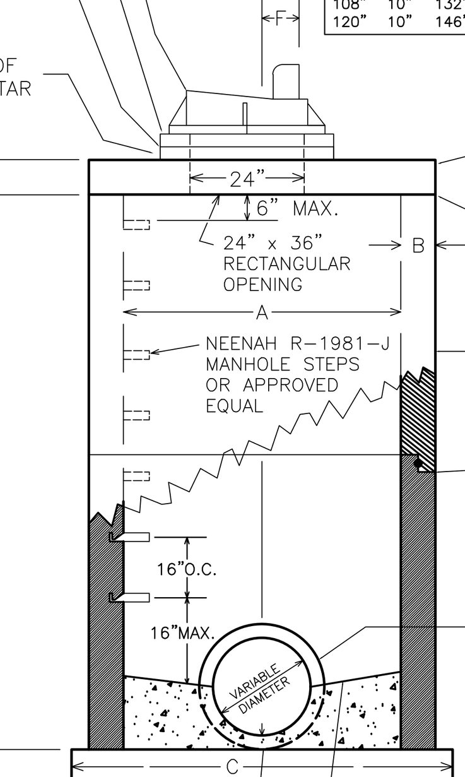


TYPE	DIAMETER (A)	T
I	48"	5"
II	60"	6"
III	72"	8"
IV	27"	3 1/4"

STEPS NEEDED WHEN D > 4'

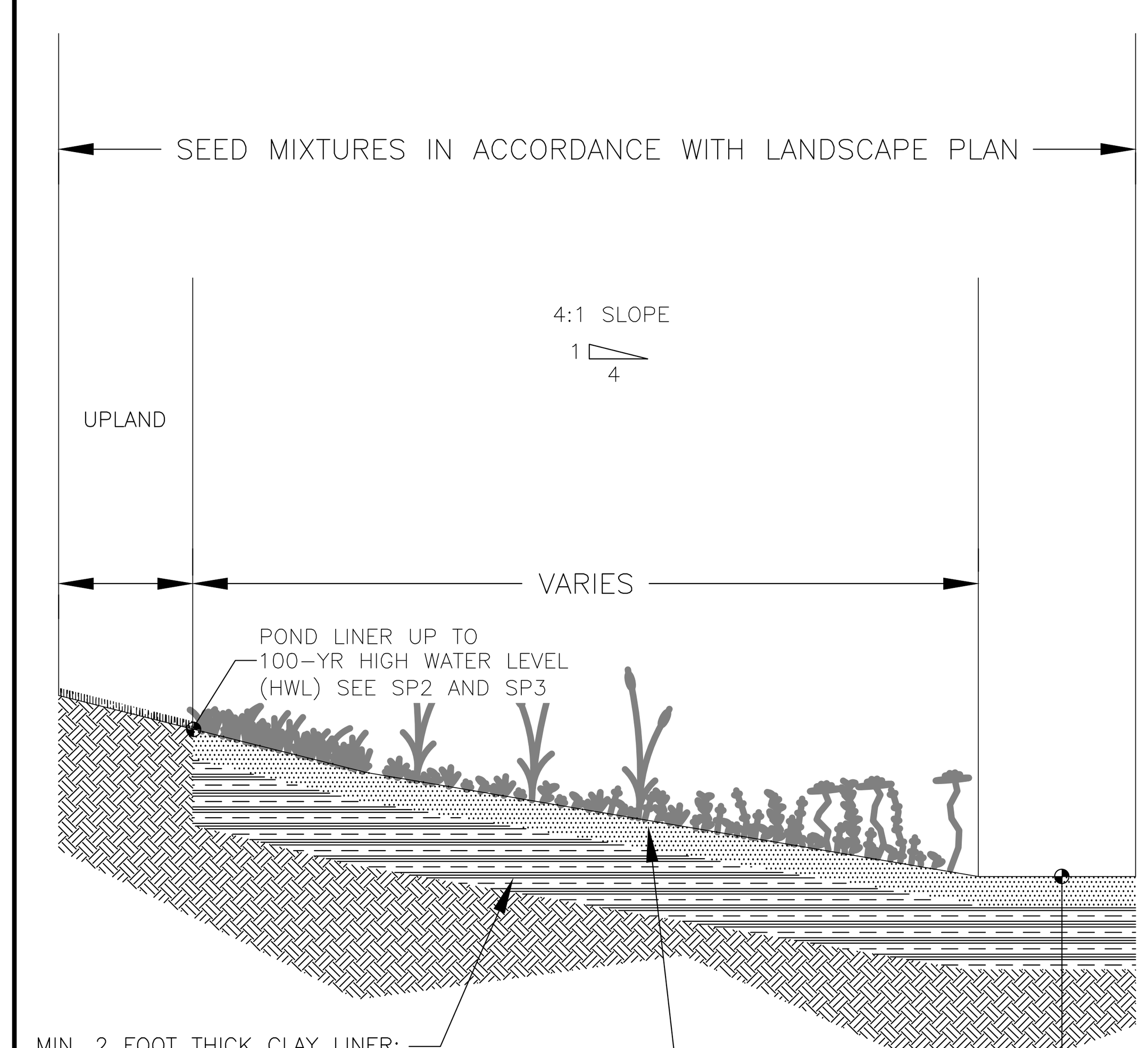
(1) PRECAST INVERT FOR SANITARY SEWERS.
(2) POURED INVERT FOR STORM SEWERS.

8
SP6
PRECAST REINFORCE CONC. MANHOLE
NOT TO SCALE



"A"	"B"	"C"	"D"	"E"	"F"	
48"	5"	64"	6"	6"	9"	(C.L. IN FRONT OF B.C.)
54"	5.5"	72"	8"	8"	6"	(C.L. IN FRONT OF B.C.)
60"	6"	78"	8"	8"	3"	(C.L. IN FRONT OF B.C.)
66"	6.5"	85"	8"	8"	0"	(C.L. AT B.C.)
72"	7"	92"	8"	8"	3"	(C.L. BEHIND B.C.)
78"	7.5"	100"	8"	8"	6"	(C.L. BEHIND B.C.)
84"	8"	106"	8"	8"	9"	(C.L. BEHIND B.C.)
90"	8.5"	114"	8"	8"	12"	(C.L. BEHIND B.C.)
96"	9"	120"	8"	8"	15"	(C.L. BEHIND B.C.)
102"	9.5"	127"	12"	8"	18"	(C.L. BEHIND B.C.)
108"	10"	132"	12"	12"	21"	(C.L. BEHIND B.C.)
120"	10"	146"	12"	12"	24"	(C.L. BEHIND B.C.)

