

Notice of Meeting
Polk City | Planning and Zoning Commission (P&Z)

September 21, 2020 | 6:00 pm
City Hall | Council Chambers

Tentative Meeting Agenda

Dennis Dietz | Chair

Krista Bowersox | Pro Tem

P&Z Commission Members: Ron Hankins | Deanna Triplett | Doug Ohlfest | Justin Vogel | Doug Sires

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of P&Z Commission Meeting minutes for August 17, 2020
5. Consider recommendation to Council to approve the Preliminary Plat and Final Plat for Stanley Plat 1
6. Consider recommendation to Council to approve Big Creek Valley Plat 2 – Final Plat
7. Consider recommendation to Council to approve Lakes Early Learning Center – Site Plan
8. Consider recommendation to Council to Amend the urban renewal plan for the Polk City Area II Urban Renewal Area
9. Reports & Particulars
 Council Liaison, City Manager, Staff, and Commission
10. Adjourn until October 19, 2020

PRELIMINARY PLAT REVIEW

Date: September 16, 2020
 Project: Stanley Plat 1

Compiled by: Kathleen Connor, Planner
 Project No.: 120.0824.01

GENERAL INFORMATION:

Applicant:	First Choice Renovations
Property Owner:	First Choice Renovation
Requested Action:	Approval of Final Plat
Location	Replat of Outlots in BCTC Plats 2 and 3
Size:	0.383 acres
Zoning:	P.U.D.
Proposed Use:	3 single family lots 1 Outlot for driveway



PROJECT BACKGROUND:

First Choice Renovations recently acquired the property with the intent of constructing smaller, detached single-family homes on the property. After determining the existing home was too deteriorated to renovate, the developer requested that the property be rezoned to PUD to accommodate construction of single-family detached homes on smaller lots. On August 24, 2020, Council approved the rezoning.

The requirements of the PUD Master Plan were incorporated into the ordinance rezoning the property. The Stanley Estates PUD restricts all lots to single-family detached residential use or open space. The PUD regulations require the width to be 45 feet minimum, with the exception of corner lots which shall be 60 feet minimum. The regulations require lot size to be 4,825 square feet minimum. Front yard setbacks shall be 30' along E. Broadway and VanDorn Street and 20' along Summer Street. Rear yards shall be 30' minimum and side yards shall be 6' minimum.

The developer is now interested in constructing the homes that front on E. Broadway. The lots on the south side of the property will not be platted but will be consolidated and sold for use as open space.

PROJECT DESCRIPTION:

This Preliminary Plat includes three single-family lots fronting on E. Broadway in conformance to the PUD Master Plan. Outlot Z will be sold to the neighbor, Sky Conrad, to resolve a driveway encroachment issue. A Record of Lot Tie agreement will be required typing this outlot to Mr. Conrad's property.

No public improvements or easements are required for further development of these three lots. All three lots have sufficient hydrant coverage per Fire Code. The existing water service line and sanitary sewer

service lines that served the original home will be utilized, the additional needed services will be installed with the building permit.

The PUD originally included the south half of the Stanley property; which was platted as Lots 11, 12, 13 and vacated alley. However, Lot 13 does not conform to minimum lot width requirements of the PUD district and Lot 11 does not have the required hydrant coverage. Rather than platting this property as an outlot, the owner of this property has signed Lot Tie Agreement permanently tying these lots of record together so it is clear no building permits can be issued for this property until it is platted in conformance with city code.

In accordance with the current Subdivision Ordinance, detention is not required for this single family development. No park land dedication is required for subdivisions with three or fewer residential lots.

REVIEW COMMENTS:

Submittal #3 addresses all review comments.

RECOMMENDATION:

Staff recommends P&Z approval of the Preliminary Plat for Stanley Plat 1 subject to the following:

1. P&Z recommendations, if any, shall be addressed prior to this item being placed on the Council agenda for approval.
2. Payment in full of all fees to the City of Polk City.

PRELIMINARY PLAT STANLEY PLAT 1

Sheet 1 of 1

OWNER/APPLICANT

KYLE HOUT
FIRST CHOICE RENOVATIONS
206 E BROADWAY STREET
POLK CITY, IA 50226
E-MAIL: KHOUT@FCASITTE.COM
PHONE: 515-201-6280

ZONING

EXISTING: R-2 & C-1
PROPOSED: P.U.D.

BULK REGULATIONS

LOTS 1-4
MIN. LOT AREA - 4,825 S.F.

SETBACKS
FRONT - 30' (20' ALONG SUMMER STREET)
REAR - 30'
SIDE - 6' MIN.

UTILITIES

WATER: CITY OF POLK CITY WATER SYSTEM
SANITARY: CITY OF POLK CITY SANITARY SEWER SYSTEM

DEVELOPMENT SCHEDULE

UTILITIES: SEPTEMBER 2020
FINAL PLATTING: SEPTEMBER 2020

LEGAL DESCRIPTION

LOTS 1-3 & THE NORTHEASTERLY ONE-HALF VACATED ALLEY ADJACENT TO SAID LOTS, BLOCK A, DES MOINES CO.'S ADDITION TO POLK CITY, AN OFFICIAL PLAT IN THE CITY OF POLK CITY, POLK COUNTY, IOWA

SAID TRACT OF LAND CONTAINS 0.383 ACRES MORE OR LESS.

LEGEND

EXISTING/PROPOSED	PLAT BOUNDARY
— ST 18"	STORM SEWER & SIZE
— SAN 10"	SANITARY SEWER & SIZE
— W 8"	WATER MAIN & SIZE
○	MANHOLE
●	STORM INTAKE
⊕	FIRE HYDRANT
⊗	VALVE
△	F.E.S.
~ 990	EXISTING CONTOURS
— 990	PROPOSED CONTOURS
* * *	SILT FENCE OR APPROVED FILTRATION SOCK

CERTIFICATION

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	CHRISTOPHER A. THOMPSON, P.E. IOWA LICENSE NO. 25323 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020 PAGES OR SHEETS COVERED BY THIS SEAL: THIS SHEET

COOPER CRAWFORD & ASSOCIATES, L.L.C. CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

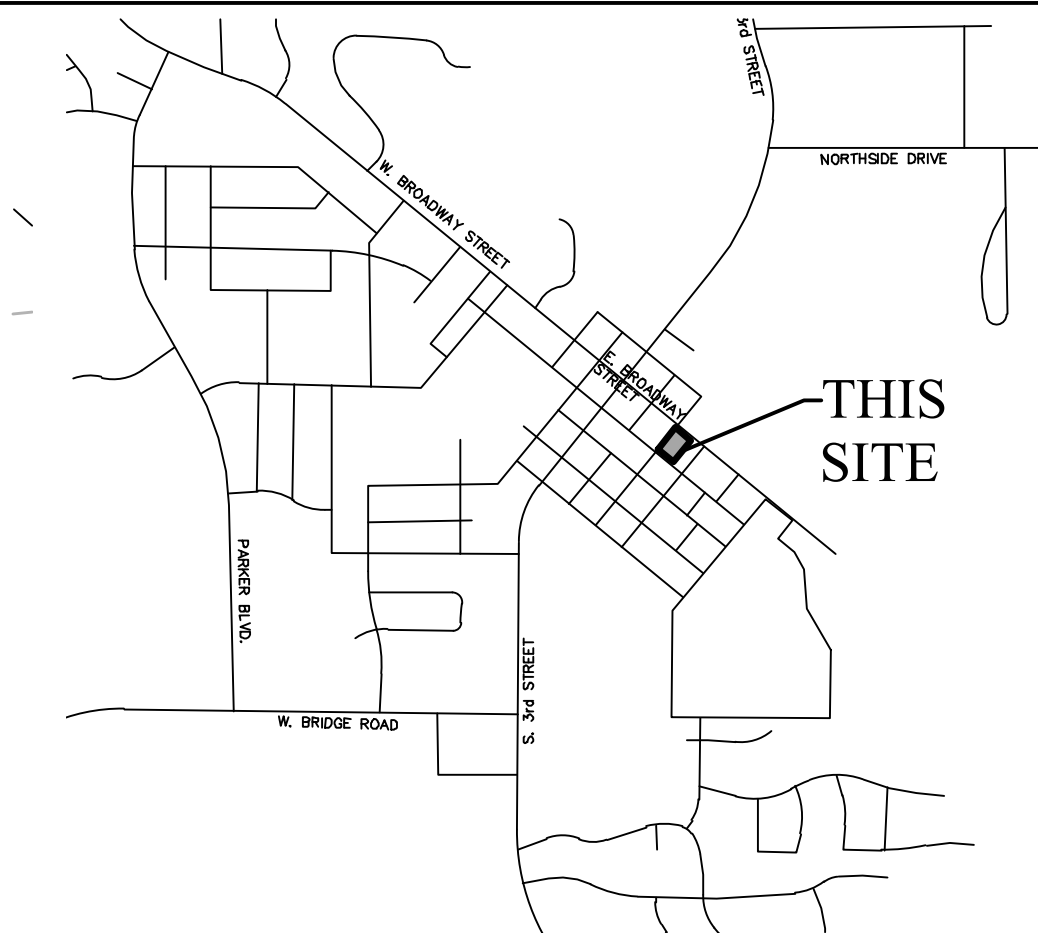
DATE: 8-19-2020
REVISIONS: 9-16-2020

APPROVED: INITIALS: --- AS-BUILT: ---
SCALE: 1"=30'

PRELIMINARY PLAT
STANLEY PLAT 1

JOB NUMBER
**CC
2360**

SHEET
1 OF 1



VICINITY SKETCH

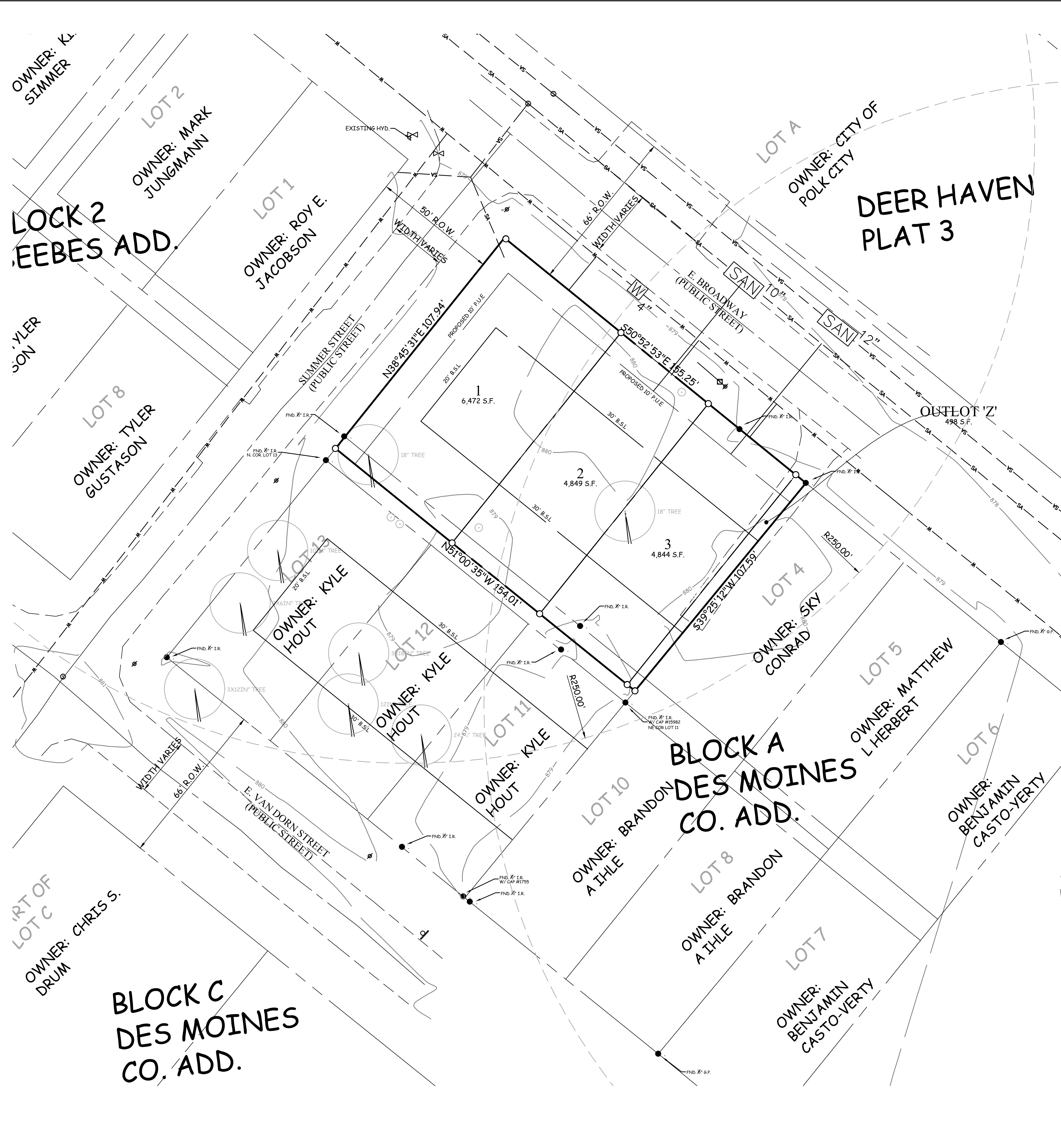
NORTH
SCALE: 1"=1500'

NOTES

- ELECTRIC AND GAS SERVICE SHALL BE PROVIDED BY MIDAMERICAN ENERGY CO. ALL ELECTRIC SERVICE SHALL BE UNDERGROUND.
- NO BUILDING PERMITS SHALL BE ISSUED UNTIL THE PUBLIC IMPROVEMENTS HAVE BEEN ACCEPTED.
- CONTRACT FOR ELECTRIC DISTRIBUTION SYSTEM SHALL BE EXECUTED WITH FINAL PLAT.
- ALL NEW DRIVEWAYS WILL BE PAVED.
- THERE SHALL ONLY BE ONE DRIVEWAY PERMITTED FOR EACH LOT.
- EACH LOT WILL NEED TO INSTALL A FRENCH DRAIN STYLE SUMP PIT.
- ALL PROPOSED SANITARY SEWER SERVICES SHALL INCLUDE A NEW IRON-BODY SADDLE OR WYE CONNECTION TO THE EXISTING SANITARY SEWER.
- STORM WATER IMPACT WILL BE NEGLIGIBLE AND WILL BE CHanneled VIA A DITCH FOR THE FRONT YARD AND THE BACK YARD WILL FLOW OVERLAND.
- OUTLOT 'Z' SHALL BE PERMANENTLY TIED TO LOT 4, BLOCK A, DES MOINES CO. ADDITION.
- LOTS 2 & 3 WILL REQUIRE A NEW SANITARY SERVICE BORED UNDER E BROADWAY. LOT 1 WILL UTILIZE THE EXISTING SERVICE.
- LOTS 1 & 3 WILL REQUIRE NEW LIVE TAP WATER SERVICES. LOT 2 WILL UTILIZE THE EXISTING SERVICE. THE PROPOSED WATER AND SANITARY SEWER SERVICE LINES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE REQUIRED IN CONJUNCTION WITH THE BUILDING PERMIT FOR THE APPLICABLE LOT. ALL PROPOSED SERVICES WILL BE DESIGNED AND CONSTRUCTED AS REQUIRED BY THE PUBLIC WORKS DIRECTOR AND SHALL BE BORED UNDER THE STREET. OPEN CUTTING OF THE STREET, IF PERMITTED, REQUIRES THE STREET TO BE REPLACED WITH PCC PAVEMENT.
- THE ONLY PERMITTED USE ON LOTS 1-3 IS SINGLE FAMILY DETACHED RESIDENTIAL.
- 4' PUBLIC SIDEWALK WILL BE REQUIRED ALONG E. BROADWAY AND SUMMER STREET IN CONJUNCTION WITH THE BUILDING PERMIT.

BENCHMARK

THE NORTHWESTERLY CORNER OF BROADWAY AND WALKER, SOUTH QUAD BOLT HEAD ON TOP OF HYDRANT
ELEVATION @ NAVD 88 DATUM: 881.24



FINAL PLAT REVIEW

Date: September 16, 2020
 Project: Stanley Plat 1

Compiled by: Kathleen Connor, Planner
 Project No.: 120.0824.01

GENERAL INFORMATION:

Applicant:	First Choice Renovations
Property Owner:	First Choice Renovation
Requested Action:	Approval of Final Plat
Location	Replat of Outlots in BCTC Plats 2 and 3
Size:	0.383 acres
Zoning:	P.U.D.
Proposed Use:	3 single family lots 1 Outlot for driveway



PROJECT DESCRIPTION:

This Final Plat includes three single-family lots fronting on E. Broadway. These lots are restricted to single-family detached residential use only. These lots will need to comply with the PUD regulations establishing the minimum lot width shall be 45 feet; with the exception of corner lots which shall be 60 feet. These lots are in excess of the 4,825 square feet minimum lot size and conform to setback requirements per the PUD regulations.

No public improvements or easements are required. In accordance with the current Subdivision Ordinance, detention is not required. No park land dedication is required for subdivisions containing three or fewer single family residential lots.

FINAL PLAT REVIEW COMMENTS:

A. **Final Plat.** All review comments were addressed on Submittal #3.

B. **Legal Documents.** Prior to City Council consideration of this Final Plat, all legal documents, shall be approved by the City Attorney prior to this item being placed on the Council agenda. These documents include:

1. *Record of Lot Tie Agreement* permanently tying Lots 11-13 and the abutting one-half vacated alley together in one parcel has been signed by the buyers, Amy Garrett and Chris Drumm..
2. *Record of Lot Tie Agreement* permanently tying Outlot 'Z' to Lot 4 of Block A, Des Moines Co.'s Addition, to be signed by the buyer, Sky Conrad.

3. *Platting legal documents* including Title Opinion, Consent to Plat, and Certificate of Treasurer.

RECOMMENDATION:

Staff recommends P&Z approval of the Final Plat for Stanley Plat 1 subject to the following:

1. All legal documents being provided for review by the City Attorney prior this item being placed on the Council agenda.
2. Payment in full of all fees to the City of Polk City.

FINAL PLAT STANLEY PLAT 1

Sheet 1 of 1

OWNER/APPLICANT

KYLE HOUT
FIRST CHOICE RENOVATIONS
206 E BROADWAY STREET
POLK CITY, IA 50226
E-MAIL: KHOUT@FCASITTE.COM
PHONE: 515-201-6280

ZONING

P.U.D.

BULK REGULATIONS

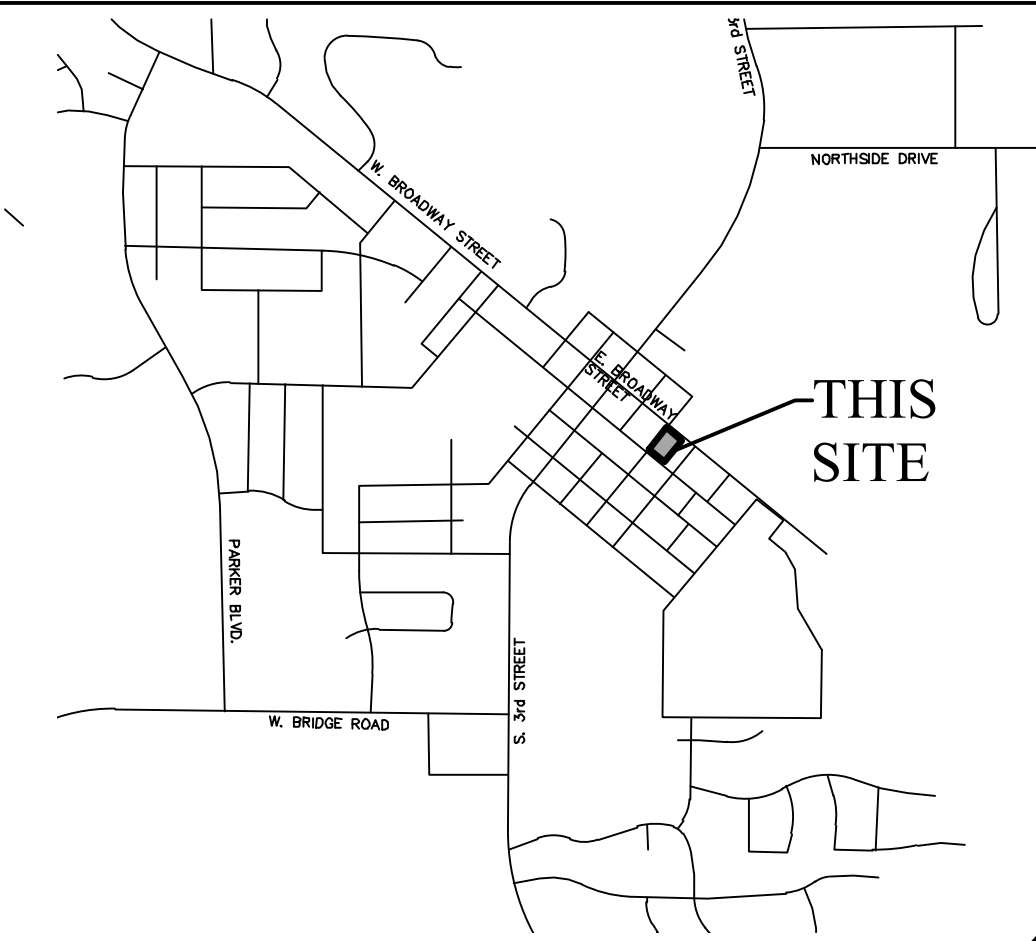
LOTS 1-4
MIN. LOT AREA - 4,825 S.F.

SETBACKS
FRONT - 30' (20' ALONG SUMMER STREET)
REAR - 30'
SIDE - 6' MIN.

LEGAL DESCRIPTION

LOTS 1-3 & THE NORTHEASTERLY ONE-HALF VACATED ALLEY ADJACENT TO SAID LOTS, BLOCK A, DES MOINES CO'S ADDITION TO POLK CITY, AN OFFICIAL PLAT IN THE CITY OF POLK CITY, POLK COUNTY, IOWA

SAID TRACT OF LAND CONTAINS 0.383 ACRES MORE OR LESS.



VICINITY SKETCH

NORTH
SCALE: 1"=1500'

NOTES

- ELECTRIC AND GAS SERVICE SHALL BE PROVIDED BY MIDAMERICAN ENERGY CO. ALL ELECTRIC SERVICE SHALL BE UNDERGROUND.
- CONTRACT FOR ELECTRIC DISTRIBUTION SYSTEM SHALL BE EXECUTED WITH FINAL PLAT.
- ALL NEW DRIVEWAYS WILL BE PAVED.
- THERE SHALL ONLY BE ONE DRIVEWAY PERMITTED FOR EACH LOT.
- EACH LOT WILL NEED TO INSTALL A FRENCH DRAIN STYLE SUMP PIT.
- OUTLOT 'Z' SHALL BE PERMANENTLY TIED TO LOT 4, BLOCK A, DES MOINES CO. ADDITION.
- THE ONLY PERMITTED USE ON LOTS 1-3 IS SINGLE-FAMILY DETACHED RESIDENTIAL.
- 4' PUBLIC SIDEWALK WILL BE REQUIRED ALONG E. BROADWAY AND SUMMER STREET IN CONJUNCTION WITH THE BUILDING PERMIT.