6
SP6
STANDARD STORM SEWER CATCHBASIN
NOT TO SCALE



MIN. 2 FOOT THICK CLAY LINER:

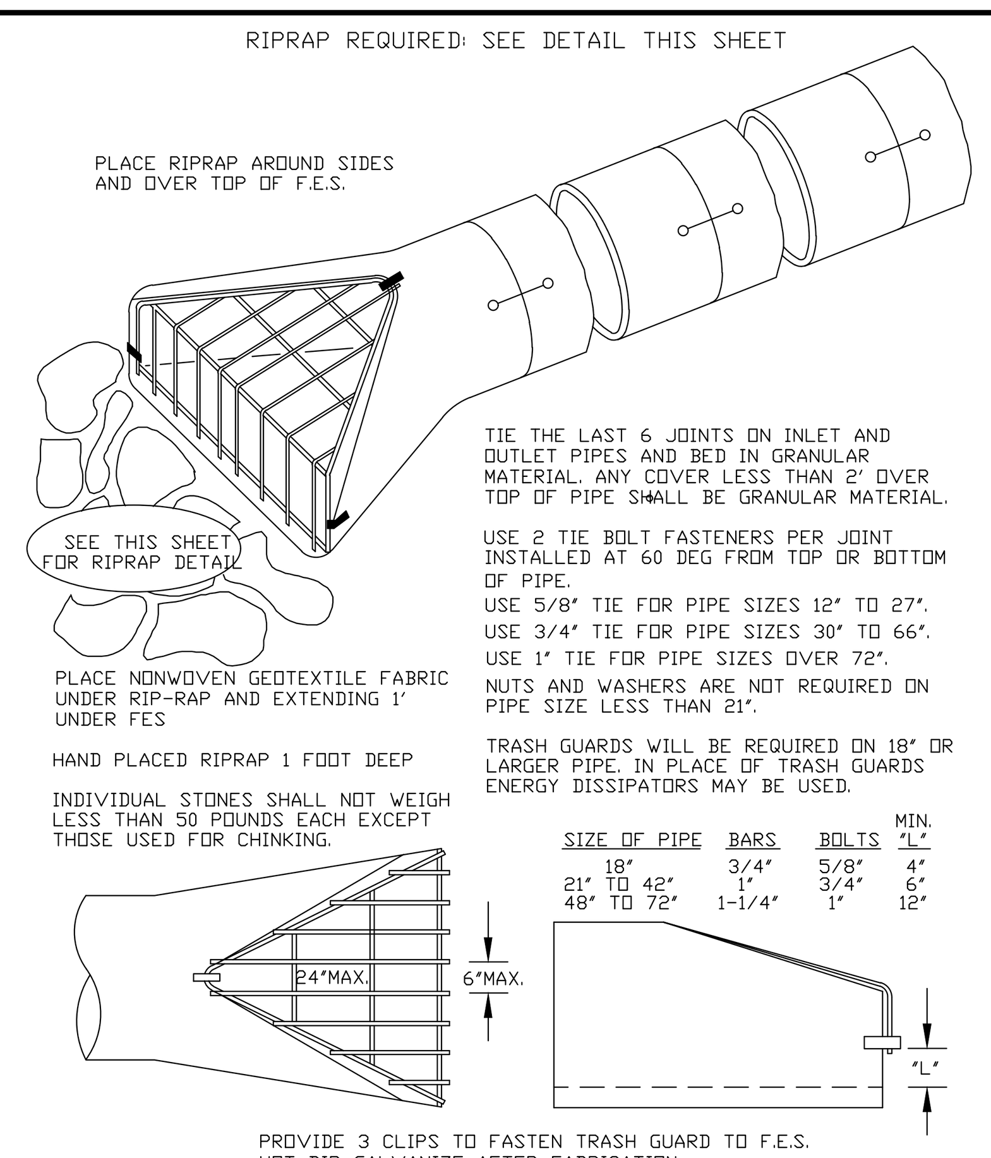
CLAY FOR POND LINER SHALL BE INORGANIC COHESIVE SOIL WITH A UNIFIED SOIL CLASSIFICATION SYMBOL OF CL OR CH MEETING THE FOLLOWING CRITERIA:

- LIQUID LIMIT (LL): LL > 25 WITH NONE LESS THAN 20.
- PLASTICITY INDEX (PI): PI > 12 WITH NONE LESS THAN 10.
- PERCENT FINER THAN #200 SIEVE: > 50% (WET SIEVE).
- PERCENT FINER THAN 1 INCH: > 95%.
- MAXIMUM PARTICLE SIZE: 2 INCH (DRY SIEVE).
- LINER THICKNESS: 2.0 FEET MIN.
- COMPACTION REQUIREMENT: 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY AND 90% FOR MODIFIED PROCTOR.
- MAXIMUM HYDRAULIC CONDUCTIVITY OF COMPACTED SAMPLE AT 95% OF MAXIMUM DENSITY (ASTM D-698): 1x10E-7 CM/SEC.
- CLAY INSTALLED WET OF OPTIMUM IF USING STANDARD PROCTOR, AND 2% WET OF OPTIMUM IF USING MODIFIED PROCTOR.
- SMOOTH DRUM COMPACTION EQUIPMENT IS NOT ALLOWED FOR CLAY COMPACTION.
- CLAY SHALL BE PLACED IN LIFTS OF NO GREATER THAN 6" PRIOR TO COMPACTION.
- CLAY SHALL BE DISKED OR OTHERWISE MECHANICALLY PROCESSED BEFORE COMPACTION TO BREAK UP CLODS. MAXIMUM CLOD SIZE IS 4".

SUBCUT 4 INCHES BELOW THE PROPOSED FINISHED GRADE. BACKFILL WITH HYDRIC/ORGANIC SOIL TO FINISHED GRADE. PREPARE AND SEED THE HYDRIC SOIL MATERIAL AS SOON AS PRACTICAL IN ORDER TO MINIMIZE THE NATURAL GERMINATION OF UNDESIRABLE REED CANARY GRASSES.

9
SP6
POND CROSS-SECTION
NOT TO SCALE

RIPRAP REQUIRED: SEE DETAIL THIS SHEET



TIE THE LAST 6 JOINTS ON INLET AND OUTLET PIPES AND BED IN GRANULAR MATERIAL. ANY COVER LESS THAN 2' OVER TOP OF PIPE SHALL BE GRANULAR MATERIAL.

USE 2 TIE BOLT FASTENERS PER JOINT INSTALLED AT 60 DEG FROM TOP OR BOTTOM OF PIPE.
USE 5/8" TIE FOR PIPE SIZES 12" TO 27".
USE 3/4" TIE FOR PIPE SIZES 30" TO 66".
USE 1" TIE FOR PIPE SIZES OVER 72".
NUTS AND WASHERS ARE NOT REQUIRED ON PIPE SIZE LESS THAN 21".

TRASH GUARDS WILL BE REQUIRED ON 18" OR LARGER PIPE. IN PLACE OF TRASH GUARDS ENERGY DISSIPATORS MAY BE USED.

PLACE NONWOVEN GEOTEXTILE FABRIC UNDER RIP-RAP AND EXTENDING 1' UNDER FES

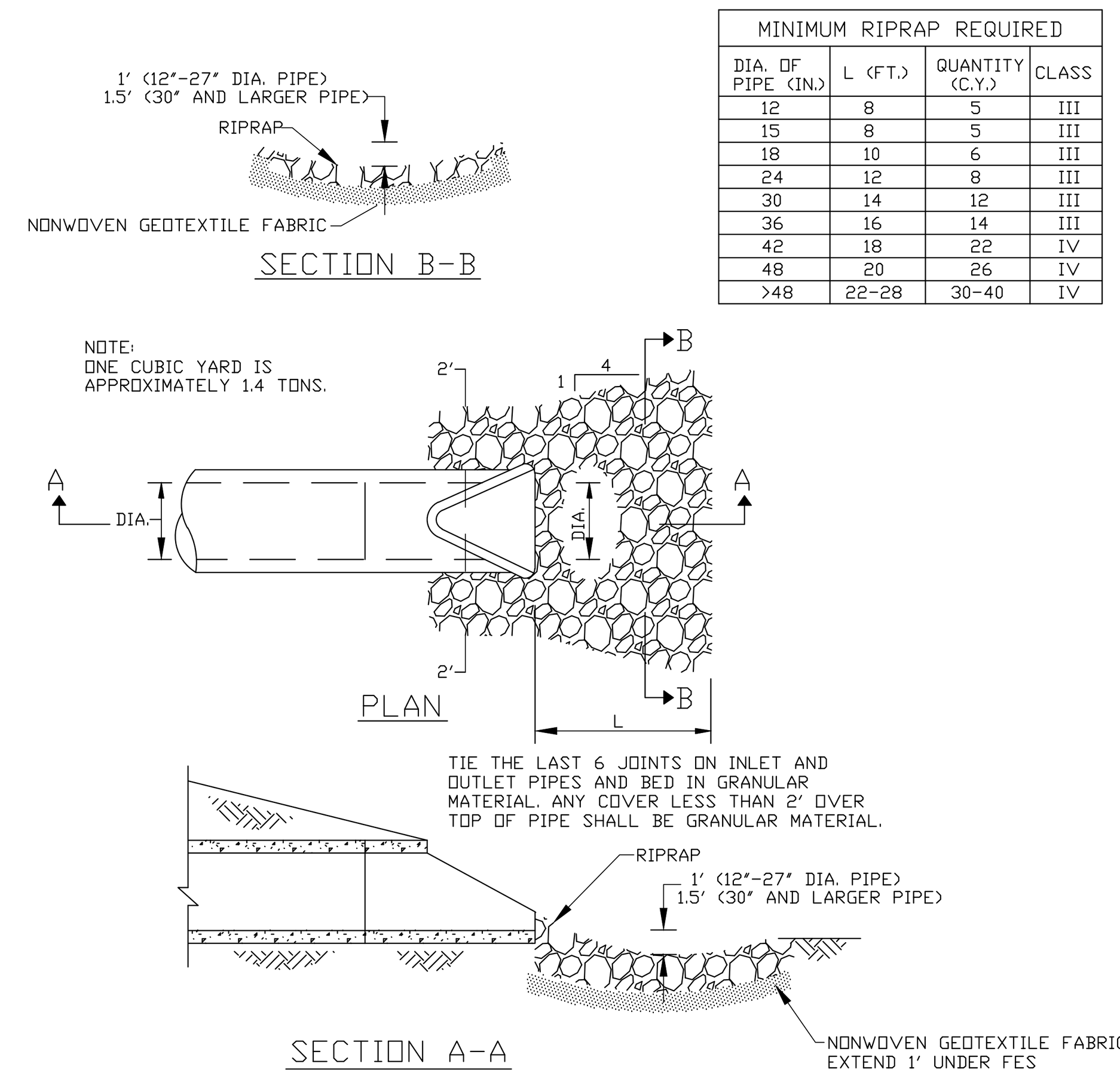
HAND PLACED RIPRAP 1 FOOT DEEP

INDIVIDUAL STONES SHALL NOT WEIGH LESS THAN 50 POUNDS EACH EXCEPT THOSE USED FOR CHINKING.

SIZE OF PIPE	BARS	BOLTS	MIN. "L"
18"	3/4"	5/8"	4"
21" TO 42"	1"	3/4"	6"
48" TO 72"	1-1/4"	1"	12"

PROVIDE 3 CLIPS TO FASTEN TRASH GUARD TO F.E.S. HOT DIP GALVANIZE AFTER FABRICATION.

2
SP6
FLARED END SECTION WITH TRASH GUARD
NOT TO SCALE



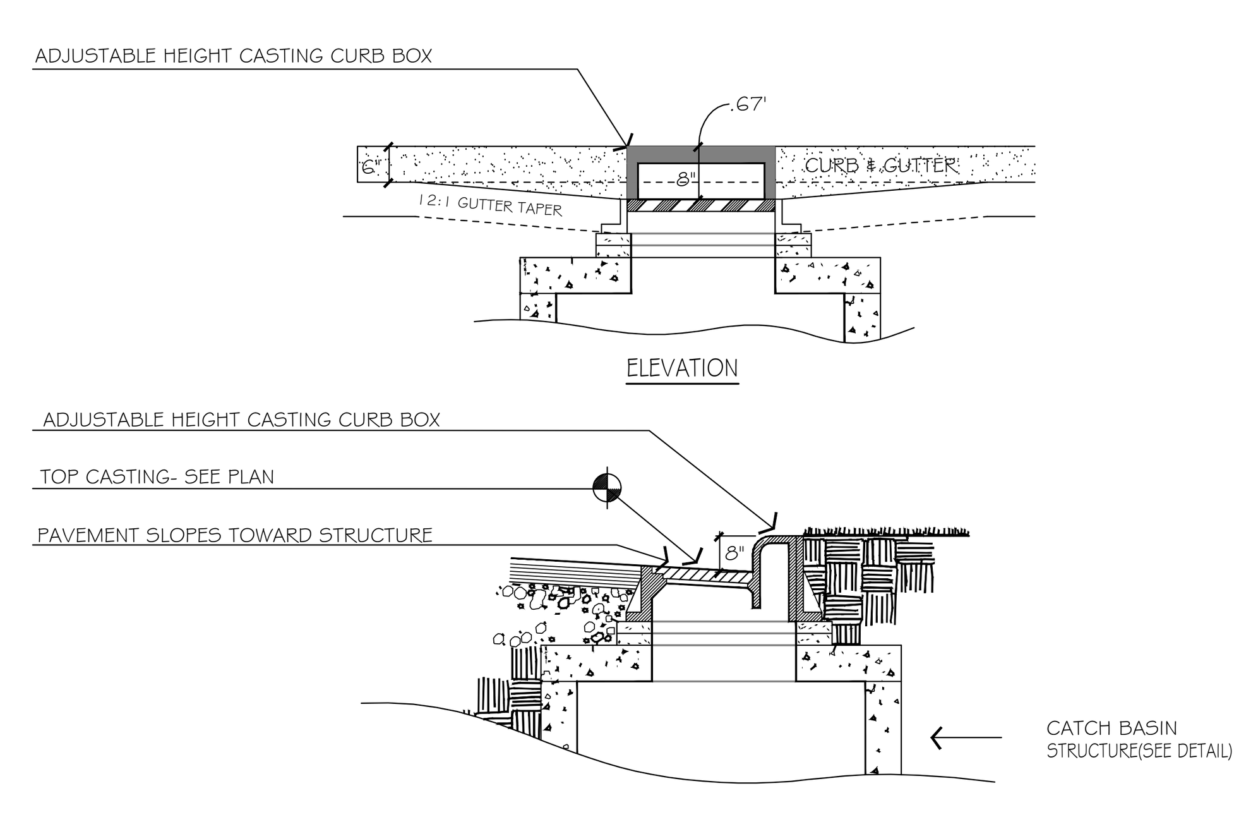
MINIMUM RIPRAP REQUIRED			
DIA. OF PIPE (IN.)	L (FT.)	QUANTITY (C.Y.)	CLASS
12	8	5	III
15	8	5	III
18	10	6	III
24	12	8	III
30	14	12	III
36	16	14	III
42	18	22	IV
48	20	26	IV
>48	22-28	30-40	IV