BENCHMARK

THE NORTHWESTERLY CORNER OF BROADWAY AND WALKER. SOUTH QUAD BOLT HEAD ON TOP OF HYDRANT

ELEVATION @ NAVD 88 DATUM 881.24

SURVEYORS NOTES

- LOT CORNERS SHALL BE SET PRIOR TO COUNCIL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.
- THIS PLAT BOUNDARY HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 10,000.
- EACH LOT IN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 5,000.
- BEARINGS BASED ON AN ASSUMED BEARING.
- ELEVATIONS BASED OFF NAVD88 DATUM

LEGEND

▲	PLAT BOUNDARY
●	SECTION CORNER
○	FOUND CORNER, AS NOTED
○	SET CORNER 5/8" I.R. W/ YELLOW CAP #13156
I.R.	IRON ROD
G.P.	GAS PIPE
D.	DEEDED DISTANCE
M.	MEASURED DISTANCE
R.	PREVIOUSLY RECORDED DISTANCE
P.U.E.	PUBLIC UTILITY EASEMENT
3333	ADDRESS
B.S.L.	BUILDING SETBACK LINE
M.O.E.	MINIMUM OPENING ELEVATION
M.P.E.	MINIMUM PROTECTION ELEVATION
N.R.	NOT RADIAL

CERTIFICATION

PROFESSIONAL LAND SURVEYOR

KEVEN J. CRAWFORD

13156

IOWA

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

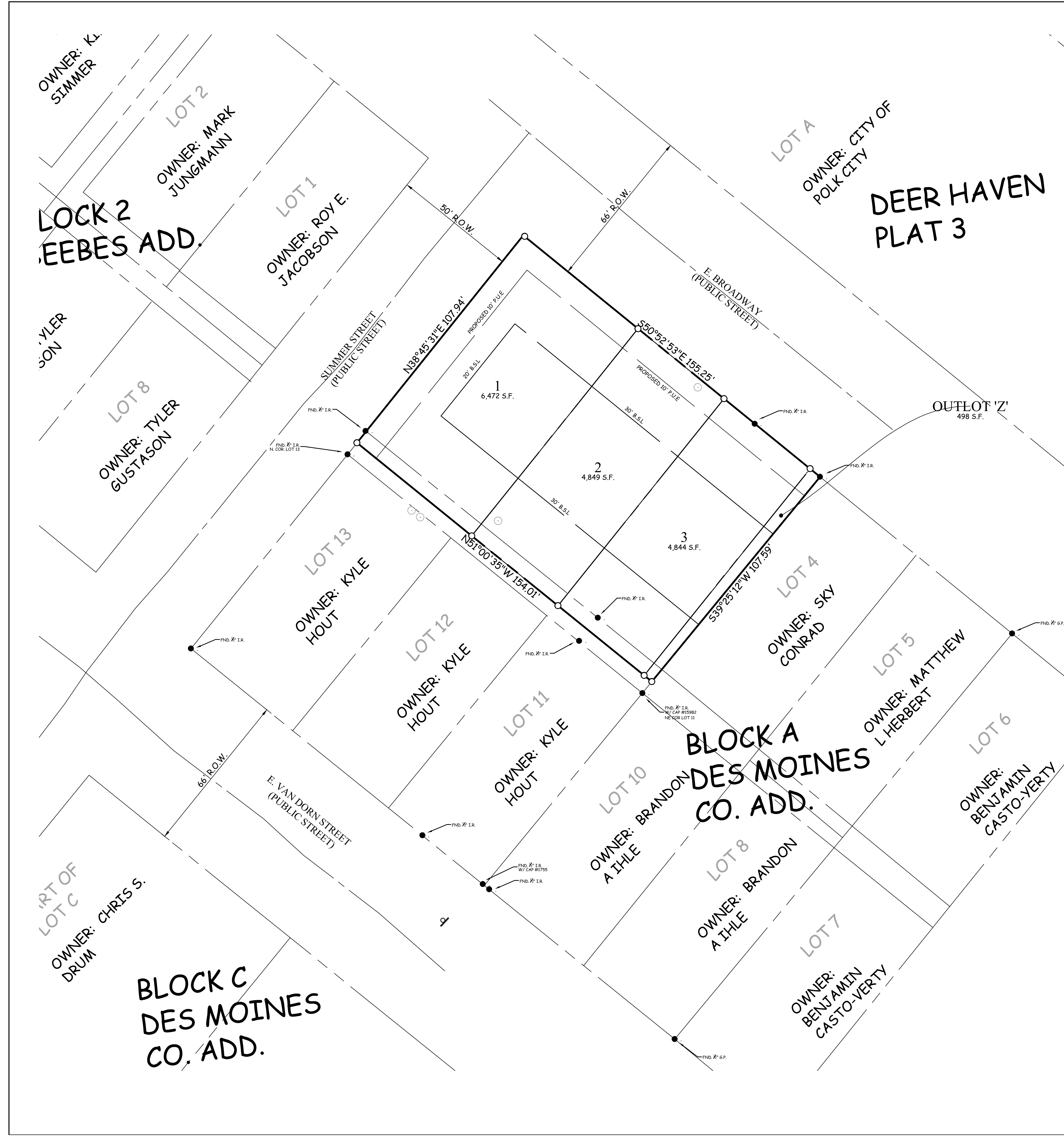
KEVEN J. CRAWFORD, PLS. IOWA LICENSE NO. 13156
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
This sheet only

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

<p>SCALE: 1"=30'</p>	<p>DATE: 8-25-2020 REVISIONS: 9-16-2020</p>	<p>JOB NUMBER</p> <h1>CC 2360</h1>
<p>APPROVED: --- INITIALS: --- AS-BUILT: ---</p>	<p>FINAL PLAT STANLEY PLAT 1</p>	
<p>SHEET 1 OF 1</p>		



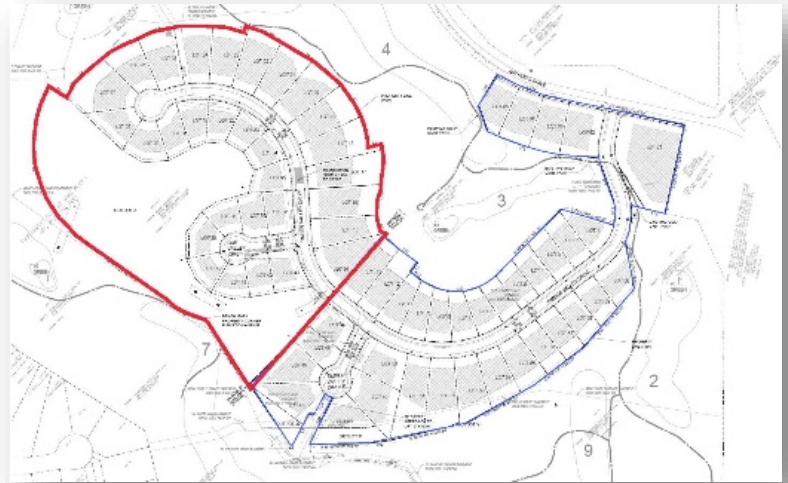
FINAL PLAT REVIEW

Date: September 16, 2020
Project: Big Creek Valley Plat 2

Prepared by: Kathleen Connor
Project No.: 120.0340.01

GENERAL INFORMATION:

Applicant: MJR Developments LLC.
Request: Approval of Final Plat
Location: South of Hugg Drive
Size: 44.20 Acres
Zoning: P.U.D.
Proposed use: 30 SF lots
1 Outlot for detention



BACKGROUND & DECSRIPTION:

The subject parcel (outlined in red above) represents the second, and last, phase of development of the Big Creek Valley subdivision. The plat includes 30 single family lots and is consistent with the PUD Ordinance and approved Preliminary Plat. Big Creek Valley was originally platted as a part of Tournament Club of Iowa. The park land dedication was therefore fulfilled by the golf course, per agreement.

The public improvements include paving of Timber Valley Drive and Oak Valley Circle as well as the associated water main, sanitary sewer, storm sewer and services. The improvements also include the now-completed detention basins located on Outlot Z.

At this time, the developer is requesting Final Plat approval in order to begin selling lots in time for home construction to begin this fall. The developer plans to complete construction of the public improvements prior to Council approval of the Final Plat.

FINAL PLAT REVIEW COMMENTS:

- A. **Final Plat Drawing.** All review comments were addressed on Submittal #3.
- B. **Legal Documents.** Prior to City Council consideration of this Final Plat, all legal documents, shall be reviewed and approved by the City Attorney prior to this item being placed on the Council agenda. These documents include:
 - 1. *Easement documents* for all public and private easements shown on the Final Plat, revised per the City Attorney’s comments:

- a. Private Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement. (Amend or replace the recorded document so Lots 1-35 of Plat 1 and Lots 1-30 of Plat 2 are equally responsible for maintenance of entire easement area.)
 - b. Overland Flowage Easement.
 - c. Public Sanitary Sewer Easement.
 - d. Public Storm Sewer Easement.
 - e. Public Storm Sewer and Overland Flowage Easement.
 - f. Public Utility Easement.
 - g. Offsite Overland Flowage Easement (north of Lots 4 -7)
2. *Amended Covenants and Homeowners Association* to add the Plat 2 lots to the existing Plat 1 HOA since the property owners within both plats will together be responsible for maintenance of the detention basin.
 3. *Platting legal documents* including Title Opinion, Consent(s) to Plat, and Certificate of Treasurer.
 4. A *Warranty Deed* for dedication of Lots A and B along with Groundwater Hazard Statement.
 5. *Contract with Midland Power Cooperative* for streetlights and the electrical distribution system.

C. Public Improvements Construction. The construction of the public improvements is not yet complete. A walk-thru has been scheduled for September 15th and all punchlist items generated from this walk-thru will need to be completed. Alternatively, an Agreement to Complete must be signed by the Developer and a check provided as security for the completion of any outstanding punchlist items. No Building Permits shall be issued for any single family home within this plat until such time as the public improvements have been accepted by City Council. In addition, the developer's contractors will need to provide four-year Maintenance bonds for the public improvements prior to acceptance. The developer's surveyor will need to certify that all property corners have been set.

RECOMMENDATION:

Based on the foregoing, staff will recommend P&Z approval of the Final Plat for Big Creek Valley Plat 2, subject to the following:

1. P&Z recommendations, if any, shall be addressed prior to this item being placed on the Council agenda for approval.
2. All legal documents, including easements and agreements, being provided for review and approval by the City Attorney prior to Council action.
3. Council acceptance of the public improvements or execution of an Agreement to Complete with appropriate security prior to approval of the Final Plat.
4. No Building Permits shall be issued for Lots 1 through 30 until the public improvements have been accepted by City Council.

5. Payment in full of all fees to the City of Polk City.

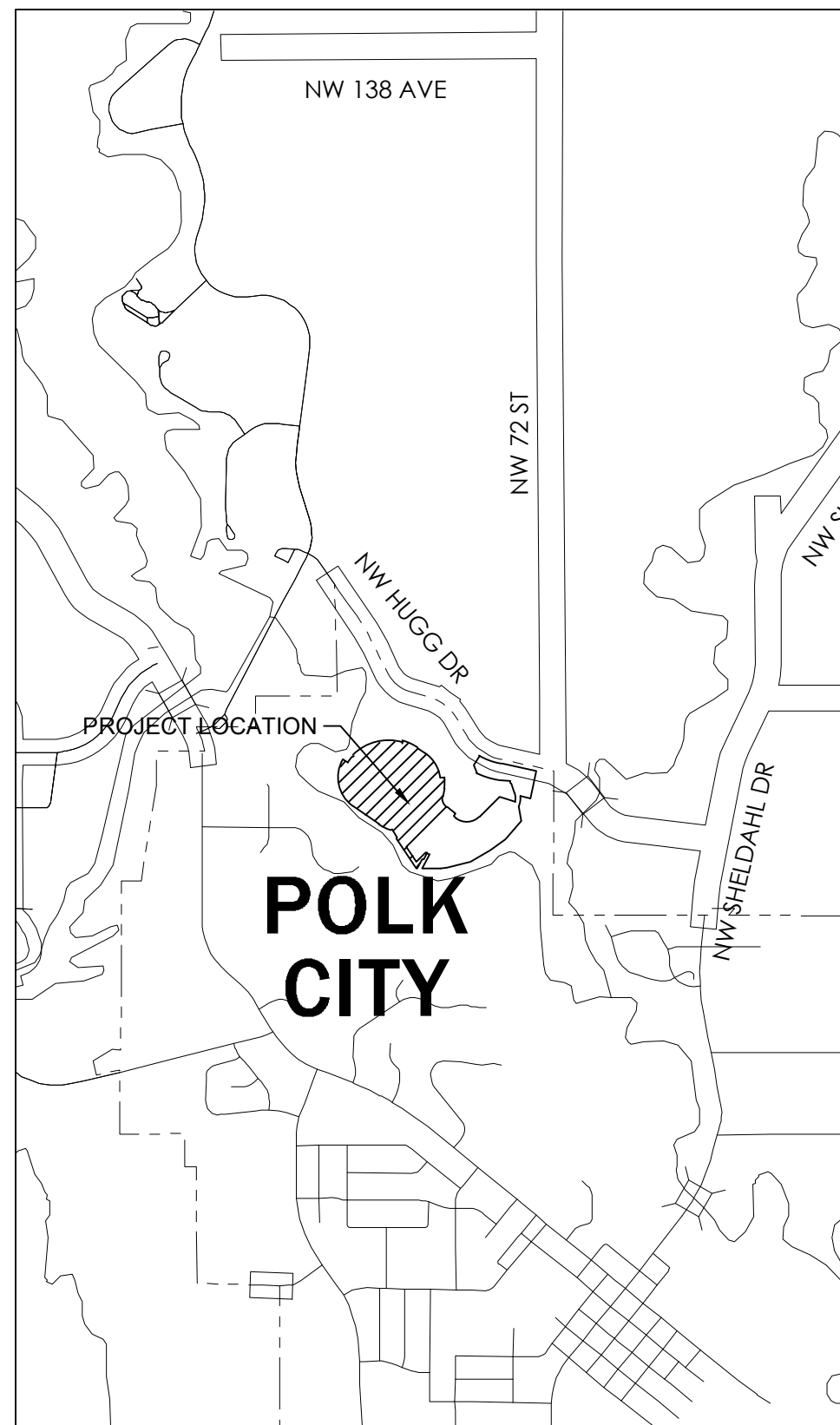
INDEX LEGEND
 LOCATION : SE1/4 SEC26-81-25
 REQUESTOR : MJR DEVELOPMENTS LLC
 PROPRIETOR : JARROD RUCKLE
 SURVEYOR : MURRAY BERTING
 SURVEY : SHIVE-HATTERY
 COMPANY : 4125 WESTOWN PARKWAY, SUITE 100
 RETURN TO : WEST DES MOINES, IA 50266

FINAL PLAT - BIG CREEK VALLEY PLAT 2

POLK CITY, IOWA

THIS SPACE RESERVED FOR RECORDERS USE

SHIVE-HATTERY
 ARCHITECTURE + ENGINEERING
 4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266
 515.223.8104 | fax: 515.223.0822 | www.shive-hattery.com
 Iowa | Illinois | Indiana



VICINITY MAP

1" = 2000'



PROJECT MAP

1" = 3000'

PROPERTY ADDRESSES

LOT 1	1221 TIMBER VALLEY DRIVE	LOT 18	1330 TIMBER VALLEY DRIVE
LOT 2	1231 TIMBER VALLEY DRIVE	LOT 19	1320 TIMBER VALLEY DRIVE
LOT 3	1241 TIMBER VALLEY DRIVE	LOT 20	1290 TIMBER VALLEY DRIVE
LOT 4	1251 TIMBER VALLEY DRIVE	LOT 21	1270 TIMBER VALLEY DRIVE
LOT 5	1261 TIMBER VALLEY DRIVE	LOT 22	1260 TIMBER VALLEY DRIVE
LOT 6	1271 TIMBER VALLEY DRIVE	LOT 23	1240 TIMBER VALLEY DRIVE
LOT 7	1281 TIMBER VALLEY DRIVE	OR 1201 OAK VALLEY CIRCLE	
LOT 8	1291 TIMBER VALLEY DRIVE	LOT 24	1211 OAK VALLEY CIRCLE
LOT 9	1304 TIMBER VALLEY DRIVE	LOT 25	1301 OAK VALLEY CIRCLE
LOT 10	1211 TIMBER VALLEY DRIVE	LOT 26	1311 OAK VALLEY CIRCLE
LOT 11	1321 TIMBER VALLEY DRIVE	LOT 27	1310 OAK VALLEY CIRCLE
LOT 12	1331 TIMBER VALLEY DRIVE	LOT 28	1300 OAK VALLEY CIRCLE
LOT 13	1341 TIMBER VALLEY DRIVE	LOT 29	1210 OAK VALLEY CIRCLE
LOT 14	1351 TIMBER VALLEY DRIVE	LOT 30	1230 TIMBER VALLEY DRIVE
LOT 15	1360 TIMBER VALLEY DRIVE		OR 1200 OAK VALLEY CIRCLE
LOT 16	1350 TIMBER VALLEY DRIVE		
LOT 17	1340 TIMBER VALLEY DRIVE		

NOTES

- THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO REMOVE DRAINAGE OBSTRUCTIONS FROM OVERLAND FLOWAGE EASEMENT AREAS.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EMBANKMENTS, INCLUDING REPAIR OF ANY DAMAGE DUE TO EROSION, WITHIN ALL DETENTION BASIN EASEMENTS, OVERLAND FLOWAGE EASEMENTS OR PRIVATE YARDS WITHIN THEIR PROPERTY.
- AN ESTABLISHED HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EMBANKMENTS, INCLUDING REPAIR OF ANY DAMAGE DUE TO EROSION, WITHIN ALL DETENTION BASIN EASEMENTS OR OVERLAND FLOWAGE EASEMENTS WITHIN OUTLOT Z.
- NO LOT WITHIN THIS PLAT SHALL BE PERMITTED TO HAVE AN INDIVIDUAL MAILBOX.
- NO LOT SHALL BE PERMITTED MORE THAN ONE DRIVEWAY.
- THE PROPERTY OWNERS OF LOT 19 AND LOT 23 SHALL BE RESPONSIBLE FOR SNOW REMOVAL AND SIDEWALK REPAIR AT EACH CLUSTER MAILBOX ADJACENT TO THEIR LOT.
- LOTS A AND B SHALL BE DEDICATED TO THE CITY OF POLK CITY FOR PUBLIC STREET RIGHT-OF-WAY.
- THE MINIMUM OPENING ELEVATION (M.O.E.) SHALL BE THE ELEVATION OF THE LOWEST OPENING.
- THE MINIMUM BASEMENT ELEVATION (M.B.E.) SHALL BE THE ELEVATION OF THE LOWEST FLOOR, INCLUDING BASEMENT.
- AN ELEVATION CERTIFICATE WILL NEED TO BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ON ALL LOTS WITH A DESIGNATED M.O.E. OR M.B.E. TO DEMONSTRATE PROTECTION ELEVATION REQUIREMENTS HAVE BEEN MET.
- ALL GENERAL REGULATIONS, PERFORMANCE STANDARDS, AND PROVISIONS SET FORTH IN CHAPTER 169.05 FOR THE R-1 SINGLE FAMILY DETACHED RESIDENTIAL DISTRICT SHALL APPLY TO LOTS 1-30.
- THE PRIVATE STORM WATER MANAGEMENT FACILITY SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE STORM WATER AND MANAGEMENT FACILITY MAINTENANCE COVENANT AND PERMANENT MAINTENANCE AGREEMENT.
- IN CONJUNCTION WITH THE BUILDING PERMIT APPLICATION FOR EACH LOT, THE PROPERTY OWNER SHALL PAY THE CITY OF POLK CITY A FEE IN THE AMOUNT OF \$3000.00 IN ADDITION TO THE STANDARD BUILDING PERMIT FEES IN ACCORDANCE WITH THE AMENDMENT TO DEVELOPMENT AGREEMENT RECORDED ON APRIL 16, 2010 IN BOOK 13412, PAGE 182, PROVIDED SAID BUILDING PERMIT IS APPLIED FOR PRIOR TO THE DATE THE TAX INCREMENT FINANCING EXPIRES FOR BIG CREEK VALLEY PLAT 1 AS DETERMINED BY THE POLK COUNTY ASSESSOR.

DEVELOPER
 MJR DEVELOPMENTS LLC
 ATTN: JARROD RUCKLE
 1425 NW HUGG DRIVE
 POLK CITY, IOWA 50226
 EMAIL: JARROD@MJRIOWA.COM
 PHONE: 515-419-2462

SURVEYOR
 SHIVE-HATTERY, INC.
 ATTN: MURRAY BERTING
 4125 WESTOWN PARKWAY, SUITE 100
 WEST DES MOINES, IA 50266
 EMAIL: MBERTING@SHIVE-HATTERY.COM
 PHONE: 515-223-8104

BENCHMARKS
 446.46' S OF NW CORNER OF PARCEL 'B'; MAG NAIL AT PC OF CENTERLINE CURVE
 ELEVATION = 934.93 (NAVD 88)

ZONING
 PUD - PLANNED UNIT DEVELOPMENT

MINIMUM BULK REGULATION
 FRONT YARD - 35'
 REAR YARD - 35'
 SIDE YARD - 8'
 MINIMUM LOT WIDTH - 80'
 MINIMUM LOT AREA - 10,000 SF

AREA
 44.20 AC

LEGAL DESCRIPTION
 OUTLOT Z BIG CREEK VALLEY PLAT 1 AN OFFICIAL PLAT, ALL NOW INCLUDED IN AND FORMING A PART OF THE CITY OF POLK CITY, POLK COUNTY, IOWA

LEGEND

●	FOUND PROPERTY CORNER (AS NOTED)
○	SET PROPERTY CORNER (5/8" ROD W/ YELLOW CAP #13148)
▲	FOUND SECTION CORNER MONUMENT (AS NOTED)
●	FOUND MAG NAIL
---	PROPERTY BOUNDARY LINE
---	SECTION CORNER LINE
---	ADJACENT PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	LOT LINES
XXX.XX' (M)	MEASURED BEARING AND DISTANCE
XXX.XX' (P)	PLATTED BEARING AND DISTANCE
MOE=920.00	MINIMUM OPENING ELEVATION

CITY APPROVAL

LAND SURVEYOR

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Signature: _____ DATE: _____

Printed or typed name: **MURRAY B. BERTING**

License Number: 13148

My License Renewal Date is: DECEMBER 31, 2020

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:
ALL SHEETS

FINAL PLAT - BIG CREEK VALLEY PLAT 2

PRELIMINARY
- NOT FOR
CONSTRUCTION

DRAWN: GWH
 APPROVED: MBB
 ISSUED FOR: FINAL PLAT
 DATE: 2020-09-15
 PROJECT NO.: 418138-1
 FIELD BOOK: ---
 CLIENT NO: ---

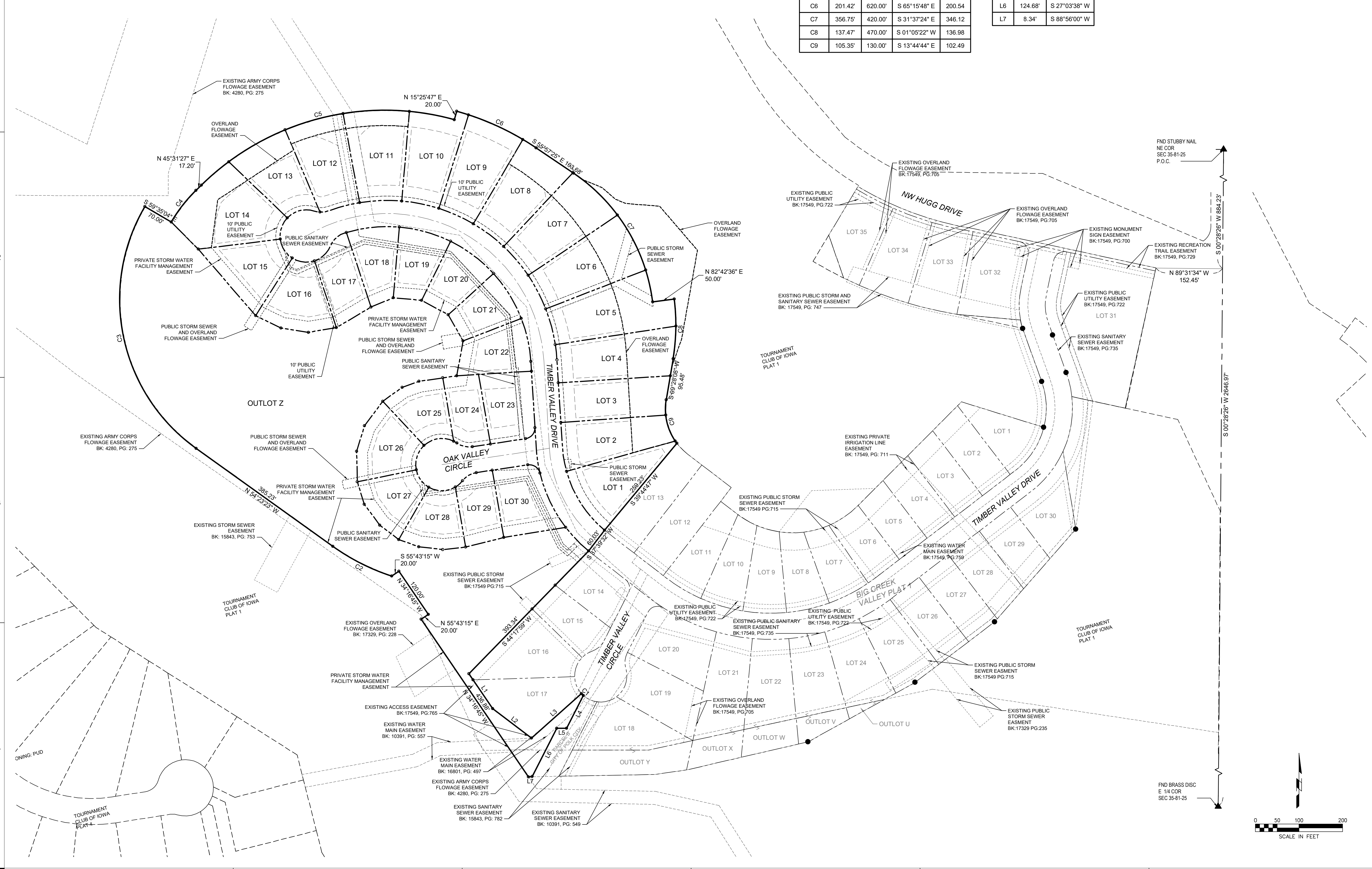
COVER SHEET

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 Printed: 9/15/2020 9:24:08 AM