NOTE:
ONE CUBIC YARD IS APPROXIMATELY 1.4 TONS.

TIE THE LAST 6 JOINTS ON INLET AND OUTLET PIPES AND BED IN GRANULAR MATERIAL. ANY COVER LESS THAN 2' OVER TOP OF PIPE SHALL BE GRANULAR MATERIAL.

3
SP6
RIP RAP DETAIL FOR FLARED END SECTIONS
NOT TO SCALE

NOTE: THIS CURB CONSTRUCTION DETAIL IS TO BE USED AT LOW POINTS WHEN INDICATED ON PLAN. SEE GRADE PLAN FOR SPECIFIC CURB ELEVATIONS THAT REFLECT 8" DIFFERENCE FROM TOP OF CURB TO CASTING (SEE ACTUAL CB DETAILS FOR STRUCTURE INFO.)



7
SP6
CURBLINE DETAIL AT CATCHBASIN CURB/PAVEMENT LOW POINTS (SPECIFIC LOCATIONS)
NOT TO SCALE

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Plymouth Minnesota 55447
763.383.8400
fax 763.383.8440

LICENSED LANDSCAPE ARCHITECT Robert J. Mueller 00377 IOWA
10JUNE2020

SITE PLAN DETAILS

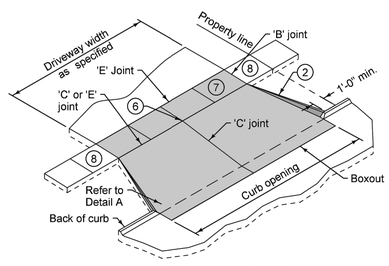
CONVENIENCE STORE 1089

POLK CITY, IOWA

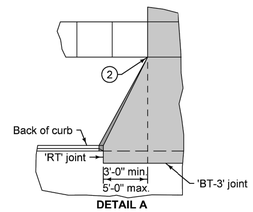
NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	18MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET SP6

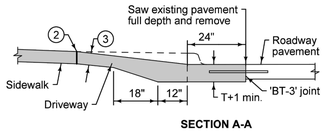
INSITES 19-018 PM S.Z.



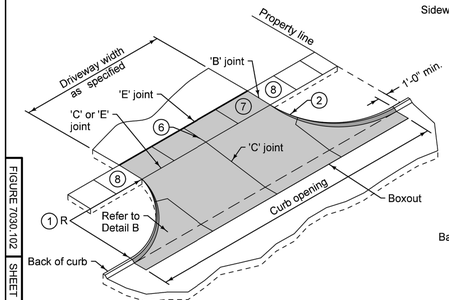
TYPE B WITH FLARES



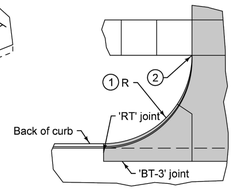
DETAIL A



SECTION A-A



TYPE B WITH RADII



DETAIL B

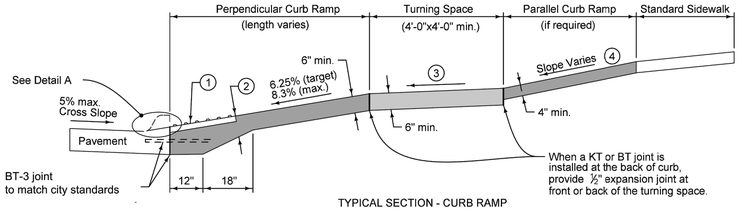
1. Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
2. Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb cross sidewalk.
3. Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
4. Sidewalk thickness through driveway to match thickness of driveway.
5. If longitudinal joint is located 48 inches or less from the back of curb, extend boxout to joint line. Full depth saw cut is still required.
6. For alleys, invert the pavement crown 2% toward the center of the alley.
7. Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk thorugh the driveway 5 feet wide to serve as a passing space.
8. If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If the elevation change requires a curb ramp, comply with Figure 7030.205; verify need for detectable warning panel with Engineer.

SUDAS	REVISION	
	2	10-20-15
7030.102	SHEET 1 of 1	

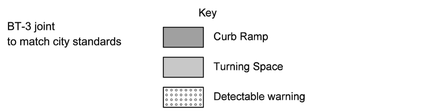
SUDAS Standard Specifications

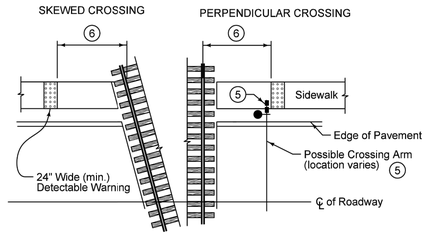
CONCRETE DRIVEWAY, TYPE B

FIGURE 7030.102 SHEET 1 OF 1

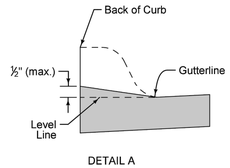


TYPICAL SECTION - CURB RAMP





DETECTABLE WARNING LOCATION AT RAILROAD CROSSING



DETAIL A

1. Provide a minimum 2 foot width of detectable warning surfaces in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curbs or flares.
2. Provide a minimum of 6 inches of concrete below the detectable warning panel.
3. Minimum 4 feet by 4 feet. Target cross slope of 1.5% with a maximum cross slope of 2.0%.
4. If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk.

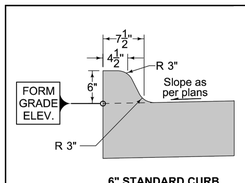
   The length of the parallel ramp is not required to exceed 15 feet, regardless of the resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
5. If crossing gate conflicts with location of detectable warning or if pedestrian crossing gate is provided, place detectable warning panel in advance of the crossing gate.
6. Locate front edge of detectable warning panel 12 to 15 feet from centerline of nearest rail. Orient truncated domes parallel to the direction of pedestrian travel.

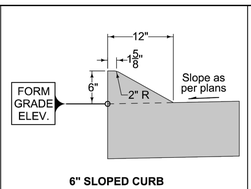
SUDAS	REVISION	
	1	10-20-15
7030.205	SHEET 1 of 1	

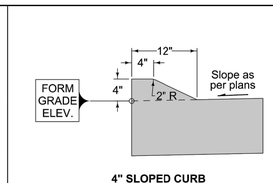
SUDAS Standard Specifications

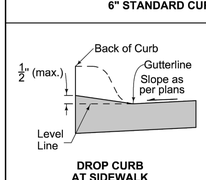
GENERAL SIDEWALK AND CURB RAMP DETAILS

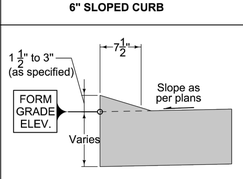
FIGURE 7030.205 SHEET 1 OF 1

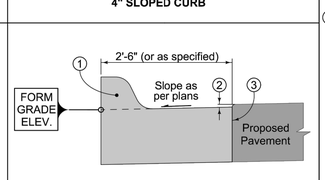


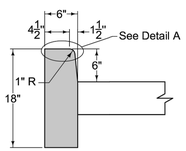


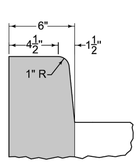












For joint details, see PV-101.

1. 6" Standard Curb, 6" Sloped Curb, or 4" Sloped Curb as specified.
2. ⅛" if Proposed Pavement is HMA. No elevation difference if Proposed Pavement is PCC.
3. 'BT' , 'KT', or 'L' joint if Proposed Pavement is PCC. 'B' joint if Proposed Pavement is HMA.

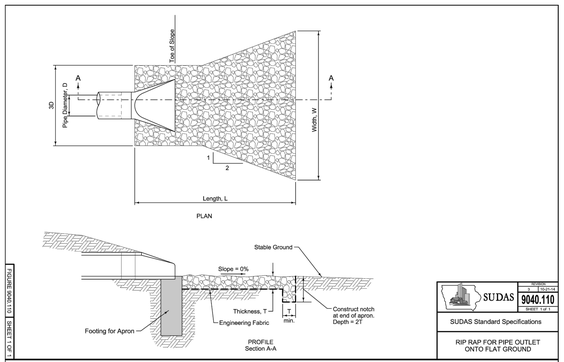
SUDAS	IOWADOT	REVISION	
		4	10-18-16
FIGURE 7010.102	STANDARD ROAD PLAN	PV-102	
		SHEET 1 of 2	

REVISIONS: Added note "Slope as per plans" on Drop Curb views on page 1. Updated DOT logo to new version.

Paul D. Wiegand — SUDAS DIRECTOR
Brian J. Smith — DESIGN METHODS ENGINEER

PCC CURB DETAILS

FIGURE 7010.102 SHEET 1 OF 2

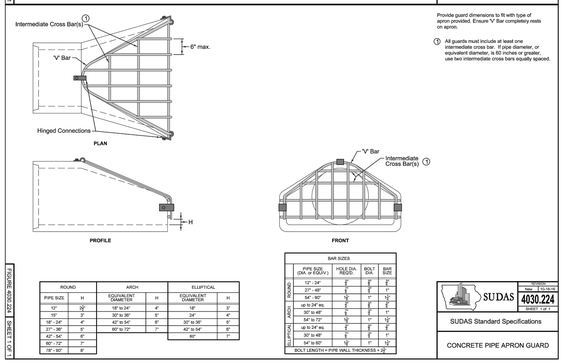


SUDAS	REVISION	
	1	10-20-15
9040.110	SHEET 1 of 1	

SUDAS Standard Specifications

RIP RAP FOR PIPE OUTLET ONTO FLAT GROUND

FIGURE 9040.110 SHEET 1 OF 1



Provide guard dimensions to fit with type of apron provided. Ensure 'V' Bar completely rests on apron.

1 All guards must include at least one intermediate cross bar. If pipe diameter, or equivalent diameter, is 60 inches or greater, use two intermediate cross bars equally spaced.

ROUND		ARCH		ELLIPTICAL	
PIPE SIZE	H	EQUIVALENT DIAMETER	H	EQUIVALENT DIAMETER	H
12"	3"	18" to 24"	4"	18"	3"
15"	3"	30" to 36"	5"	24"	4"
18" - 24"	4"	42" to 54"	6"	30" to 36"	5"
27" - 36"	5"	60" to 72"	7"	42" to 54"	6"
42" - 54"	6"			60"	7"
60" - 72"	7"				
78" - 90"	8"				

BAR SIZES			
PIPE SIZE (DIA. or EQUIV.)	HOLE DIA. REQ'D.	BOLT DIA.	BAR SIZE
ROUND 12" - 27"	1"	¾"	#7
ROUND 30" - 48"	1¼"	1"	#9
ROUND 54" - 72"	1½"	1¼"	#11
ROUND up to 24" eq.	1"	¾"	#7
ARCH 30" to 48"	1¼"	1"	#9
ARCH 54" to 72"	1½"	1¼"	#11
ARCH up to 24" eq.	1"	¾"	#7
ELLIPTICAL 30" to 48"	1¼"	1"	#9
ELLIPTICAL 54" to 60"	1½"	1¼"	#11

BOLT LENGTH = PIPE WALL THICKNESS + 2"

SUDAS	REVISION	
	new	10-18-16
4030.224	SHEET 1 of 1	

SUDAS Standard Specifications

CONCRETE PIPE APRON GUARD

FIGURE 4030.224 SHEET 1 OF 1

KWIK TRIP

KWIK STAR

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Robert J. Mueller 00377 IOWA REGISTERED LANDSCAPE ARCHITECT
10JUNE2020