INDEX LEGEND
 LOCATION : SE1/4 SEC26-81-25
 REQUESTOR : MJR DEVELOPMENTS LLC
 PROPRIETOR : JARROD RUCKLE
 SURVEYOR : MURRAY BERTING
 SURVEY : SHIVE-HATTERY
 COMPANY : 4125 WESTOWN PARKWAY, SUITE 100
 RETURN TO : WEST DES MOINES, IA 50266

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C1	6.23'	60.00'	S 45°28'54" E	6.23
C2	151.67'	495.00'	N 63°10'04" W	151.08
C3	621.65'	420.00'	N 11°59'15" W	566.44
C4	92.30'	350.00'	N 37°58'11" E	92.03
C5	627.33'	600.00'	N 75°28'37" E	599.14
C6	201.42'	620.00'	S 65°15'48" E	200.54
C7	356.75'	420.00'	S 31°37'24" E	346.12
C8	137.47'	470.00'	S 01°05'22" W	136.98
C9	105.35'	130.00'	S 13°44'44" E	102.49

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	96.77'	S 34°16'45" E
L2	111.64'	S 52°51'16" E
L3	153.65'	N 48°18'50" E
L4	84.53'	S 27°03'38" W
L5	22.47'	S 89°55'17" W
L6	124.68'	S 27°03'38" W
L7	8.34'	S 88°56'00" W



FINAL PLAT - BIG CREEK VALLEY PLAT 2

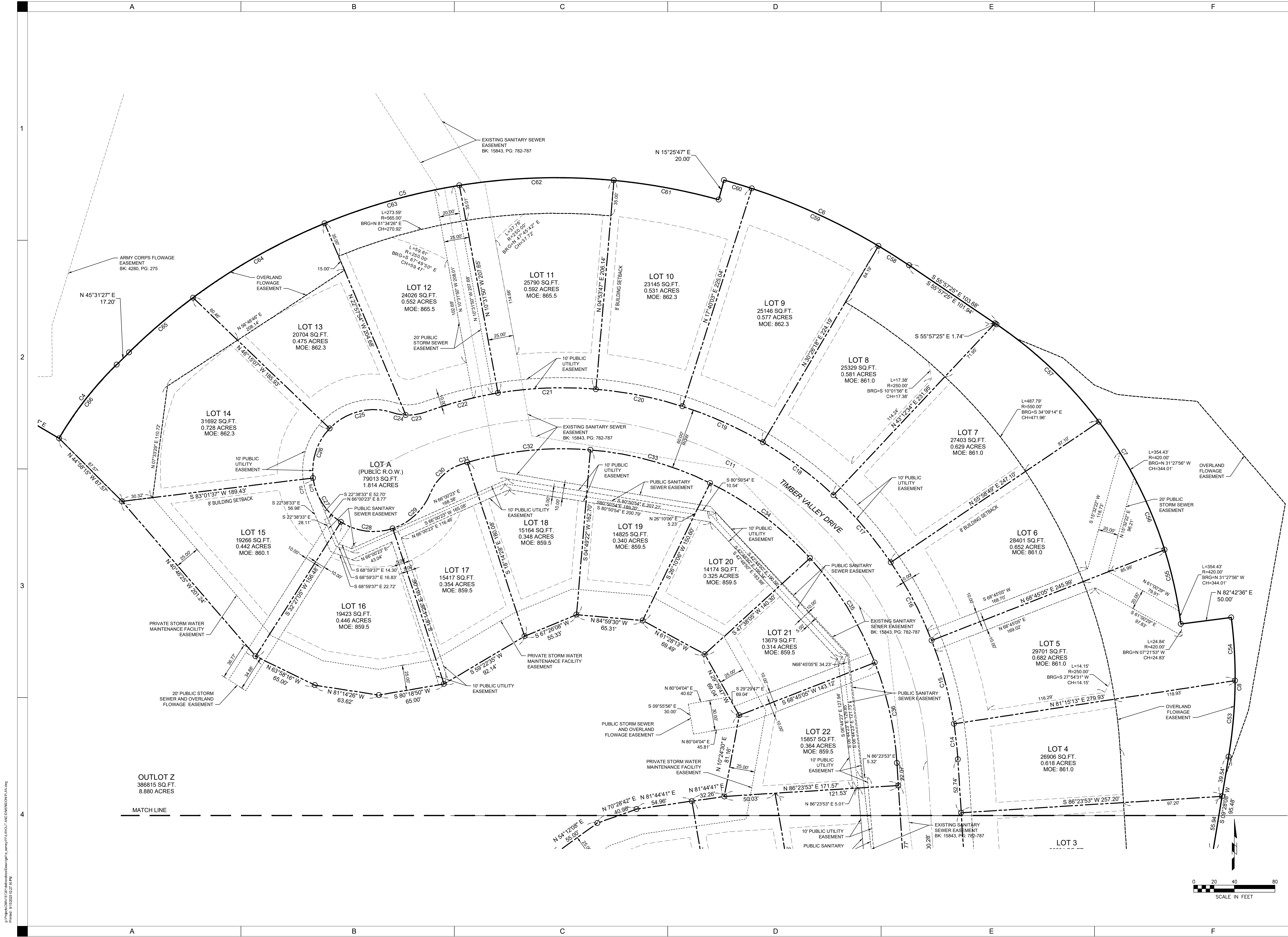
**PRELIMINARY
 - NOT FOR
 CONSTRUCTION**

DRAWN: GWH
 APPROVED: MBB
 ISSUED FOR: FINAL PLAT
 DATE: 2020-09-15
 PROJECT NO.: 418138-1
 FIELD BOOK: ---
 CLIENT NO.: ---

OVERALL PLAN

SHIVE-HATTERY
 ARCHITECTURE + ENGINEERING
 4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266
 515.233.8104 | www.shivehattery.com
 Iowa | Illinois | Indiana

POLK CITY, IOWA



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POLK COUNTY, IOWA

INDEX LEGEND
 LOCATION : SE1/4 SEC26-81-25
 REQUESTOR : MJR DEVELOPMENTS LLC
 PROPRIETOR : JARROD RUCKLE
 SURVEYOR : MURRAY BERTING
 SURVEY : SHIVE-HATTERY
 COMPANY : 4125 WESTOWN PARKWAY, SUITE 100
 RETURN TO : WEST DES MOINES, IA 50266

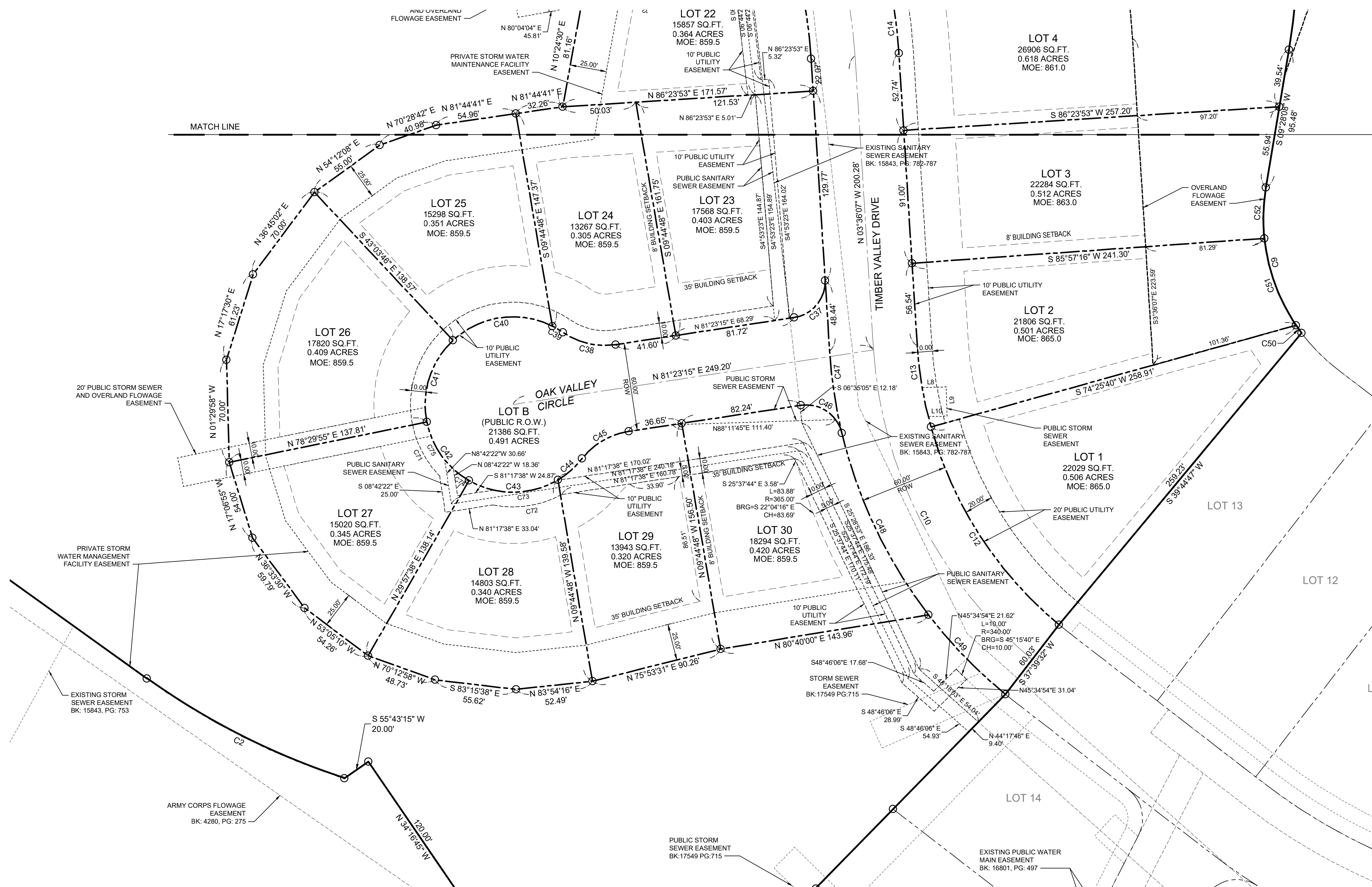
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C10	245.36'	300.00'	S 27°01'56" E	238.58
C11	737.75'	360.00'	N 62°18'37" W	615.26
C12	163.43'	270.00'	N 32°54'47" W	160.95
C13	56.41'	270.00'	N 09°35'14" W	56.31
C14	35.04'	390.00'	N 06°10'20" W	35.03
C15	85.10'	390.00'	N 14°59'51" W	84.93
C16	86.93'	390.00'	N 27°38'03" W	86.75
C17	86.93'	390.00'	N 40°24'19" W	86.75
C18	86.93'	390.00'	N 53°10'34" W	86.75
C19	86.93'	390.00'	N 65°56'50" W	86.75
C20	86.93'	390.00'	N 78°43'05" W	86.75
C21	96.82'	390.00'	S 87°47'03" W	96.57
C22	73.59'	390.00'	S 75°16'00" W	73.48
C23	19.98'	49.99'	S 81°18'31" W	19.85
C24	13.31'	49.99'	N 79°36'35" W	13.27
C25	67.30'	60.00'	S 75°52'55" W	63.83
C26	53.12'	60.00'	S 18°23'15" W	51.40
C27	52.96'	60.00'	S 32°15'39" E	51.26
C28	53.08'	60.00'	S 82°53'41" E	51.37
C29	52.09'	60.00'	N 46°53'24" E	50.47

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C30	44.18'	50.00'	N 47°19'52" E	42.75
C31	5.29'	330.00'	N 73°06'03" E	5.29
C32	122.47'	330.00'	N 84°11'30" E	121.77
C33	122.95'	330.00'	S 74°30'10" E	122.24
C34	123.65'	330.00'	S 53°05'43" E	122.92
C35	121.60'	330.00'	S 31°48'18" E	120.91
C36	101.66'	330.00'	S 12°25'24" E	101.26
C37	36.11'	25.00'	S 40°02'59" W	33.05
C38	37.82'	50.00'	N 76°56'30" W	36.93
C39	8.38'	60.00'	N 59°16'16" W	8.37
C40	73.09'	60.00'	S 81°49'59" W	68.65
C41	61.20'	60.00'	S 17°43'04" W	58.58
C42	50.83'	60.00'	S 35°46'14" E	49.32
C43	63.61'	60.00'	N 89°35'26" E	60.67
C44	22.17'	60.00'	N 48°38'00" E	22.05
C45	37.82'	50.00'	N 59°43'00" E	36.93
C46	37.17'	25.00'	S 56°00'59" E	33.84
C47	56.55'	330.00'	S 08°30'40" E	56.48
C48	138.68'	330.00'	S 25°27'33" E	137.66
C49	75.65'	330.00'	S 44°03'57" E	75.49

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C50	6.52'	130.00'	S 35°31'22" E	6.52
C51	63.92'	130.00'	S 19°59'58" E	63.28
C52	34.90'	130.00'	S 01°46'40" W	34.80
C53	75.22'	470.00'	S 04°53'01" W	75.14
C54	62.25'	470.00'	S 03°29'45" E	62.20
C55	74.72'	420.00'	S 12°23'10" E	74.62
C56	142.27'	420.00'	S 27°11'13" E	141.59
C57	139.76'	420.00'	S 46°25'27" E	139.12
C58	35.78'	620.00'	S 57°36'35" E	35.77
C59	136.99'	620.00'	S 65°35'33" E	136.71
C60	28.65'	620.00'	S 73°14'47" E	28.65
C61	104.88'	600.00'	S 79°34'41" E	104.75
C62	152.54'	600.00'	N 88°07'51" E	152.13
C63	138.07'	600.00'	N 74°15'19" E	137.77
C64	148.99'	600.00'	N 60°32'57" E	148.61
C65	82.84'	600.00'	N 49°28'46" E	82.78
C66	92.30'	350.00'	N 37°58'11" E	92.03
C67	26.99'	25.00'	S 67°41'12" E	25.70
C68	7.29'	270.00'	N 14°47'56" W	7.29
C69	20.32'	270.00'	N 11°52'11" W	20.31

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C70	19.14'	70.00'	S 14°48'28" E	19.08
C71	40.16'	70.00'	S 27°56'15" E	39.61
C72	48.62'	70.00'	N 81°17'38" E	47.65
C73	45.05'	60.00'	S 81°17'38" W	44.00
C74	22.16'	60.00'	S 49°27'39" E	22.03
C75	37.53'	60.00'	N 29°25'15" W	36.92
C76	16.41'	60.00'	N 14°48'28" W	16.36

LINE TABLE		
LINE	LENGTH	DIRECTION
L8	16.42'	S 88°11'45" W
L9	20.00'	N 01°48'15" W
L10	12.87'	N 88°11'45" E



FINAL PLAT - BIG CREEK VALLEY PLAT 2

PRELIMINARY
 - NOT FOR
 CONSTRUCTION

DRAWN: GWH
 APPROVED: MBB
 ISSUED FOR: FINAL PLAT
 DATE: 2020-09-15
 PROJECT NO.: 418138-1
 FIELD BOOK: ---
 CLIENT NO: ---

LAYOUT AND
 DIMENSION PLAN

SHIVE-HATTERY
 ARCHITECTURE + ENGINEERING
 4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266
 515.232.8104 | www.shivehattery.com
 Iowa | Illinois | Indiana

POLK COUNTY, IOWA

SITE PLAN REVIEW

Date: September 16, 2020
 Project: Lakes Early Learning Center

Compiled by: Kathleen Connor, Planner
 Project No.: 120.0850.01

GENERAL INFORMATION:

Applicant:	Feldman Real Estate, LC
Owner:	Bruce & Theresa Boland
Requested Action:	Approval of Site Plan
Location	Lot 2, BCTC Plat 1
Size:	2.35 acres
Zoning:	M-1
Propose Use:	Child care center



PROJECT BACKGROUND:

In March of 2009, the subject property was rezoned to M(Restricted) as part of the Big Creek Technology Campus development. The property was re-classified to M-1 in May of 2010 when the City updated their zoning ordinance to include two industrial zoning districts.

This property was platted as part of Big Creek Technology Campus Plat 2 in 2009 and the public improvements were completed in 2011. Iowa Growth Investors (Bruce Boland) received site plan approval for the existing office/warehouse building in October of 2012.

PROJECT DESCRIPTION:

Feldman Real Estate, LC plans to purchase the subject property for use as a child care facility. The existing 3,200 sf building will be expanded by 4,490 sf to create a 7,690 sf building. The existing second floor of the existing building will remain unfinished. The building addition will utilize materials that match those on the existing structure. It is the property owner's responsibility to obtain approval from the Design Review Committee per the recorded Declaration of Development Criteria and Design Standards prior to requesting a Building Permit.

The existing parking lot will be removed and replaced with a larger parking lot with a second access onto E. Vista Lake Avenue. Parking stall requirements are based on a 17-employee maximum shift. The detention basin will be increased in size to account for the additional impermeable surfaces.

A 3,600 sf playground area will be added east of the addition. A 10' recreational trail is planned along E. Vista Lake Avenue. Landscaping will be added, primarily around the perimeter of the parking lot. Street trees will be added at 40' on center along E. Vista Lake Avenue.

ISSUES:

- A. At the time the original Site Plan was approved, the property owner signed an agreement deferring construction of the 10' trail along E. Vista Lake Avenue until the City requires the trail to be paved. Since North Polk CSD plans to construct a new upper elementary school to the east of this site that is intended to be open in the fall of 2022, and because the City has plans to pave a trail along N 3rd Street, staff recommends the 10' trail be constructed in conjunction with the Site Plan improvements. However, the applicant requests that City Council continue to deferred this trail construction.

REVIEW COMMENTS: Pursuant to staff's review of Submittal #3, we offer the following:

1. If required by City Council, show and label the 10' trail as a proposed improvement.
2. Clarify the Type WP1 light fixture will be installed without the "KN" knuckle as forward-throwing floodlights are not permitted. Indicate bulb wattage for the WP1 lights.

RECOMMENDATION:

Based on the satisfactory resolution of the abovementioned comments, staff recommends P&Z approval of the Site Plan for Lakes Early Learning Center. P&Z approval will need to be subject to the following:

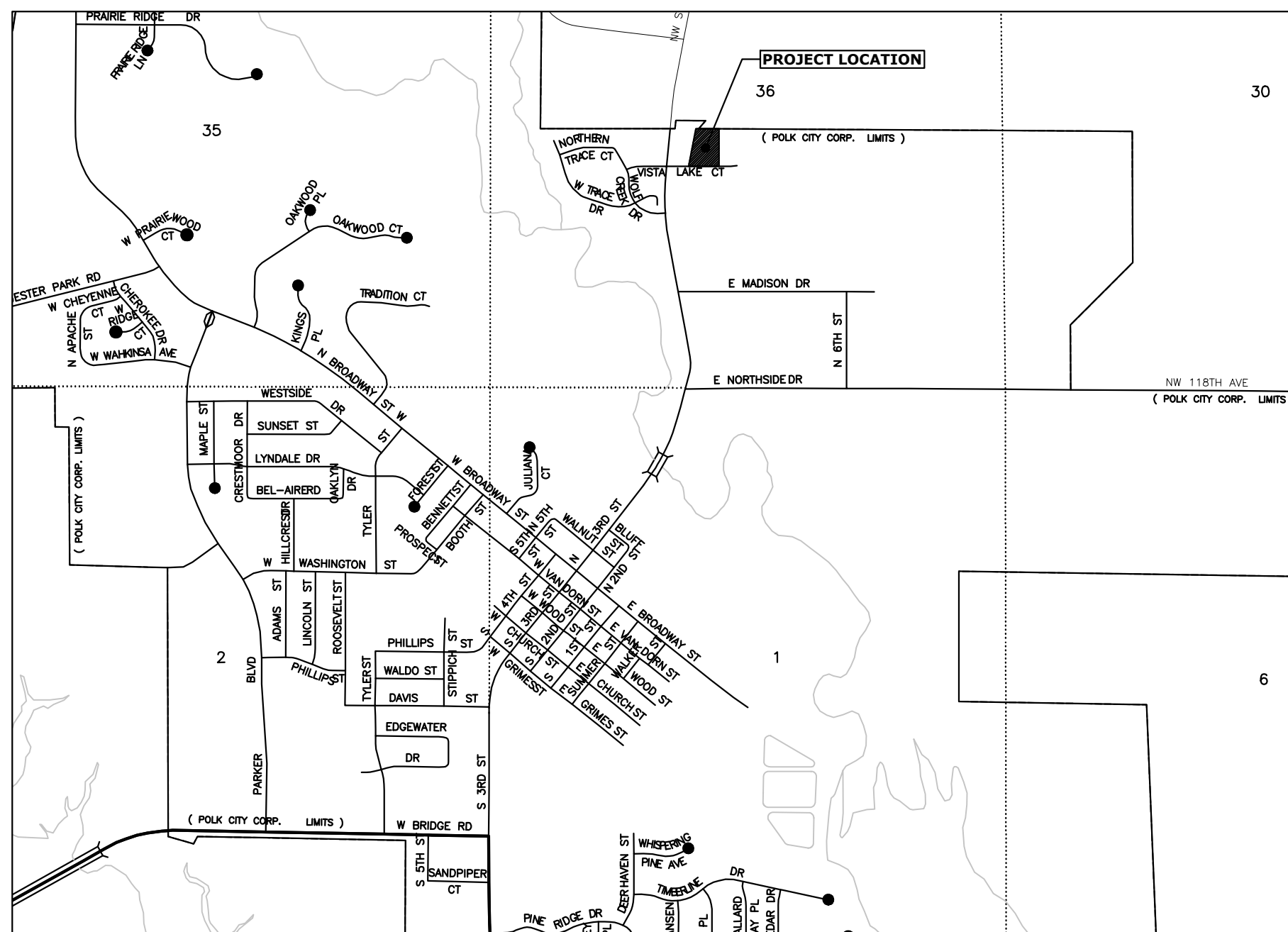
1. P&Z recommendation to City Council regarding the applicant's request to continue deferral of the paving of the 10' wide trail.
2. All of P&Z recommendations and staff review comments shall be satisfactorily addressed prior to this Site Plan being placed on the Council agenda.
3. Payment in full of all fees to the City Clerk.