SUDAS SITE PLAN DETAILS

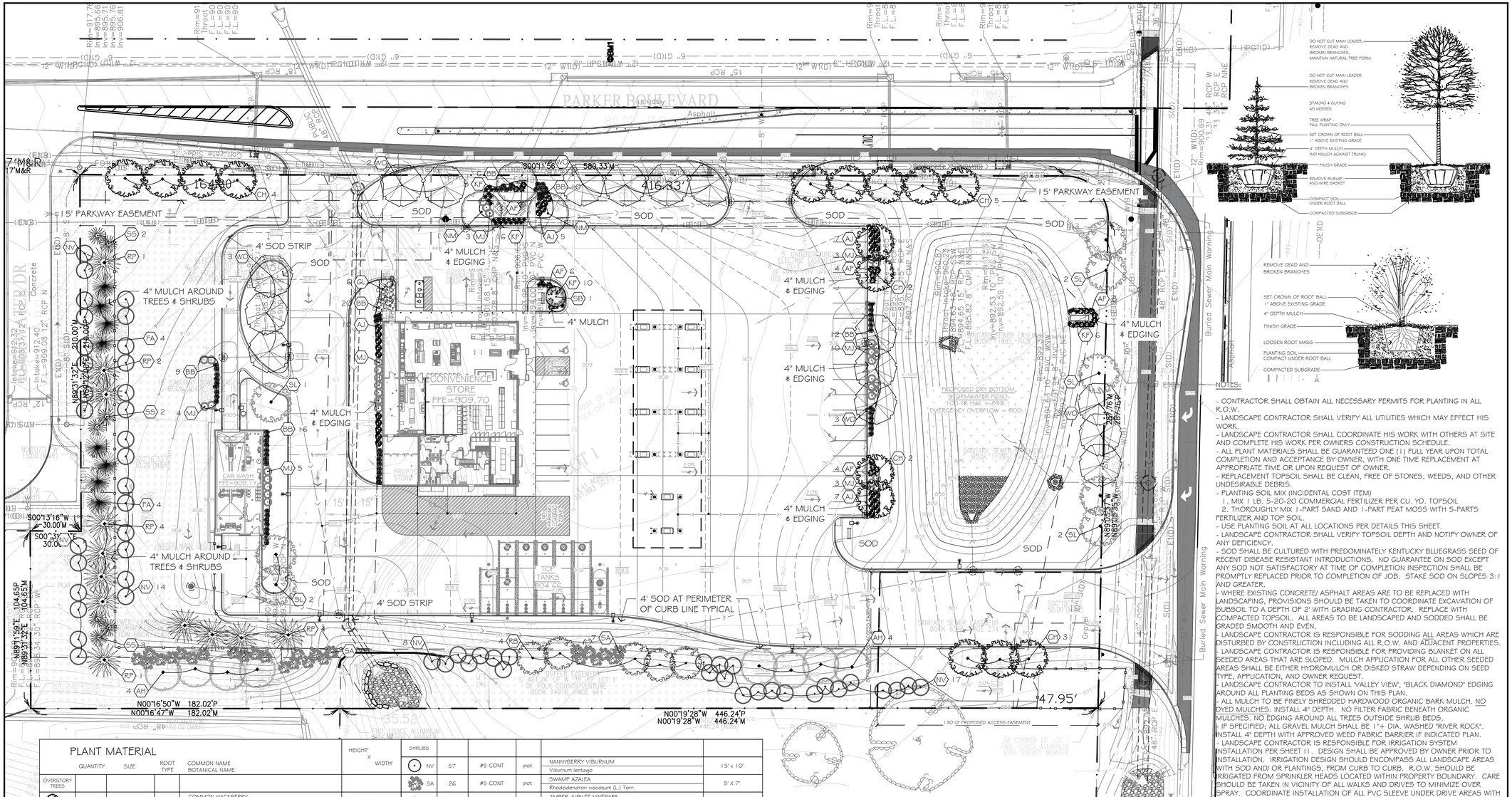
CONVENIENCE STORE 1089

POLK CITY, IOWA

NO.	DATE	DESCRIPTION
	19AUG19	SUBMITTAL
	23SEP19	COMMENTS
	22NOV19	SITE SHIFT/ APPROACHES
	06JAN20	SUBMITTAL
	23JAN20	CANOPY LAYOUT
	25FEB20	COMMENTS
	19MAR20	SIGN LOCATION
	03JUN20	COMMENTS
	10JUN20	9JUN20 COMMENTS

DRAWN BY
SCALE GRAPHIC
PROJ. NO. 191089
DATE 26JULY2019
SHEET SP7

INSITES 19-018 PM S.Z.



PLANT MATERIAL

	QUANTITY	SIZE	ROOT TYPE	COMMON NAME / BOTANICAL NAME	HEIGHT' X WIDTH'
OVERSTORY TREES					
CH	16	2.5" CAL.	B&B	COMMON HACKBERRY *Celtis occidentalis*	60' x 50'
WO	15	2.5" CAL	B&B	WHITE OAK *Quercus alba*	50' x 50'
NM	3	2.5" CAL.	B&B	NORTHWOOD MAPLE *Acer rubrum 'Northwood'*	50' x 35'
SL	8	2.5" CAL.	B&B	SKYLINE HONEYLOCUST *Gleditsia triacanthos var. inermis 'Skycole'*	50' x 30'
AH	8	2.5" CAL.	B&B	AMERICAN HORNBEAM *Carpinus betulus 'Pendula'*	30' x 25'
RB	5	2" CAL.	B&B	RIVER BIRCH *Betula nigra*	40' x 30'
UNDERSTORY TREES					
SB	1	1.5" CAL.	B&B	AUTUMN BRILLIANCE SERVICEBERRY *Amelanchier x grandiflora 'Autumn Brilliance'*	20' x 15'
EVERGREEN TREES					
RP	12	10' HT	B&B	RED PINE *Pinus resinosa*	50' x 40'
FA	8	5' HT	B&B	FAT ALBERT BLUE SPRUCE *Picea pungens 'Fat Albert'*	50' x 20'
SS	7	6' HT	pot	SWISS STONE ALGONQUIN PILLAR *Pinus cembra 'Algonquin Pillar'*	25' x 10'

	QUANTITY				
SHRUBS					
NV	57	#5 CONT	pot	NANNYBERRY VIBURNUM *Viburnum lentago*	15' x 10'
SA	26	#5 CONT	pot	SWAMP AZALEA *Rhododendron viscosum (L.) Torr.*	5' X 7'
AJ	26	#3 CONT	pot	AMBER JUBILEE NINEBARK *Physocarpus opulifolius 'Jefam'*	5' x 4'
MJ	35	#3 CONT	pot	MANEY JUNIPER *Juniperus chinensis 'Maney'*	4' x 5'
AF	17	#3 CONT	pot	ARCTIC FIRE DOGWOOD *Cornus stolonifera 'Farrow'*	4 X 4'
GL	6	#3 CONT	pot	GRO-LOW FRAGRANT SUMAC *Rhus aromatica 'Gro-Low'*	2' x 7'
GRASSES					
BB	61	#1 CONT	pot	BIG BLUESTEM *Andropogon gerardii*	5' x 6'
KF	32	#1 CONT	pot	KARL FORESTER FEATHER REED GRASS *Calamagrotis x acutiflora 'Karl Forester'*	4' x 30"

FALL SEEDING IS PREFERABLE (AUG. 20 TO OCT. 20). SPRING SEEDING SHOULD BE BETWEEN MARCH 15-MAY 15. NO SUMMER SEEDING.