SITE PLAN

LAKES EARLY LEARNING CENTER

POLK CITY, IOWA

LOCATION MAP

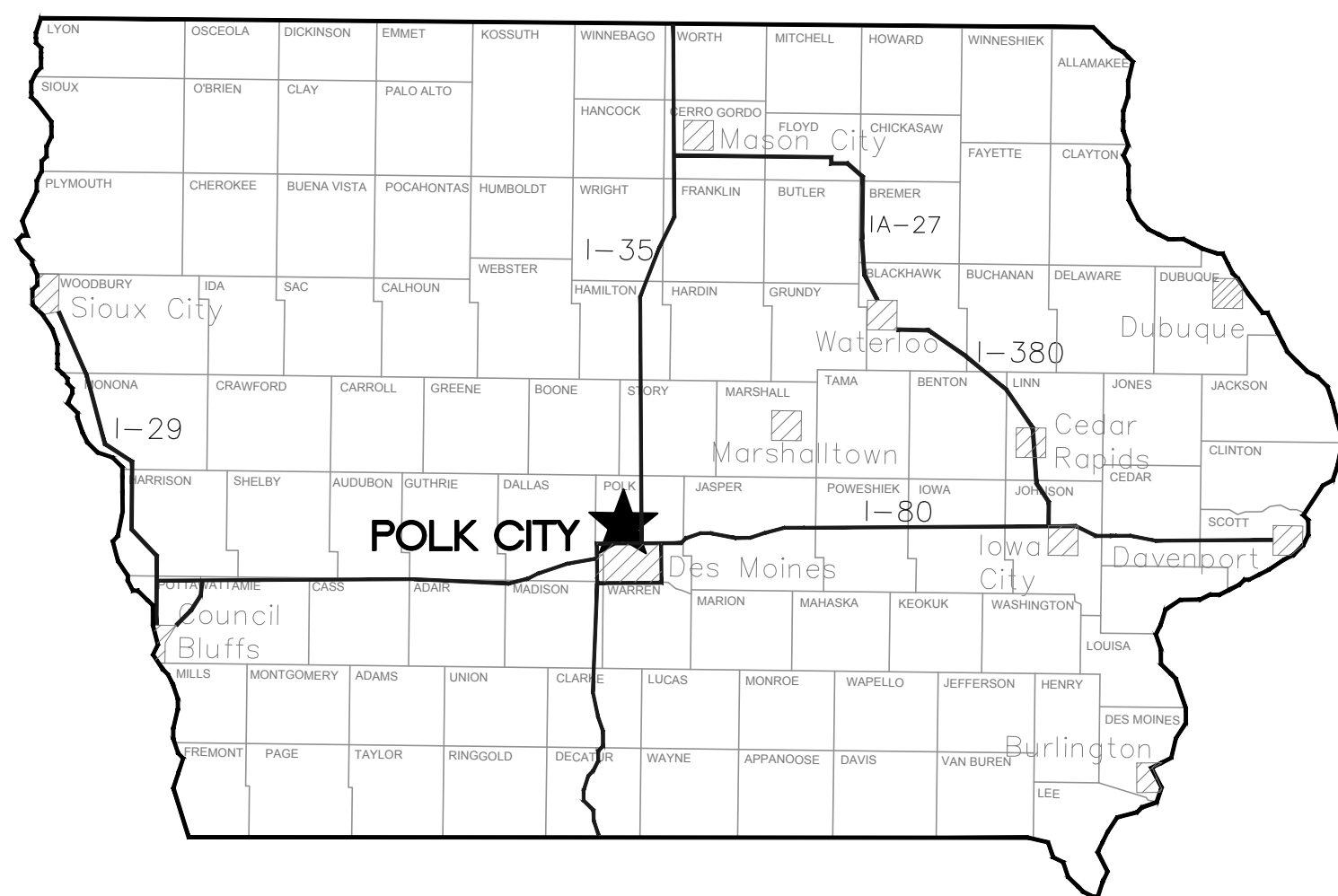


LAKES EARLY LEARNING CENTER

INDEX OF SHEETS	
No.	Description
G1.1	COVER SHEET
G2.1	LEGEND / GENERAL NOTES
G3.1	TYPICAL DETAILS
G4.1 - G4.2	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C1.1	EXISTING CONDITIONS & REMOVALS
C2.1	PROPOSED LOT LAYOUT
C3.1	UTILITY PLAN
C4.1	PAVEMENT JOINTING PLAN
C5.1	PROPOSED GRADING PLAN
C6.1	LANDSCAPE PLAN

TRAFFIC ANALYSIS
 Daily trips = 120 vehicles per day
 Peak Hour = 50 vehicles per hour (AM/PM)
 % Trucks = 0%

Utility Coordination
 The Contractor is responsible to coordinate construction with the following utilities know to have services in the area:
 Water and Sewer: Mike Schulte, City of Polk City (515) 208-1271
 Gas: Craig Ranfeld, MidAmerican (515) 252-6632
 Electric: Midland Cooperative (515) 386-4111
 Phone and Cable: Tim Adreon, Mediacom (515) 233-2318
 Tom Sturmer, Centurylink (303) 453-9927



GENERAL NOTE: ALL UTILITIES ARE ONLY GENERALLY LOCATED. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION BEFORE CONSTRUCTION BEGINS.

SITE PLAN DATA

Site Address: 115 East Vista Lake Avenue
 Legal Description: Lot 2 Big Creek Technology Campus, Plat 1
 Owner: Bruce Boland, 3818 NW 92nd Place, Polk City, IA 50226
 Applicant: Feldman Real Estate, LLC, 115 East Vista Lake Avenue, Polk City, IA 50226
 Site Plan Prepared by: Eric Thompson, P.E., FOX Engineering Associates, 414 S. 17th Street, Suite 107, Ames, Iowa 50010, Phone: 515-233-0000, Email: ELT@foxeng.com
 Zoning (165.11): M-1 Industrial
 Building requirements: Max Height 75 FT, Open Space 15 %
 Building Setbacks: Front 30 FT, Side Yard 0 FT, Rear 40 FT
 Building Use: Education - Child Care
 Employees: 17 - MAX per shift
 Survey Datum: All elevations are to NAV 88 unless otherwise noted
 Flood Information: This site is not in a regulated floodplain

Lot 2, Site Area =	102,223 SF	
Developed Site Area =	59,423 SF	
Existing Building Area =	3,200 SF	
New Building Area =	4,490 SF	
Total Pavement Area =	24,017 SF	
Total Hard Surface =	31,707 SF	
Pervious Playground Area =	3,600 SF	
Total Open Space	70,571 SF	69.0%
Required Open Space	15,333 SF	15.0%

The second floor of the building will not be occupied without a Site Plan amendment, and the provision of additional parking spaces based on use per Polk City zoning regulations.

Parking (165.16)
 1 space per employee: 17 Employees
 (+) 1 space per 200 sf: 38.45 #/200 SF

Total Building Gross Floor Area =	7,690 SF
Employee Parking Required =	17 Spaces
Floor Area Parking Required =	38.45 SF
Total Spaced Required =	56 Spaces
Total Spaces Provided =	56 Spaces
Handicap Spaces Req'd =	3 Spaces (1 van)
Handicap Spaces Prov'd =	3 Spaces (1 van)

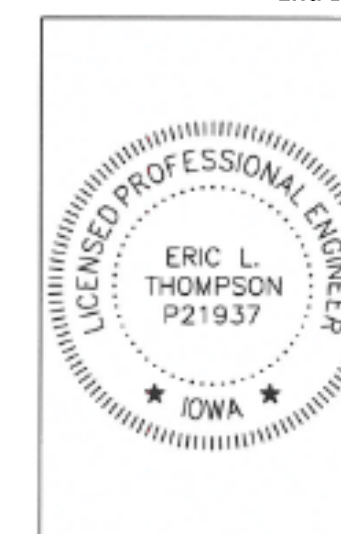
Landscaping Requirements (165.17)

Open Space	
Developed Area =	59,423 SF
Open Space =	27,716 SF
Trees =	18 EA
Shrubs =	55 EA

Parking Area	
Plant Square Footage =	4,803 SF
No. of Trees Required =	7 EA

Construction

Start Date: Fall 2020
 End Date: Fall 2021



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
 Eric L. Thompson, P.E.
 License number P21937
 My license renewal date is December 31, 2020.
 Pages or sheets covered by this seal: 001

NO MONUMENT SIGN IS PROPOSED ON THIS LOT. APPROVAL OF A SITE PLAN AMENDMENT IS REQUIRED PRIOR ISSUANCE OF A PERMIT FOR ANY FUTURE MONUMENT SIGN.

NO BUILDING SIGN IS PROPOSED. PRIOR TO ISSUANCE OF A PERMIT FOR ANY FUTURE SIGN, A DETAIL WILL BE REQUIRED SHOWING THE SIGN MATERIALS, DIMENSIONS, AND LIGHTING. INTERNALLY LIT PANEL SIGNS ARE NOT PERMITTED IN THE M-1 DISTRICT

THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2. THE CONTRACTOR SHALL CARRY OUT THE TERMS AND CONDITION OF GENERAL PERMIT NO. 2 AND STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THESE CONTRACT DOCUMENTS. REFER TO SECTION 2602 OF THE DOT STANDARD SPECIFICATION FOR ADDITIONAL INFORMATION.

THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS 2020) AND POLK CITY SUPPLEMENTAL SPECIFICATIONS; AND APPLICABLE SUPPLEMENTAL SPECIFICATIONS, DEVELOPMENTAL SPECIFICATIONS, AND SPECIAL PROVISIONS, AND ALL APPROPRIATE ADDENDUMS AND REVISIONS SHALL APPLY TO THE CONSTRUCTION WORK ON THIS PROJECT UNLESS NOTED ON THE PLANS OR IN THE CONTRACT.

SITE NOTE:

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.



DATE	BY	REVISION
9/14/20 <td>ELT <td></td> </td>	ELT <td></td>	
	ELT <td></td>	
	ELT <td></td>	
	ELT <td></td>	

DATE	REVISION

FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103

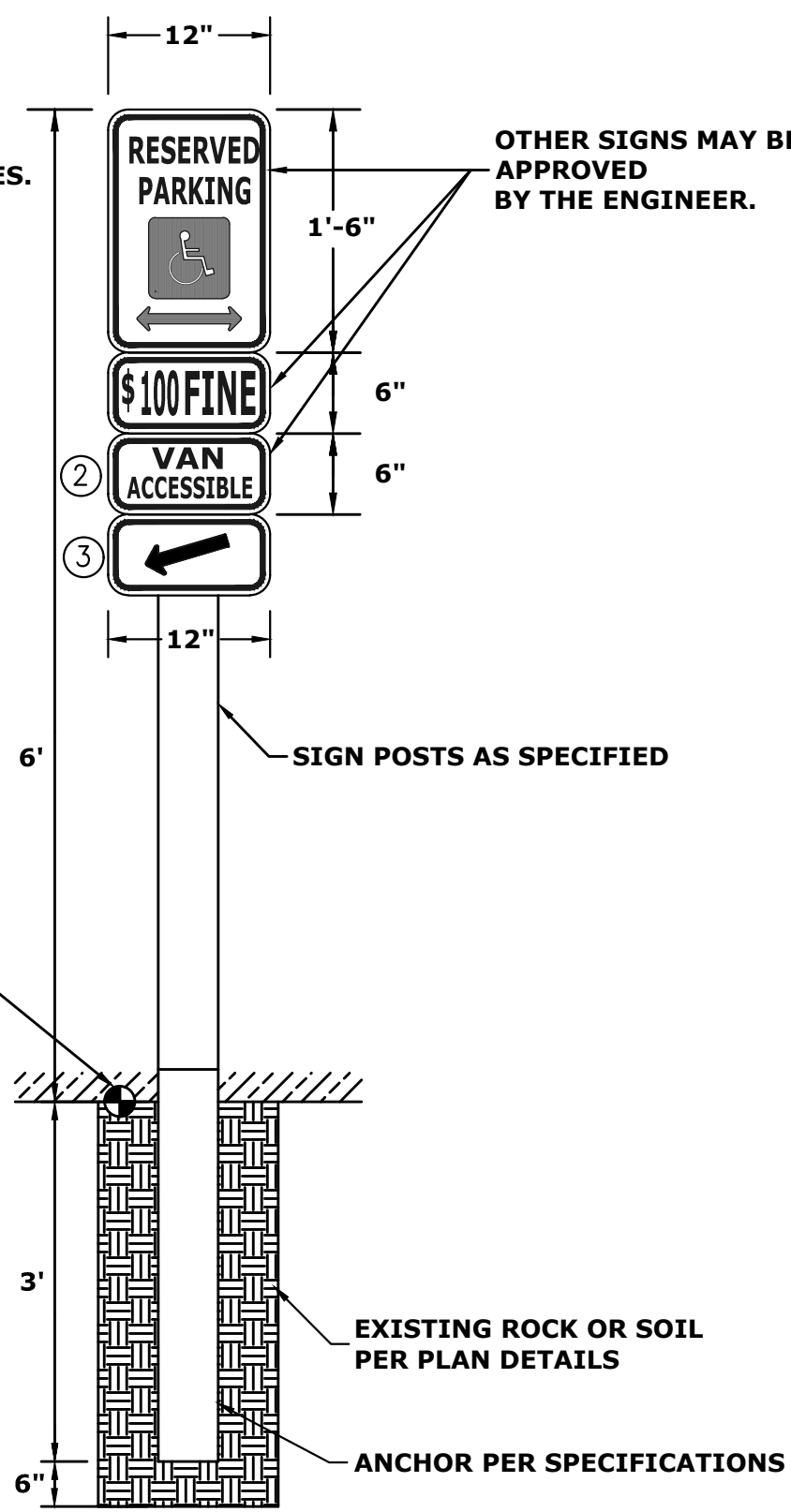


COVER SHEET
 LAKES EARLY LEARNING CENTER
 115 EAST VISTA LAKE AVENUE
 SITE PLAN
 POLK CITY, IOWA

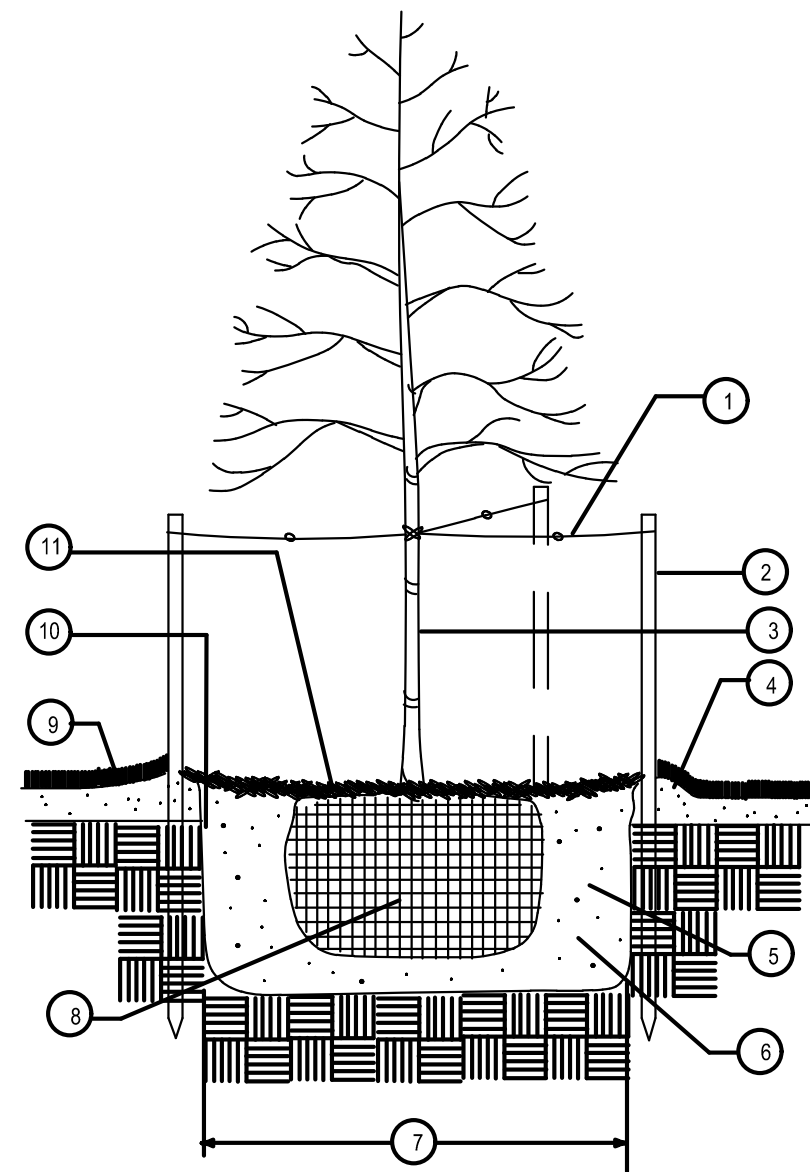
PROJECT NO.
 5497-20A
 SHEET
 G1.1

SIGNAGE NOTES:

1. VERIFY THAT SIGNAGE PROVIDED COMPLIES WITH STATE AND LOCAL CODES.
2. VAN ACCESSIBLE PLACARD SHALL BE PLACED IN FRONT OF VAN ACCESSIBLE STALLS.
3. USE W16-7P SUPPLEMENTAL PLAQUE WHERE INDICATED ON THE PLANS.
4. FIELD VERIFY LOCATIONS OF SIGNS.

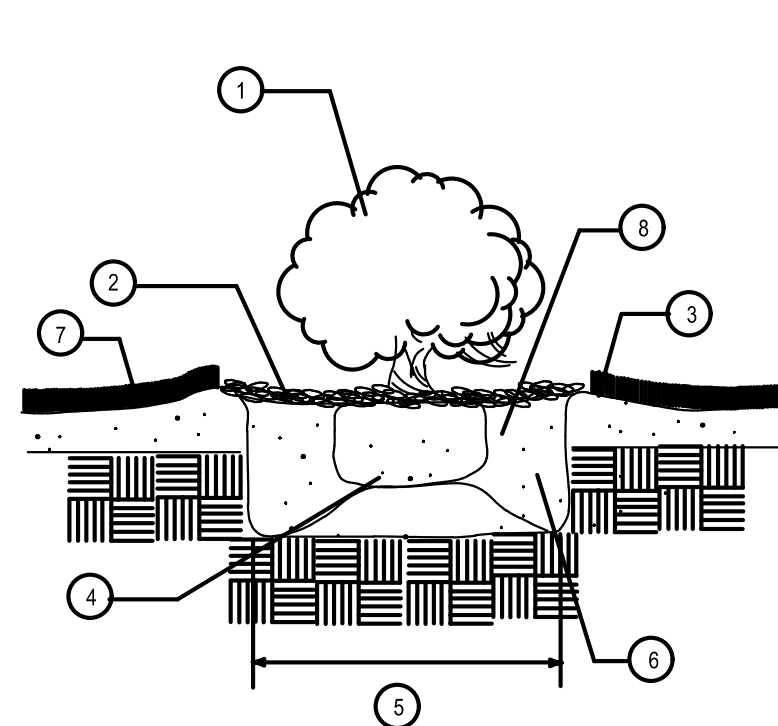


1 HANDICAP SIGN POST DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

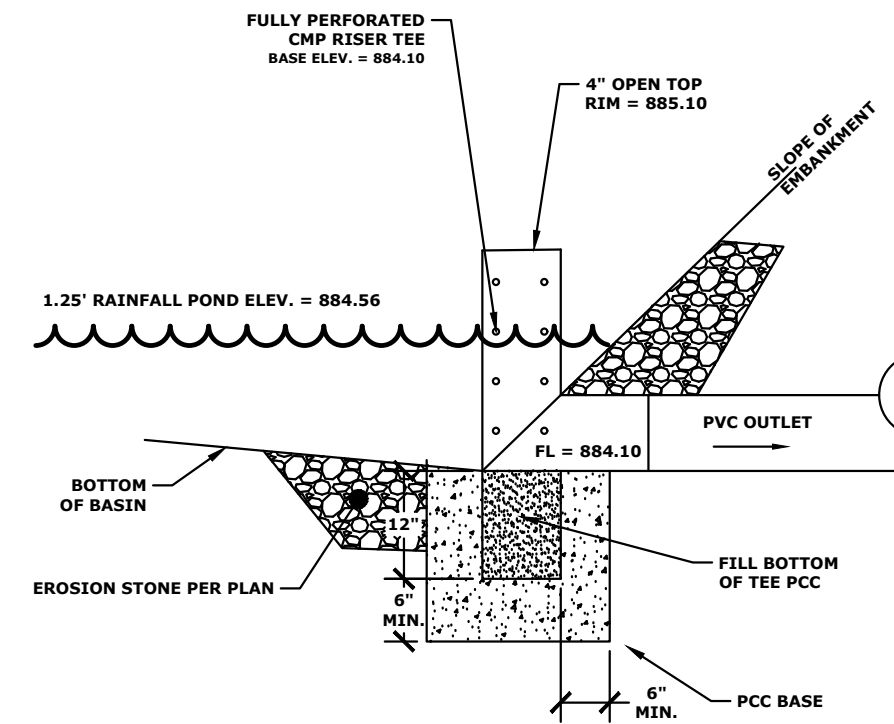
NOT TO SCALE

- 1 TREE TIE - FASTEN TO TREE TRUNK W/ RUBBER HOSE ABOUT SCAFFOLD BRANCHES
- 2 WOOD STAKE OR WOOD DEADMEN (8-10" EXPOSED) STAKE ON THREE SIDES SPACED 120 DEGREES APART
- 3 TREE TRUNK W/ WRAP
- 4 5" WATERING BASIN
- 5 FERTILIZER TABLETS (3" DEEP)
- 6 PLANTING BACKFILL
- 7 THREE TIMES ROOTBALL DIAMETER (MINIMUM)
- 8 ROOTBALL
- 9 FINISH GRADE
- 10 PLANT PIT W/ ROUGHENED SIDES
- 11 3-4" SHREDDED BARK/HARDWOOD MULCH

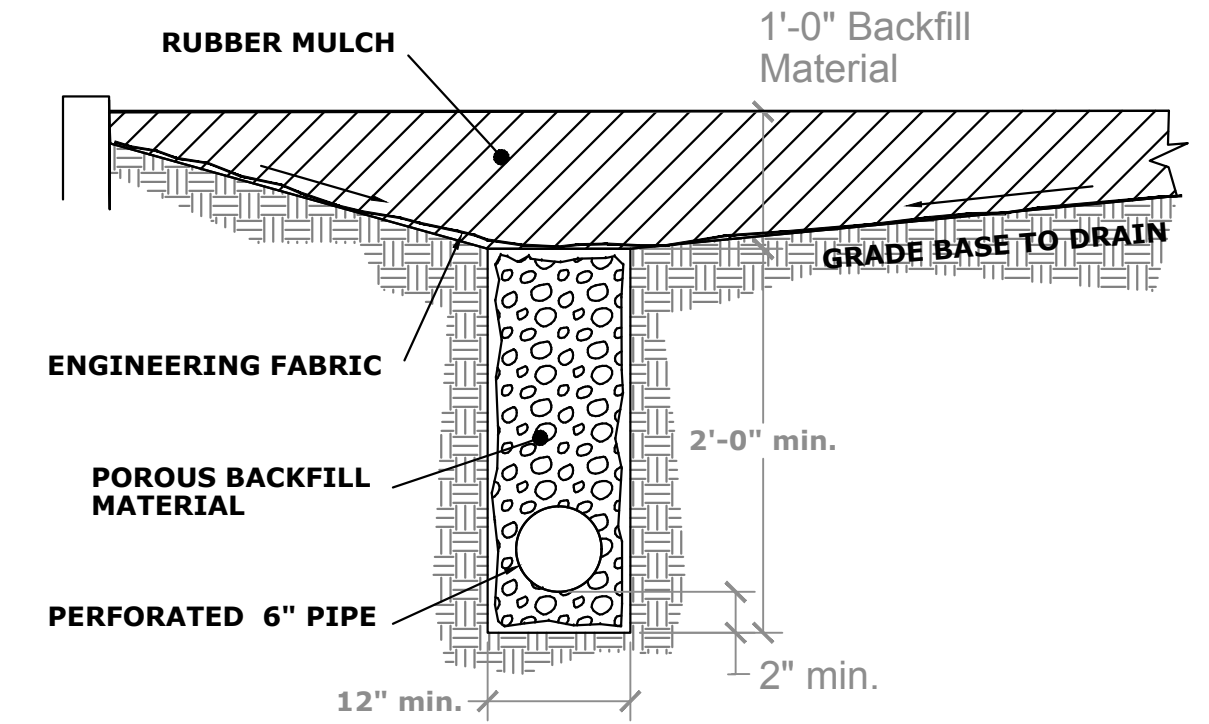
- NOTES:
1. THE PLANTING HOLE SHOULD BE SHALLOW AND WIDE TO ALLOW FOR RAPID GROWTH AFTER PLANTING.
 2. DO NOT THIN CROWN. PRUNE DAMAGED OR BROKEN BRANCHES AS NEEDED.
 3. SET TREE 2-3 INCHES ABOVE FINISHED GRADE.
 4. APPLY WATER TO HOLE WHILE BACKFILLING TO ASSURE AIR POCKETS DO NOT FORM.