617 SY	IADOT , WETLAND GRASS SEED MIXTURE (OR APPROVED EQUAL). PROVIDE EROSION CONTROL BLANKET ON SIDE SLOPES.
1,104 SY	IADOT, NATIVE GRASS AND WILDFLOWER SEED MIXTURE (OR APPROVED EQUAL). PROVIDE EROSION CONTROL BLANKET ON SIDE SLOPES.
5,656 SY	BLUE GRASS MIX. SEE SPECS FOR MULCHING INFORMATION.

EDGING - --- LF
MULCH - --- CY
SOD - --- SY

LANDSCAPE REQUIREMENTS:

-ZONE: C2
-15% GREENSPACE REQUIRED
-191,942 TOTAL SF = 28,791 GREENSPACE SF REQUIRED
98,704 PROVIDED

20 TREES REQUIRED & 60 SHRUBS REQUIRED
20 PROVIDED & 177 PROVIDED

-VEHICLE PAVEMENT AREA x 20% TOTAL SF / 700= VPA TREES REQUIRED
76,947 SF x .20 = 15,390 / 700 = 22 TREES
23 PROVIDED

PARKER BLVD TREES: 15 REQUIRED/PROVIDED
W BRIDGE STREET TREES: 8 REQUIRED/PROVIDED

WEST PROPERTY BUFFER YARD
TYPE B
WIDTH= >25 FT
628 FT = 13 TREES & 51 SHRUBS REQUIRED
13 & 51 PROVIDED

NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR PLANTING IN ALL R.O.W.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITIES WHICH MAY EFFECT HIS WORK.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS AT SITE AND COMPLETE HIS WORK PER OWNERS CONSTRUCTION SCHEDULE.
- ALL PLANT MATERIALS SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION AND ACCEPTANCE BY OWNER, WITH ONE TIME REPLACEMENT AT APPROPRIATE TIME OR UPON REQUEST OF OWNER.
- REPLACEMENT TOPSOIL SHALL BE CLEAN, FREE OF STONES, WEEDS, AND OTHER UNDESIRABLE DEBRIS.
- PLANTING SOIL MIX (INCIDENTAL COST ITEM)
  1. MIX 1 LB. 5-20-20 COMMERCIAL FERTILIZER PER CU. YD. TOPSOIL
  2. THOROUGHLY MIX 1-PART SAND AND 1-PART PEAT MOSS WITH 5-PARTS FERTILIZER AND TOP SOIL.
- USE PLANTING SOIL AT ALL LOCATIONS PER DETAILS THIS SHEET.
- LANDSCAPE CONTRACTOR SHALL VERIFY TOPSOIL DEPTH AND NOTIFY OWNER OF ANY DEFICIENCY.
- SOD SHALL BE CULTURED WITH PREDOMINATELY KENTUCKY BLUEGRASS SEED OF RECENT DISEASE RESISTANT INTRODUCTIONS. NO GUARANTEE ON SOD EXCEPT ANY SOD NOT SATISFACTORY AT TIME OF COMPLETION INSPECTION SHALL BE PROMPTLY REPLACED PRIOR TO COMPLETION OF JOB. STAKE SOD ON SLOPES 3:1 AND GREATER.
- WHERE EXISTING CONCRETE/ ASPHALT AREAS ARE TO BE REPLACED WITH LANDSCAPING, PROVISIONS SHOULD BE TAKEN TO COORDINATE EXCAVATION OF SUBSOIL TO A DEPTH OF 2' WITH GRADING CONTRACTOR. REPLACE WITH COMPACTED TOPSOIL. ALL AREAS TO BE LANDSCAPED AND SODDED SHALL BE GRADED SMOOTH AND EVEN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING BLANKET ON ALL SEEDED AREAS THAT ARE SLOPED. MULCH APPLICATION FOR ALL OTHER SEEDED AREAS SHALL BE EITHER HYDROMULCH OR DISKED STRAW DEPENDING ON SEED TYPE, APPLICATION, AND OWNER REQUEST.
- LANDSCAPE CONTRACTOR TO INSTALL 'VALLEY VIEW', "BLACK DIAMOND" EDGING AROUND ALL PLANTING BEDS AS SHOWN ON THIS PLAN.
- ALL MULCH TO BE FINELY SHREDDED HARDWOOD ORGANIC BARK MULCH. NO DYED MULCHES. INSTALL 4" DEPTH. NO FILTER FABRIC BENEATH ORGANIC MULCHES. NO EDGING AROUND ALL TREES OUTSIDE SHRUB BEDS.
- IF SPECIFIED; ALL GRAVEL MULCH SHALL BE 1"+ DIA. WASHED "RIVER ROCK". INSTALL 4" DEPTH WITH APPROVED WEED FABRIC BARRIER IF INDICATED PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SYSTEM INSTALLATION PER SHEET 11. DESIGN SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. IRRIGATION DESIGN SHOULD ENCOMPASS ALL LANDSCAPE AREAS WITH SOD AND/ OR PLANTINGS, FROM CURB TO CURB. R.O.W. SHOULD BE IRRIGATED FROM SPRINKLER HEADS LOCATED WITHIN PROPERTY BOUNDARY. CARE SHOULD BE TAKEN IN VICINITY OF ALL WALKS AND DRIVES TO MINIMIZE OVER SPRAY. COORDINATE INSTALLATION OF ALL PVC SLEEVE UNDER DRIVE AREAS WITH GENERAL CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER ALL LANDSCAPE INSTALLATION IS COMPLETE AND ACCEPTED BY OWNER AND DAILY AS DEEMED NECESSARY BY THE CITY.
- GENERAL CONTRACTOR TO SWEEP PAVEMENT AREAS PRIOR TO TURN OVER TO OWNER.

811 Know what's below. Call before you dig.

NORTH
SCALE: 1" = 30'
30 15 0 30 60

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE ½ SCALE- 1"=60'.