- 1 SHRUB
- 2 4" SHREDDED BARK MULCH
- 3 5" WATERING BASIN
- 4 ROOTBALL
- 5 TWICE ROOTBALL DIAMETER
- 6 FERTILIZER TABLET (1) - 3" DEEP
- 7 FINISH GRADE
- 8 PLANTING BACKFILL - SEE SPECIFICATION

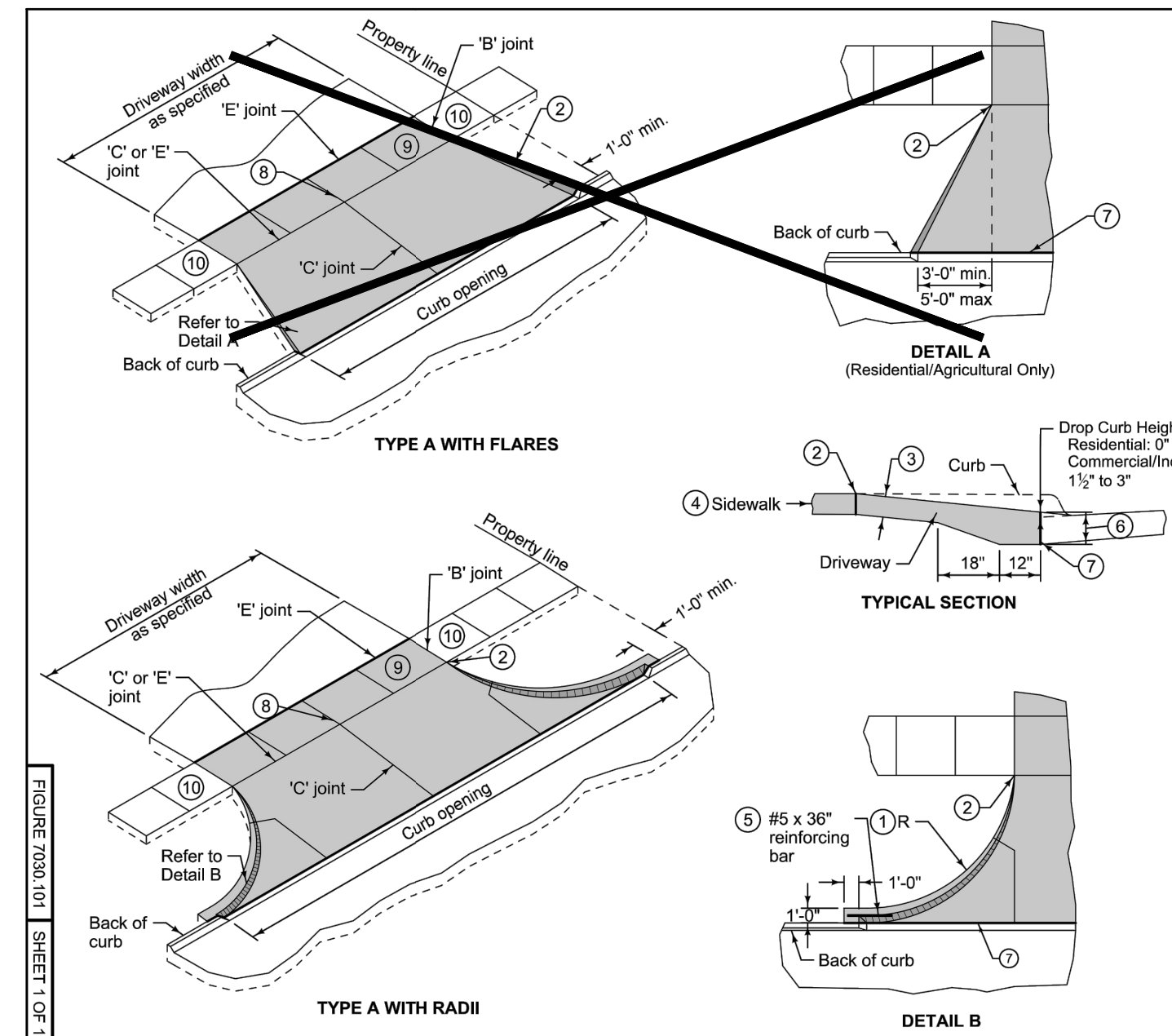
2 PLANTING DETAILS
NTS



3 POND OUTLET DETAIL
NOT TO SCALE

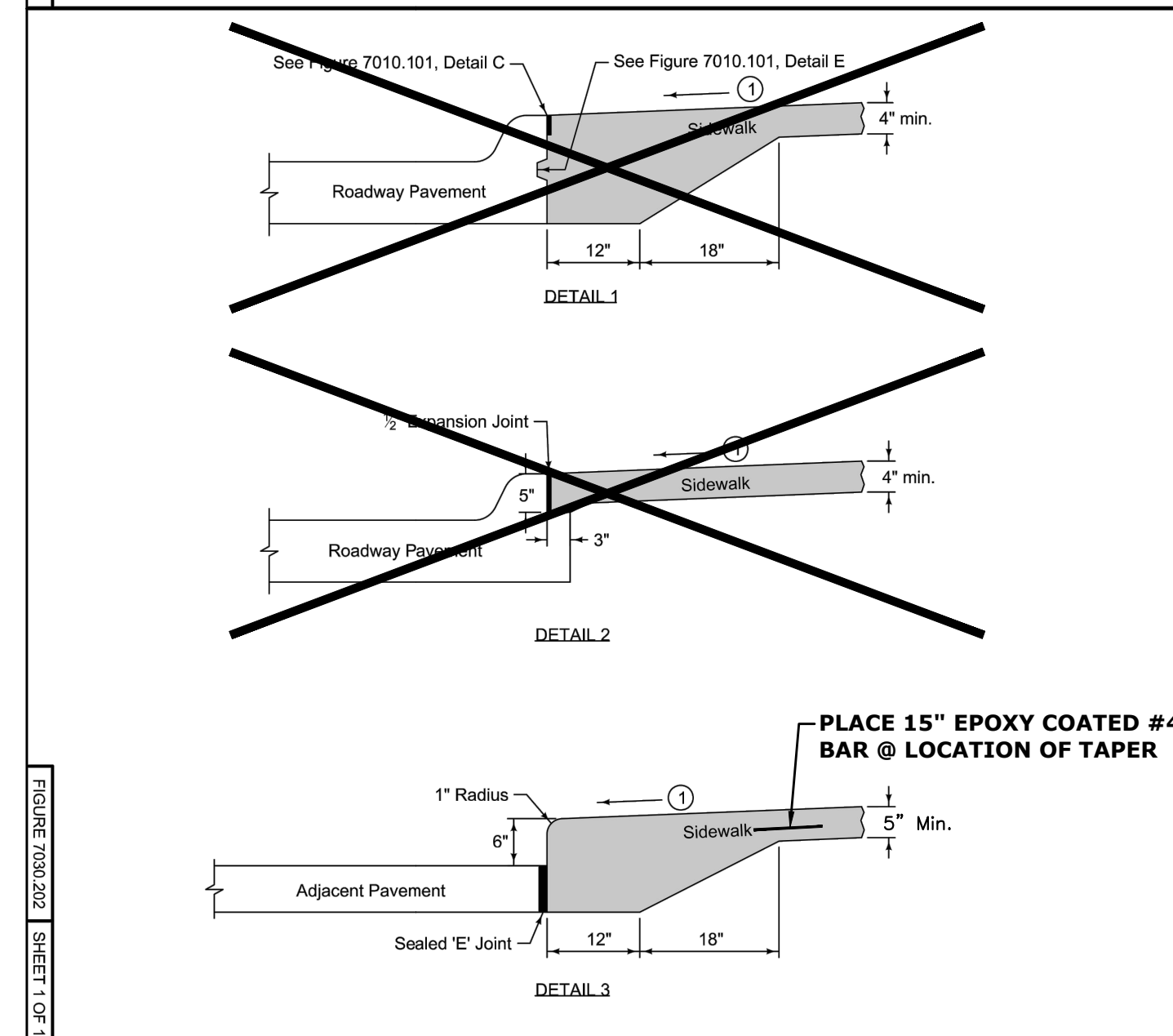


4 PLAYGROUND SUBDRAIN DETAIL



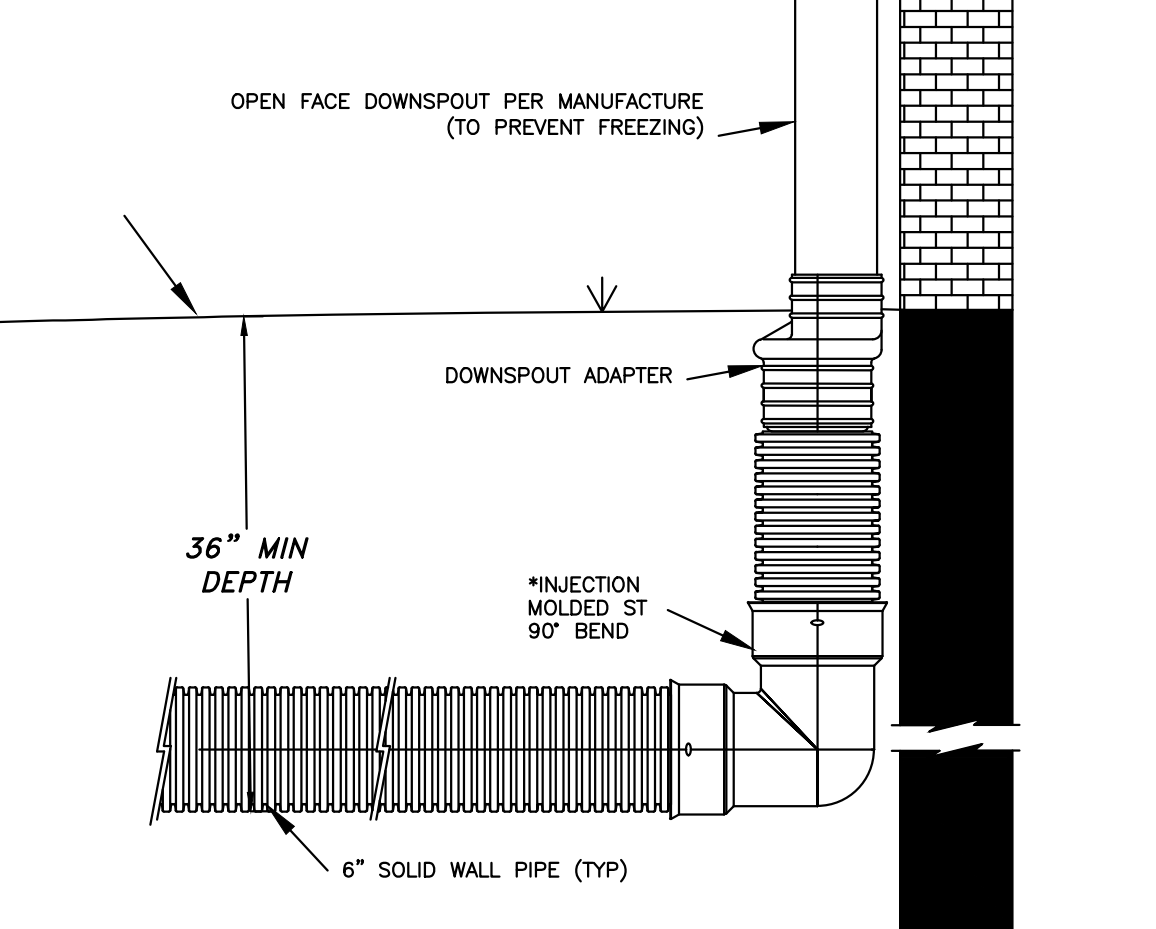
- 1 Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- 2 Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb across sidewalk.
- 3 Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4 Sidewalk thickness through driveway to match thickness of driveway.
- 5 Center reinforcing bar vertically in the pavement.
- 6 Match thickness of adjacent roadway, 8 inches minimum.
- 7 Provide 'E' joint at back of curb unless 'B' joint is specified.
- 8 For alleys, invert the pavement crown 2% toward center of alley.
- 9 Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 2 feet wide to serve as a passing space.
- 10 If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with Figure 7030.205, verify need for detectable warning panel with Engineer.

 7030.101 SHEET 1 of 1
SUDAS Standard Specifications CONCRETE DRIVEWAY, TYPE A



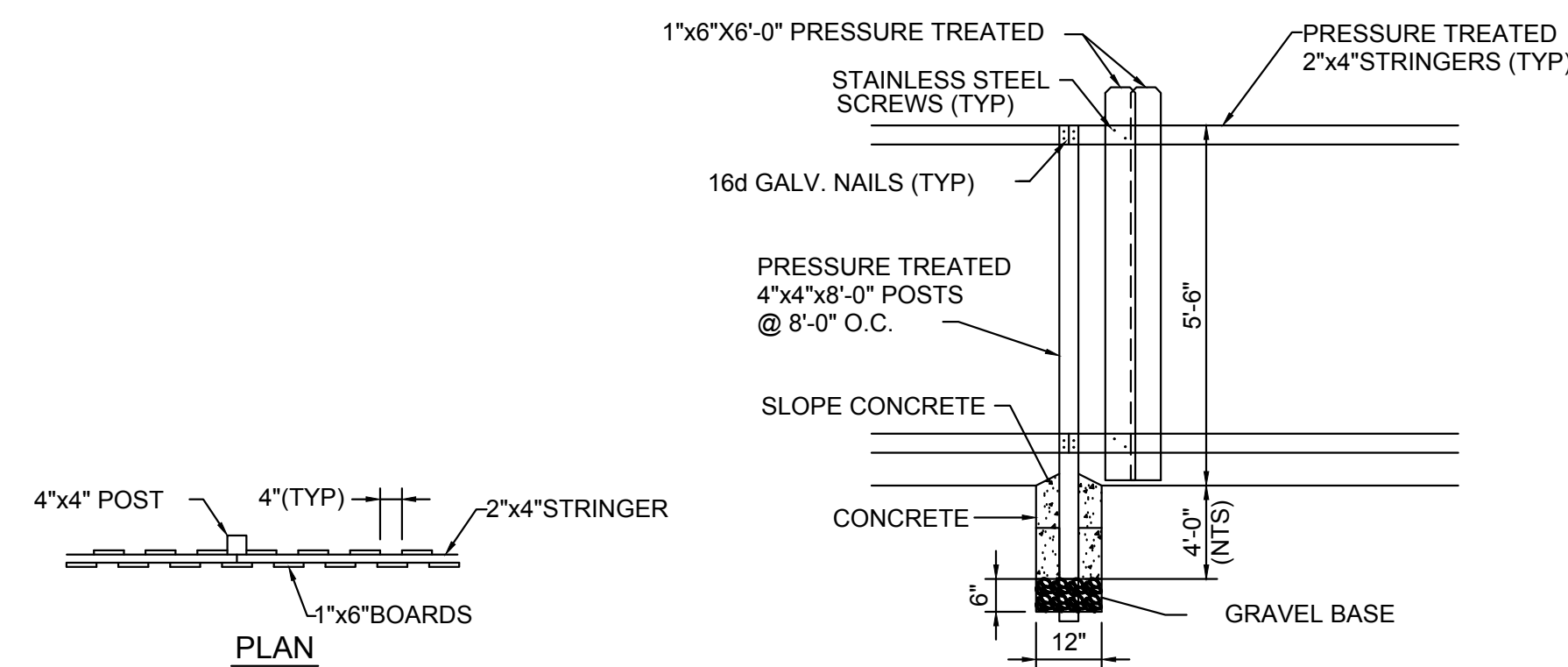
- For new sidewalk with new curb and gutter, comply with Detail 1 or Detail 2. Comply with Detail 3 for new sidewalk adjacent to existing pavement or when specified in the contract documents.
- 1 Target cross slope of 1.5% with a maximum cross slope of 2.0%.

 7030.202 SHEET 1 of 1
SUDAS Standard Specifications CURB DETAILS FOR CLASS A SIDEWALK MODIFIED



PROPOSED ROOF DRAIN LINE SHALL BE 6-INCH SDR 23.5 OR DUAL WALL A2000 WITH SMOOTH WALL INTERIOR. CONTRACTOR SHALL CONNECT ALL PROPOSED DOWNSPOUTS TO THE 6-INCH ROOF DRAIN LINE WITH PREFABRICATED FITTINGS.

5 DOWNSPOUT CONNECTION TO SUBDRAIN



6 TYPICAL TRASH ENCLOSURE DETAIL

DRAWING FILENAME: K:\Info\5000\5497-20A\Feldman Child Care Center\Drawings\General\5497-20A-G-Sheets.dwg
 PLOT STYLE TABLE: FoxGrayScale.ctb
 LAYER MGR NAME: G3.1
 LAYOUT NAME:

DATE	BY	DESIGNED	DRAWN	CHECKED	LAST UPDATE:
09/20	ELT	09/20	ELT		9/9/20
REVISION					
DATE					

FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103



TYPICAL DETAILS
 LAKES EARLY LEARNING CENTER
 115 EAST VISTA LAKE AVENUE
 SITE PLAN
 POLK CITY, IOWA

STORM WATER POLLUTION PREVENTION PLAN

All contractors/subcontractors shall conduct their operations in a manner that minimizes erosion and prevents sediments from leaving the roadway right-of-way and prevents chemical contamination of soil and water. The Prime Contractor shall be responsible for compliance and implementation of the Pollution Prevention Plan (PPP) for their entire contract. This responsibility shall be further shared with subcontractors whose work is a source of potential pollution as defined in this PPP. All work necessary to be in compliance with the PPP shall be considered incidental to the project. Therefore, it is in the best interest of the Contractor to disturb as little land as possible.

Phase 1 - Site Evaluation and Design Development

Existing soil information: See the Polk County Soil Survey, SW Quarter of Section 36 of T80N, R25W.

Existing runoff quality: Existing data on runoff water quality is not available.

Location of surface water on site: Runoff surface drains from the site.

Name of receiving stream: unnamed tributary to Big Creek.

Construction activity description: General soil disturbing activities associated with grading and utility installation include: stockpiling, trenching, backfilling, grading, paving and seeding.

This Pollution Prevention Plan (PPP) is for the Lakes Early Learning Center, 115 East Vista Lake Avenue, Polk City, Iowa. This PPP covers approximately 2.35 acres with 1.0 of the acres being disturbed.

The PPP is located in an area of two (2) soil types: Clarion loam Bemis moraine (L138B), and Canisteo clay loam (LS07). The estimated average NRCS runoff curve number for this PPP after completion will be 73.

Refer to the drawings, "Lakes Early Learning Center" for locations of typical slopes, ditch grades, and major structural and non-structural controls. A copy of this plan will be on file at the Project Engineer's office.

Site map: The plans show slopes after grading, disturbed areas, drainage patterns, and discharge points.

Potential Sources of Pollution:

Site sources of pollution generated as a result of this work relate to silts and sediment that may be transported as a result of a storm event. However, this PPP provides conveyance for other (non-project related) operations. These other operations have storm water runoff, the regulation of which is beyond the control of this PPP. Potentially this runoff can contain various pollutants related to site-specific land uses. Examples are:

a. Rural Agricultural Activities:

Runoff from agricultural land use can potentially contain chemicals including herbicides, pesticides, fungicides and fertilizers.

b. Commercial and Industrial Activities:

Runoff from commercial and industrial land use may contain constituents associated with the specific operation. Such operations are subject to potential leaks and spills that could be commingled with run-off from the facility. Pollutants associated with commercial and industrial activities are not readily available since they are typically proprietary.

Municipal Utilities: Site is located in the City of Nevada corporate limits.

Phase 2 - Control Selection/Plan Design

(A) Select Erosion and Sediment Controls

The Contractor shall submit specifications for temporary and permanent measures to be used for controlling erosion and sediment. Clearing and grading should not be started until a firm construction schedule is known and can be effectively coordinated with the grading and clearing activity.

The following Stabilization measures will be utilized:

Temporary seeding - Exposed areas subject to erosion should be covered as quickly as possible. Under Iowa's General Permit No. 2, disturbed areas of the construction site that will not be re-disturbed for 14 days or more, on any portion of the site, the area shall be stabilized by zero, the last day of land disturbing activities.

Permanent seeding, sod and planting - Permanent seeding or sod shall be done in accordance with the Seeding Plan. The seeding schedule shall follow the Iowa Department of Transportation specifications. Temporary seeding shall be utilized for erosion control until permanent seeding can be established.

Mulching - Temporary vegetation will be used as mulch when permanent seeding is completed.

Preservation of Natural Vegetation - Natural Vegetation shall be preserved where possible within the construction limits. Natural vegetation shall not be disturbed outside of the construction limits. Vegetation may be mowed or harvested for hay crop.

Vegetative Strips - Vegetative strips may be utilized to slow runoff velocities and deposit sediments from disturbed areas.

Soil Retaining Measures - Soil to be reused will be stockpiled onsite as indicated on the plans. Silt fence will be utilized to maintain soils onsite. See City of Nevada requirements for topsoil replacement.

Minimization of land exposure - Exposure of disturbed land shall be minimized in terms of area and time.

Roadways - Roadways will be surfaced or otherwise stabilized as soon as feasible.

Topsoil - shall be preserved, onsite, unless infeasible and de-compacted prior to final stabilization. Re-spread minimum depth of eight-inches (8") of topsoil with at least 3% organic matter, per SUDAS.

The following structural practices will be utilized:

Earthen Berm or Dike - Earthen dikes may be used to divert water around disturbed areas and around intakes as directed by the Engineer.

Silt fence - Silt fence shall be placed on the perimeter of the disturbed area, and other locations, as shown on the drawings. Additional silt fence shall be provided at the discretion of the Engineer.

Gravel Construction Entrance - A gravel or crushed aggregate construction entrance will be used to reduce or eliminate offsite tracking of soil or debris.

Sediment Trap - To be placed at location(s) indicated on the plans.

Check Dam - Rock check dam shall be placed in drainage channel as indicated on the plans.

Blanket and Matting (RECP - Type 2.C) - Erosion control matting on slopes as indicated on the plans.

Inlet and Outlet Protection - To be placed at location(s) indicated on the plans.

(B) Select other controls

Disposal of construction site waste materials - The Contractor will be responsible for making sure that all construction wastes are properly disposed of at facilities permitted to accept these types of wastes. In the event of a conflict with other governmental laws, rules and regulations, the more restrictive laws, rules or regulations shall apply.

Treatment or disposal of sanitary wastes generated onsite - The Contractor will be responsible for providing sanitary facilities for workers in accordance with local and state requirements. Facilities shall be secured from overturning. The Contractor will be responsible for disposing of sanitary waste in accordance with local and state requirements.

Prevent off-site tracking of sediments and generation of dust - The Contractor shall prevent the tracking of sediments offsite. A construction entrance shall be installed as shown on the plans. The Contractor will be responsible for immediate cleanup of any tracked mud or debris. Contractor will need to provide appropriate labor and equipment to keep roadway clean during hauling operations.

The Contractor will also be responsible for preventing dust generation from construction activities. The Contractor shall take reasonable measures to prevent unnecessary dust. Earth surfaces subject to dusting shall be kept moist with water or by application of a chemical dust suppressant. Dust prone materials in piles or in transit shall be covered when practical to prevent blowing. Buildings and operating facilities which are affected adversely by dust shall be adequately protected from dust. Existing and new equipment which may be adversely affected by dust shall be adequately protected.

The Contractor will be responsible for preventing chemical contamination of soil and water.

PCC waste - The Contractor shall provide and maintain a containment facility for waste paving product (i.e. PCC washout station). Perform maintenance when washout station is at 75% full-capacity.

Stored materials - The Contractor shall be responsible for storing materials so that rain water doesn't carry chemical contamination into soil or water.

Equipment servicing - Contractor shall prevent spilling of petroleum products. Spill shall be cleaned up immediately. If spill is hazardous, utilize appropriate notification and clean-up measures. Used petroleum containers are to be disposed of correctly and not buried on-site.

Building Trade Waste - The general contractor and trade contractors will be responsible for preventing contamination of soil and water. Trades (including brick / block layers, drywall / sheetrock, painters, pipe fitters, caulking, etc.) are required to clean or perform maintenance to equipment or dispose of excess material in a manner that protects water quality (no illicit discharges). This may require measures similar to a PCC washout station.

(C) Inspection and Maintenance Plan

The contractor will be responsible for installation and all associated costs of erosion and stormwater management controls during the contract period. Details of control measures are shown on the plans.

Inspections shall be made by the Owner, or owner's representative every seven calendar days. The Contractor shall immediately begin corrective action on all deficiencies found. The findings of this inspection shall be recorded in the project diary. Based on the results of the inspection, pollution prevention measures identified in the plan shall be revised at the construction site as appropriate as soon as practicable after the inspection and to the plan as soon as practicable after the inspection but in no case more than 7 calendar days following the inspection. If the permittee determines that making these changes at the construction site or to the plan less than 72 hours after the inspection is impracticable, the permittee shall document in the plan why it is impracticable and indicate an estimated date by which the changes will be made.

Maintenance - the contractor is required to maintain all temporary erosion control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. Cleaning of silt control devices shall begin when the features have lost 50% of their capacity. Cleaning of PCC washout station shall take place when control is at, or before, 75% of full capacity.

(D) Control Description

Description of controls can be found in section (A). The Contractor will be responsible for submitting specifications of the selected controls. The location of determined controls can be found on the plans. Additional controls may be required at the discretion of the Engineer.

(E) Schedule of major activities

Prior to initiating construction, the Contractor shall submit a schedule of major activities including:

- 1. Land clearing and grading in relation to the corresponding schedule for all excavation work. If at all possible, the clearing should immediately precede the construction activity.
2. Installation and anticipated completion date of each control measure.

(F) Non-Storm Discharges

- 1. Water from water line flushing.
2. Uncontaminated ground water from dewatering.
3. Pavement wash waters where spill or leak of hazardous material has not occurred.
4. Building wash waters not containing hazardous chemicals.

(G) Prohibited Discharges

- 1. Wastewater from washout and cleanup of stucco, paint, form release oils, curing compounds and other construction materials.
2. Fuels, oils or other pollutants used in vehicle and equipment operation and maintenance.
3. Soaps or solvents used in vehicle and equipment washing.

(H) Materials Management

- 1. Hazardous materials shall be stored in areas where the contamination of storm water is minimized in the event of a spill.
2. Contractor shall be responsible for using, storing and disposing of materials in accordance with state and local law.
3. See SWPPP narrative for additional material management requirements.

Phase 3 - Plan Implementation

Contractor Certification

All Contractors and subcontractors, including short-term contractors and subcontractors coming on-site, must sign the Contractor certification statement before conducting any professional service at the site identified in the plan. The certification must be signed by an authorized representative (i.e., principal executive officer, president, secretary, treasurer or vice president, general partner, proprietor, ranking elected official). Upon signing the certification, the Contractor or subcontractor becomes a co-permittee with the Owner and other co-permittee Contractors. In signing the plan, the authorized representative certifies that the information is true and assumes liability for the plan. Note that Section 309 of the Clean Water Act provides for significant penalties where information is false or the permittee violates, either knowingly or negligently, permit requirements.

The General Contractor will be responsible for collecting and maintaining signatures. The Contractor shall provide copies of signed certifications to the Owner and Engineer upon request and at the termination of the contract.

(A) Notice of Intent (NoI)

The Owner, or an agent of the Owner, will fulfill the public notice requirement and submit the Notice of Intent for coverage under General Permit No. 2. The project requires the obtaining of a NPDES General Permit for storm water discharge associated with industrial activity for construction activities. The Owner and the Contractor have a copy of this permit. The Contractor and all subcontractors shall be responsible for compliance and fulfilling all requirements of the NPDES General Permit including the Storm Water Pollution Prevention Plan.

Phase 4 - Plan Implementation

The Contractor shall follow the schedule as submitted under Phase 2 (E). The Contractor shall keep the Engineer informed of any deviation of the schedule or plan.

(A) Inspection and Maintenance Reports

A copy of the inspection log shall be maintained at the site.

(B) Records of Construction Activities

In addition to the installation and maintenance of erosion control implementation, the Contractor should keep records of the construction activity on the site. In particular, the Contractor should keep a record of the following information:

- The date(s) when major grading activity occurs in a particular area.
-The date(s) when construction activity ceases in an area, temporarily or permanently.
-The date(s) when an area is stabilized, temporarily or permanently.
-These records can be used to make sure that areas where there is no construction activity will be stabilized within the required time frame. Records shall be retained for a period of at least three years from the date that the site is finally stabilized.

(C) Plan Updates

The pollution prevention plan shall be updated expeditiously:

- When it does not accurately reflect the site features and operations.
-When the Contractor, Owner, or Engineer observes that it is not effective in minimizing pollutant discharge from the site.
-To include Contractors identified after the submittal of the Notice of Intent. These Contractors shall certify the plan and be identified as co-permittees and
-To identify any change in ownership or transference of the permit and permit responsibilities.

If, at any time during the effective period of the permit, the IDNR finds that the plan does not meet one or more of the minimum standards established in the general permit, the IDNR will notify the permittee of required changes necessary to bring the plan up to standard. Permittees shall have 3 days after notification to make the necessary changes and shall submit to the Department a written certification that the changes have been made.

(D) Report of Hazardous Conditions

Because construction activities may include handling of certain hazardous substances over the course of the project, spills of these substances may create a hazardous condition and are required to be reported. Iowa Code, 455B.386, requires that as soon as possible, but not more than six hours after the onset of a hazardous condition, the IDNR and local Sheriff's Office or the office of the Sheriff of the affected county be notified. The Owner and Engineer should also be informed of the hazardous condition in a timely manner. Contractor is responsible for spill clean-up, remediation and reporting.

IDNR (515) 725 - 8694, Polk County Sheriff's Office (515) 286 - 3333

The Contractor shall submit a report to the Engineer within 14 calendar days of a hazardous condition. The report shall describe the release and the circumstances leading to the release. Steps to prevent the reoccurrence of such releases are to be identified in the plan and implemented.

(E) Plan location and access

Plan location - A copy of the Pollution Prevention Plan must be kept at the construction site, or at a readily available alternative site approved by the Department, from the time construction begins until the site has reached final stabilization.

Retention of records - G. P. #2 (3.01.2018) requires that copies of the Storm Water Pollution Prevention Plan and all other reports required by the permit, as well as all of the data used to complete the Notice of Intent, be retained for 3 years after the completion of final site stabilization.

Access - Although plans and associated records are not necessarily required to be submitted to the Iowa Department of Natural Resources (IDNR), these documents must be made available upon request, within 3 hours, to the IDNR. If storm water runoff is discharged to a municipal separate storm sewer system, the plans must be made available upon request to the municipal operator of the system.

Phase 5 - Final Stabilization and Notice of Discontinuation (NoD)

(A) Final Stabilization

Final stabilization is defined in the general permit as meaning that all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 70%, sufficient to preclude erosion, for the entire disturbed area of the permitted project has been established or equivalent stabilization measures have been employed or which has been returned to agricultural production.

The Contractor shall notify the permit holder and Engineer of final stabilization in accordance with the contract documents. The Owner and Engineer will review the site before finalizing the contract and taking control of the site. The Contractor will be required to provide a copy of all inspection and maintenance logs, schedule of construction activities, and Contractor Certifications to the Owner at this time.

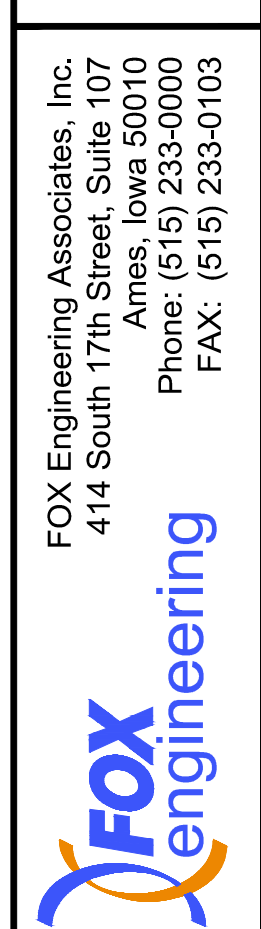
(B) Notice of Discontinuation (NoD)

The permit holder (Owner) will be required to submit the Notice of Discontinuation once control of the site has been obtained from the Contractor. All temporary control (i.e. silt fence) shall be removed by contractor prior to filing the NoD.

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FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



STORM WATER POLLUTION PREVENTION PLAN
LAKES EARLY LEARNING CENTER
115 EAST VISTA LAKE AVENUE
POLK CITY, IOWA

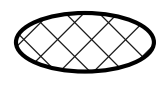


PROJECT NO. 5497-20A

SHEET

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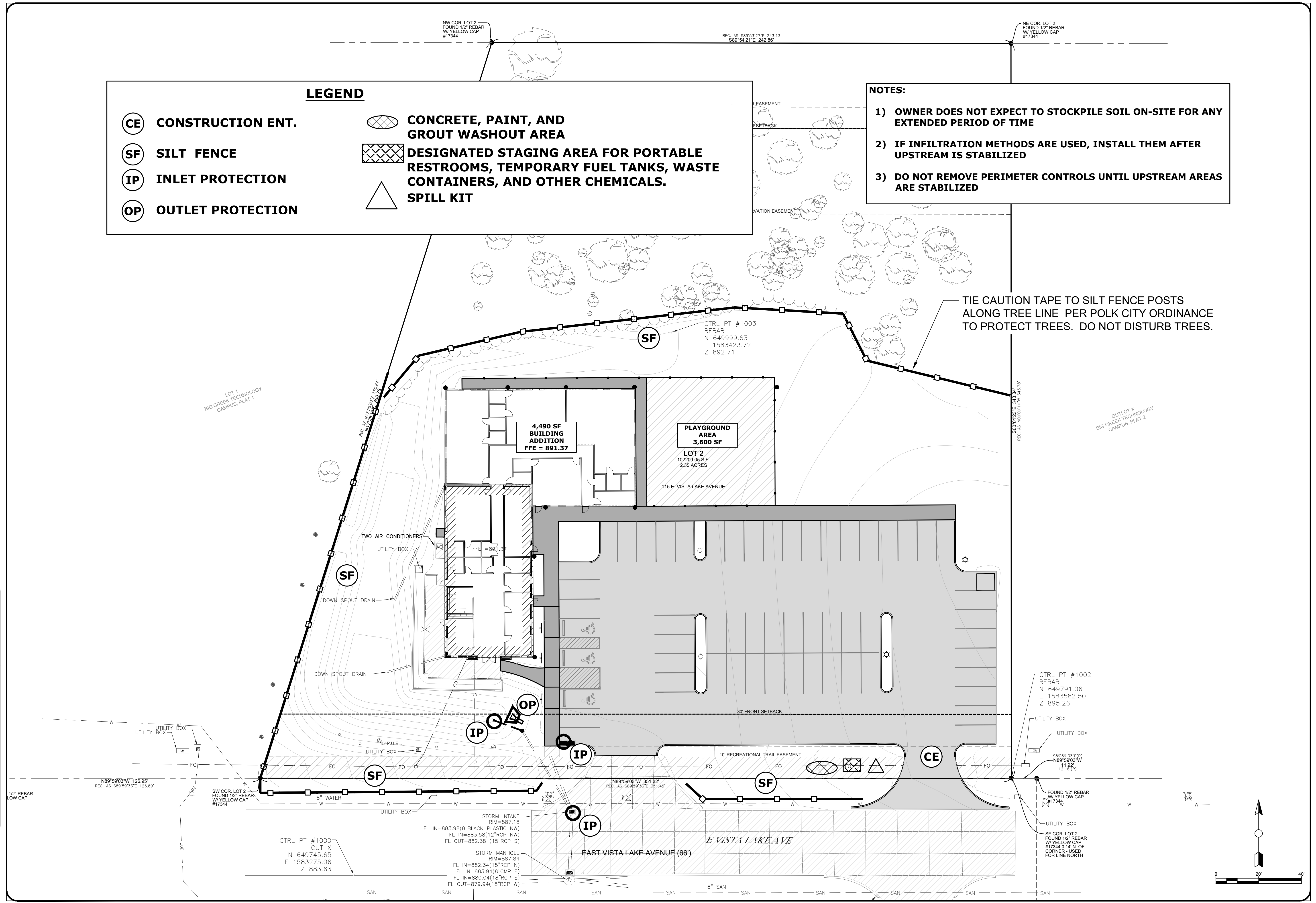
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LEGEND

(CE) CONSTRUCTION ENT.	 CONCRETE, PAINT, AND GROUT WASHOUT AREA
(SF) SILT FENCE	 DESIGNATED STAGING AREA FOR PORTABLE RESTROOMS, TEMPORARY FUEL TANKS, WASTE CONTAINERS, AND OTHER CHEMICALS.
(IP) INLET PROTECTION	 SPILL KIT
(OP) OUTLET PROTECTION	

NOTES:

- 1) OWNER DOES NOT EXPECT TO STOCKPILE SOIL ON-SITE FOR ANY EXTENDED PERIOD OF TIME
- 2) IF INFILTRATION METHODS ARE USED, INSTALL THEM AFTER UPSTREAM IS STABILIZED
- 3) DO NOT REMOVE PERIMETER CONTROLS UNTIL UPSTREAM ARE STABILIZED



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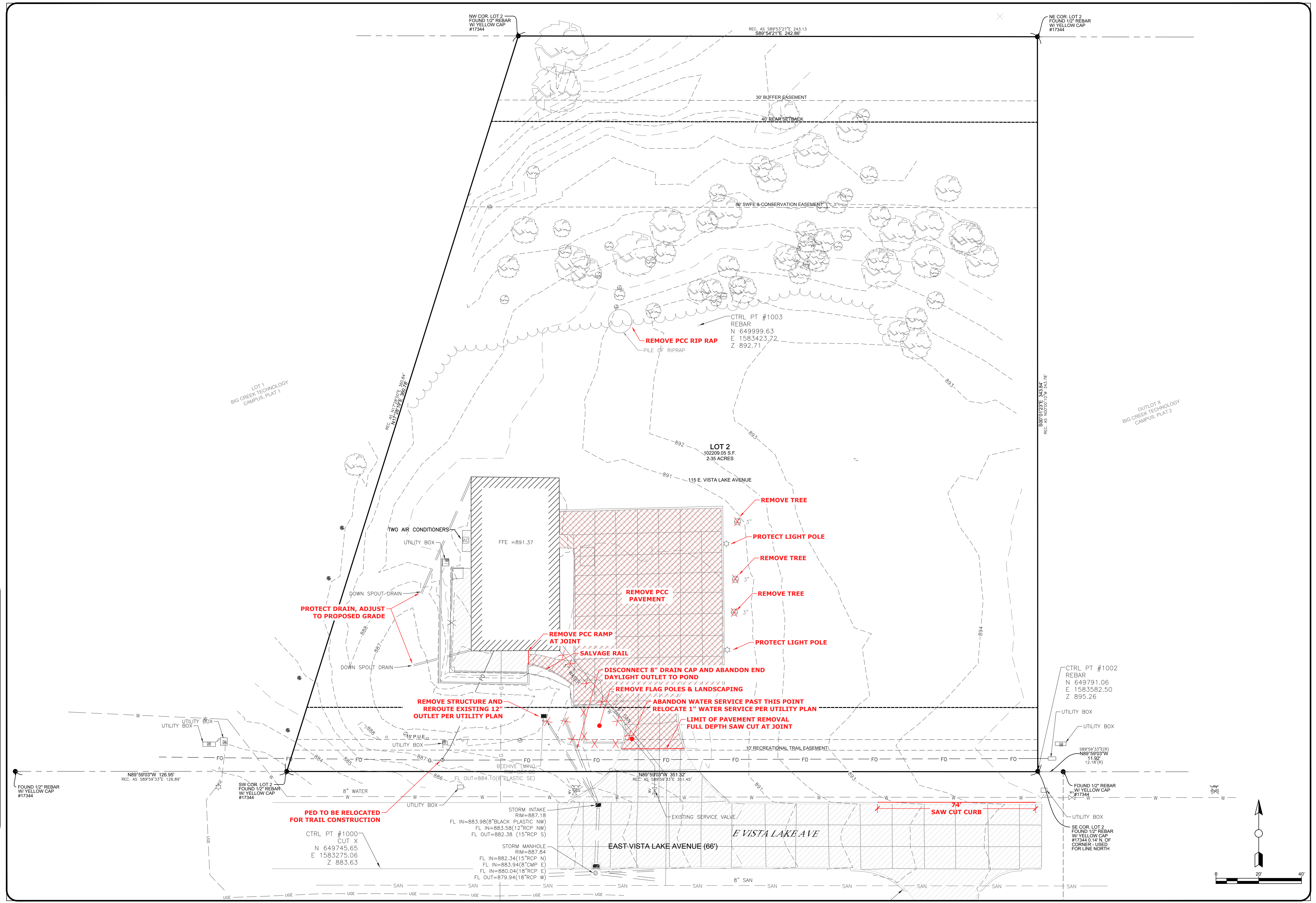
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STORM WATER POLLUTION PREVENTION PLAN
LAKES EARLY LEARNING CENTER
115 EAST VISTA LAKE AVENUE
SITE PLAN
POLK CITY, IOWA

PROJECT NO.
5497-20A
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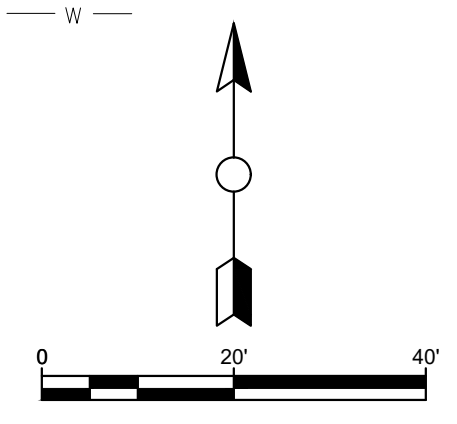
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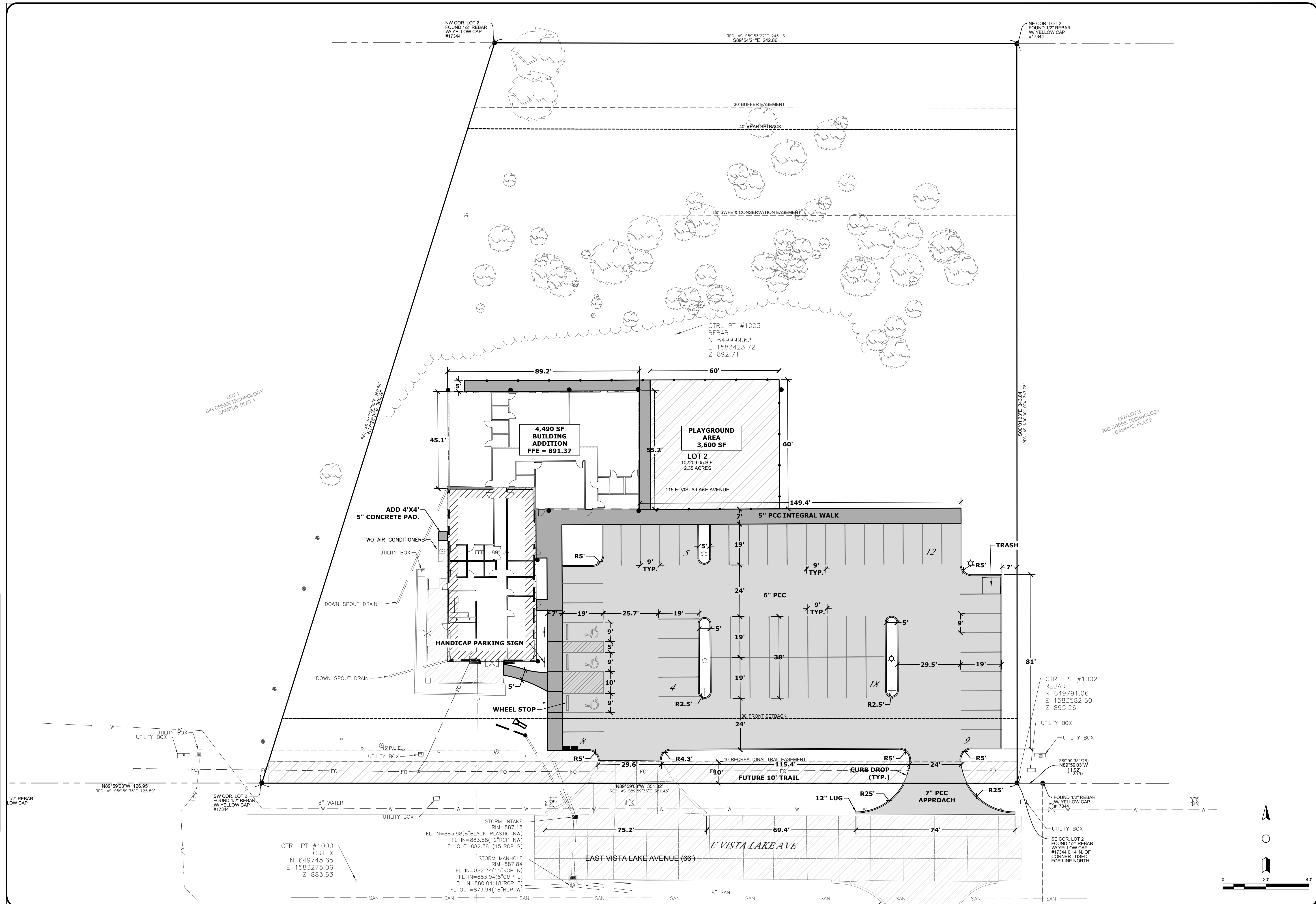
EXISTING CONDITIONS & REMOVALS
LAKES EARLY LEARNING CENTER
115 EAST VISTA LAKE AVENUE
SITE PLAN
POLK CITY, IOWA

PROJECT NO.
5497-20A
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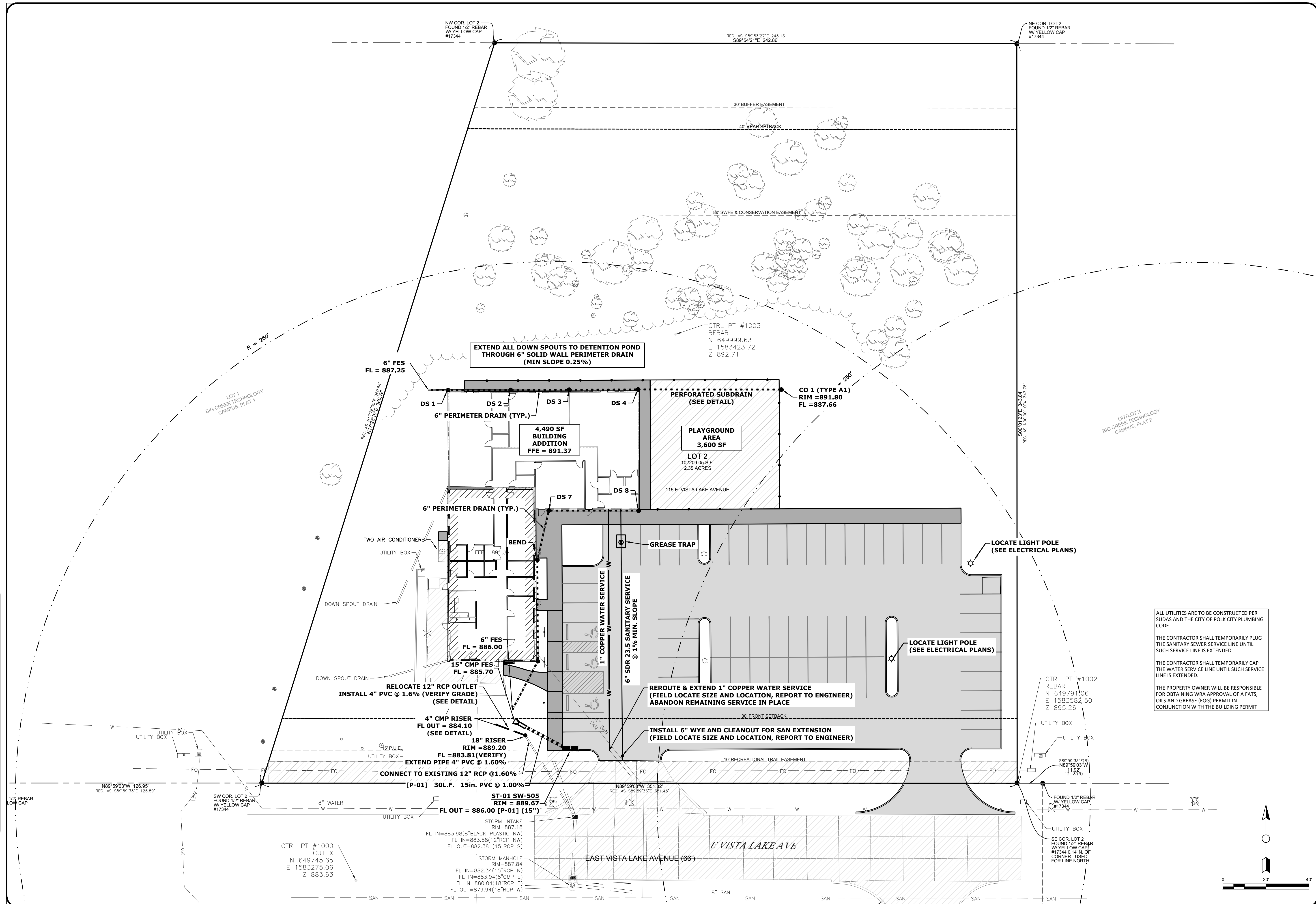
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PROPOSED LOT LAYOUT
LAKES EARLY LEARNING CENTER
115 EAST VISTA LAKE AVENUE
SITE PLAN
POLK CITY, IOWA