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LANDSCAPE PLAN

CONVENIENCE STORE 1089

POLK CITY, IOWA

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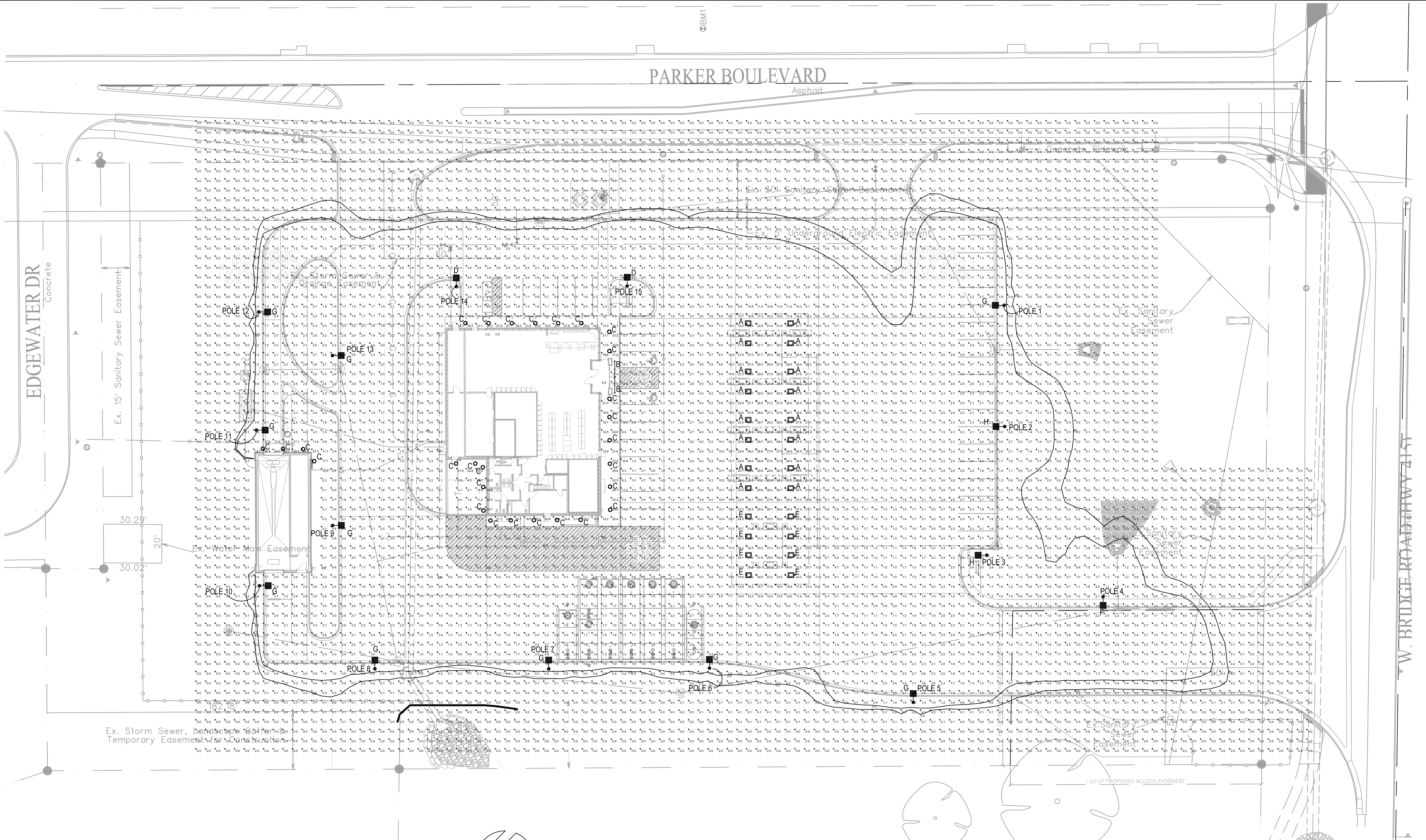


PHOTOMETRIC SITE PLAN

SCALE: 1" = 30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FUEL CANOPY	⋇	26.1 fc	33.7 fc	12.3 fc	2.7:1	2.1:1
OVERALL	+	2.4 fc	37.4 fc	0.0 fc	N/A	N/A

NOTE:

FOOTCANDLE LEVELS SHOWN ARE CALCULATED AT GRADE LEVEL.

FIXTURE QUANTITIES

A - 16
B - 2
C - 28
D - 2
E - 8
F - 1
G - 10
H - 2

PROVIDE (15) 16' POLES.

FIXTURE SYMBOLS:

Symbol	Description
A & E	LED LIGHT MOUNTED UNDER FUEL CANOPY
B	LED STRIP LIGHT MOUNTED IN GABLE
C	RECESSED LED DOWNLIGHT
D, F, G & H	POLE MOUNTED LED FIXTURE

FIXTURE TYPES:

A - LSI LIGHTING: CRUS-SC-LED-HO-50-UE-DIM-WHT
FIXTURE IS SHOWN DIMMED AT 50%
MOUNTED UNDER GAS PORTION OF FUEL CANOPY

B - LED STRIP LIGHT MOUNTED IN GABLE
LITHONIA -TZL1N-L96

C - RECESSED LED DOWNLIGHT
GOTHAM EVO-35/30-8AR-WD-120-TRW

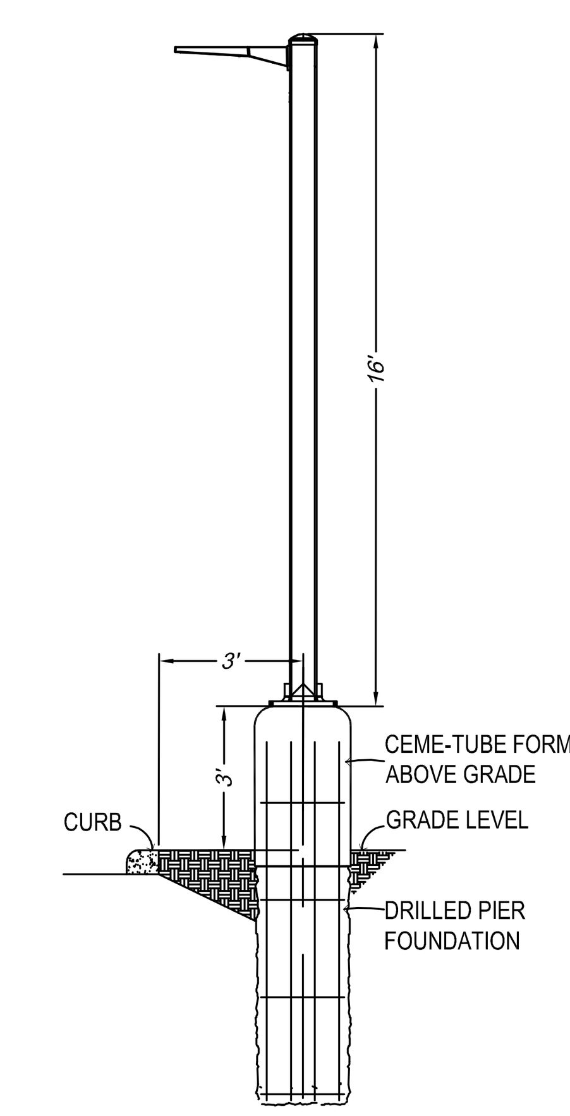
D - LSI LIGHTING: SLM-LED-9L-SIL-2-UNV-50-70CRI-WHT

E - LSI LIGHTING: CRUS-SC-LED-HO-50-UE-DIM-BLK
FIXTURE IS SHOWN DIMMED AT 50%
MOUNTED UNDER DIESEL PORTION OF FUEL CANOPY

F - LSI LIGHTING: SLM-LED-9L-SIL-3-UNV-50-70CRI-WHT

G - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRI-WHT-IL

H - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRI-WHT



LOT LIGHT ELEVATION DETAIL

NOT TO SCALE

2019-0195.31

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