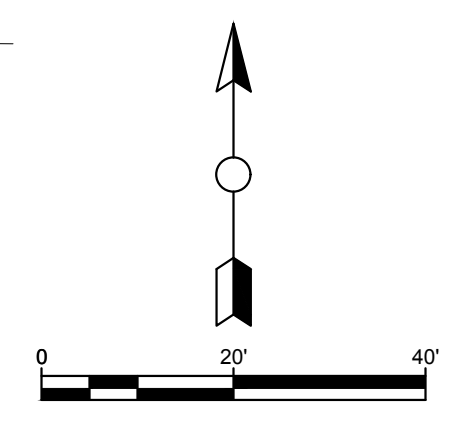
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ALL UTILITIES ARE TO BE CONSTRUCTED PER SUDAS AND THE CITY OF POLK CITY PLUMBING CODE.
THE CONTRACTOR SHALL TEMPORARILY PLUG THE SANITARY SEWER SERVICE LINE UNTIL SUCH SERVICE LINE IS EXTENDED.
THE CONTRACTOR SHALL TEMPORARILY CAP THE WATER SERVICE LINE UNTIL SUCH SERVICE LINE IS EXTENDED.
THE PROPERTY OWNER WILL BE RESPONSIBLE FOR OBTAINING WRA APPROVAL OF A FATS, OILS AND GREASE (FOG) PERMIT IN CONJUNCTION WITH THE BUILDING PERMIT



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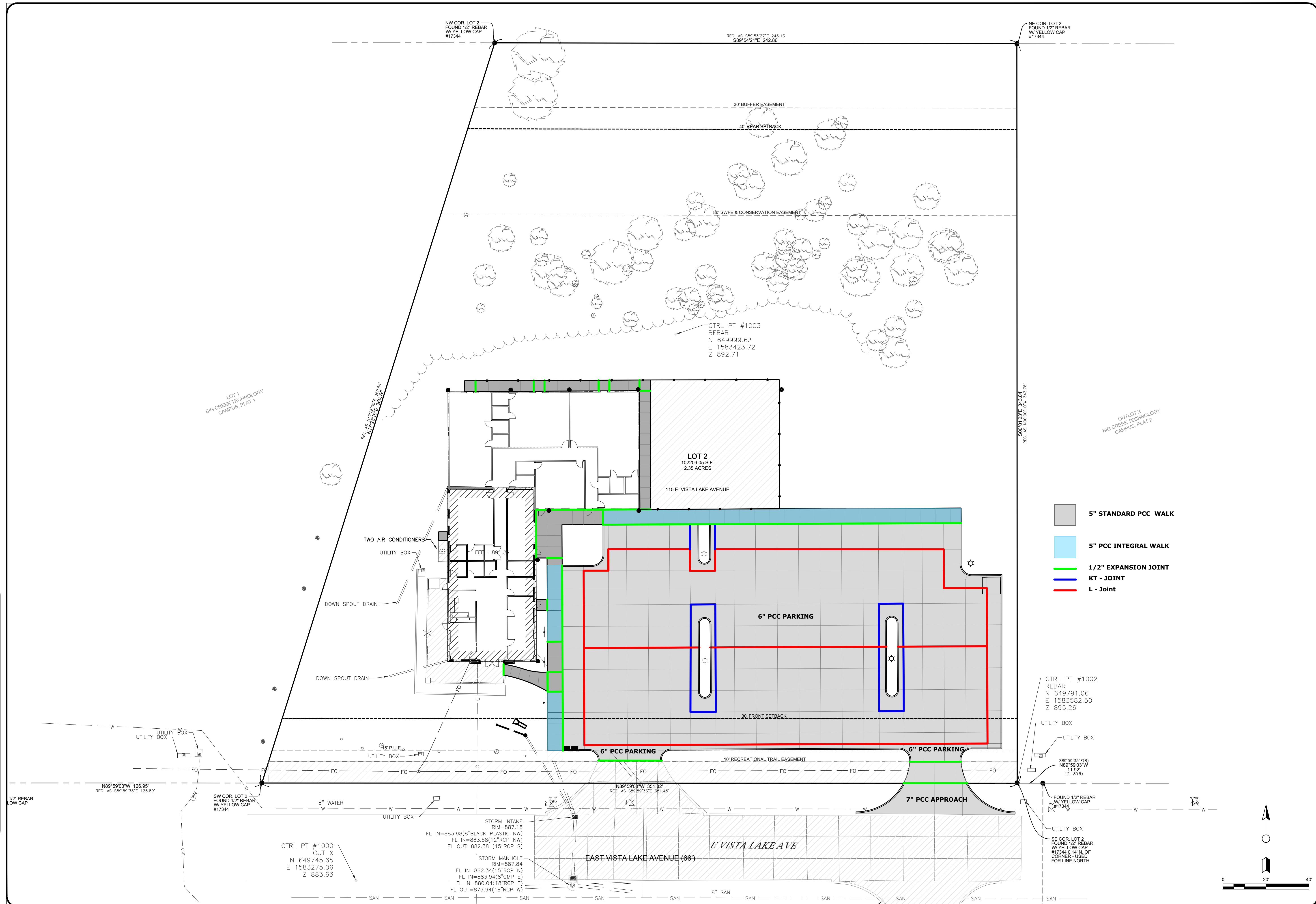
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FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
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Phone: (515) 233-0000
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FOX Engineering

UTILITY PLAN
LAKES EARLY LEARNING CENTER
115 EAST VISTA LAKE AVENUE
SITE PLAN
POLK CITY, IOWA

PROJECT NO.
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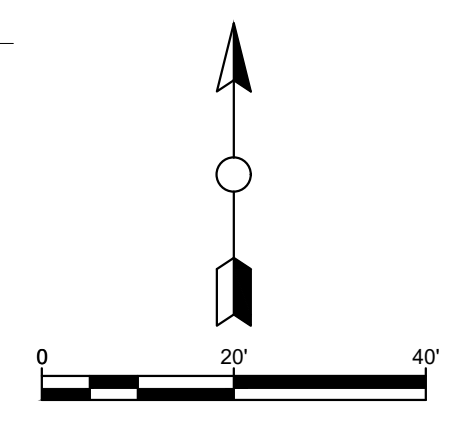
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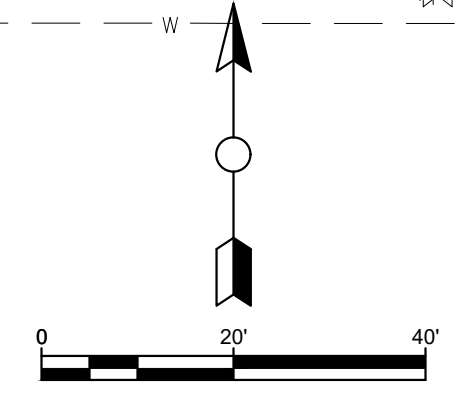
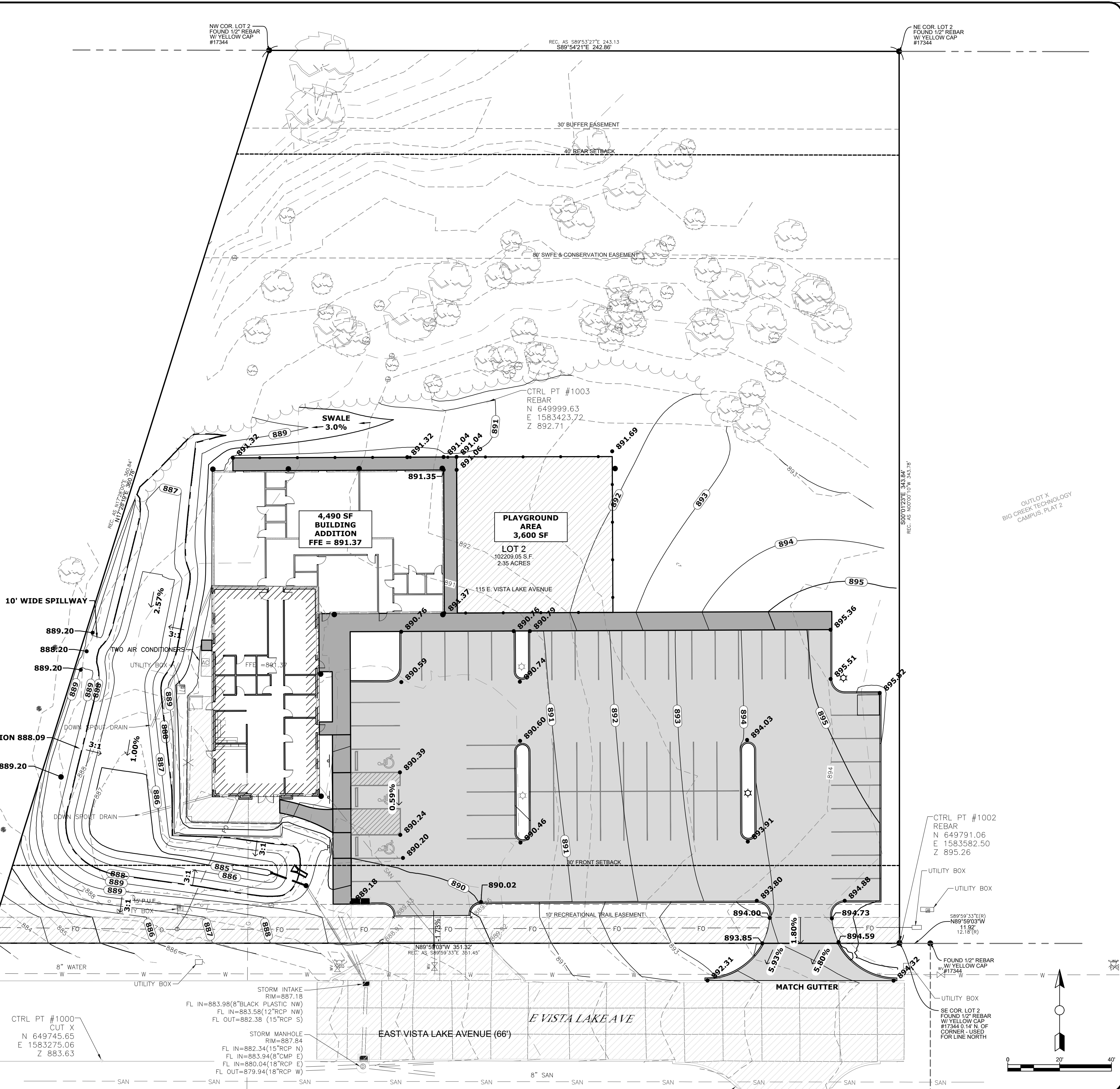
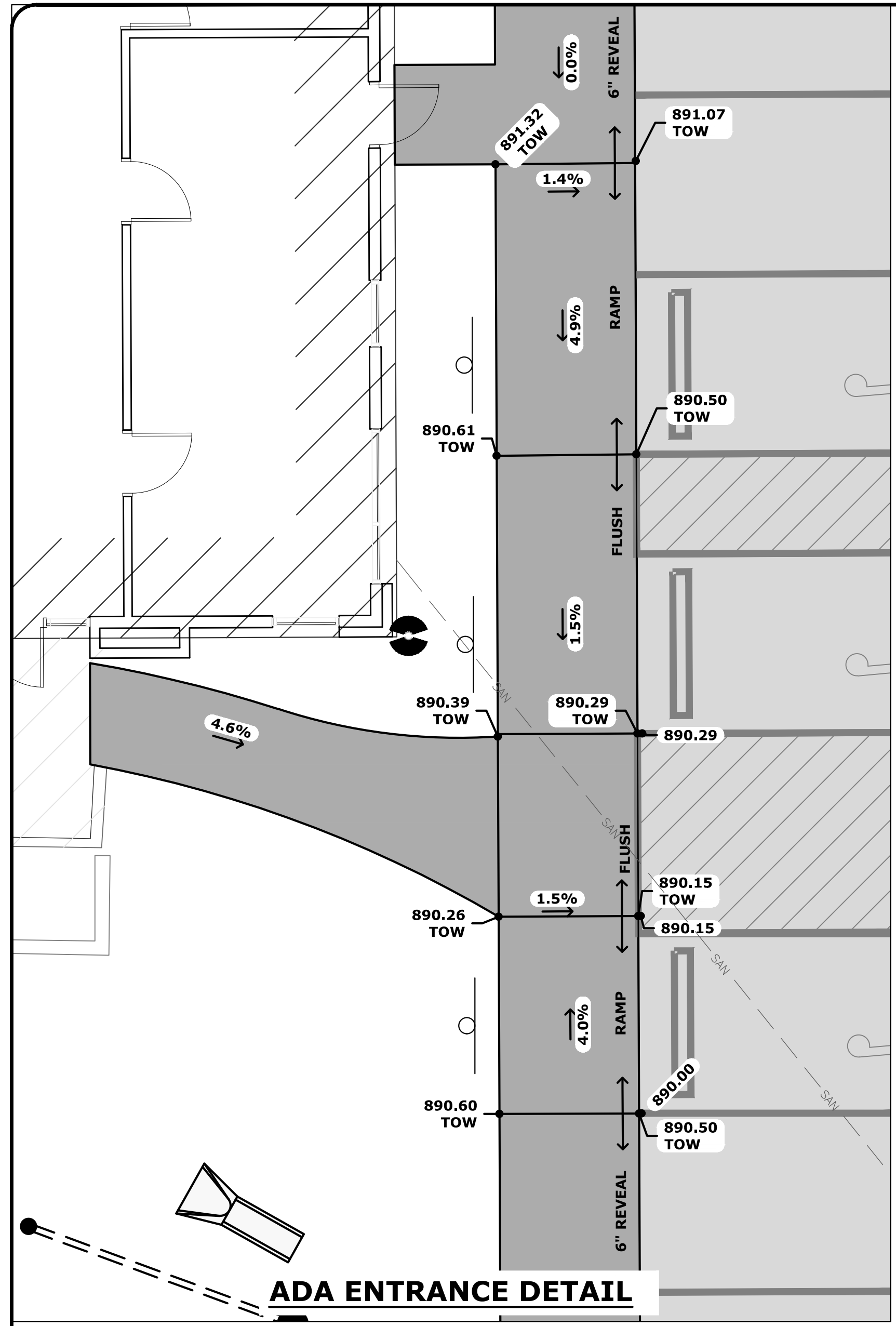
PAVEMENT JOINTING PLAN
LAKES EARLY LEARNING CENTER
115 EAST VISTA LAKE AVENUE
SITE PLAN
POLK CITY, IOWA

PROJECT NO.
5497-20A

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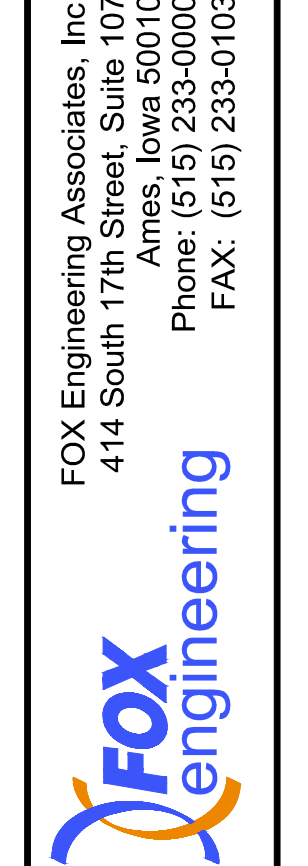


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PROJECT NO. 5497-20A
SHEET C5.1

Tree, Shrub and Grass List
 NO Substitutions without approval of the Engineer and the City

Symbol	Number	Common Name	Botanical Name	Size	Container	Mature Height	Mature Width	Comments
DECIDUOUS								
AH	5	American Hornbeam	Carpinus Caroliniana	1 1/2" Caliper		25'	20'	
BP	6	Bradford Pear	Pyrus calleryana 'Bradford'	1 1/2" Caliper		30'	20'	
OGM	3	October Glory Red Maple	Acer rubrum	1 1/2" Caliper	#15 Cont.	45'	35'	
	14	Trees Proposed						
SHRUBS								
LB	5	Lo & Behold Butterfly Bush "Purple Haze"	Buddleiax Purple Haze Lo and Behold		#3	3'	4'	Shrub - Deciduous
LMBB	20	Little Moses Burning Bush (Odom)	Euonymus alatus		#3 Cont.	4'	4'	Shrub - Deciduous
AFD	22	Arctic Fire Dogwood	Cornus stolonifera		#3 Cont.	3'	3'	Shrub - Deciduous
GRASSES								
KF	36	Karl Foerster Feather Reed Grass	Calamagrostis acutiflora		#1 Cont.	19"	19"	Grass
DECORATIVE LANDSCAPING								
SW	5	Spilled Wine - Weigela florida	'Bokraspiwi'		#3 Cont.	3'	3'	
	88	Shrubs/Grasses Proposed						

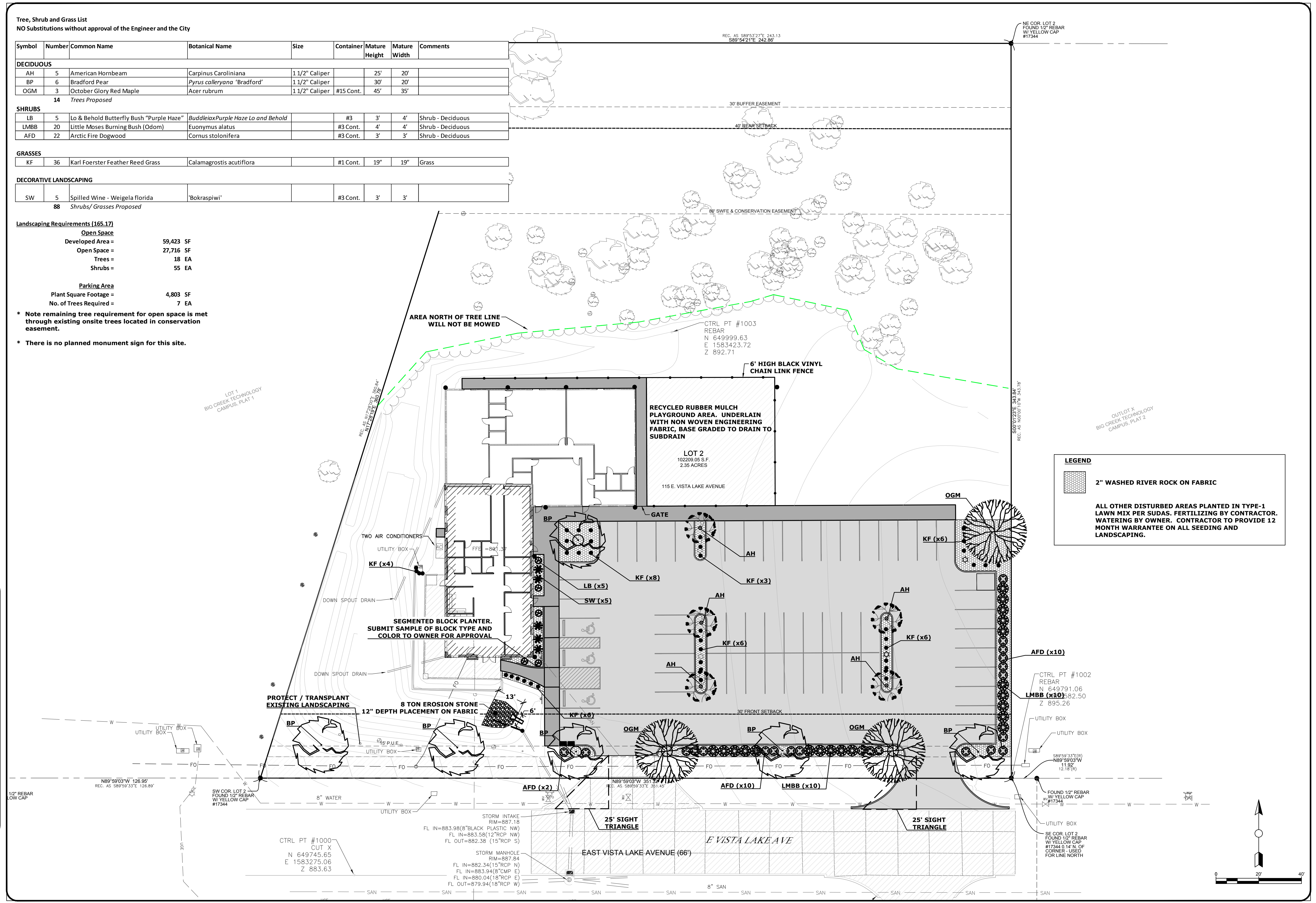
Landscaping Requirements (165.17)

Open Space
 Developed Area = 59,423 SF
 Open Space = 27,716 SF
 Trees = 18 EA
 Shrubs = 55 EA

Parking Area
 Plant Square Footage = 4,803 SF
 No. of Trees Required = 7 EA

* Note remaining tree requirement for open space is met through existing onsite trees located in conservation easement.
 * There is no planned monument sign for this site.

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LEGEND

2" WASHED RIVER ROCK ON FABRIC

ALL OTHER DISTURBED AREAS PLANTED IN TYPE-1 LAWN MIX PER SUDAS. FERTILIZING BY CONTRACTOR. WATERING BY OWNER. CONTRACTOR TO PROVIDE 12 MONTH WARRANTEE ON ALL SEEDING AND LANDSCAPING.

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09/20	ELT	DRAWN
		CHECKED
		LAST UPDATE: 9/14/20

LOT 1
 BIG CREEK TECHNOLOGY
 CAMPUS, PLAT 1

LOT 2
 102209.05 S.F.
 2.35 ACRES
 115 E. VISTA LAKE AVENUE

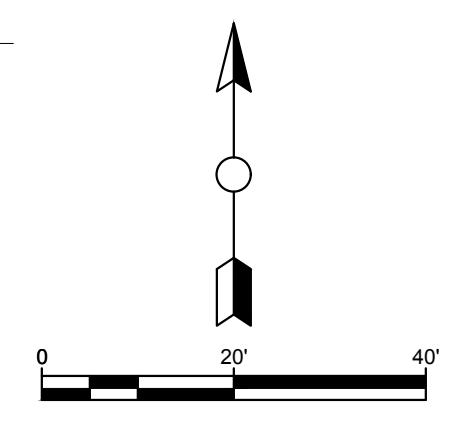
OUTLOT X
 BIG CREEK TECHNOLOGY
 CAMPUS, PLAT 2

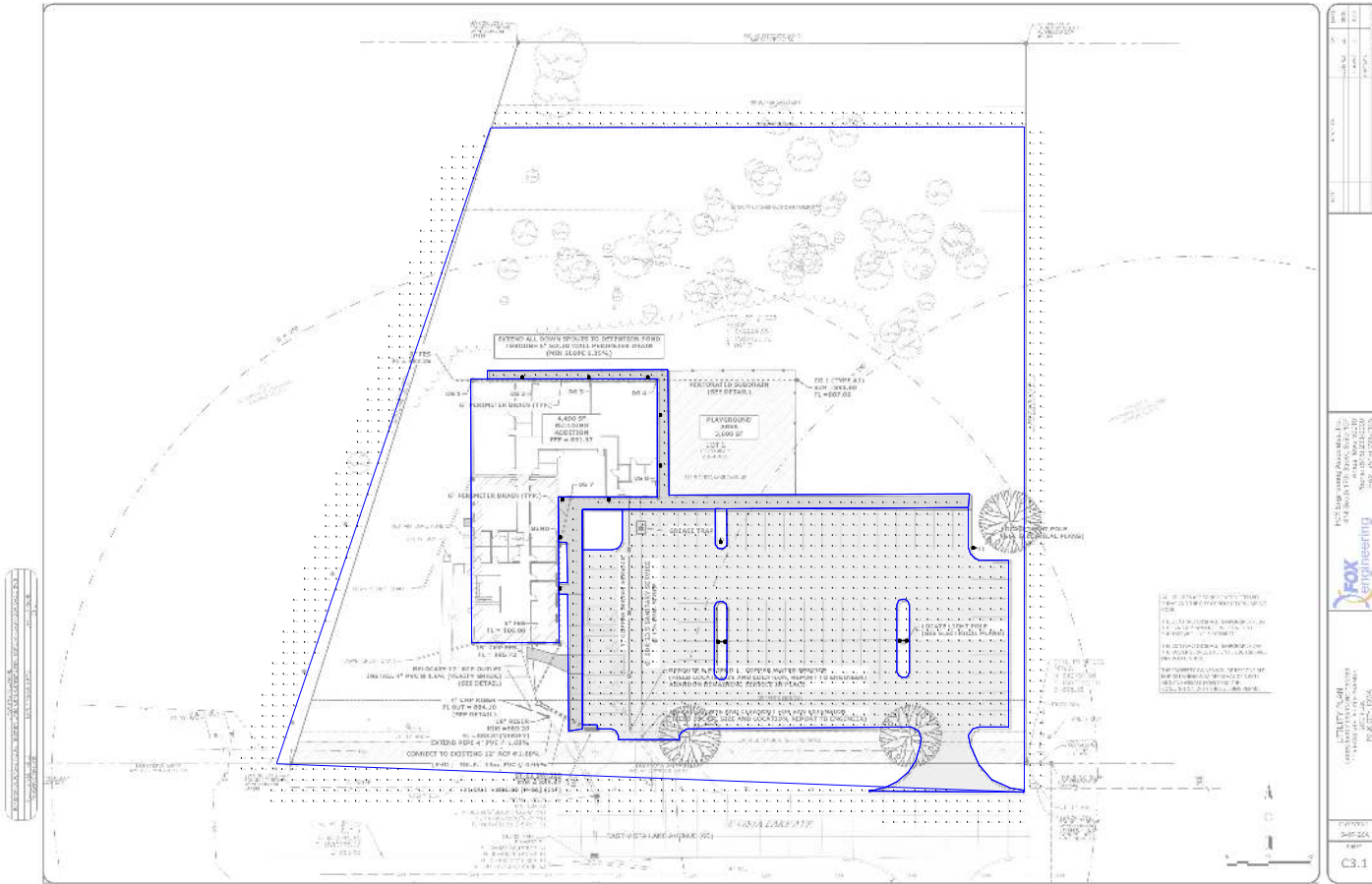
FOX Engineering Associates, Inc.
 414 South 17th Street, Suite 107
 Ames, Iowa 50010
 Phone: (515) 233-0000
 FAX: (515) 233-0103



LANDSCAPE PLAN
 LAKES EARLY LEARNING CENTER
 115 EAST VISTA LAKE AVENUE
 SITE PLAN
 POLK CITY, IOWA

PROJECT NO.
 5497-20A
 SHEET
 C6.1





View of point by point

<p>Lakes Early Learning Center Exterior Lighting</p>	<p>Strauss Architectural Systems 1845 Kahtlin Dr Iowa City, IA 52246 319.400.9980 renfred@straussllc.com</p>
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EXTERIOR ELEVATION NOTES

- 1 ASPHALT SHINGLES, TO MATCH EXISTING
- 2 PREFINISHED METAL SIDING, TO MATCH EXISTING
- 3 PREFINISHED METAL GUTTER & DOWNSPOUT
- 4 OVERHEAD DOOR REMOVED, REPLACED WITH PREFINISHED ALUMINUM STOREFRONT
- 5 STOREFRONT WINDOW REMOVED, REPLACED WITH PREFINISHED ALUMINUM STOREFRONT DOOR
- 6 KNOX BOX, COORDINATE EXACT LOCATION WITH LOCAL FIRE AUTHORITY
- 7 PREFINISHED ALUMINUM CLAD WINDOWS
- 8 STONE VENEER, TO MATCH EXISTING



MECHANICAL ENGINEER
 Name: _____
 Address: _____
 City, State, ZIP: _____
 Phone: _____
 Fax: _____

ARCHITECT
 Name: _____
 Address: _____
 City, State, ZIP: _____
 Phone: _____
 Fax: _____

STRUCTURAL ENGINEER
 Name: _____
 Address: _____
 City, State, ZIP: _____
 Phone: _____
 Fax: _____

CIVIL ENGINEER
 Name: _____
 Address: _____
 City, State, ZIP: _____
 Phone: _____
 Fax: _____

ELECTRICAL ENGINEER
 Name: _____
 Address: _____
 City, State, ZIP: _____
 Phone: _____
 Fax: _____

NOT FOR CONSTRUCTION

FELDMAN CHILDCARE CENTER
TOM & EMILY FELDMAN
 115 E VISTA LAKE AVE, POLK CITY, IA 50226

PROJECT ISSUE DATE: 7/30/20
 PROJECT NUMBER: 02016

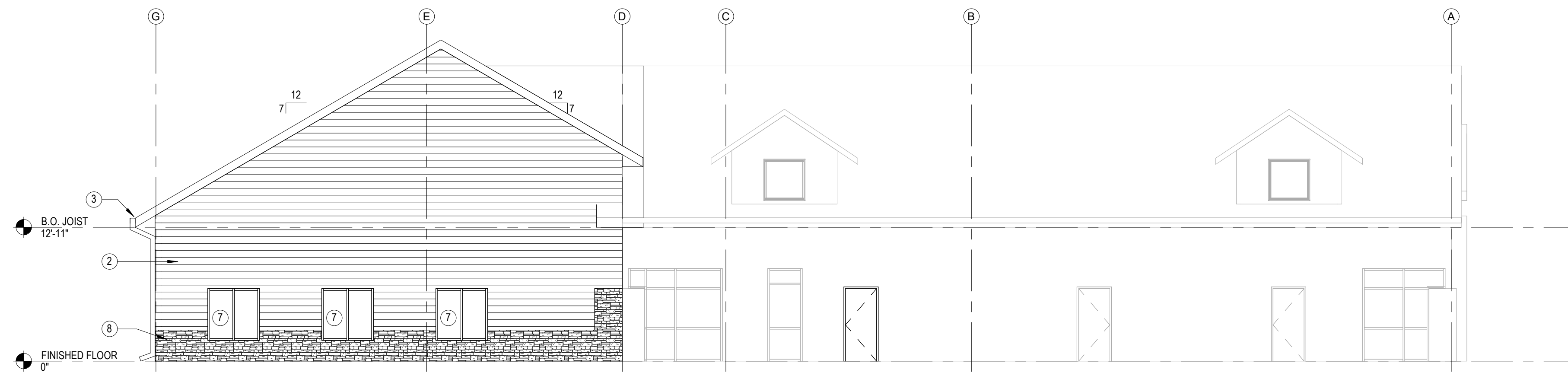
REVISIONS:

REV#	DATE	DESCRIPTION

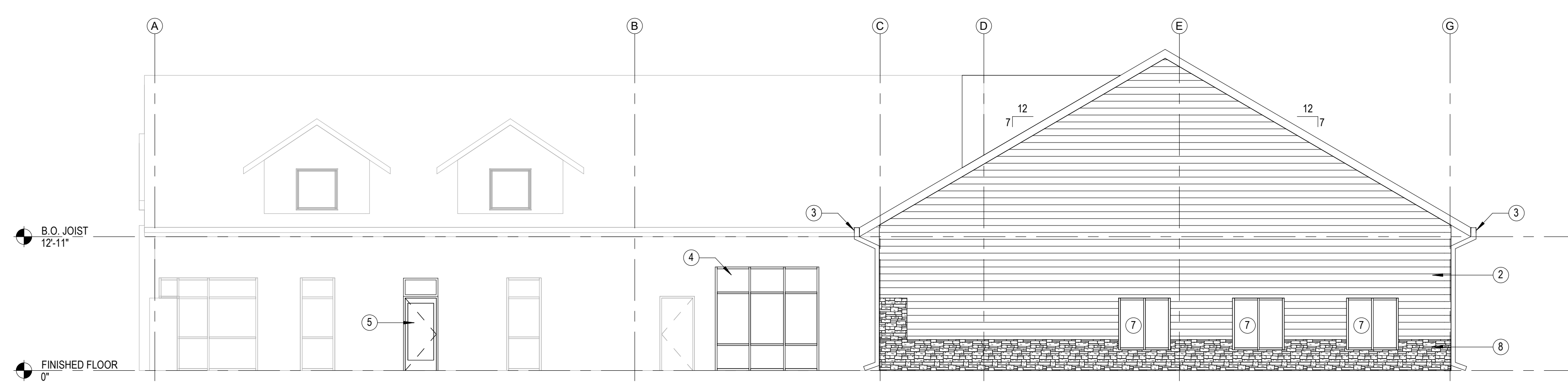
PRE-SCHEMATIC DESIGN

EXTERIOR ELEVATIONS

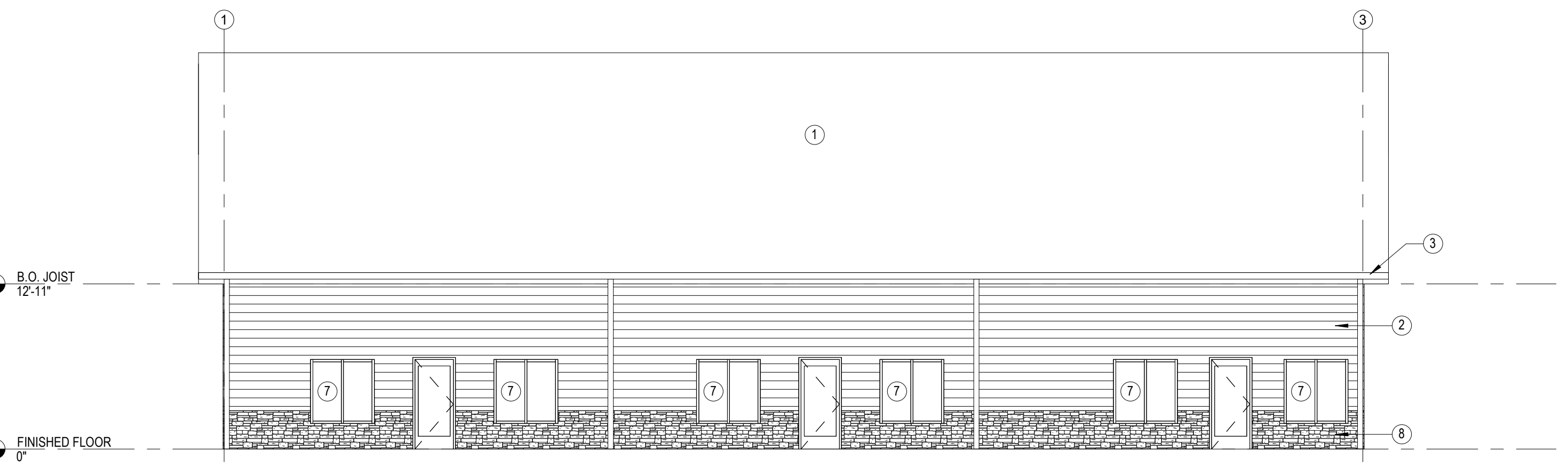
A5



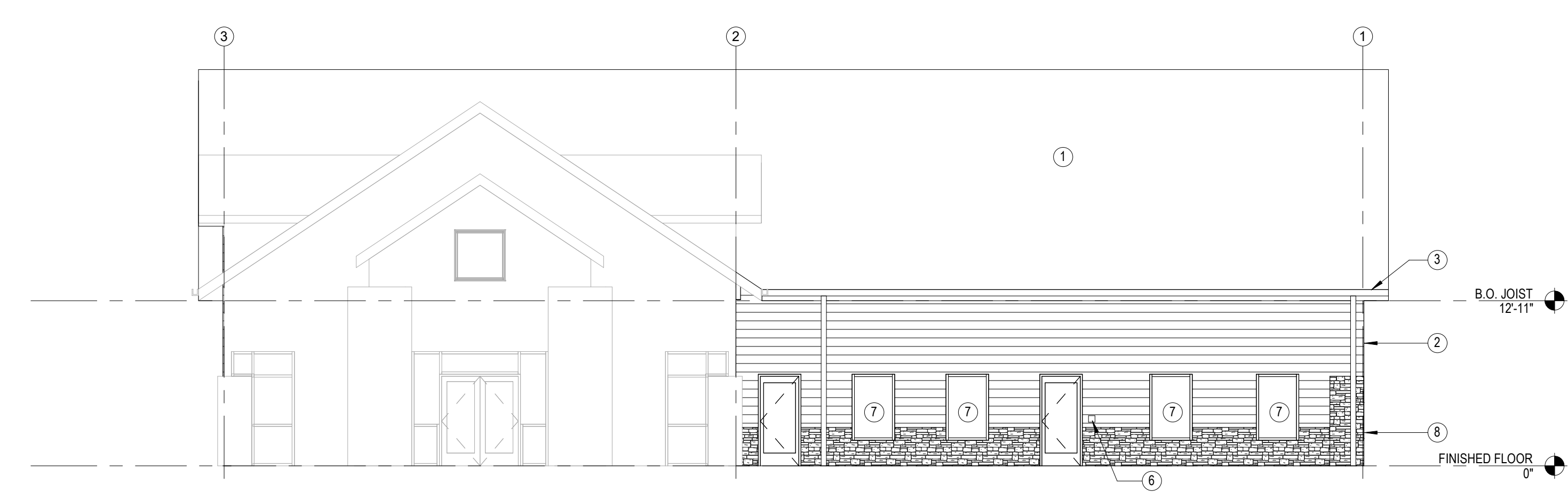
4 EXTERIOR ELEVATION - WEST
 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
 SCALE: 1/8" = 1'-0"



September 15, 2020

To: City of Polk City Planning & Zoning Commission

From: John P. Danos and Amy Bjork, Bond Counsel

Re: Polk City Area II Urban Renewal Area/Urban Renewal Plan Amendment

A public hearing will be held by the City Council on October 12, 2020 on a proposed amendment to the urban renewal plan for the Polk City Area II Urban Renewal Area to add the property legally described in the proposed amendment and to approve a new urban renewal project. We have prepared this memorandum to assist the Commission in performing its role in this process.

Section 403.5 of the Code of Iowa requires that, before they hold a public hearing, the City Council must submit a copy of the proposed plan amendment to the Commission, “for review and recommendations as to its conformity with the general plan for the development” of the City. The statute does not require that the Commission hold a hearing on the proposed plan amendment, nor does it require that the Commission take any action to either approve or reject the proposed plan amendment. It directs that the Commission review the plan amendment and comment to the City Council as to whether the plan amendment conforms to, or is consistent with, the City’s Comprehensive Plan. Please complete your review and submit any comments to the City Council by Noon on October 12, 2020.

Please call us at (515) 283-1000 if you have questions about the statutory process.

CITY OF POLK CITY, IOWA

URBAN RENEWAL PLAN AMENDMENT
POLK CITY AREA II URBAN RENEWAL AREA

October, 2020

The Urban Renewal Plan (the “Plan”) for the Polk City Area II Urban Renewal Area (the “Urban Renewal Area”) is being amended for the purposes of adding certain property to the Urban Renewal Area and identifying new urban renewal projects to be undertaken therein.

1) Addition of Property. The real property (the "Property") described on Exhibit A hereto is, by virtue of this Amendment, being added as the October, 2020 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the Property as an economic development area. The Property will become subject to the provisions of the Plan for the Urban Renewal Area. It is anticipated that the City will adopt an ordinance providing for the division of property tax revenues, as set forth in Section 403.19 of the Code of Iowa, with respect to a portion of the Property.

2) Identification of Projects. By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project descriptions:

A.

Name of Project: 2021-2023 Urban Renewal Administration and Professional Support Program

Name of Urban Renewal Area: Polk City Area II Urban Renewal Area

Date of Council Approval of Program: October 12, 2020

Description of Program: The City will provide administrative and professional support to its urban renewal projects and initiatives in the City’s 2021 through 2023 fiscal years (the “Admin Support Program”). The Admin Support Program will include planning, staffing, grant writing and administration, document support, record management, accounting, legal services and such other services as are necessary to carry out and effectuate the urban renewal initiatives and objectives of the City.

Description of Use of TIF for the Program: The City will fund its support contributions under the Admin Support Program from the proceeds of internal advances (the “Advances”) of cash on hand. The City’s annual contributions will be determined from year to year. The City will repay the Advances from incremental property tax revenues to be derived from the Urban Renewal Area. The amount of the Advances will be determined from year to year. The total amount of incremental property tax revenues to be applied to the City’s Admin Support Program for the City’s fiscal years 2021 through 2023 shall not exceed \$150,000.

B.

Name of Project: 2021-2023 Polk City Chamber of Commerce Support Program

Name of Urban Renewal Area: Polk City Area II Urban Renewal Area

Date of Council Approval of Project: October 12, 2020

Declaration of Support Program as an Urban Renewal Project: The City Council acknowledges the importance of the Polk City Chamber of Commerce (the “Chamber”) in the ongoing promotion of economic development in the Urban Renewal Area. The City intends to enter into an economic development support agreement with the Chamber, which will provide a mechanism for the City to make annual support payments to the Chamber for a period of three fiscal years. Under said agreement, the Chamber will commit to continuing its efforts to carry out economic development support programs, promotional events, initiatives and activities within the Urban Renewal Area.

Description of Use of TIF for the Support Program: It is anticipated that the City will pay for the Polk City Chamber of Commerce Support Program with a combination of borrowed funds, proceeds of internal advances of City funds on-hand and through an economic development agreement with negotiated annual appropriation payments. In all cases, the City’s obligations will be repaid with incremental property tax revenues derived from the Urban Renewal Area. The amount of incremental property tax revenues to be expended by the City in connection with the Polk City Chamber of Commerce Support Program will not exceed \$225,000.

3) Required Financial Information. The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City:	<u>\$25,725,599</u>
Outstanding general obligation debt of the City:	<u>\$</u>
Proposed debt to be incurred in connection with October, 2020 Amendment*:	<u>\$ 375,000</u>

*It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

EXHIBIT A
Legal Description
Expanded Polk City Area II Urban Renewal Area
(October, 2020 Addition)

BEGINNING AT THE CENTERLINE INTERSECTION OF DAVIS STREET AND S. 3RD STREET; THENCE NORTHERLY AND NORTHEASTERLY ALONG THE CENTERLINE OF SAID S. 3RD STREET TO THE SOUTHWESTERLY LINE OF SCOTT'S PARK PLAZA PLAT 1, AN OFFICIAL PLAT, EXTENDED NORTHWESTERLY; THENCE SOUTHEASTERLY ALONG SAID EXTENDED LINE AND ALONG SAID SOUTHWESTERLY LINE OF SCOTT'S PARK PLAZA PLAT 1 TO THE SOUTHERLY CORNER OF A QUIT CLAIM DEED RECORDED IN BOOK 4337 PAGE 114; THENCE NORTHEASTERLY ALONG THE EASTERLY LINE OF SAID QUIT CLAIM DEED RECORDED IN BOOK 4337 PAGE 114 TO THE NORTHWESTERLY LINE OF SAID SCOTT'S PARK PLAZA PLAT 1 AND BEING THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID S. 3RD STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 3RD STREET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF W. CHURCH STREET; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF W. CHURCH STREET TO THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 2ND STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 2ND STREET TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF W. WOOD STREET; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF W. WOOD STREET TO SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 3RD STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 3RD STREET TO THE NORTH CORNER OF LOT 8, BLOCK 14 IN THE ORIGINAL PLAT OF THE TOWN OF POLK CITY, POLK COUNTY, IOWA, BEING AN OFFICIAL PLAT; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 8, BLOCK 14 AND ALONG THE NORTHEASTERLY LINE OF LOT 10 OF SAID BLOCK 14 IN THE ORIGINAL PLAT OF THE TOWN OF POLK CITY AND ALONG SAID NORTHEASTERLY LINE OF LOT 10 EXTENDED SOUTHEASTERLY TO SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 2ND STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF S. 2ND STREET TO THE CENTERLINE OF THE ALLEY LYING BETWEEN LOTS 2 AND 3, BLOCK 15 OF SAID ORIGINAL PLAT OF THE TOWN OF POLK CITY; THENCE SOUTHEASTERLY ALONG SAID ALLEY CENTERLINE TO THE CENTERLINE OF THE ALLEY LYING BETWEEN SAID LOT 2, BLOCK 15 AND LOT 1, BLOCK 15 OF SAID ORIGINAL PLAT OF THE TOWN OF POLK CITY; THENCE NORTHEASTERLY ALONG SAID ALLEY CENTERLINE TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF E. VAN DORN STREET; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF E. VAN DORN STREET TO THE SOUTHEASTERLY LINE OF LOT 6, BLOCK 2 OF BEEBE'S ADDITION, AN OFFICIAL PLAT, EXTENDED SOUTHWESTERLY; THENCE NORTHEASTERLY ALONG SAID EXTENDED LINE AND ALONG THE SOUTHEASTERLY LINE OF SAID LOT 6, BLOCK 2 TO THE CENTERLINE OF THE ALLEY LYING BETWEEN SAID LOT 6, BLOCK 2 AND LOT 3, BLOCK 2 OF SAID BEEBE'S ADDITION; THENCE NORTHWESTERLY ALONG SAID ALLEY CENTERLINE TO THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF 1ST STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF 1ST STREET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF E. BROADWAY; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF E. BROADWAY TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF WALKER STREET; THENCE NORTHEASTERLY ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF WALKER STREET EXTENDED NORTHEASTERLY TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SAID E. BROADWAY; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF E. BROADWAY TO THE SOUTHEASTERLY LINE OF THE NORTHWESTERLY 66 FEET OF LOT 7 OF THE OFFICIAL PLAT OF THE NORTHWEST FRACTIONAL QUARTER AND THE NORTH HALF OF

THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 80, RANGE 25; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE 132 FEET; THENCE NORTHWESTERLY ALONG A LINE BEING 132.00 FEET NORTHEASTERLY OF AND PARALLEL WITH THE SOUTHWESTERLY LINE OF BLOCK 1 BEEBE'S ADDITION TO POLK CITY AND THE NORTHWESTERLY EXTENSION THEREOF TO A POINT ON THE NORTHWESTERLY LINE OF SAID 1ST STREET; THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE OF 1ST STREET TO A POINT ON THE CENTERLINE OF W. BROADWAY; THENCE NORTHWESTERLY ALONG SAID CENTERLINE OF W. BROADWAY, 115.50 FEET; THENCE SOUTHWESTERLY TO THE EASTERLY CORNER OF LOT 8, BLOCK 9, OF THE ORIGINAL TOWN OF POLK CITY, AN OFFICIAL PLAT; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT 8 AND THE SOUTHWESTERLY EXTENSION THEREOF TO A POINT ON THE CENTERLINE OF THE ALLEY BETWEEN LOTS 7 AND 8 OF SAID BLOCK 9; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF SAID ALLEY, 49.50 FEET; THENCE SOUTHWESTERLY 8.25 FEET TO THE EASTERLY CORNER OF LOT 4 SAID BLOCK 9; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF LOTS 4, 5 AND 6 OF SAID BLOCK 9 TO THE SOUTHERLY CORNER OF SAID LOT 6; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 6 TO A POINT ON THE SOUTHEASTERLY LINE OF S. 2ND STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF S. 2ND STREET AND BEING ALONG THE SOUTHEASTERLY LINE OF N. 2ND STREET TO THE NORTHERLY CORNER OF LOT 3, BLOCK 8, OF THE ORIGINAL TOWN OF POLK CITY; THENCE NORTHWESTERLY TO THE EASTERLY CORNER OF LOT 8, BLOCK 7 OF THE ORIGINAL TOWN OF POLK CITY; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF LOTS 7 AND 8 SAID BLOCK 7 AND THE NORTHWESTERLY EXTENSION THEREOF, TO A POINT ON THE CENTERLINE OF N. 3RD STREET; THENCE SOUTHWESTERLY ALONG THE CENTERLINE OF N. 3RD STREET TO A POINT ON THE CENTERLINE OF SAID W. BROADWAY; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF W. BROADWAY TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF S. 4TH STREET EXTENDED NORTHEASTERLY; THENCE SOUTHWESTERLY ALONG SAID EXTENDED LINE AND ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF S. 4TH STREET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF SAID W. WOOD STREET; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF W. WOOD STREET TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID S. 3RD STREET; THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID S. 3RD STREET TO THE NORTHEASTERLY LINE OF LOT 4, BLOCK 9 OF SAID BEEBE'S ADDITION TO POLK CITY; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY LINE OF LOT 4 TO THE NORTH CORNER OF SAID LOT 4; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT 4 TO THE WEST CORNER OF SAID LOT 4 AND BEING THE SOUTH CORNER OF LOT 3 OF SAID BLOCK 9 OF BEEBE'S ADDITION TO POLK CITY; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 3 TO THE SOUTHEAST CORNER OF LOT 3 OF LEONARD'S PLACE, AN OFFICIAL PLAT; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 3 TO THE NORTHEAST CORNER OF LOT 50 OF SAID LEONARD'S PLACE; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 50 TO THE NORTH RIGHT-OF-WAY LINE OF WALDO STREET; THENCE WESTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE OF WALDO STREET TO THE WEST RIGHT-OF-WAY LINE OF STIPPICH STREET; THENCE SOUTH TO THE SOUTH LINE OF SAID WALDO STREET; THENCE EAST ALONG SAID SOUTH LINE OF WALDO STREET TO THE NORTHEAST CORNER OF LOT 74 OF SAID LEONARD'S PLACE; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 74 TO SAID CENTERLINE OF SAID DAVIS STREET; THENCE EAST ALONG SAID CENTERLINE OF DAVIS STREET TO THE POINT OF BEGINNING.